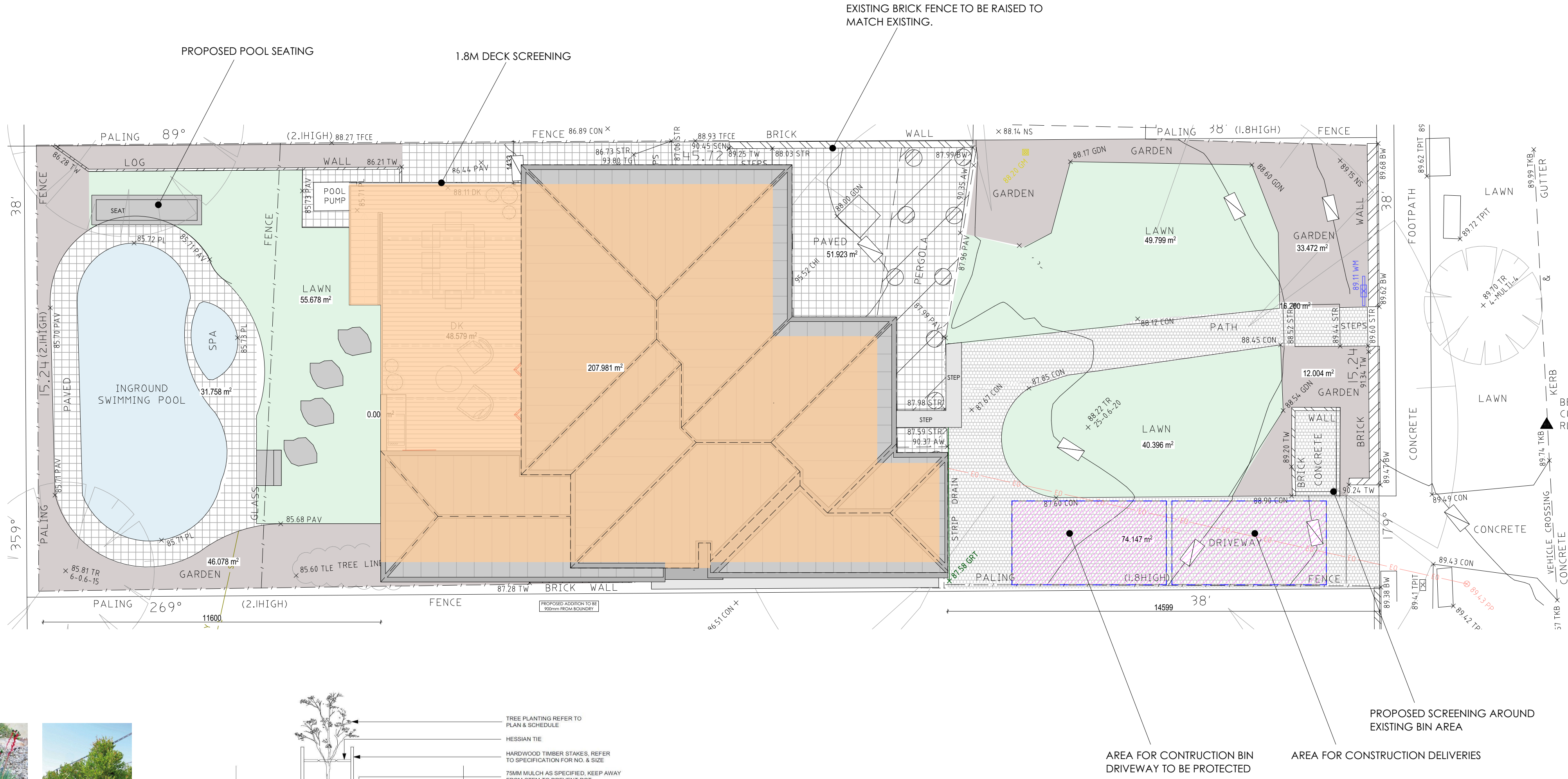


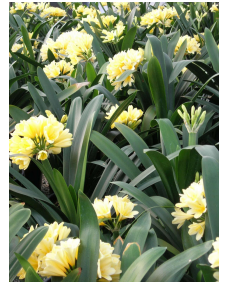
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1397

LEGEND

- EXISTING LAWN - 121.22m²
- EXISTING POOL
- EXISTING PAVING - 114m²
- EXISTING GARDEN - 84m²
- EXISTING DRIVEWAY AND PATH TO BE RE-SURFACED - 70m²
- PROPOSED DECK - 48.6m²
- PROPOSED SITE COVERAGE - 222.5m²
- EXISTING SITE COVERAGE - 187.7m²



Banksia integrifolia - Coast Banksia



Clivia Miniata yellow - Yellow Clivia

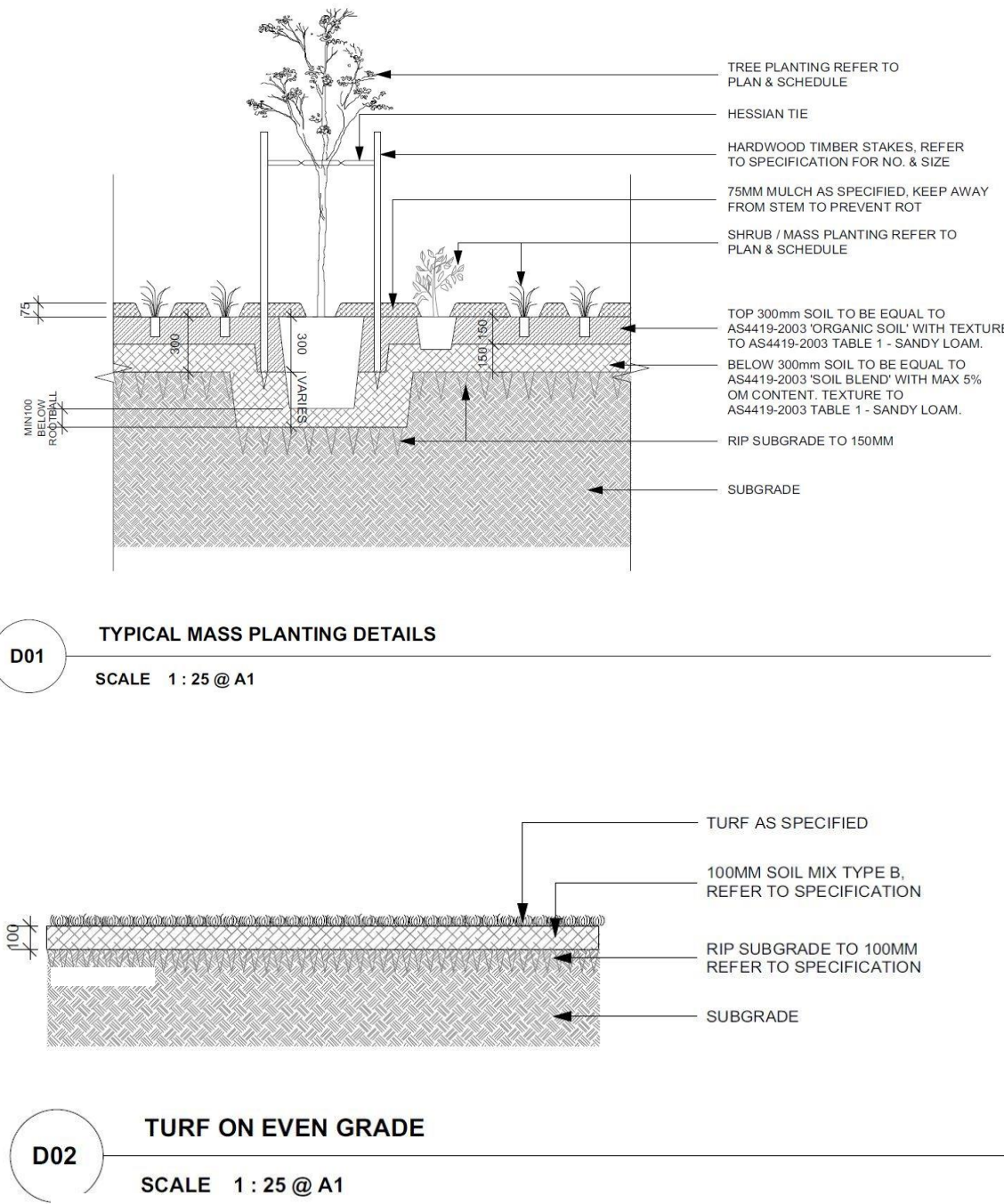


Anigozanthos mangslei - Red/Green Kangaroo Paw



Acmena Smithii Minor - Dwarf Lilly Pilly

- 1. SITE PREPERATION**
Area is to be free of weeds and debris before the commencement of any landscape works. Weeds are to be sprayed with Glyphosate solution, leaving adequate time for the them to die off prior to removal. Final levels and grades are to be determined by a onsite inspection by the landscape contractor. The landscape plan is to be used as an indication only.
- 2. LAWN AREAS**
Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Install 100mm depth of imported topsoil. Just prior to laying turf, spread 'Sir Launcher' fertiliser at the recommended rate. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly. Use Sir Walter Buffalo.
- 3. GARDEN AREAS**
Ensure that mass planting areas have been excavated to 250mm below finished levels. Supply and install 250mm of premium garden mix. Topsoil Shall be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of organic Eucalyptus Mulch.
- 4. SHRUB PLANTING**
Plants should in good health and free of pests and diseases. An adequate size hole should be dug with the plant placed in the hole ensuring that the top of the pot is at the same height of the ground. Leave mulch free from around the base of the plants. Water well after planting
- 5. TREE PLANTING**
Trees should be in good health and free of pests and diseases. The hole is to be dug to a depth and radius, twice the size of the rootball of the tree. Water the bottom of the hole to ensure that the natural soil is moist. The roots should be teased to ensure that they dont grow in a circular direction around the tree. The tree is to be planted so that the base of the tree is level with the topof the ground. Backfill with a mixture of imported soil and natural soil, or imported soil only. Mulch should be kept clear of the base to prevent collar rot. Water well after planting.



Project Specification	Form # AEB-3		Australian Energy Efficiency Consulting P.O. Box 1011 Double Bay, NSW 1360 E:info@aenec.com.au		P:0416 316 204	 www.aenec.com.au
	Project Address: 67 Beatrice Street, Balgowlah Heights BASIX CERTIFICATION NUMBER: A366607					
This Project Specification outlines ONLY some of the BASIX commitments. For the full list, you must refer to BASIX document.						
External Walls Specification:						
Type	Material	Insulation	Colour	Detail		
Masonry	Brick Veneer	R1.16	-	As per drawings		
Framed	Framed	R1.30	-	As per drawings		
Internal Walls Specification:						
Type	Material	Insulation	Colour	Detail		
Framed	Plasterboard	Nil	-	-		
Roof Specification:						
Type	Material	Insulation	Colour	Detail		
Framed	As per Drawings	R3.00 + sarking	Dark	As per drawings		
Floors Specification:						
Type	Material	Insulation	Covering	Detail		
Framed	As per Drawings	Nil	-	Above dwelling - internal		
Framed	As per Drawings	R0.60	-	Above enclosed subfloor		
Masonry	Concrete	Nil	-	Slab on ground		
Window Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
Timber	Single	5.71 or Lower	0.65 or Lower	See BASIX		
Timber	Single - Low E	3.99 or Lower	0.40 or Lower	See BASIX		
Skylight Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
Timber	Double	SHGC: 0.50 or Lower	-	-		
U Value: 4.30 or Lower						
Various Notes if Applicable:						
Showerheads	3 star or no greater than 9liters/min flow rate					
Toilet Flush	3 star or no greater than 4 litres/flush					
Kitchen taps	3 star or no greater than 9liters/min flow rate					
Bathroom taps	3 star or no greater than 9liters/min flow rate					
Rainwater tank	N/A	Pool	N/A			
NOTES:						
1. ALL DOWNLIGHTS TO BE : APPROVED NON VENTILATED WITH FIRERATED COVER/SHIELD TO ALLOW CONTINUOUS INSTALLATION OF INSULATION						
2. ALL vents and/or wall openings to be the 'SEALED' type.						
3. All insulation is to be installed in accordance with AS/NZS 4859.1						
4. All windows to comply with AS2047						

 northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1397



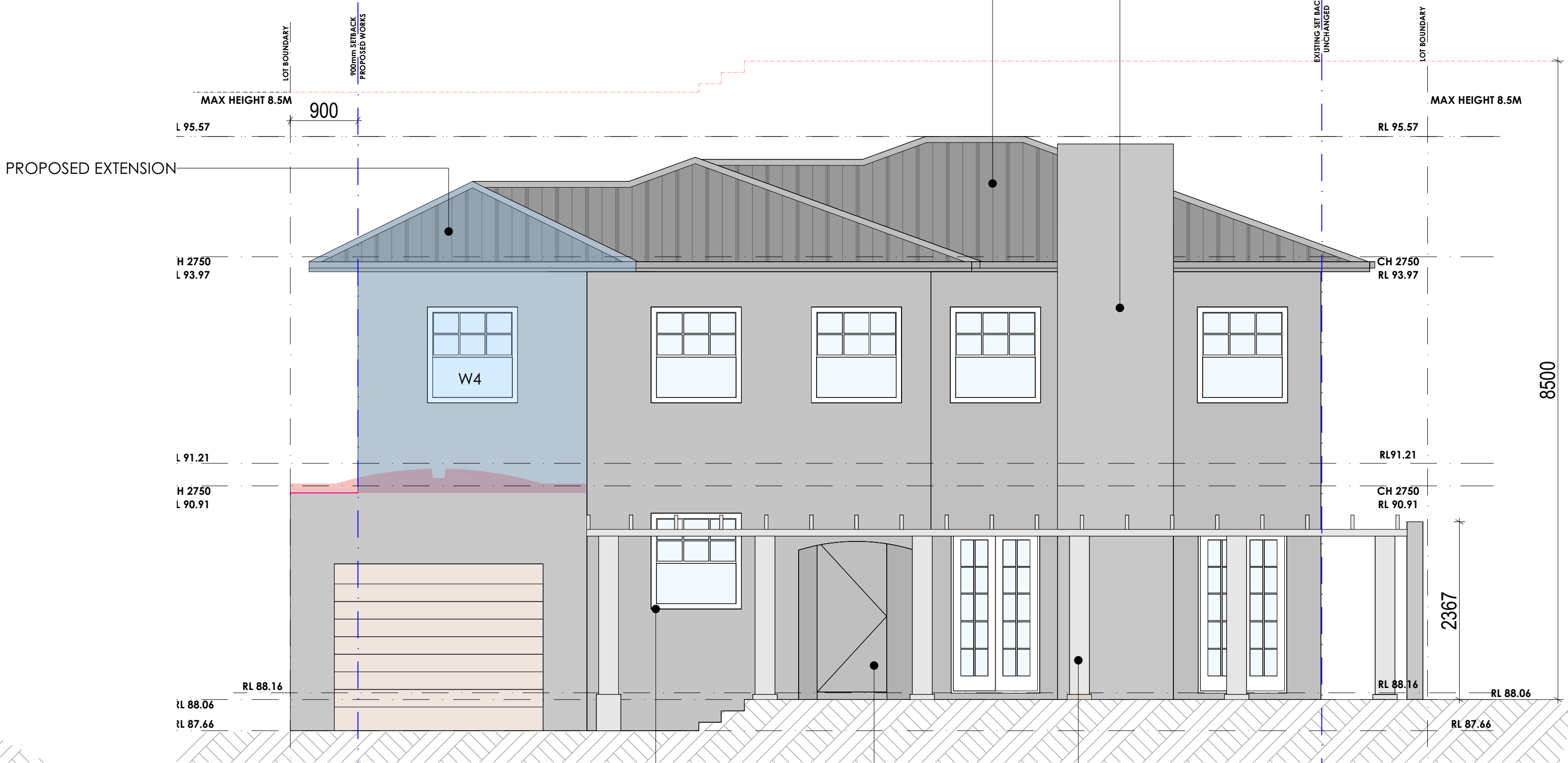
PROPOSED ROOF COLOURBOND MONUMENT



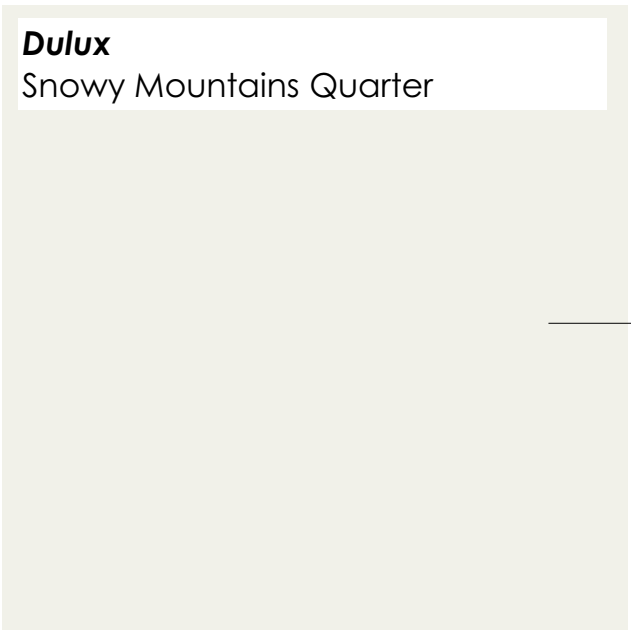
BAG RENDERED BRICK PAINTED
SNOWY MOUNTAINS QUARTER



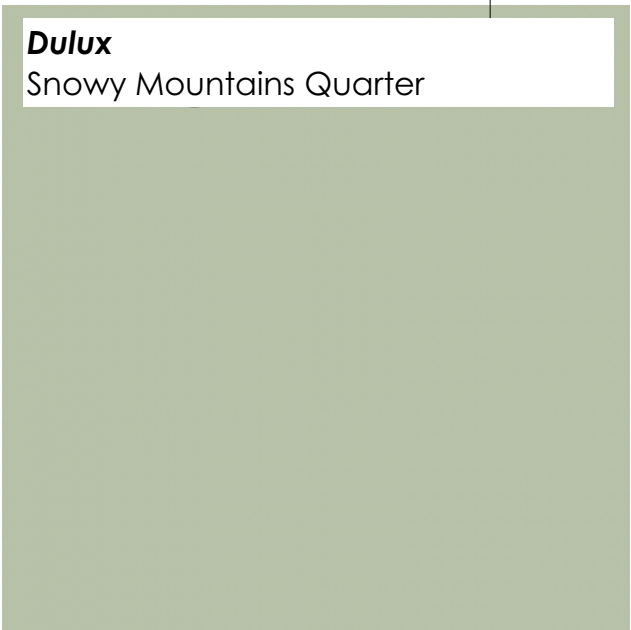
EXISTING FACADE



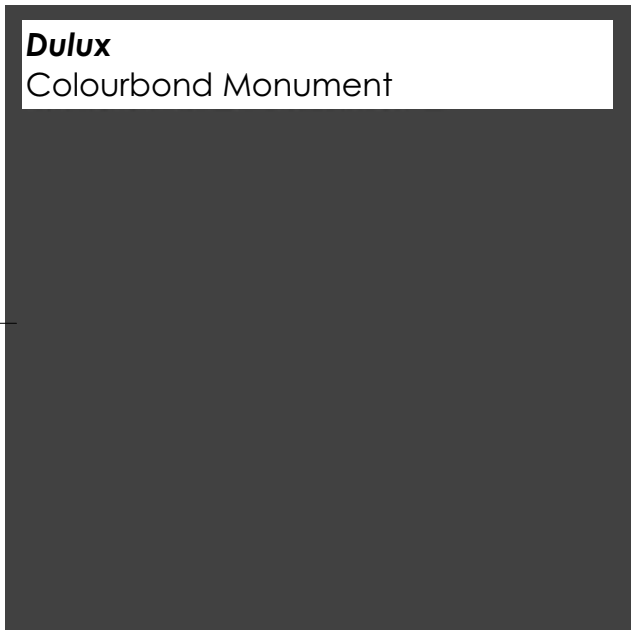
FACADE



WINDOW AND DOOR TRIMS



FRONT DOOR COLOUR



COLUMNS

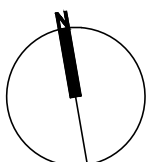
REV.	DESCRIPTION.	DATE.
A	ISSUED FOR COUNCIL REVIEW	08.10.19

Conditions of Use
This document may only be used as permitted by the terms of the Consultancy Agreement and for the purposes and stages of the Project for which it has been prepared and delivered by Mantelena Design Studio (MDS), and by authorized persons who agree to these conditions. Subject only to the Consultancy Agreement.
1. This document and all intellectual property rights in it remain the property of Mantelena Design Studio (MDS) and may not be changed, used, reproduced, provided or disclosed by or to any person without the written consent of Mantelena Design Studio, and only then with clear identification of Mantelena Design Studio (MDS) as author and owner and of all changes made.
2. each user must:
(a) not scale any drawing, use figured dimensions only and verify all dimensions;
(b) only use this document in conjunction with all other relevant Project documents, specifications and information from any person;
(c) where this document is issued in electronic form, make all appropriate electronic data, systems and document checks and comply with all third party proprietary software requirements;
(d) properly form their own opinion as to the correctness and sufficiency of the document for their purposes and notify Mantelena Design Studio immediately upon becoming aware of any issue;
3. to the maximum extent permitted by law, all conditions and warranties concerning this document are expressly excluded and each user accepts fully and will appropriately insure for all risks and releases and indemnities (MDS) from and against all claims, liabilities, loss, costs and expenses arising out of or in connection with any use, reliance upon, reproduction or disclosure of or change to this document.

SCALE 1:50 @ A1

DEVELOPMENT
APPLICATION

Figured dimensions take precedence to scale readings. Verify all dimensions on site.
Report any discrepancies to the Designer for decision before proceeding with the work.



MXM
W | WWW.MXMDSIGN.STUDIO
E | ENQUIRIES@MXMDSIGN.STUDIO
ABN | 48 630 675 339

PROJECT TITLE.
67 BEATRICE ST
BALGOWLAH HEIGHTS

CLIENT NAME.
HOLLY HEARNE &
BRAD BURDEN

DRAWING TITLE.
EAST ELEVATION - FACADE

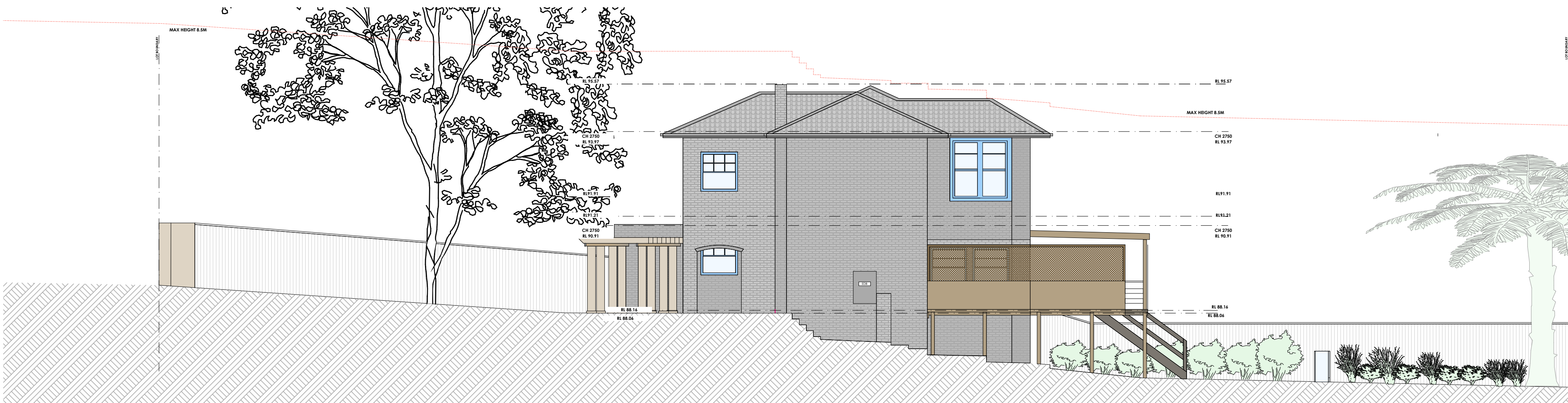
DRAWING NO.
DA-010

DATE | 20.11.19

REVISION | A

SCALE | 1:50

at A1

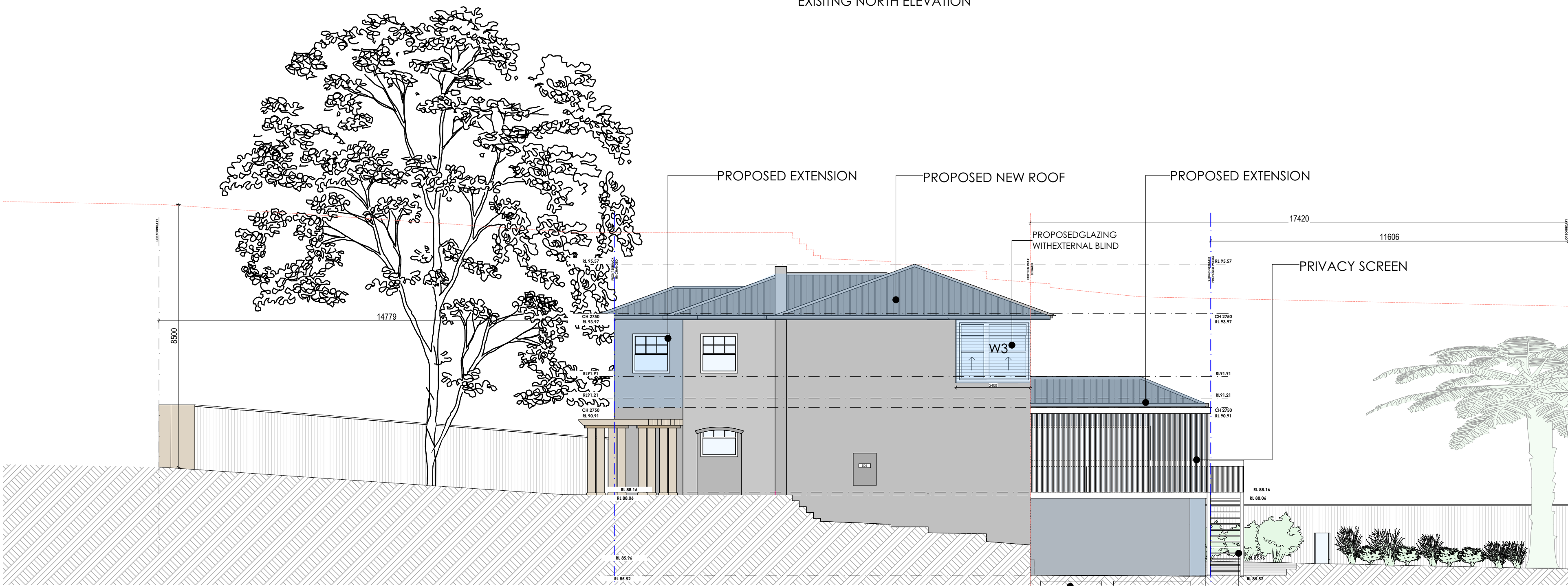


northern
beaches
council

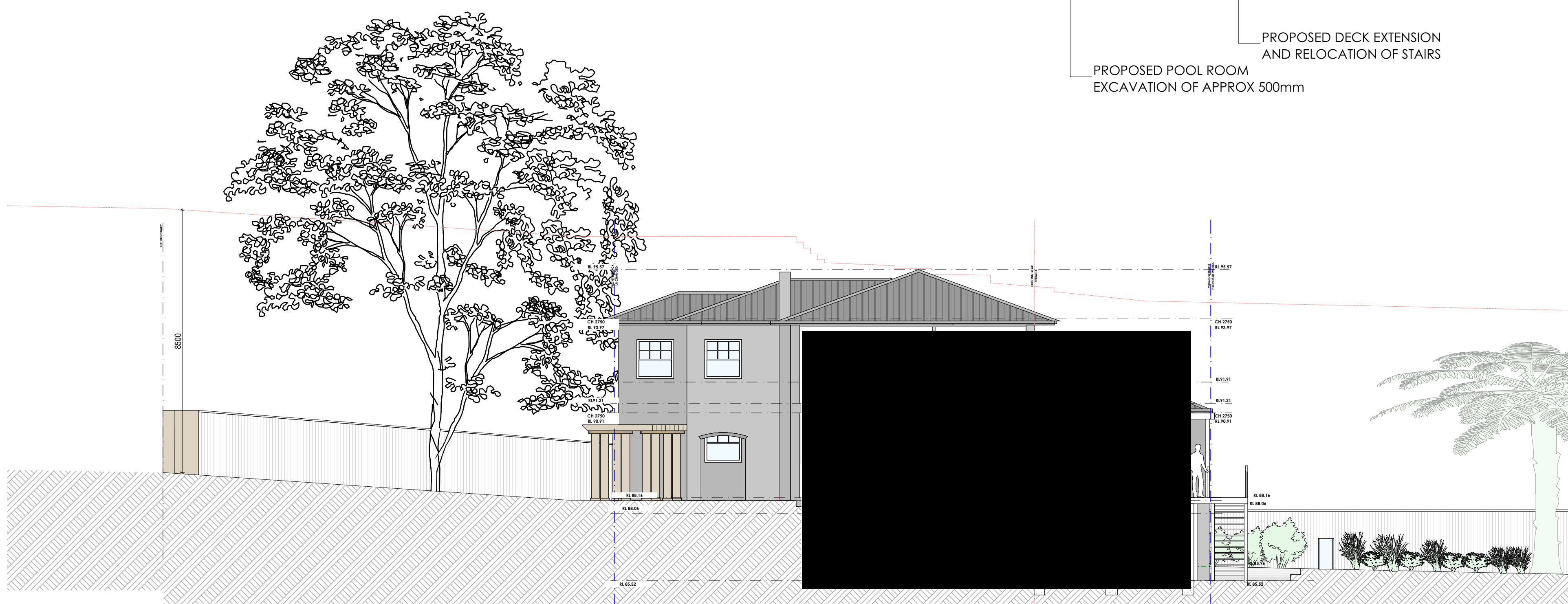
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1397

EXISTING NORTH ELEVATION

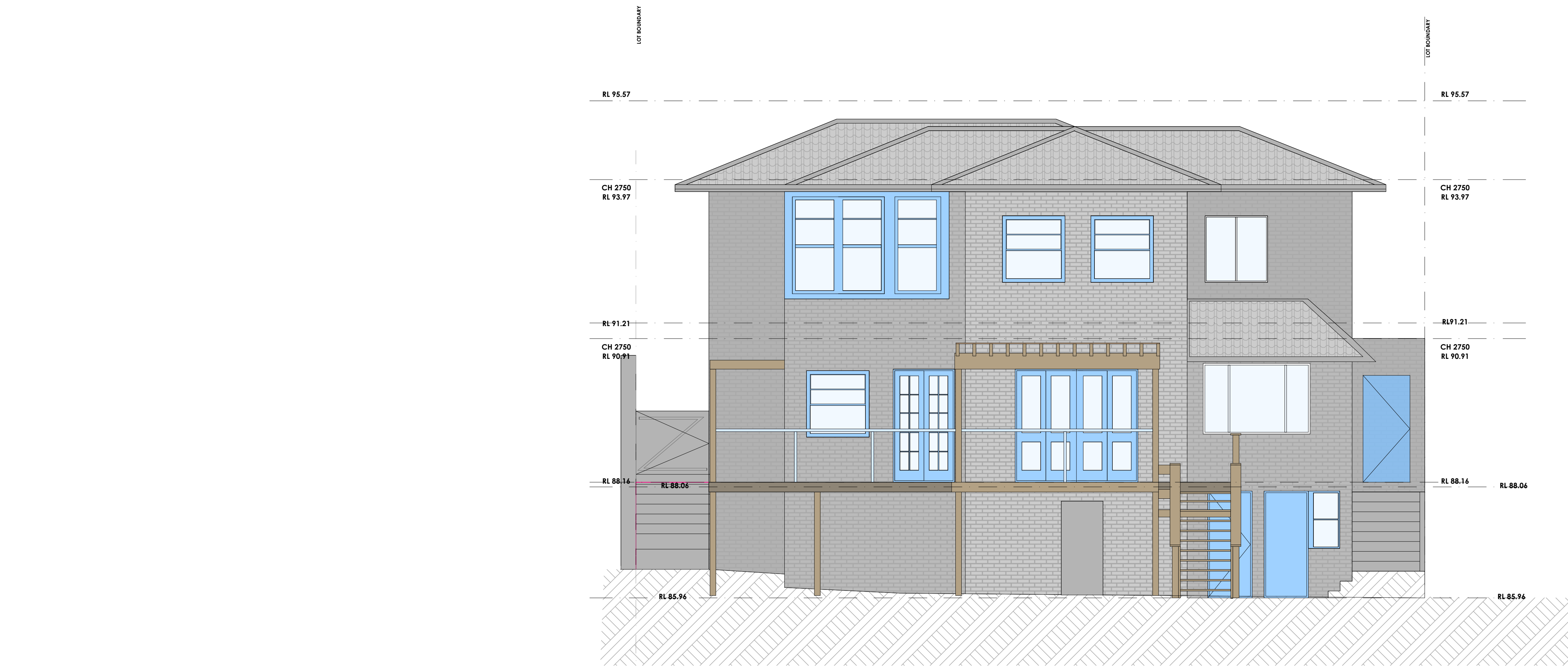


PROPOSED NORTH ELEVATION

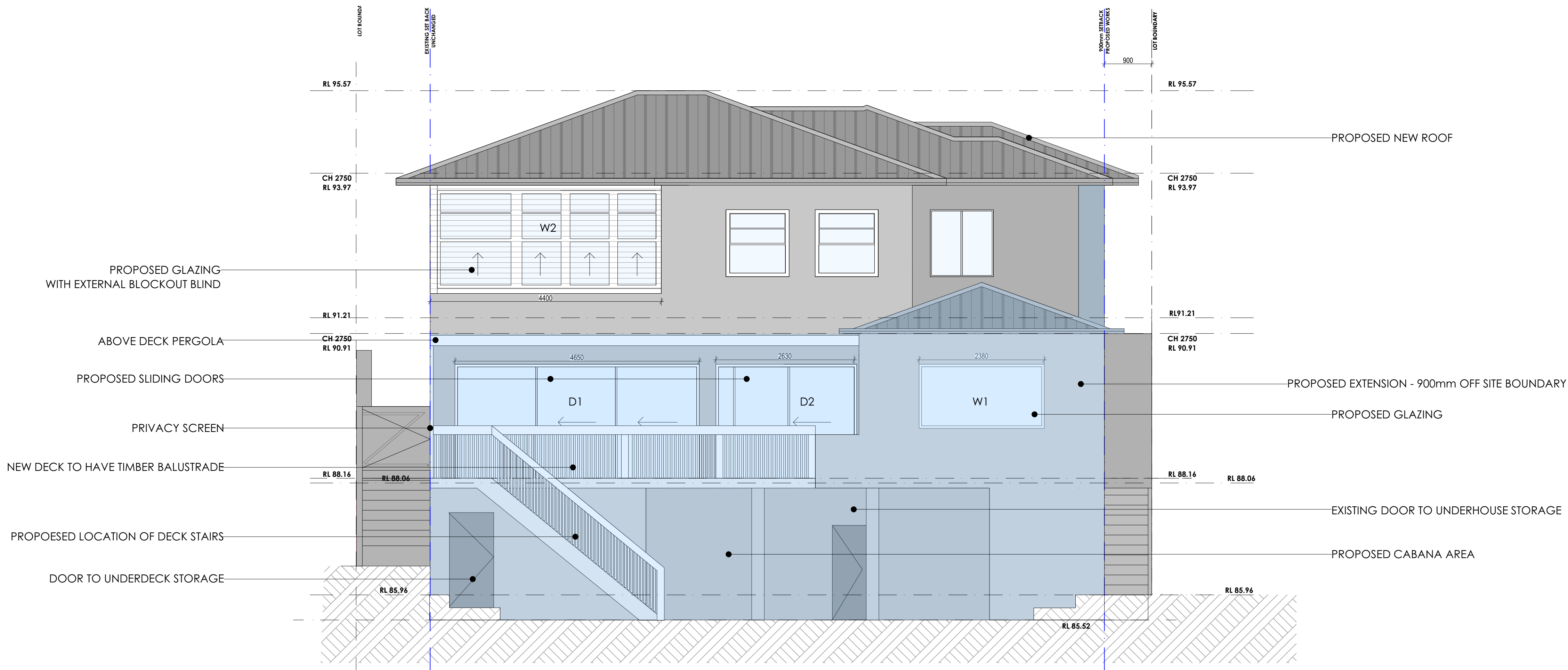


PROPOSED NORTH SECTION

REV.	DESCRIPTION.	DATE.									PROJECT TITLE.		DRAWING TITLE.			
A	ISSUED FOR COUNCIL REVIEW	08.10.19	Conditions of Use This document may only be used as permitted by the terms of the Consultancy Agreement and for the purposes and stages of the Project for which it has been prepared and delivered by Mantalena Design Studio (MDS), and by authorized persons who agree to these conditions. Subject only to the Consultancy Agreement. 1. this document and all intellectual property rights in it remain the property of Mantalena Design Studio (MDS) and may not be changed, used, reproduced, provided or disclosed by or to any person without the written consent of Mantalena Design Studio, and only then with clear identification of Mantalena Design Studio (MDS) as author and owner and of all changes made. 2. each user must: (a) not scale any drawing, use figured dimensions only and verify all dimensions; (b) only use this document in conjunction with all other relevant Project documents, specifications and information from any person; (c) where this document is issued in electronic form, make all appropriate electronic data, systems and document checks and comply with all third party proprietary software requirements; (d) properly form their own opinion as to the correctness and sufficiency of the document for their purposes and notify Mantalena Design Studio immediately upon becoming aware of any issue; 3. to the maximum extent permitted by law, all conditions and warranties concerning this document are expressly excluded and each user accepts fully and will appropriately insure for all risks and releases and indemnifies (MDS) from and against all claims, liabilities, loss, costs and expenses arising out of or in connection with any use, reliance upon, reproduction or disclosure of or change to this document.		SCALE 1:50 @ A1				 W WWW.MXMDESIGNSTUDIO.COM E ENQUIRIES@MXMDESIGNSTUDIO.COM ABN 48 630 675 339		67 BEATRICE ST BALGOWLAH HEIGHTS		CLIENT NAME. HOLLY HEARNE & BRAD BURDEN		DRAWING NO. DA-011 DATE 20.11.19 REVISION A SCALE 1:50	
			DEVELOPMENT APPLICATION		Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to the Designer for decision before proceeding with the work.								at A1			

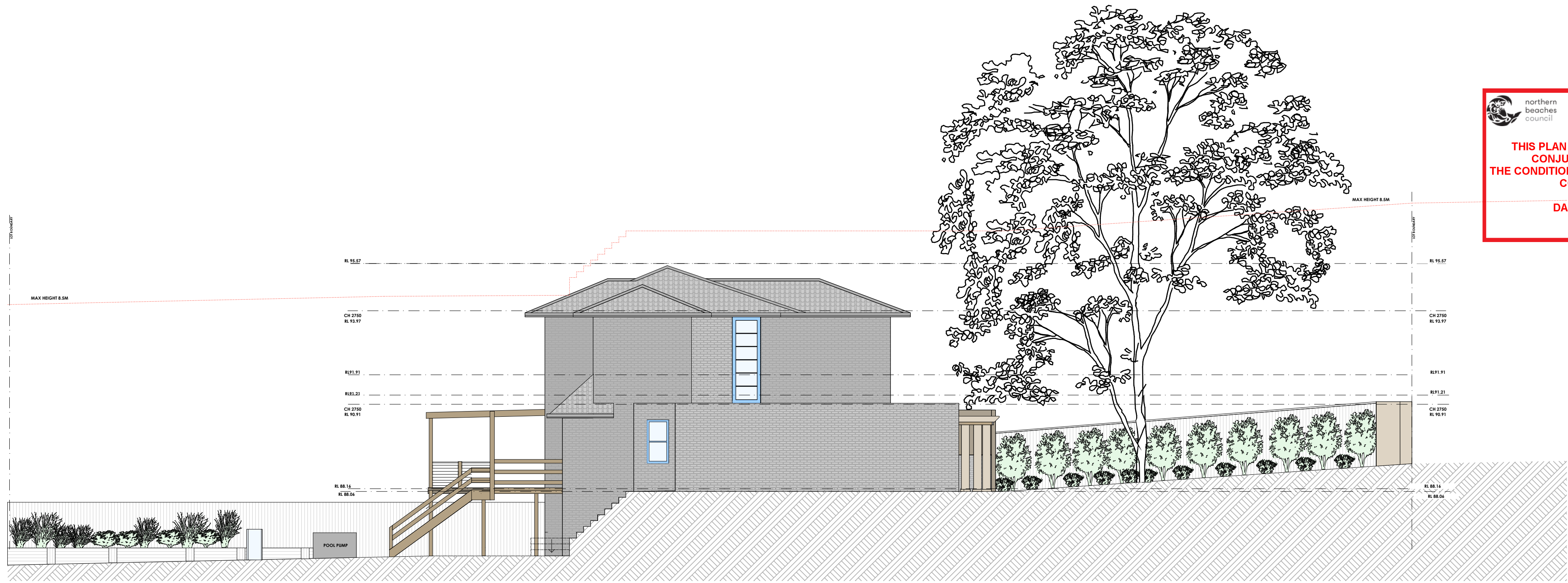


EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

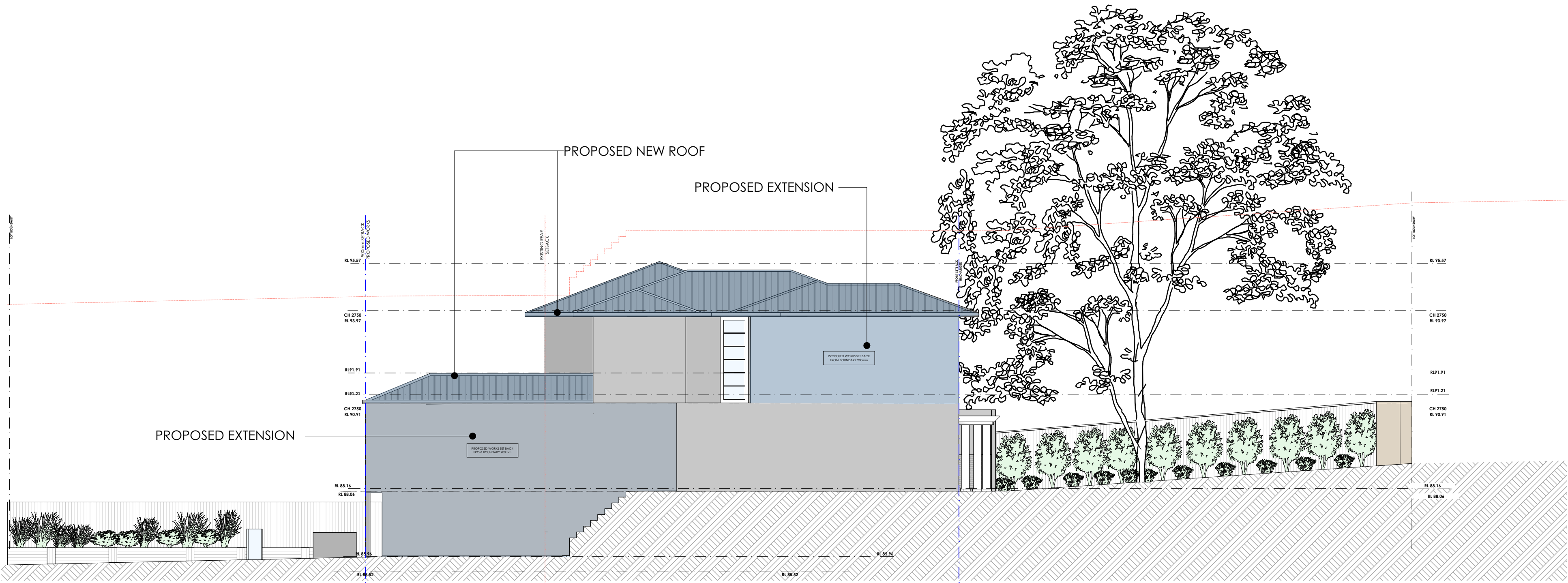
REV.	DESCRIPTION.	DATE.	Conditions of Use This document may only be used as permitted by the terms of the Consultancy Agreement and for the purposes and stages of the Project for which it has been prepared and delivered by Mantelena Design Studio (MDS); and by authorized persons who agree to these conditions. Subject only to the Consultancy Agreement. 1. This document and all intellectual property rights in it remain the property of Mantelena Design Studio (MDS) and may not be changed, used, reproduced, provided or disclosed by or to any person without the written consent of Mantelena Design Studio, and only then with clear identification of Mantelena Design Studio (MDS) as author and owner and of all changes made. 2. each user must: (a) not scale any drawing; use figured dimensions only and verify all dimensions; (b) only use this document in conjunction with all other relevant Project documents, specifications and information from any person; (c) where this document is issued in electronic form, make all appropriate electronic data, systems and document checks and comply with all third party proprietary software requirements; (d) properly form their own opinion as to the correctness and sufficiency of the document for their purposes and notify Mantelena Design Studio immediately upon becoming aware of any issue; 3. to the maximum extent permitted by law, all conditions and warranties concerning this document are expressly excluded and each user accepts fully and will appropriately insure for all risks and releases and indemnifies (MDS) from and against all claims, liabilities, loss, costs and expenses arising out of or in connection with any use, reliance upon, reproduction or disclosure of or change to this document.		SCALE 1:50 @ A1			PROJECT TITLE. 67 BEATRICE ST BALGOWLAH HEIGHTS	DRAWING TITLE. WEST ELEVATION - REAR
A	ISSUED FOR COUNCIL REVIEW	08.10.19						CLIENT NAME. HOLLY HEARNE & BRAD BURDEN	DRAWING NO. DA-012
								DATE 20.11.19 REVISION A SCALE 1:50	at A1



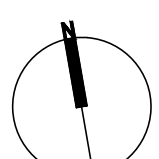
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/1397

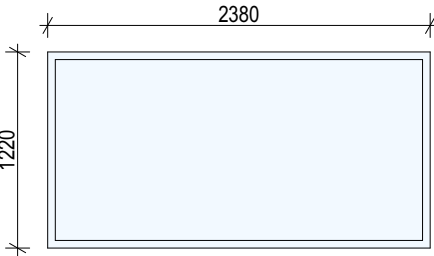
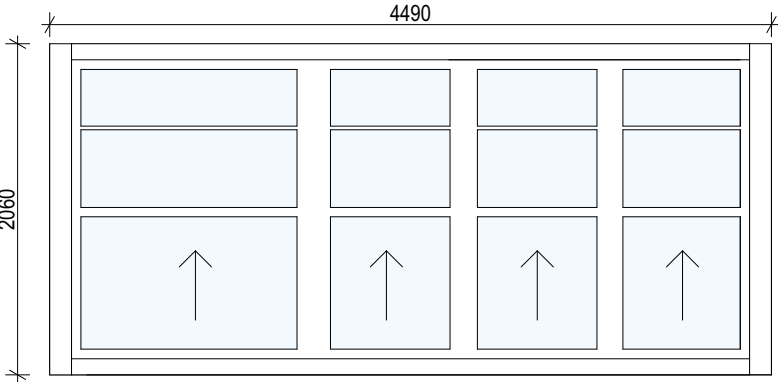
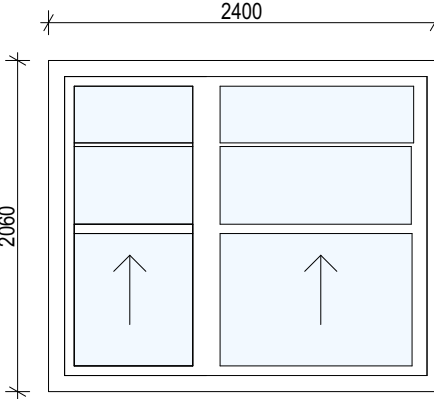
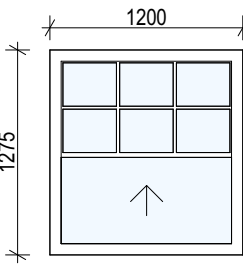
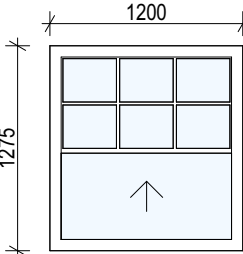
EXISTING SOUTH ELEVATION



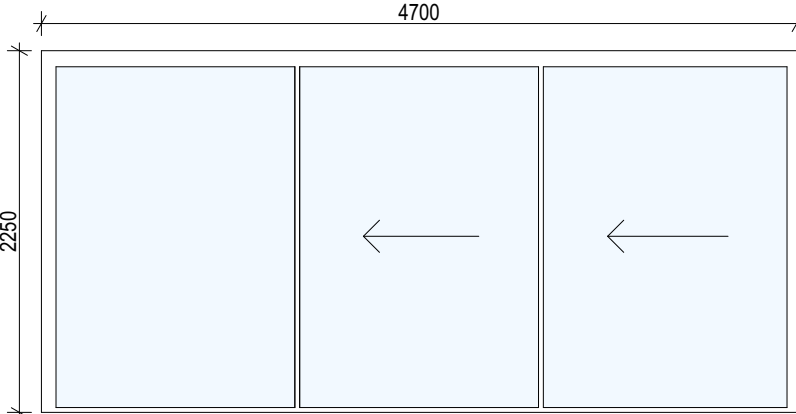
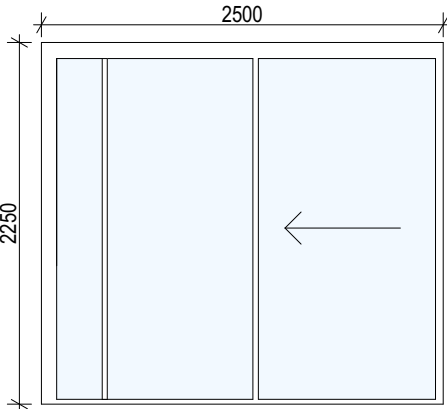
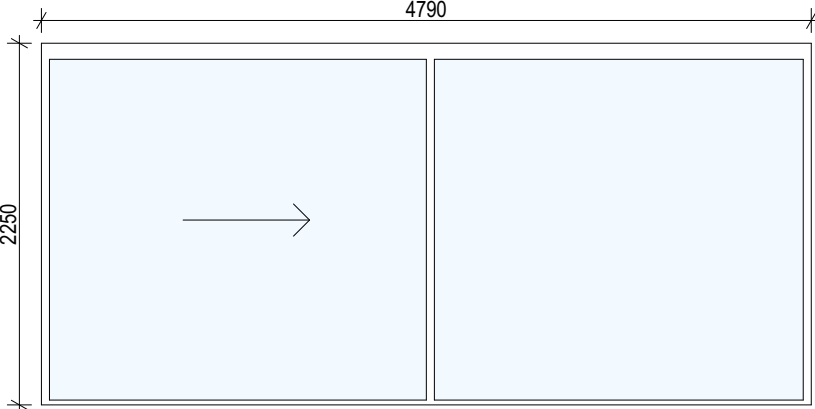
PROPOSED SOUTH ELEVATION
ALL PROPOSED TO BE SET BACK 900mm
FROM BOUNDARY

REV.	DESCRIPTION.	DATE.	Conditions of Use		SCALE 1:50 @ A1		 W WWW.MXMDESIGNSTUDIO E ENQUIRIES@MXMDESIGNSTUDIO ABN 48 630 675 339	PROJECT TITLE. 67 BEATRICE ST BALGOWLAH HEIGHTS	CLIENT NAME. HOLLY HEARNE & BRAD BURDEN	DRAWING TITLE. SOUTH ELEVATION		
A	ISSUED FOR COUNCIL REVIEW	08.10.19	This document may only be used as permitted by the terms of the Consultancy Agreement and for the purposes and stages of the Project for which it has been prepared and delivered by Mantalena Design Studio (MDS), and by authorized persons who agree to these conditions. Subject only to the Consultancy Agreement. 1. this document and all intellectual property rights in it remain the property of Mantalena Design Studio (MDS) and may not be changed, used, reproduced, provided or disclosed by or to any person without the written consent of Mantalena Design Studio, and only then with clear identification of Mantalena Design Studio (MDS) as author and owner and of all changes made. 2. each user must: (a) not scale any drawing, use figured dimensions only and verify all dimensions; (b) only use this document in conjunction with all other relevant Project documents, specifications and information from any person; (c) where this document is issued in electronic form, make all appropriate electronic data, systems and document checks and comply with all third party proprietary software requirements; (d) properly form their own opinion as to the correctness and sufficiency of the document for their purposes and notify Manatalena Design Studio immediately upon becoming aware of any issue; 3. to the maximum extent permitted by law, all conditions and warranties concerning this document are expressly excluded and each user accepts fully and will appropriately insure for all risks and releases and indemnifies (MDS) from and against all claims, liabilities, loss, costs and expenses arising out of or in connection with any use, reliance upon, reproduction or disclosure of or change to this document.								DRAWING NO. DA-013	DATE 20.11.19 REVISION A SCALE 1:50

WINDOW SCHEDULE

WINDOW	SIZE	QTY	LOCATION	MATERIAL	NOTE
W1 	2380mm x 1220mm	1	GROUND FLOOR KITCHEN	TIMBER PAINTED FRAME	FIXED PANEL GLAZING
W2 	4490mm x 2060mm	1	FIRST FLOOR MAIN BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING W/ EXTERNAL BLIND
W3 	2400mm x 2060mm	1	FIRST FLOOR MAIN BEDROOM	TIMBER PAINTED FRAME	SHASH OPENING GLAZING W/ EXTERNAL BLIND
W4 	1400mm x 1275mm	1	FIRST FLOOR MAIN STUDY	TIMBER PAINTED FRAME	SHASH OPENING GLAZING
W5 	1400mm x 1275mm	1	FIRST FLOOR MAIN STUDY	TIMBER PAINTED FRAME	SHASH OPENING GLAZING

DOOR SCHEDULE

DOOR	SIZE	QTY	LOCATION	MATERIAL	NOTE
D1 	4700mm x 2250mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	FIXED PANEL SLIDING DOOR
D2 	2500mm x 2250mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	FIXED PANEL SLIDING DOOR
D3 	4790mm x 2250mm	1	GROUND FLOOR LIVING	TIMBER PAINTED FRAME	FIXED PANEL SLIDING DOOR

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1397