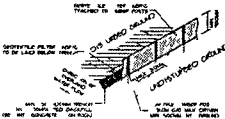


1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING REVEGETATION AND STORAGE OF SOIL AND SAND SHALL BE MAINTAINED UNTIL THE PROPOSED SOIL CONSERVATION OF NEW AND IMPROVED EROSION CONTROL MEASURES ARE IN PLACE.
2. ALL CULMINATION WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL PLOTS COMMITTED TO DOORWAY AREA & DOORWAY CREEK TRENCH.
4. ALL SEDIMENT DRAINAGE AND TRAPS SHALL BE MAINTAINED AND MONITORED FOR PROPER FUNCTIONING OF SOCS PLUS 1% OF SOIL MATERIALS INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TRAPPOON STOCKPILES SHALL BE LOCATED AT THE END OF THE ROAD AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SHUT.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A 10' WIDE FABRIC FILTER OR APPLIED EQUIVALENT BETWEEN POINT AT SO4 CATCHMENT. FABRIC CAN BE USED TO PREVENT FLOODING 15% LOWER SOCS.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

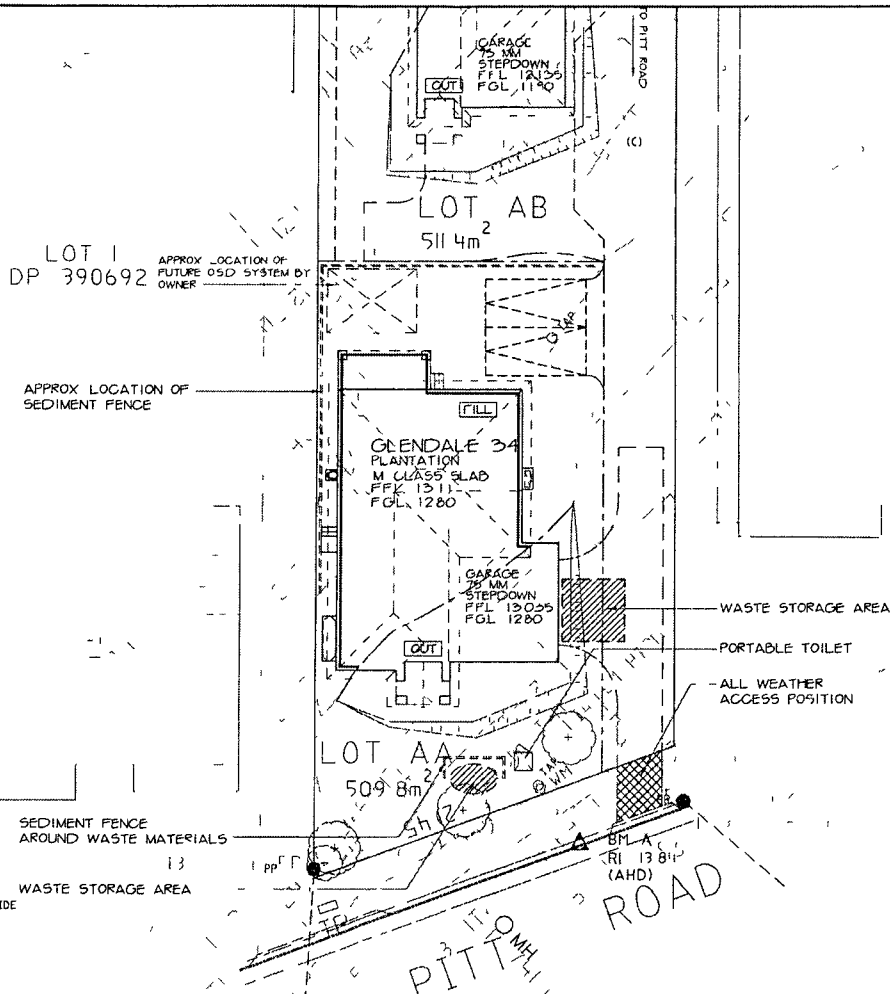
TEMPORARY SECURITY FENCING
TEMPORARY SECURITY FENCING TO THE
PERIMETER OF BOUNDARY WHERE REQUIRED
TO PREVENT PUBLIC ACCESS ONTO SITE

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE
SEDIMENT BARRIERS ARE TO BE
CUSTOMISED SITE SPECIFIC

(C) PROPOSED RIGHT OF CARRIAGEWAY 4 WIDE WASTE STORAGE AREA
(D) PROPOSED EASEMENT TO DRAIN WATER 1 WIDE
(X) EASEMENT FOR SEWERAGE PURPOSES
366 WIDE J497311 (SHOWN ON DP217356)

APPROXIMATE POSITION OF
SEWER MAIN REFER TO
SEWER DIAGRAM FOR DETAILS



LOT NO: A	
DEPOSITED PLAN UNREGISTERED	
COUNCIL / LOA WARRINGAH	
SLAB CLASS	M
WIND SPEED	N2

EROSION & SEDIMENT
CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING
BUILDER TO PROVIDE FENCING TO ANY
UNFENCED BOUNDARIES (LOCAL AUTH
BY AW

ALL WEATHER ACCESS
METRIGON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

ASPECT SURVEY DATE 28.05.14

CONTOUR INTERVALS 200MM

LEVELS TO AND



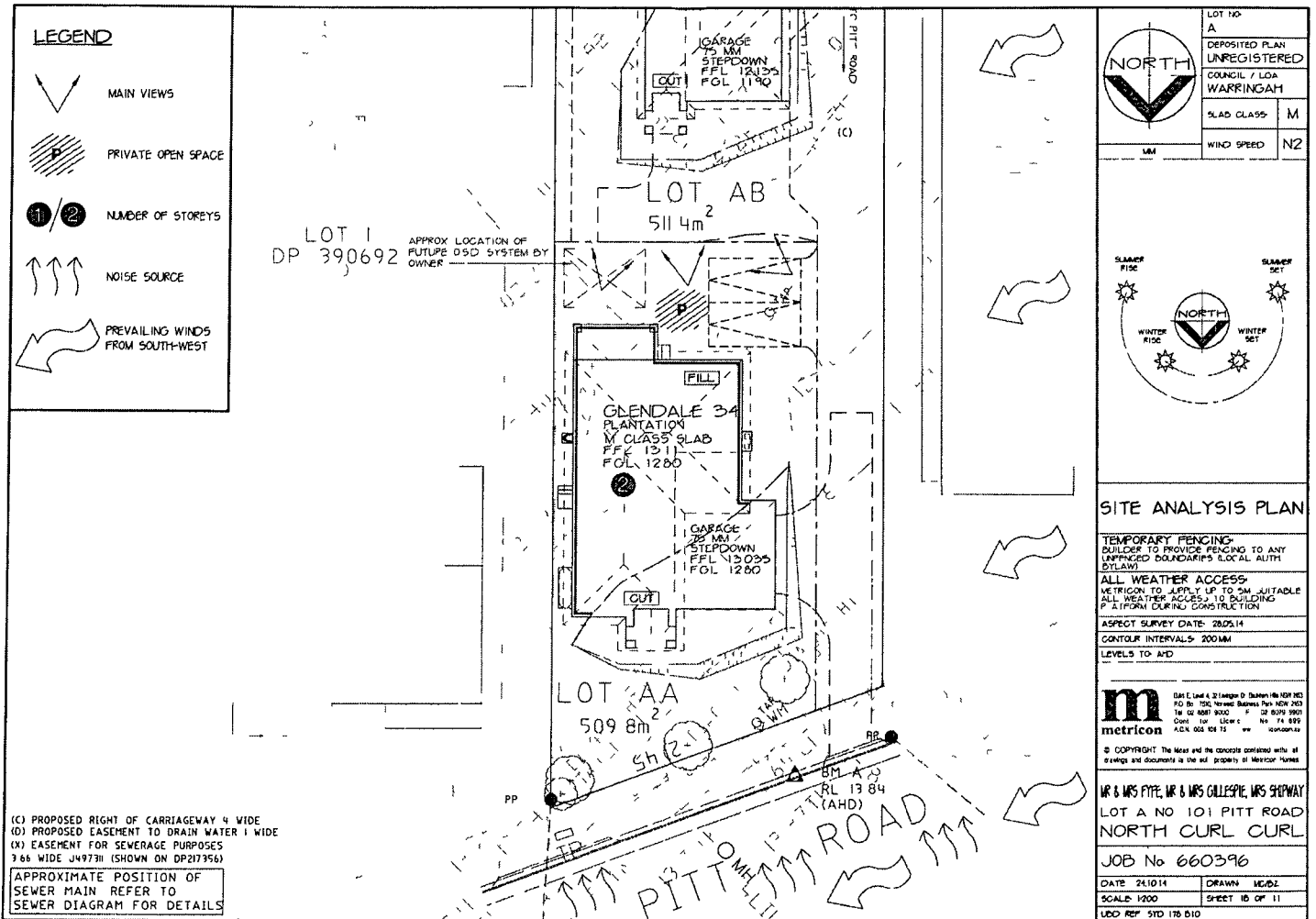
Bldg E, Level 4, 32 Levington Dr. Bushman Hills NSW 2153
P.O. Box 7510, Parramatta Business Park NSW 2153
Tel. 02 8687 9000 f 02 8078 5901
C H 1 L N 174 696
A. N 005 106 T62 .m 1000000-4.2

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MR & MRS FIFE, MR & MRS GILLESPIE, MRS SHAWAY
LOT A NO 101 PITT ROAD
NORTH CURL CURL

JOB No 660396

DATE: 241014	DRAWN: MC/DZ
SCALE: 1:200	SHEET 1A OF 11
UBO REF STD 17B D10	

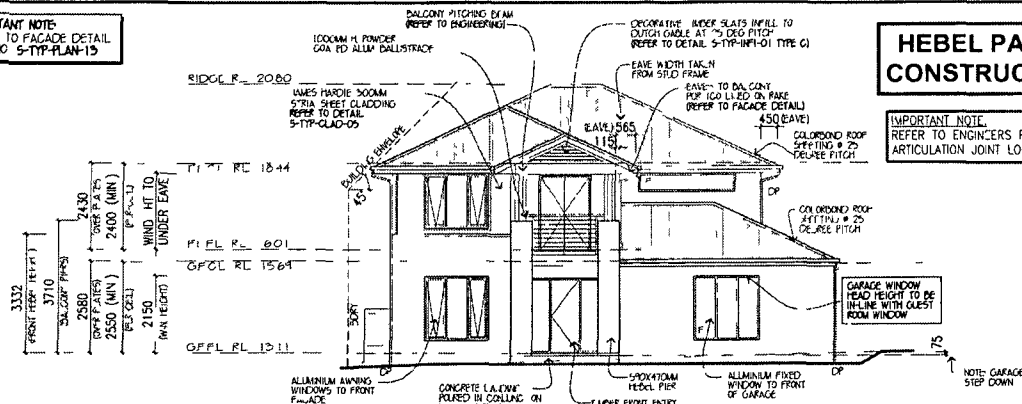


(C) PROPOSED RIGHT OF CARRIAGEWAY 4 WIDE
(D) PROPOSED EASEMENT TO DRAIN WATER 1 WIDE
(X) EASEMENT FOR SEWERAGE PURPOSES
3.66 WIDE J4973M (SHOWN ON DP217356)

APPROXIMATE POSITION OF
SEWER MAIN REFER TO
SEWER DIAGRAM FOR DETAILS

[illegible]

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF NO S-TYP-PLAN-13



ELEVATION A (NORTH)

PROVIDE ACRYLIC RENDER FINISH TO
MEDEL PANELS TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

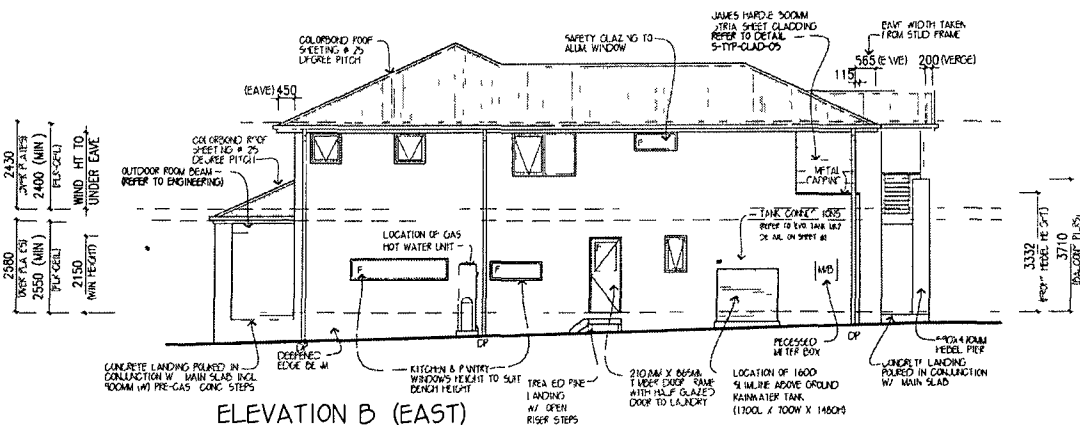
HEBEL PANEL CONSTRUCTION

IMPORTANT NOTE:
REFER TO ENGINEER'S PLANS FOR
ARTICULATION JOINT LOCATIONS

NOTES:
 *NOW SUPPLIER TO SUPPLY COVER BOARDS
 O ALL CORNER WINDOWS UND
 ALL GLAZING O COMPLY WITH AS 1288 -
 2008 GL/SS N BUILDINGS & MTH AS 4055
 - 2012 FOR WINDLOADING
 WINDOW HEAD HEIGHT DIMENSIONS TO B'
 AKEN O THE NEAREST CORRESPONDING BRICK
 COURSE
 WINDOWS TO COMPLY WITH B.C.A. 392 J

HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS



ELEVATION B (EAST)

ELEVATIONS 1100

DESIGN **GLENDAL 34**

FACADE PLANTATION CEILING 24 L

GARAGE. DOUBLE	LOCATION #
----------------	------------

ELEVATIONS

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LOT A NO 101 PITT ROAD
NORTH CURL CURL

JOB NO	660396	DATE	13-08-14
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F C DATE	WST VER 14 FEB 2012
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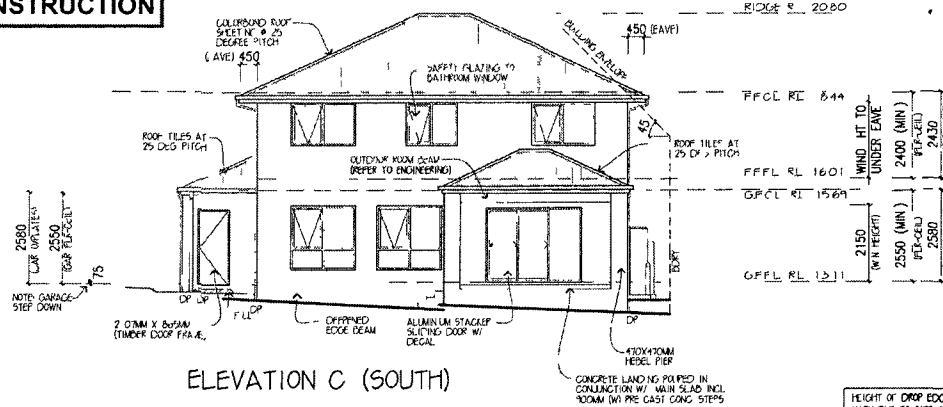
PERMIT No

DRAWING CADORAP	CHVED-YD	SHEET 4 of 11
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HEBEL PANEL CONSTRUCTION

IMPORTANT NOTE
REFER TO ENGINEERS PLANS FOR
ARTICULATION JOINT LOCATIONS

NOTES
WINDOW SUPPLIER TO SUPPLY COVER BOARDS
TO ALL CORNER WINDOWS UNO
ALL GLAZING TO COMPLY WITH AS 1288 -
2006 GLASS IN BUILDING'S & WITH AS 4055
- 2014 FOR WINDLOADING
WINDOW HEAD HEIGHT DIMENSIONS TO BE
TAKEN TO THE NEAREST CORRESPONDING BRICK
COURSE
WINDOWS TO COMPLY WITH BCA 3925

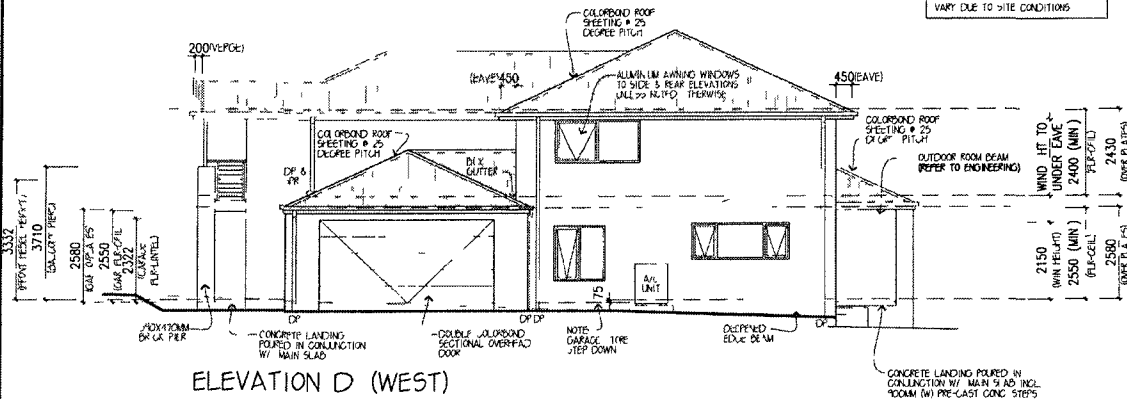


ELEVATION C (SOUTH)

PROVIDE ACRYLIC RENDER FINISH TO
HIBEL PANELS TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NUMBER OF STEPS REQUIRED MAY VARY DUE TO SITE CONDITIONS



ELEVATION D (WEST)

ELEVATIONS 1:100

DESIGN **GLENDAL 34**

FALADE PLANTATION CEILING 24 L

GARAGE DOUBLE

LOCATION

ELEVATIONS

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LOT A NO 101 PITT ROAD,
NORTH CURL CURL

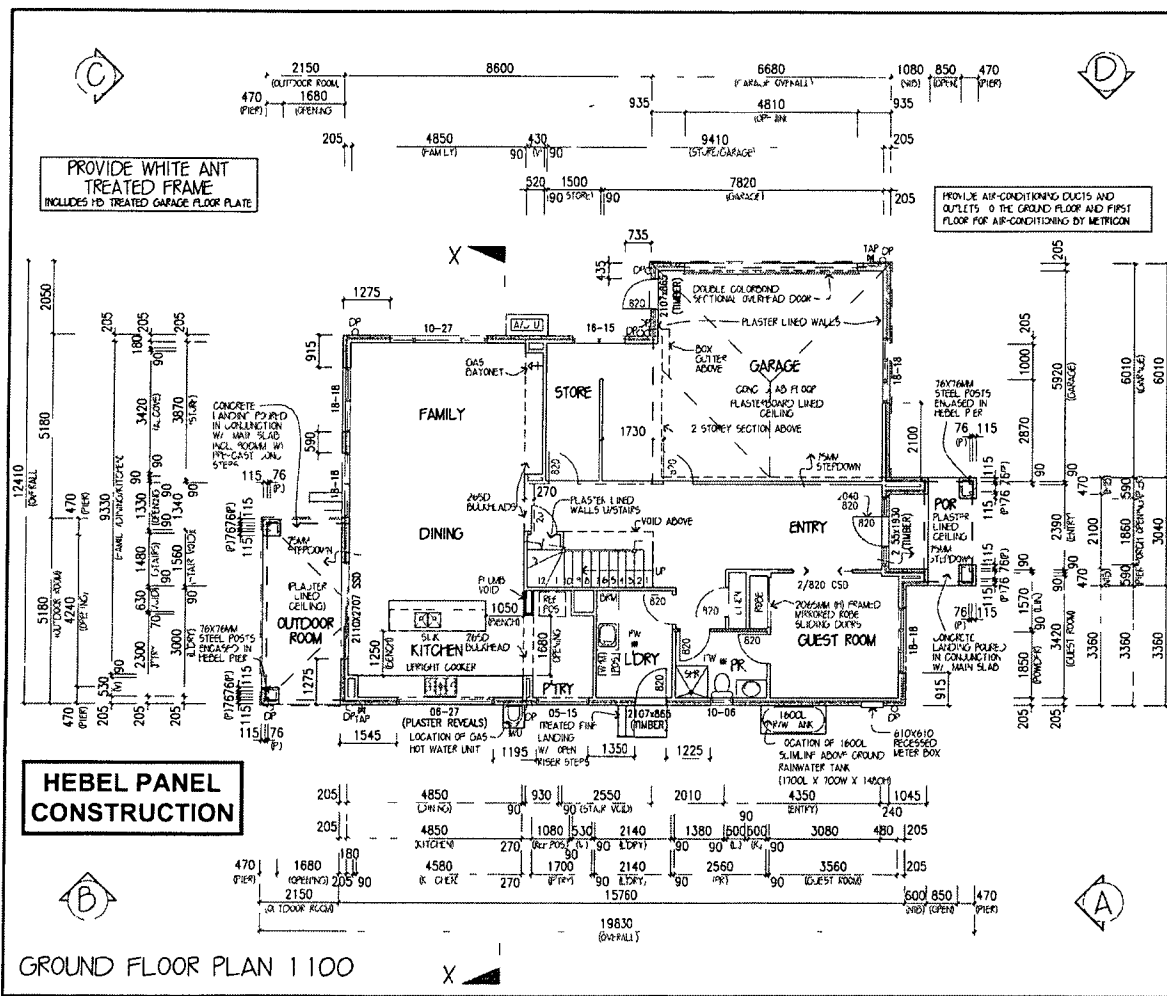
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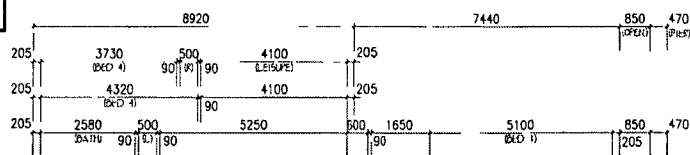
FC DATE	MST VER 14 FEB 2012
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PERMIT No.

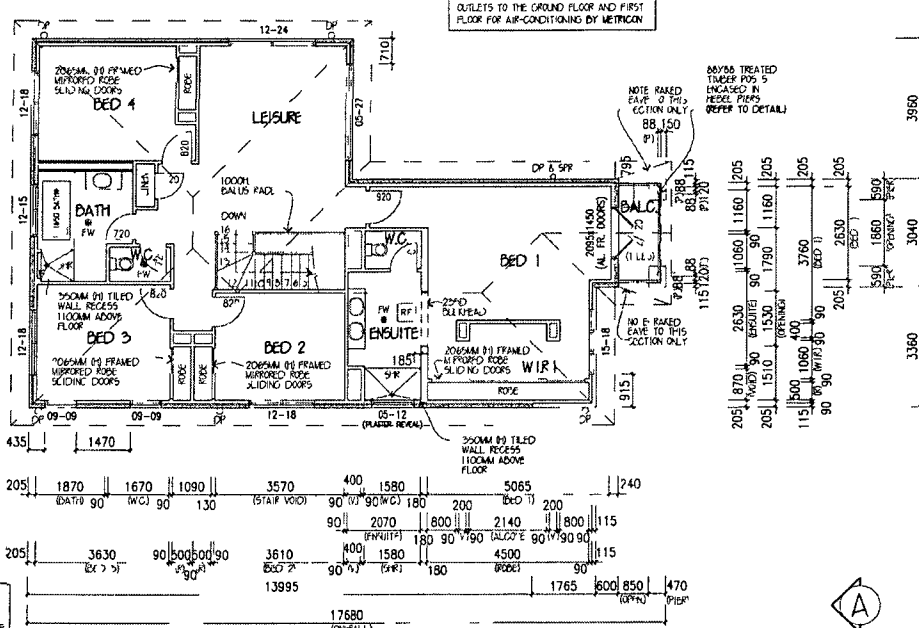
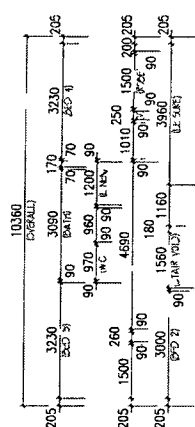
DRAWN CALORAS 7

SHEET 5 of 11





PROVIDE AIR-CONDITIONING DUCTS AND
OUTLETS TO THE GROUND FLOOR AND FIRST
FLOOR FOR AIR-CONDITIONING BY METTRICON



PROVIDE WHITE ANT
TREATED FRAME
INCLUDES HD TREATED GARAGE FLOOR PLATE

FIRST FLOOR PLAN 1100

NOTES
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY
ALL WINDOW SIZES ARE INDICATED AS GENERIC CODES
FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2
REFER TO WIDTH
ALL GLAZING TO COMPLY WITH A.S. 1288 2008
GLASS IN BUILDINGS & WITH A.S. 4055 2012 FOR
WINDLOADING
WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO
ALL CORNER WINDOWS U.N.O
GARAGE ROOF TO BE TIED DOWN W/ 1200 INTO
BROWCHUR WITH HOOP HOOK STRAPS
ALL WATER CLOSET DOOR/S TO BE REMOVABLE IN
A CORRESPOND WITH C.A.S.A. N.Y.

FRAMING NOTES:
CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED)
PROVIDE 2" O 90X45 JAMB STUDS TO ALL INTERNAL DOORS IN PASSAGE OPENINGS AND ALL SLIDING DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01
ENSURE RETURN AIR GRILLE & VOID IS CLEAR OF "TRUS" &/OR FRAMING CONSTRUCTION

LEGEND:
 LOAD BEARING WALL
 WALL UNDER STAIR TO BE BUILT AFTER STAIR
 JOINT STUD WALL

VARIATIONS(V) RE PREPS(R) AMENDMENTS(A)

No	Date	Person	Case No	No	Date	Person	Case No
V01	16/09/14	JLI					
V02	09/04/14	MD					
V03	17/10/14	MD	YD				
V04	30/10/14	MC					

DESIGN **GLENDAL 34**

FACADE **PLANTATION** CEILING **24, L**

GARAGE **DOUBLE** LOCATION **F**

FLOOR PLAN

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LOT A NO 101 PITT ROAD

NORTH CURL CURL

JOB NO	660396	DATE	13 08-1
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F C DATE	MST VER 14 FEB 201
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PERM 1 No

LRA N ^{LADYKRAFT}	CHMED YD	SHEET 3 of 1
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