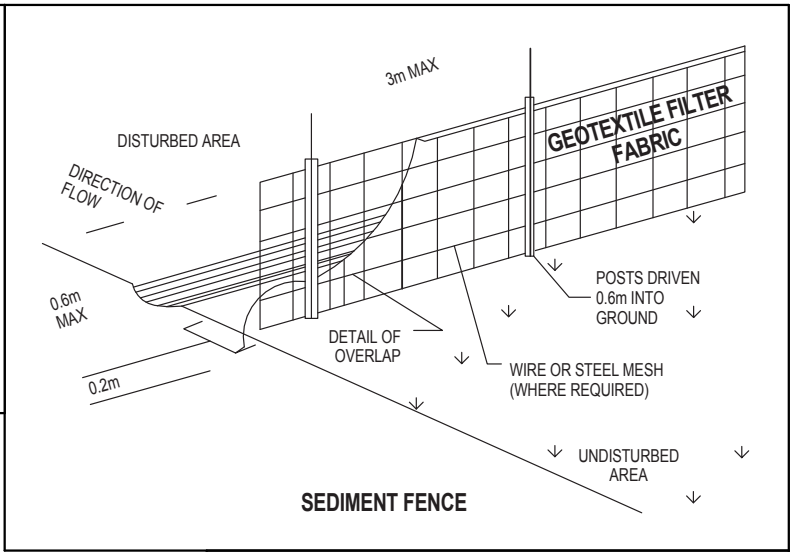
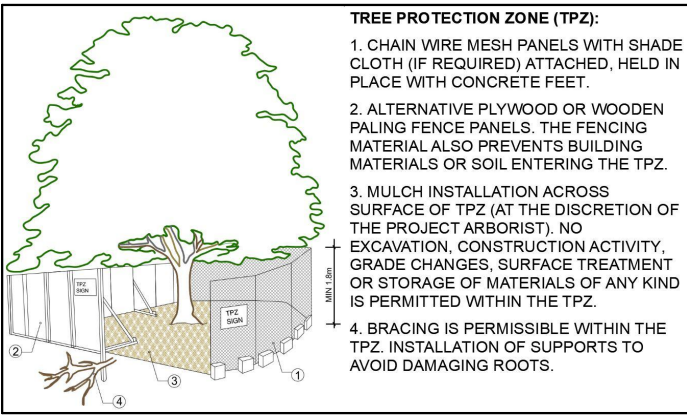


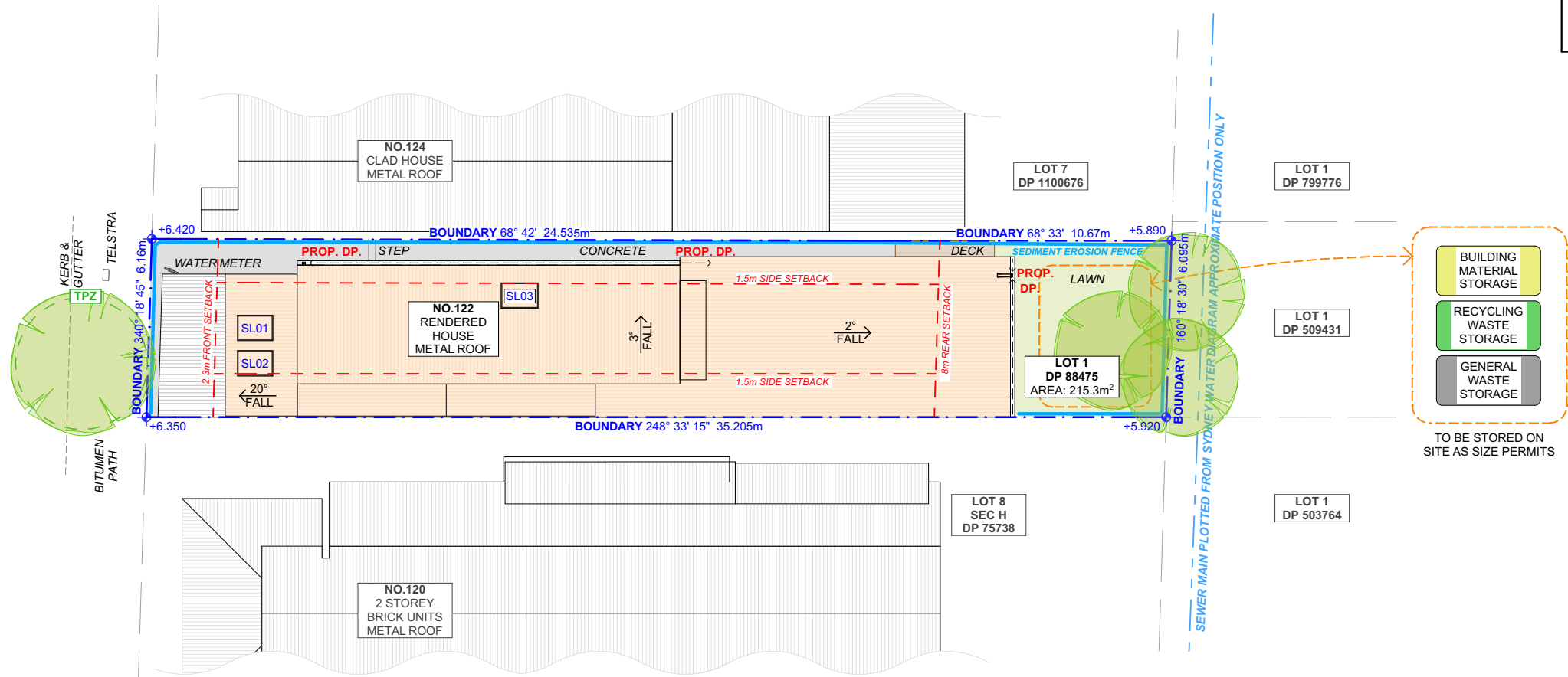


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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0508



PITTWATER ROAD



DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

1 SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN 1:200

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B	15/07/2020	DA REV A	AP	
C	29/07/2020	DA REV B	AL	

LEGEND

	SOFT LANDSCAPE	EX.	EXISTING
	HARD LANDSCAPE	DP.	DOWNPIPE
	PROPOSED	PROP.	PROPOSED
	EXISTING	DP.	DOWNPIPE
	DEMOLISHED		

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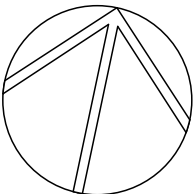
PROJECT ADDRESS
122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.
DA03

DATE
Wednesday, 29 July
2020

DRAWING NAME
SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE
1:200 @A3

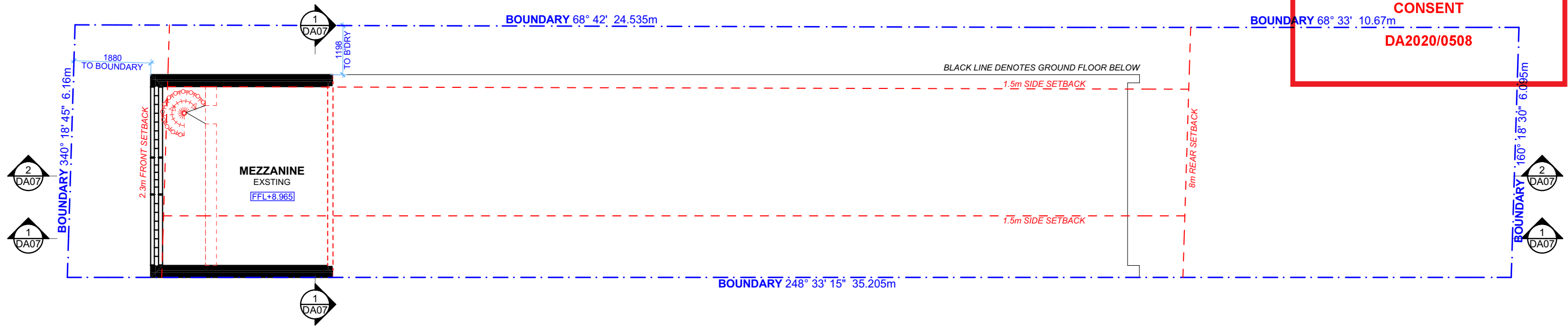




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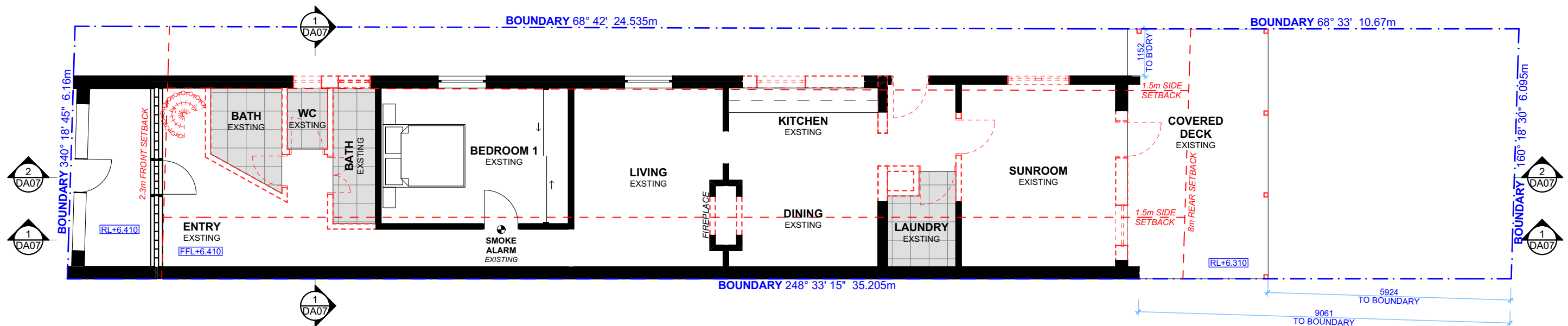
DA2020/0508



2

EXISTING MEZZANINE FLOOR PLAN

1:100



1

EXISTING GROUND FLOOR PLAN

1:100



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LEGEND

 EXISTING

 PROPOSED

 DEMOLISHED

CLIENT

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122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA04

DATE

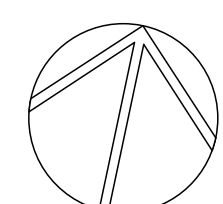
Wednesday, 29 July 2020

DRAWING NAME

EXISTING FLOOR PLANS

SCALE

1:100 @A3

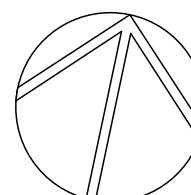




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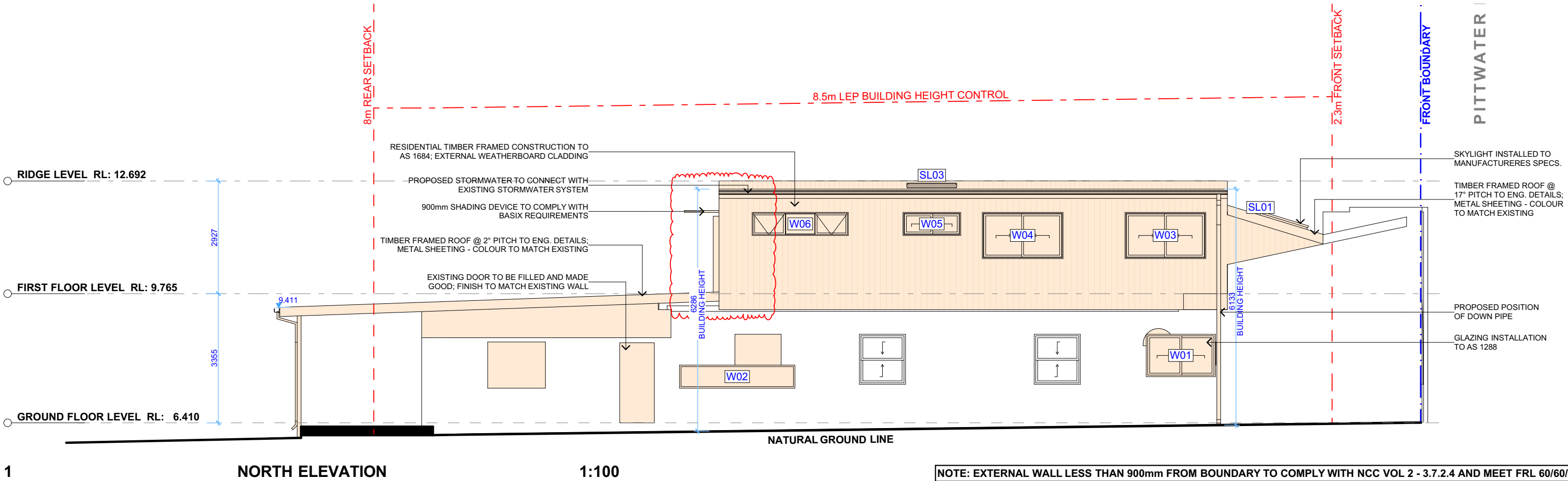
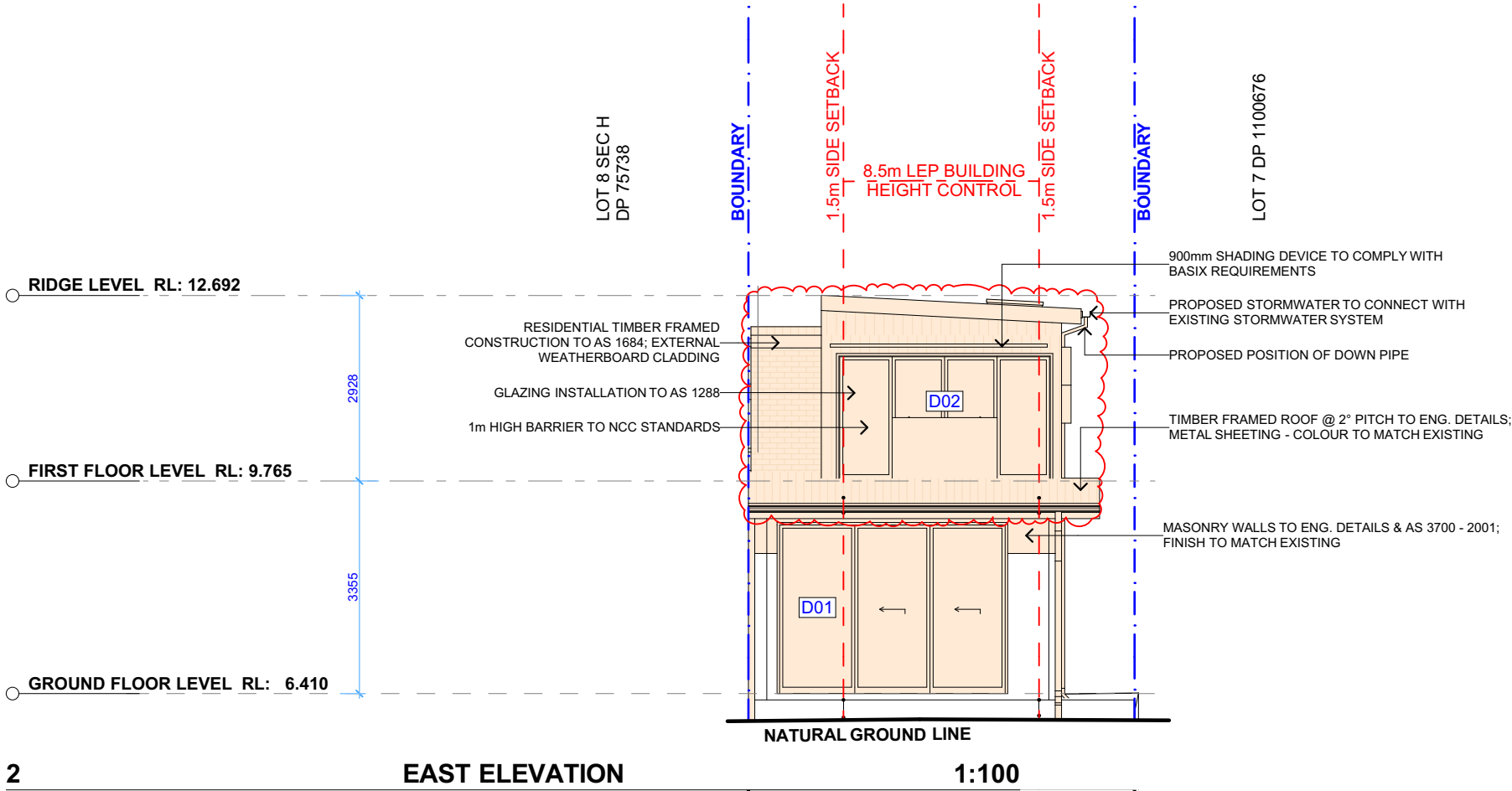
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CONSENT

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NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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LEGEND

EXISTING

PROPOSED

CLIENT

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122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA06

DATE

Wednesday, 29 July 2020

DRAWING NAME

NORTH / EAST ELEVATION

SCALE

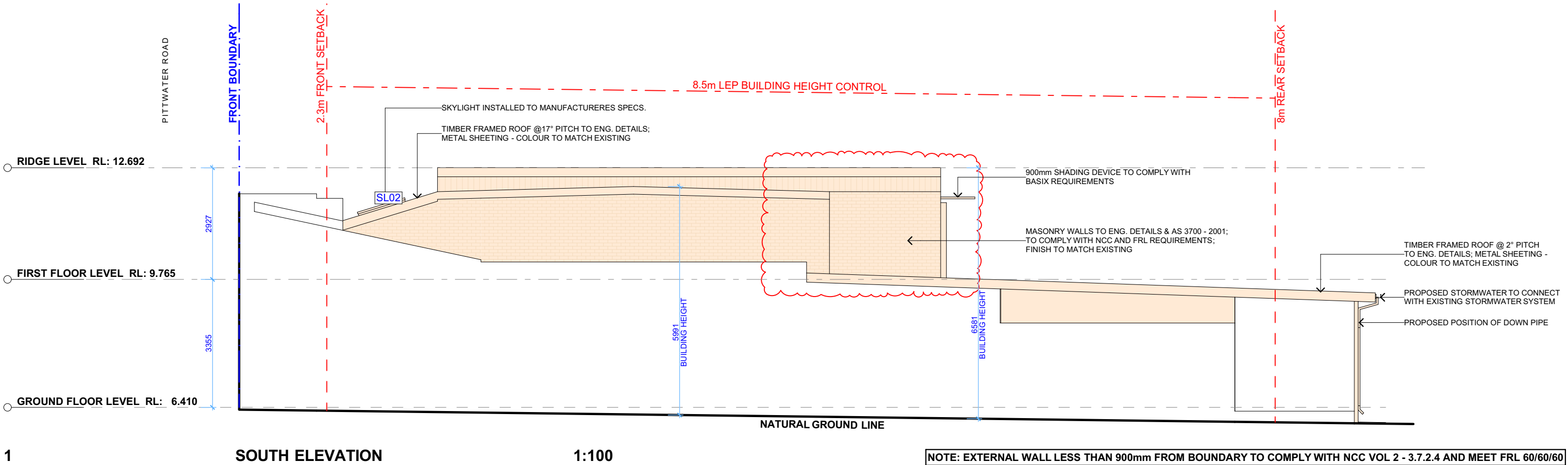
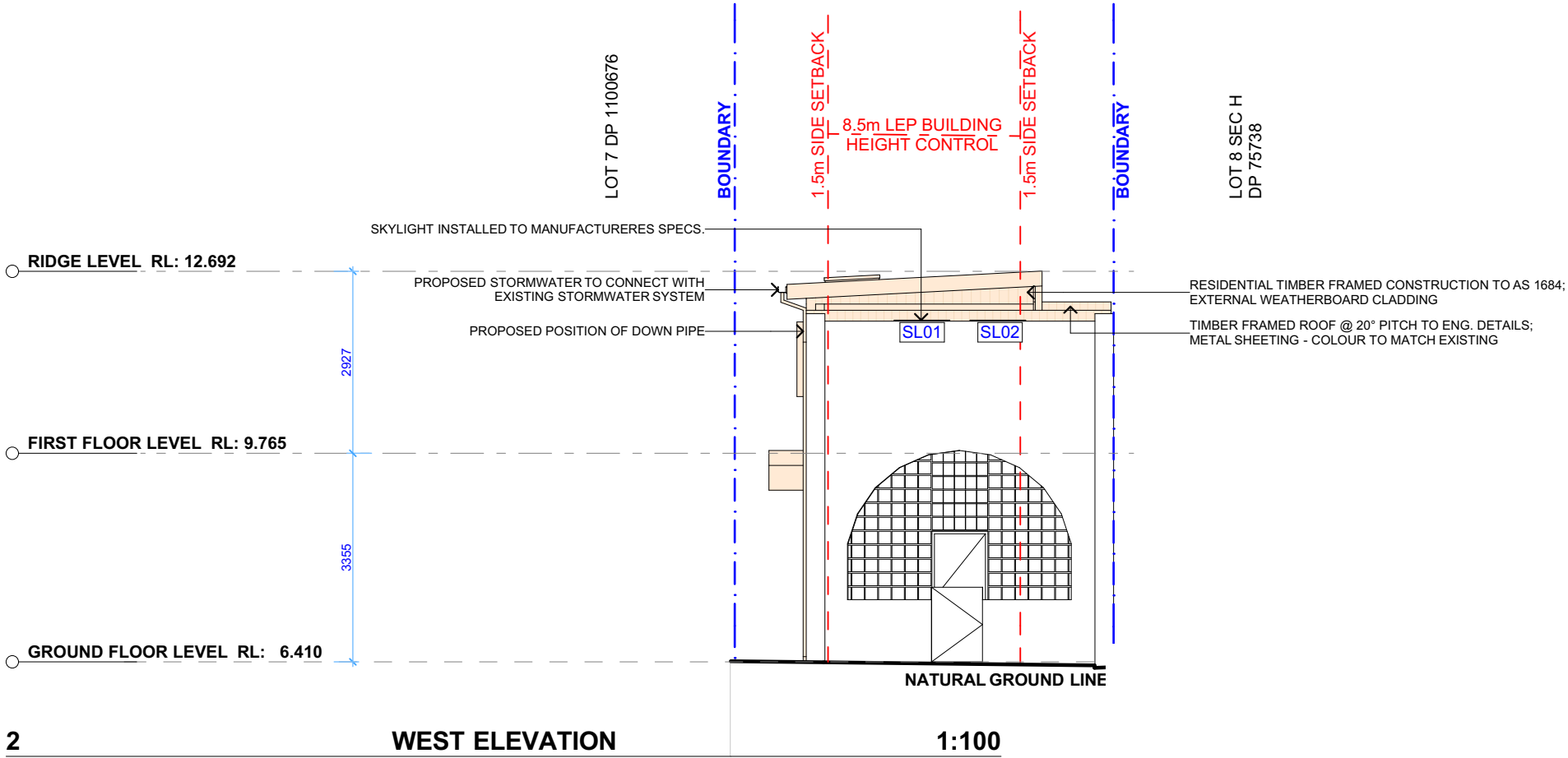
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B	15/07/2020	DA REV A	AP	
C	29/07/2020	DA REV B	AL	

LEGEND



EXISTING



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MANLY 2095

DRAWING NO.

DA07

DATE

Wednesday, 29 July 2020

DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

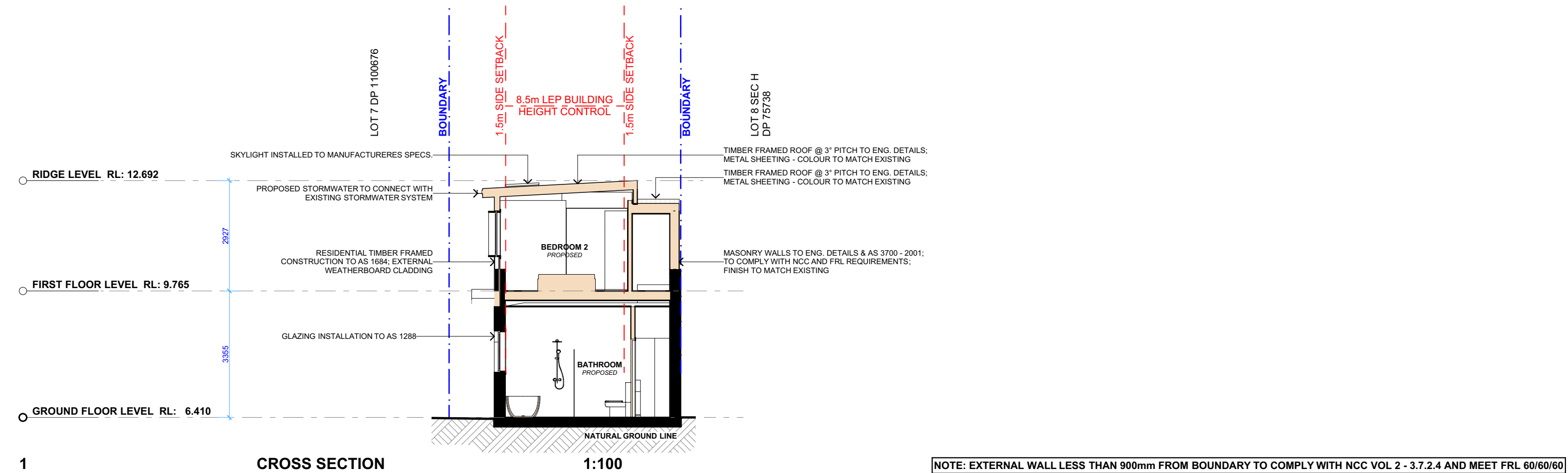
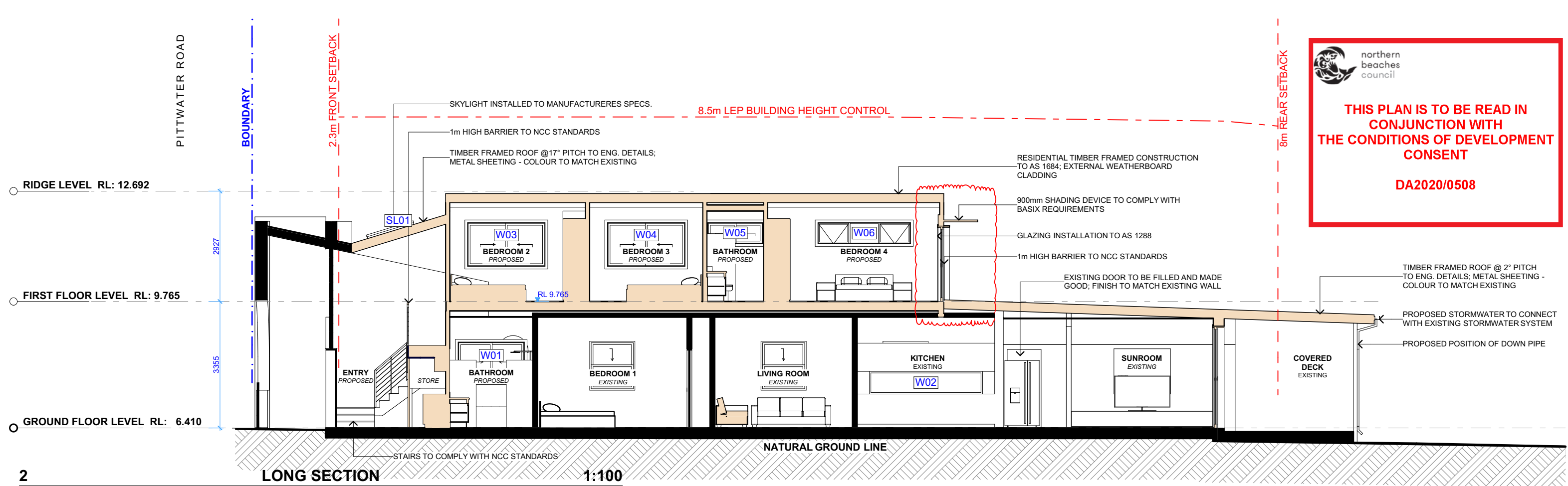
1:100 @A3



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NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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C	29/07/2020	DA REV B	AL

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EXISTING
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122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.
DA08

DATE
Wednesday, 29 July
2020

DRAWING NAME
LONG / CROSS SECTION

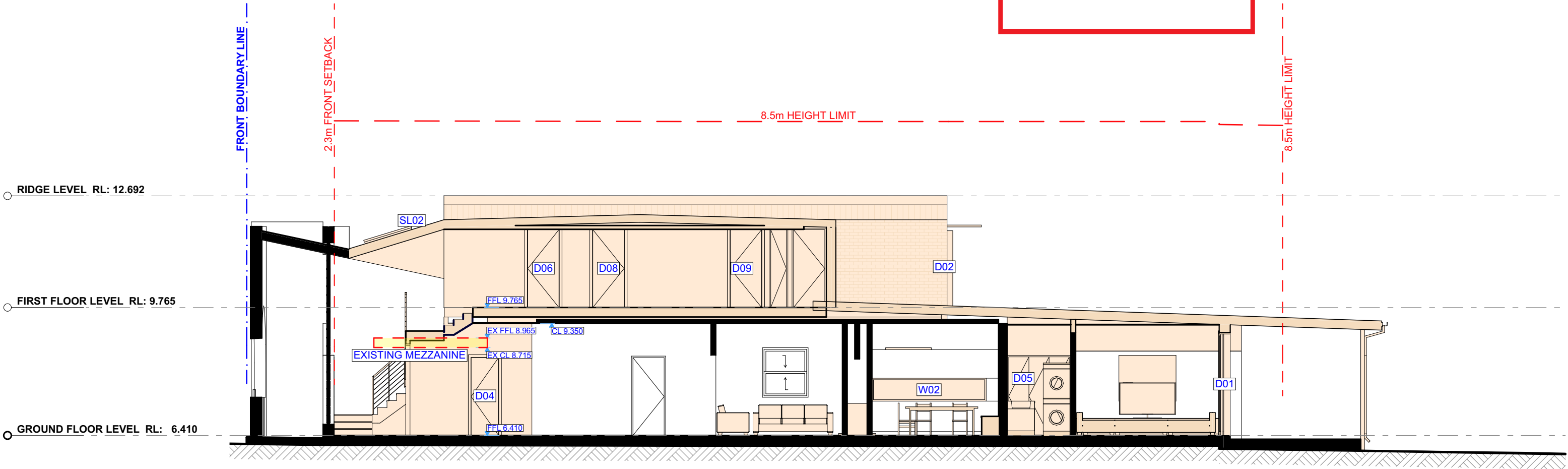
SCALE
1:100 @A3



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DA2020/0508



1

LONG SECTION

1:100

NOTE: EXTERNAL WALL LESS THAN 900mm FROM BOUNDARY TO COMPLY WITH NCC VOL 2 - 3.7.2.4 AND MEET FRL 60/60/60



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C	29/07/2020	DA REV B	AL	

LEGEND

EXISTING

PROPOSED

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PROJECT ADDRESS

122 PITTWATER ROAD,
MANLY 2095

DRAWING NO.

DA21

DATE

Wednesday, 29 July
2020

DRAWING NAME

LONG SECTION

SCALE

1:100 @A3