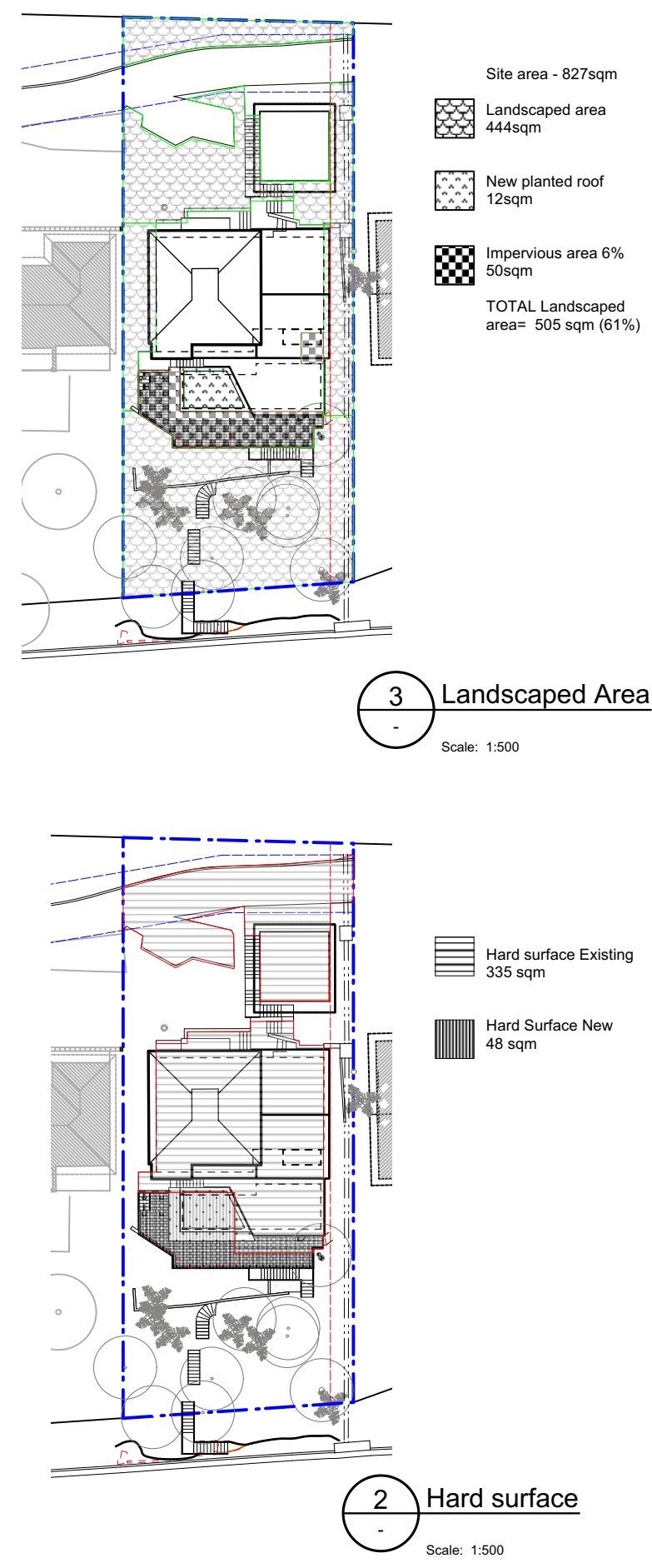
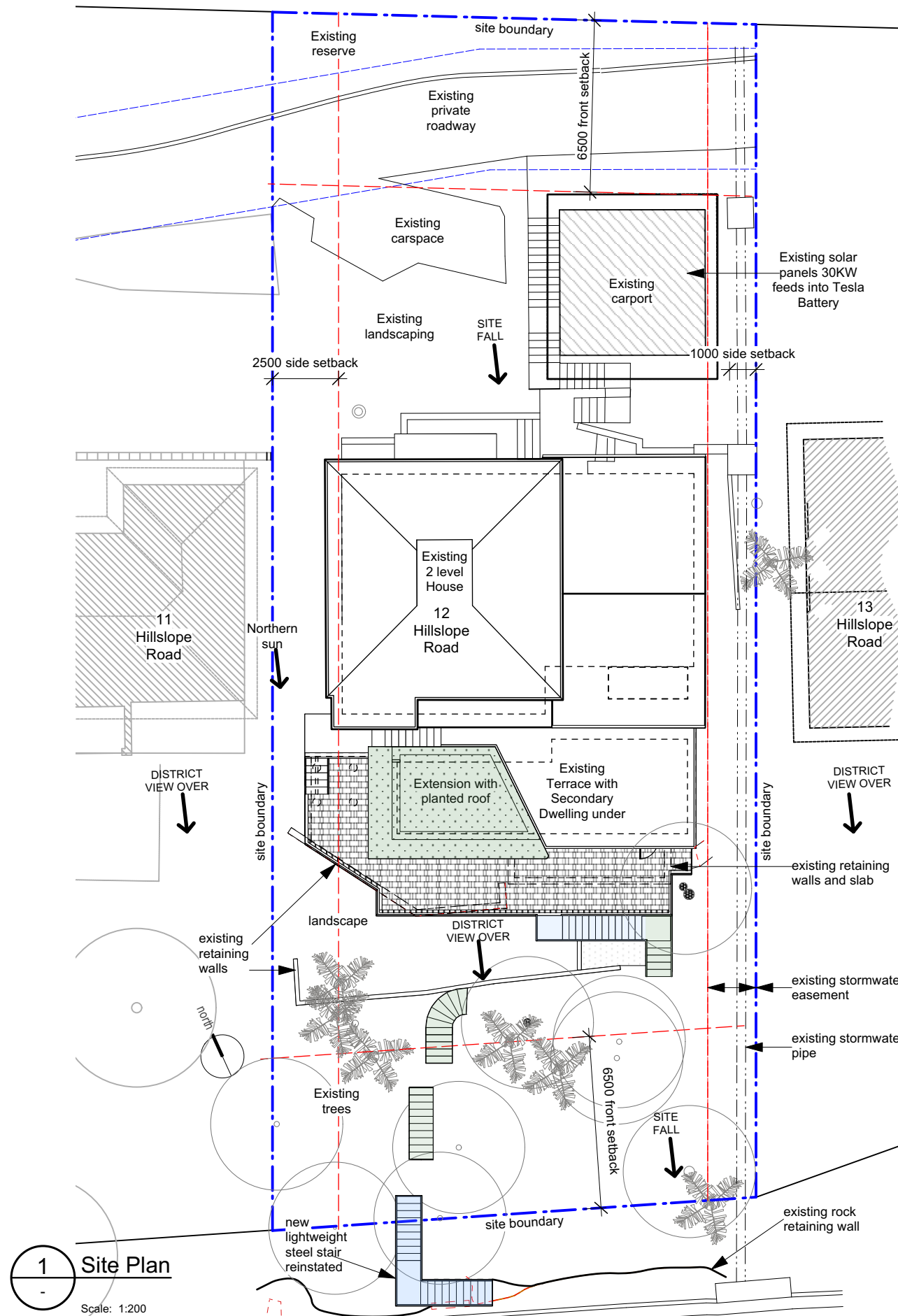


| <u>LEP and DCP compliance Table</u> |                     |                                                                  |                                                                     |  |
|-------------------------------------|---------------------|------------------------------------------------------------------|---------------------------------------------------------------------|--|
| Pittwater LEP 2014                  |                     |                                                                  |                                                                     |  |
| 2.1                                 | Zoning              | C4                                                               |                                                                     |  |
| 4.3                                 | Building height     | 8.5m                                                             | Complies                                                            |  |
| 7.1                                 | Acid Sulphate Soils | Class 5                                                          | Complies                                                            |  |
| 7.7                                 | Geotechnical Hazard | H1                                                               | refer Geotech report                                                |  |
| Pittwater 21 DCP                    |                     |                                                                  |                                                                     |  |
| Site Area                           |                     | 827 sqm                                                          |                                                                     |  |
| Private Open Space                  |                     | House- upper terrace 46.7sqm<br>Proposed Sec.dwelling- 44sqm     | Complies                                                            |  |
| Front Building Line                 |                     | 6.5m<br>To New deck- 11.3m                                       | Complies                                                            |  |
| Side Building Line                  |                     | 1m, 2.5m<br>Existing - 2.5m,2.3m<br>Proposed Sec. Dwelling- 4.5m | Complies                                                            |  |
| Rear Building Line                  |                     | 6.5m<br>Existing to garage 6.5m                                  | No change                                                           |  |
| Building envelope                   |                     | 3.5m , 45 deg                                                    | Complies                                                            |  |
| Landscaped Area                     |                     |                                                                  |                                                                     |  |
| Existing hard surface               |                     | 335 sqm                                                          | No OSD required                                                     |  |
| New hard surface                    |                     | 48 sqm                                                           |                                                                     |  |
| Proposed new hard surface           |                     | 384 sqm                                                          |                                                                     |  |
| Existing LA                         |                     | 444sqm                                                           | Complies                                                            |  |
| New LA                              |                     | 12sqm                                                            |                                                                     |  |
| Proposed landscape area             |                     | 456sqm                                                           |                                                                     |  |
| Impervious area                     |                     | 50 sqm                                                           |                                                                     |  |
| Total LA                            |                     | 505sqm (61%)                                                     |                                                                     |  |
|                                     |                     |                                                                  |                                                                     |  |
| Floor Area                          |                     |                                                                  |                                                                     |  |
| Ground level Existing               |                     | 128 sqm                                                          | Complies<br>(secon.dwelling <25% of dwelling area= 53sqm, or 60sqm) |  |
| Upper level Existing                |                     | 68 sqm                                                           |                                                                     |  |
| Existing Studio                     |                     | 18 sqm                                                           |                                                                     |  |
| TOTAL existing floor area           |                     | 214sqm                                                           |                                                                     |  |
| Existing house                      |                     | 128+68= 196sqm                                                   |                                                                     |  |
| New area secondary dwelling         |                     | 21 sqm                                                           |                                                                     |  |
| Area secondary dwelling             |                     | 23+21 new= 44 sqm                                                |                                                                     |  |
| TOTAL new Floor area                |                     | 240 sqm                                                          |                                                                     |  |



#### Notes

All work to conform to current Building Code of Australia and NSW supplement and all current relevant AS codes.  
All dimensions are in millimetres and figured dimensions take precedence over scaling.  
Builder to verify all dimensions on site and seek instructions prior to proceeding if any discrepancies are found.  
Footings and slabs to comply with current AS 2870 and accordance with accompanying structural engineering drawings.  
Light and ventilation to comply with part F4 of the Building Code of Australia.

Refer to the BASIX certificate for energy, glazing and insulation requirements.

Smoke alarms to be installed in accordance with Australian building code and local fire regulations.  
All positions of GPO's and switches to be confirmed on site prior to installation.  
All positions of light fittings to be confirmed on site prior to installation.

Provide all windows, doors, glazing, shading devices, fixtures and fittings to comply with BASIX requirements.

New stairs to comply with BCA Part 11.2.1 and Part 11.2.2.  
Openable windows to comply with BCA Part 11.3.7 and Part 11.3.8.  
No slip resistant walking surfaces on stairway treads and landings near the edge of nosings.

Fire separation of secondary dwelling to existing house to comply with Part 9.2.1 of NCC. 'External walls of a class 1 building'.

Refer to the structural engineering drawings, and to the architectural building specification.

#### Materials

|  |                                             |
|--|---------------------------------------------|
|  | New Timber framed post/floor/wall structure |
|  | New concrete                                |
|  | New Glazing                                 |
|  | New Brickwork                               |
|  | New steelwork                               |

## Site and Site Analysis Plan

CC01

Drawing:

Construction Certificate  
Development Application

No. Issue

03-10-24  
07-09-23

Date

Alterations and Additions for  
Jana and Michael Kapr

12 Hillslope Road Newport NSW

## Construction Certificate

Date : 03-10-24 Drawn: BH Scale: 1:100 UNO. A3



abn 3465330539  
info@highhouse.com.au  
highhouse.com.au