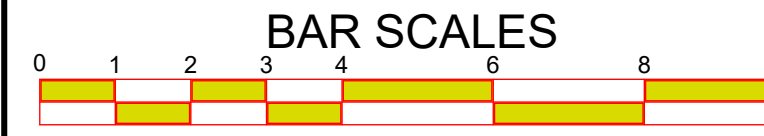


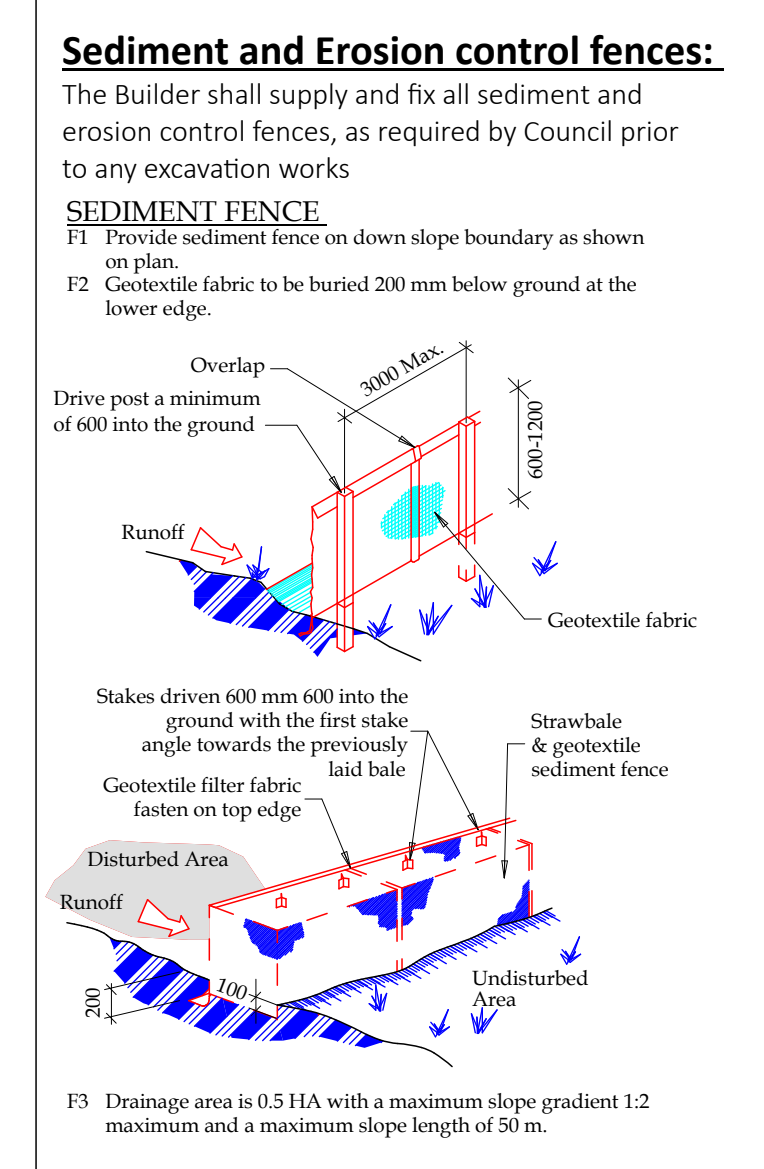
- LEGEND**
- +26.23 Denotes spot height.
  - +25.37 TK Denotes height on top of kerb.
  - Denotes tree-diameter/spread/height.
  - Denotes overhead power wires.
  - Denotes Sydney Water Sewer.
  - Plotted approx vide DBYD Sequence No.211407308 Dated 16/05/2022
  - Denotes flow direction of roof waters.
  - Denotes ridge and levels.
  - Denotes gutter and levels.
  - Denotes level on top of wall.
  - Denotes window and levels.
  - Denotes stormwater peg with level

**TREE NOTE**  
The spread and height of each tree is indicative only and cannot be shown accurately without further survey. The shape and size of the spread of the canopy may vary due to lack of uniformity of the branches and trunk. All tree trunks are measured at DBH, (Diameter at Breast Height) approximately 1.3 metres above ground level.

**ENCUMBRANCES NOTED ON TITLE FOLIO 47/236457**  
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS  
2. APPURTENANT EASEMENTS FOR DRAINAGE (H360980, J883644, K47477 & K226461)  
3. APPURTENANT EASEMENTS TO DRAIN WATER (DP514057, DP233078)  
4. EASEMENT TO DRAIN WATER 1.22 & 1.83 WIDE (DP236457)  
5. COVENANT (L358169)



**STORMWATER NOTE:**  
(See Hydraulics Plan)  
Stormwater is to be connected to the existing rainwater tank with overflow connected to the existing drainage system which drains to the drainage easement at the rear of the property



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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.  
**SWIMMING POOL:** Maximum size pool must not be greater than 45 kilolitres. It must have a pool pump timer, pool cover and will be Solar heated.  
You are required to install a rainwater tank- Minimum rainwater tank size: 1389 Litres.

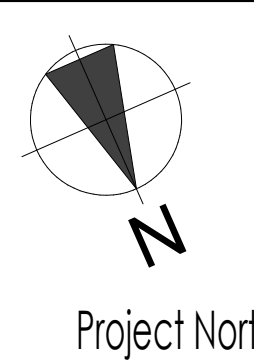
**HOT WATER SYSTEM:**  
Any new Hot water system shall be a Solar (electric boosted) system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**  
floor above existing dwelling or building: nil  
External walls: The external walls shall meet minimum R1.16 (or R1.70 including construction)

**WINDOWS & GLAZED DOORS:**  
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**SKYLIGHTS:**  
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SITE RATIO'S - EXISTING:	
<b>SITE AREA</b>	<b>708.2m<sup>2</sup></b>
BUILDING FOOTPRINT (including Garage)	154m <sup>2</sup>
VERANDAH	16m <sup>2</sup>
COVERED DECK	16m <sup>2</sup>
OPEN DECK	12m <sup>2</sup>
DRIVEWAY	47m <sup>2</sup>
PAVED AREAS	85m <sup>2</sup>
AREAS UNDER 2m WIDE	41m <sup>2</sup>
<b>SUM TOTAL</b>	<b>359m<sup>2</sup></b>
<b>EXISTING LANDSCAPED OPEN SPACE AREA</b>	<b>349.2m<sup>2</sup></b>
(Minimum Landscape Open space required 40% =283.28m <sup>2</sup> )	<b>49%</b>
SITE RATIO'S - PROPOSED:	
<b>SITE AREA</b>	<b>708.2m<sup>2</sup></b>
BUILDING FOOTPRINT	154m <sup>2</sup>
CAR STAND FOOTPRINT	36m <sup>2</sup>
VERANDAH	8m <sup>2</sup>
COVERED DECK	33m <sup>2</sup>
OPEN DECK	19m <sup>2</sup>
DRIVEWAY & BIN STORE	17.5m <sup>2</sup>
PAVED AREAS	83.5m <sup>2</sup>
POOL SURROUNDS	14m <sup>2</sup>
AREAS UNDER 2m WIDE	27m <sup>2</sup>
<b>SUM TOTAL</b>	<b>392m<sup>2</sup></b>
<b>PROPOSED LANDSCAPED OPEN SPACE AREA</b>	<b>316.2m<sup>2</sup></b>
(Minimum Landscape Open space required 40% =283.28m <sup>2</sup> )	<b>44.6%</b>

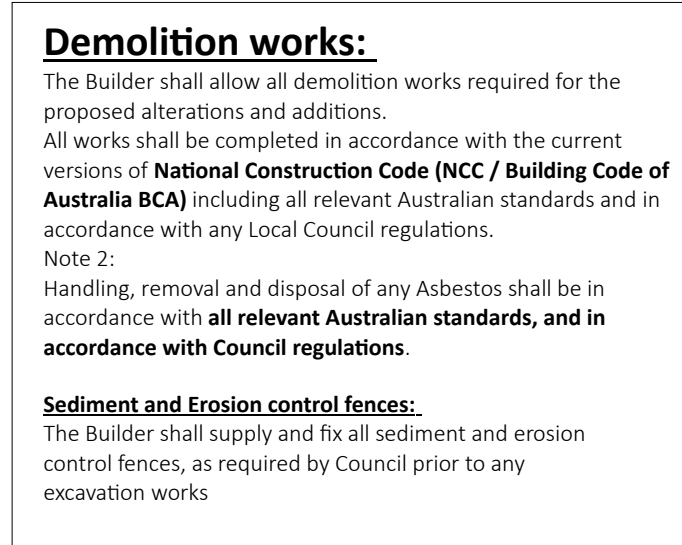


Client	
<b>MS. MATTHEWS</b>	
Project Name	
<b>ALTERATIONS &amp; ADDITIONS</b>	
<b>LOT 47 DP 236457</b>	
<b>11 COUTTS CRESCENT</b>	
<b>COLLAROY NSW 2097</b>	
Drawing Title:	
<b>SITE PLAN</b>	
Scale : 1:100 (A1)	Date : FEBRUARY 2023
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No : <b>2202</b>	Drawing # : (V4)
<b>DA 01</b>	
<b>ANNEXURE "A"</b>	
Plot Date: 10/03/2023	

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
DA2022/1799



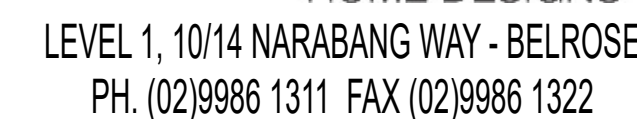
<b>SITE AREA</b>	<b>708.2m<sup>2</sup></b>
EXISTING GARAGE FLOOR AREA	28m <sup>2</sup>
EXISTING GROUND FLOOR AREA	109m <sup>2</sup>
EXISTING FIRST FLOOR AREA	122m <sup>2</sup>
<b>SUM TOTAL</b>	<b>259m<sup>2</sup></b>
<b>FLOOR SPACE RATIO</b>	<b>0.37:1</b>
(max. permissible: NA)	



2 EXISTING FIRST FLOOR PLAN 1:100



Project North



Drawing Title:	
<b>EXISTING FLOOR PLANS</b>	
Scale : 1:100 (A1)	Date : FEBRUARY 2023
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No : <b>2202</b>	Drawing # : (V4) <b>DA 02</b>
<b>ANNEXURE "A"</b>	Plot Date: 10/03/2023



FLOOR AREA CALCULATIONS-

PROPOSED:

SITE AREA	708.2m <sup>2</sup>
PROPOSED GROUND FLOOR AREA	139m <sup>2</sup>
PROPOSED FIRST FLOOR AREA	121m <sup>2</sup>
SUM TOTAL FLOOR SPACE RATIO	0.37:1
(Max. permissible: NA)	

Swimming Pool

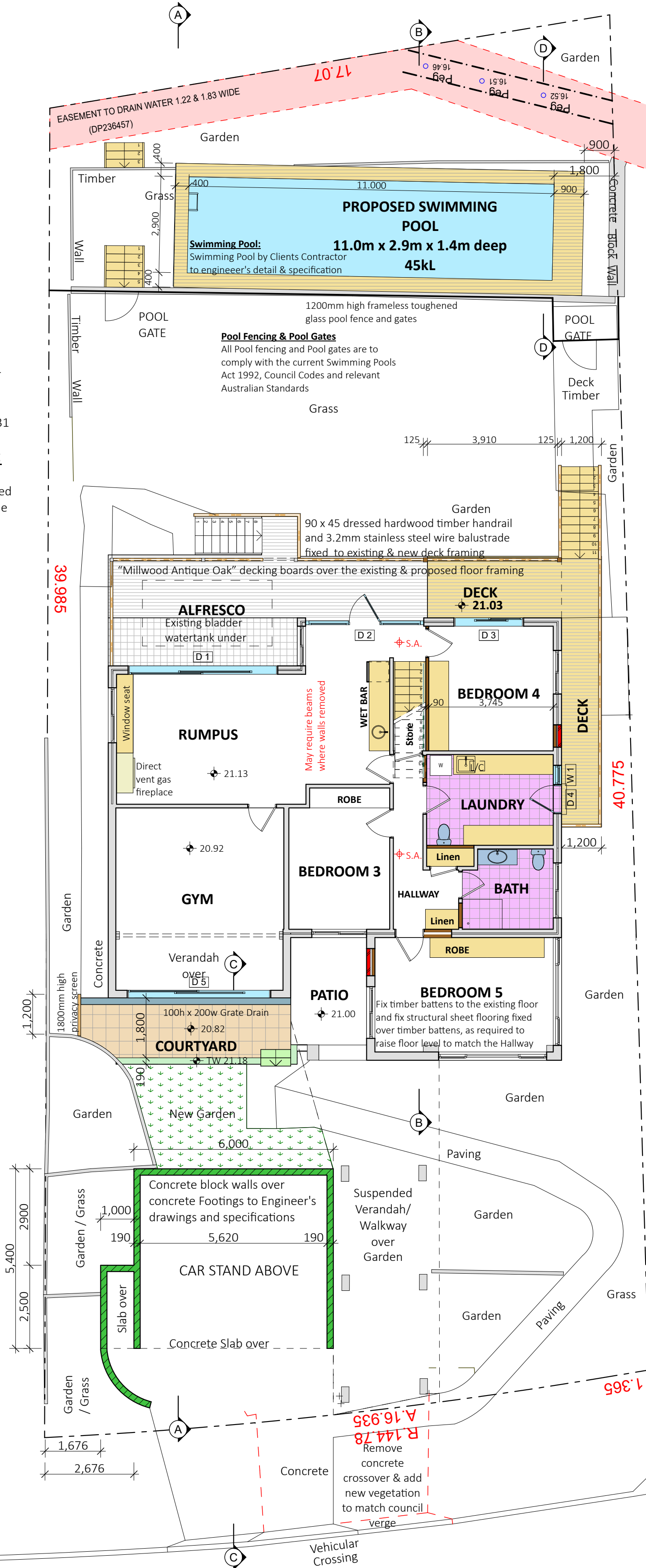
The Swimming Pool and all work related to fitting the swimming pool is to be by the Client's Contractor. Swimming Pool is to be to engineer's details and specification.

**NOTE:** Pool backwash to be connected into sewer complying with SEPP clause 3C.31

**NOTE:** Pool equipment is to be located in soundproof box to comply with SEPP clause 3C.231

Temporary Fencing- Proposed Pool:

The Builder / Clients contractor shall supply temporary fencing around the area of the proposed swimming pool for the duration of the work on the swimming pool, pool deck & pool fence.



1

PROPOSED GROUND FLOOR PLAN

1:100

2

PROPOSED FIRST FLOOR PLAN

1:100

WINDOW / DOOR SCHEDULE

**NOTE:** The Builder shall source all windows and doors from Client's selected supplier

**NOTE:** All new windows and new external doors are to comply with the Basix Certificate

**NOTE:** The Builder shall check measure all windows and doors on site prior to order

**Note:** All opening bedroom windows located 2m or greater above ground level, shall have fall prevention screens. Restrictive opening devices being affixed to all windows, as required, to comply with BCA Part 3.9.2.6 & 3.9.2.7

W 1	1180h x 580w uPVC Framed Casement Window
W 2	1180h x 1800w uPVC Framed Gas Strut Window
W 3	2100h x 920w uPVC Framed Louvre Window
W 4	600h x 2100w uPVC Framed Sliding Window
W 5	1050h x 1500w uPVC Framed Tilt & Turn Window with Obscure Glass
W 6	1050h x 750w uPVC Framed Tilt & Turn Window with Obscure Glass
D 1	2100h x 4500w uPVC Framed Glass Panel Sliding Door
D 2	2100h x 3555w uPVC Framed Glass Panel 920mm Hinged Door with Double Hung Sidelights
D 3	2100h x 2100w uPVC Framed Glass Panel Sliding Door
D 4	2100h x 900w uPVC Framed Glass Panel Hinged Door
D 5	Special Approx. 2430h x 4320w uPVC Framed Glass Panel Sliding Door to fit the existing opening
D 6	2100h x 4500w uPVC Framed Glass Panel Sliding Door
D 7	2100h x 2700w uPVC Framed Glass Panel Stacker Door
D 8	Special Approx. 2100h x 1130w uPVC Framed Select Entry Door and Sidelight to fit the existing opening
S 1	"Velux" Skylight 780 x 980 mm (M06)- F5 over the Walk in Robe
S 2	"Velux" Skylight 780 x 980mm (M04)- V55 over the Ensuite

± S.A.

**Smoke-alarm** - indicates a hard-wired smoke alarm installed in accordance with clause 3.7.5 of NCC and complying with the requirements of AS3786-(2014)

General Note:

The Builder shall allow for removing and replacing all existing internal doors. The Builder shall supply and fix "Hume" internal solid core doors to fit existing openings, unless otherwise specified. Door furniture including hinges shall be supplied by the Client and fixed by the Builder.

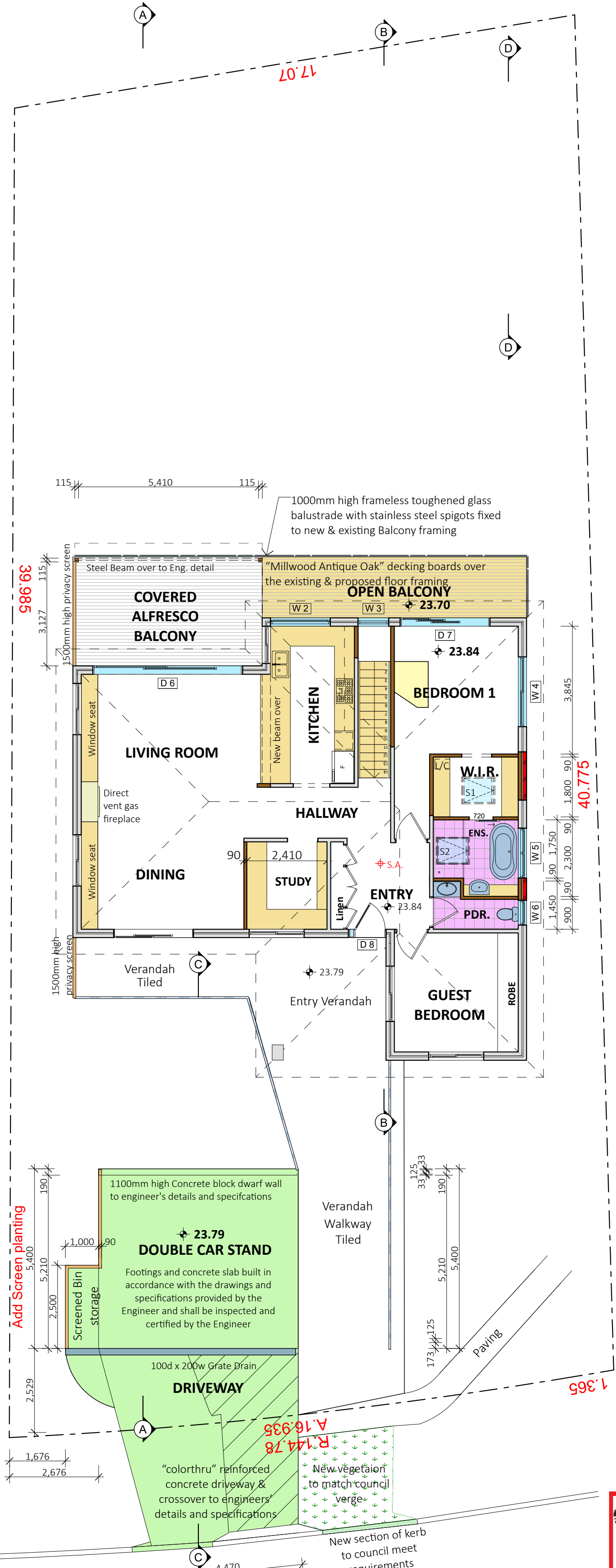
**Note:** Where doors are to be replaced the Builder shall check measure on site prior to order.

STAIRCASE NOTES:

**Note:** The Builder shall check measure on site prior to ordering the stair.

**Note:** The stair and Balustrade shall comply with the current versions of **National Construction Code** (NCC / Building Code of Australia BCA) and **all relevant Australian standards**.

**Note:** A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4



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INSULATION REQUIREMENTS:

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External walls: The external walls shall meet minimum R1.16 (or R1.70 including construction)

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LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client  
**MS. MATTHEWS**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 47 DP 236457**  
**11 COUTTS CRESCENT**  
**COLLAROY NSW 2097**

Drawing Title:

PROPOSED FLOOR PLANS

Scale : 1:100 (A1) Date : FEBRUARY 2023

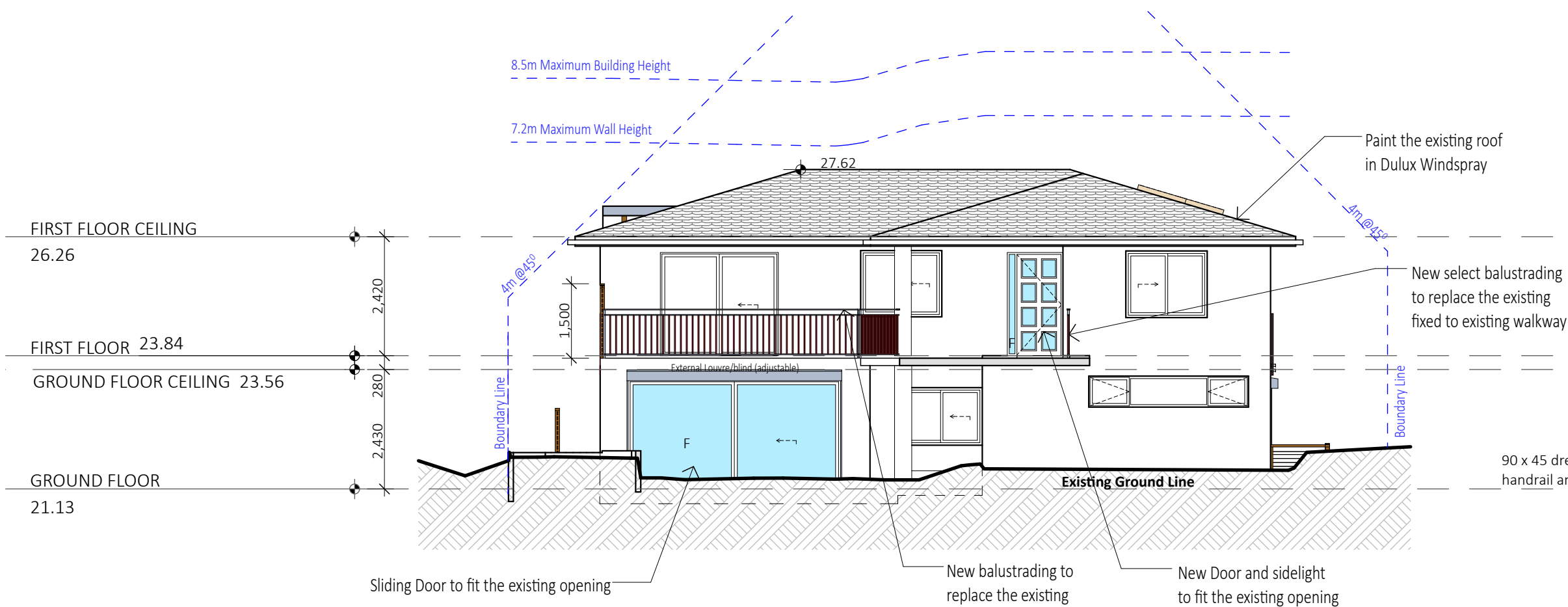
Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : Drawing # : [V4]

**2202** **DA 03**

ANNEXURE "A" Plot Date: 10/03/2023

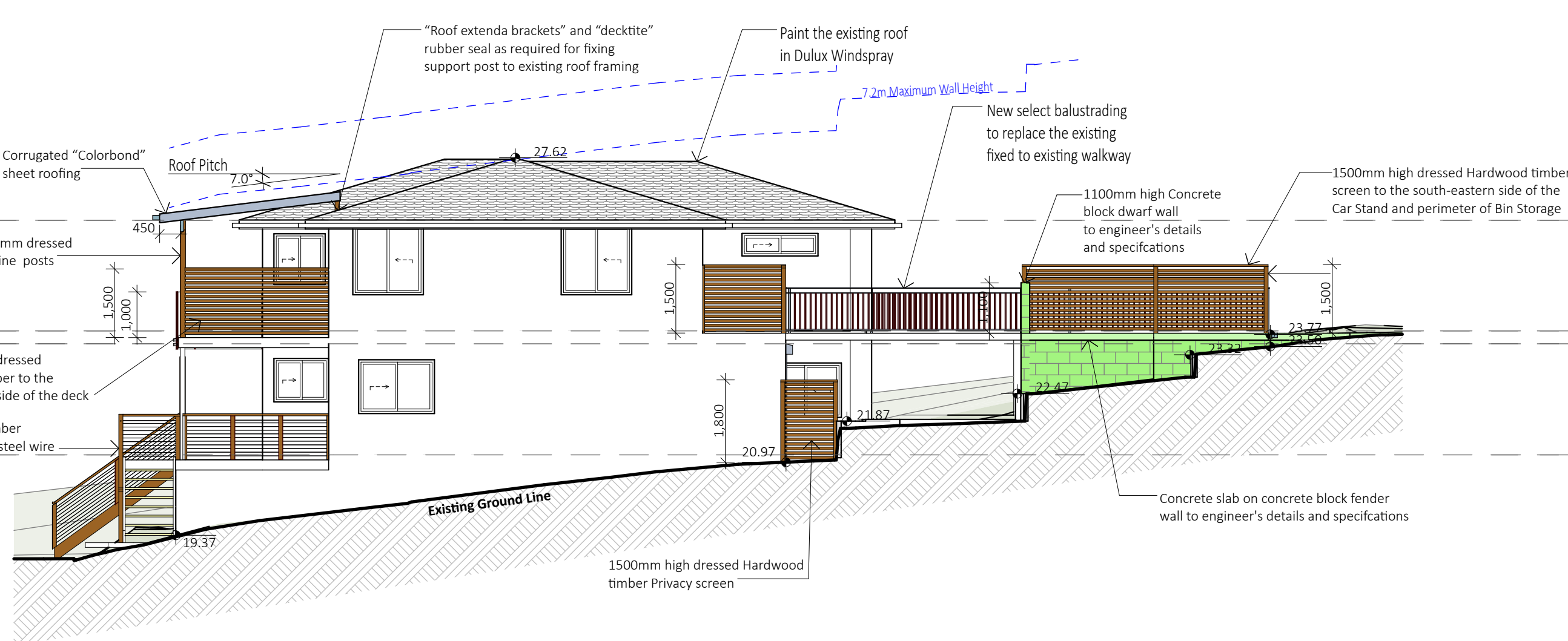




1

NORTH EAST ELEVATION

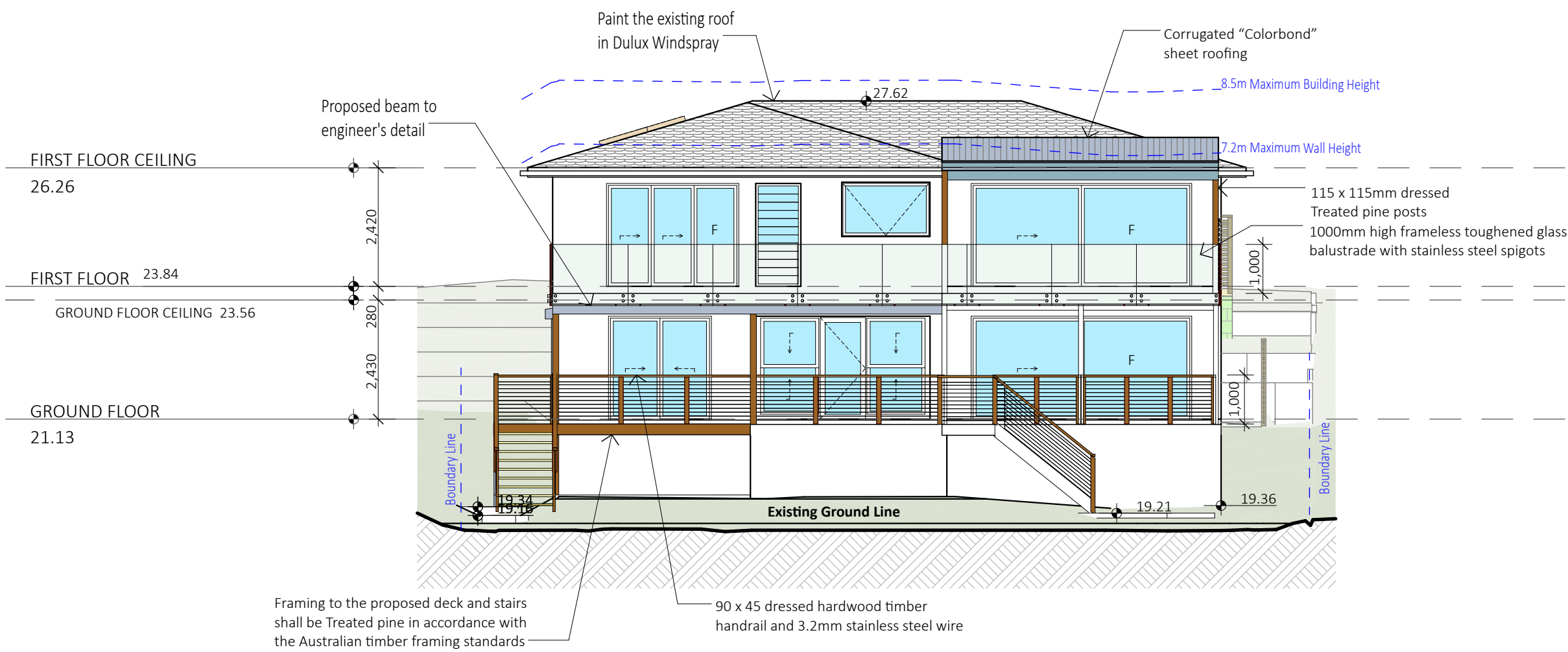
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2

SOUTH EAST ELEVATION

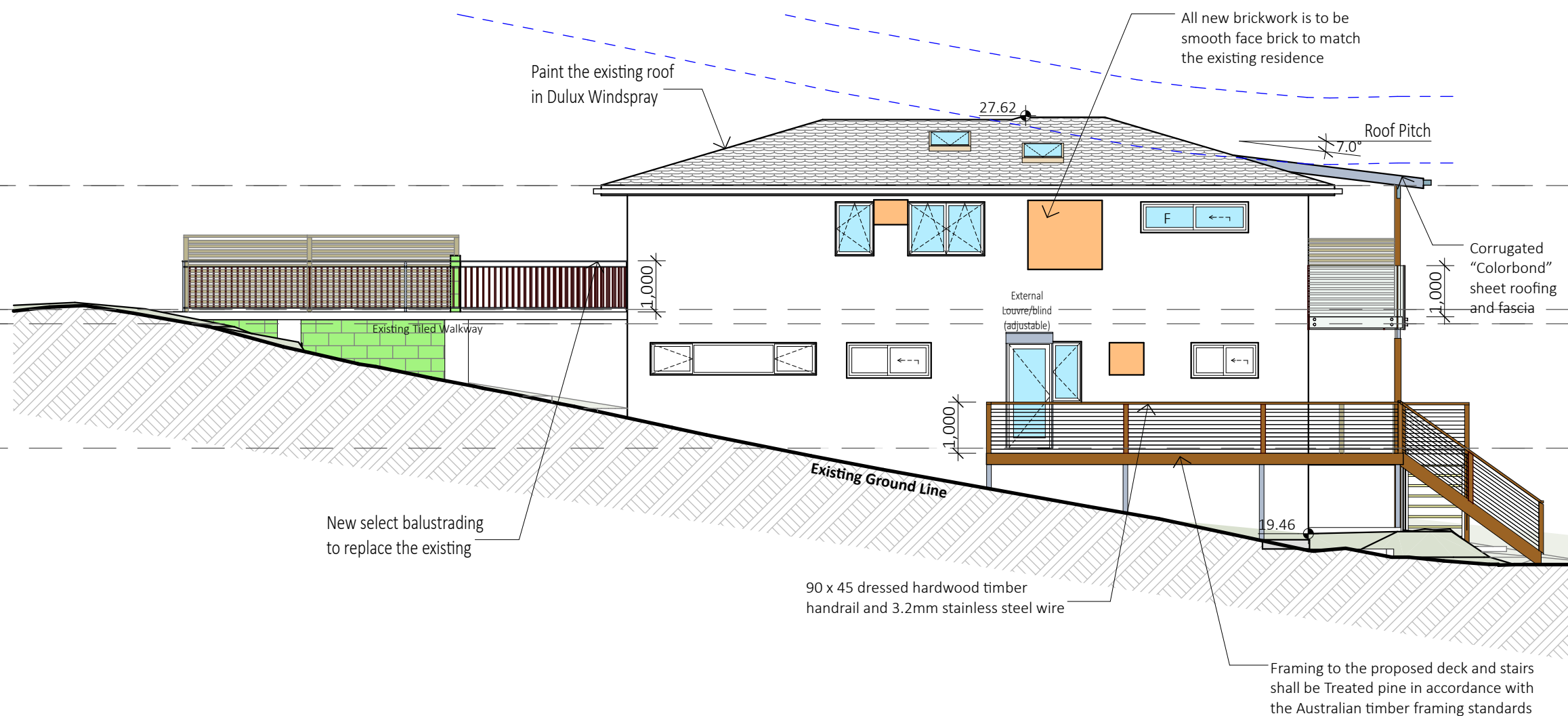
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3

SOUTH WEST ELEVATION

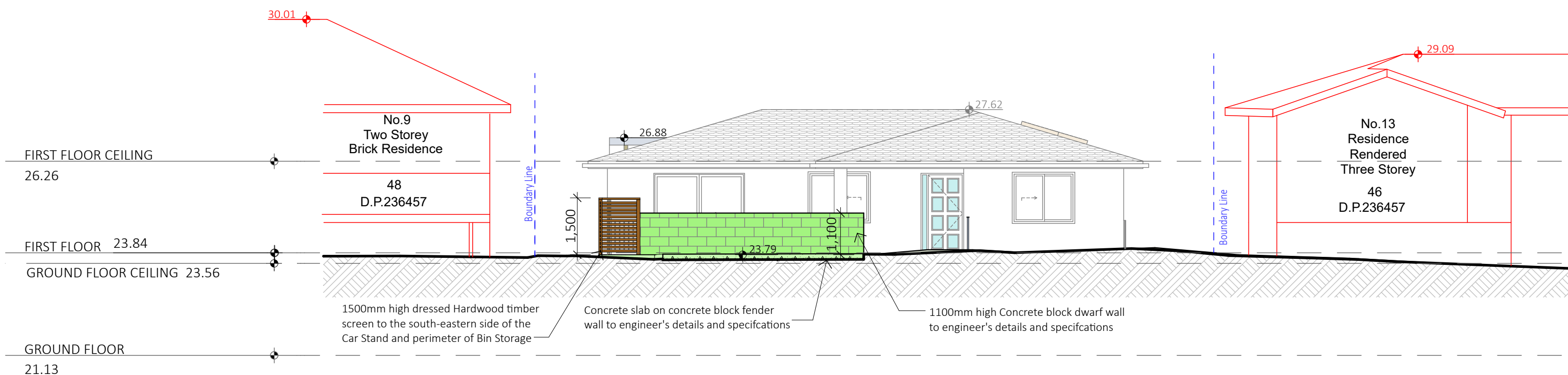
1:100



4

NORTH WEST ELEVATION

1:100



5

NORTH EAST ELEVATION- CAR STAND &amp; STREET VIEW

1:100



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Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 47 DP 236457**  
**11 COUTTS CRESCENT**  
**COLLAROY NSW 2097**

Drawing Title:

**ELEVATIONS**

Scale : 1:100 (A1) Date : FEBRUARY 2023

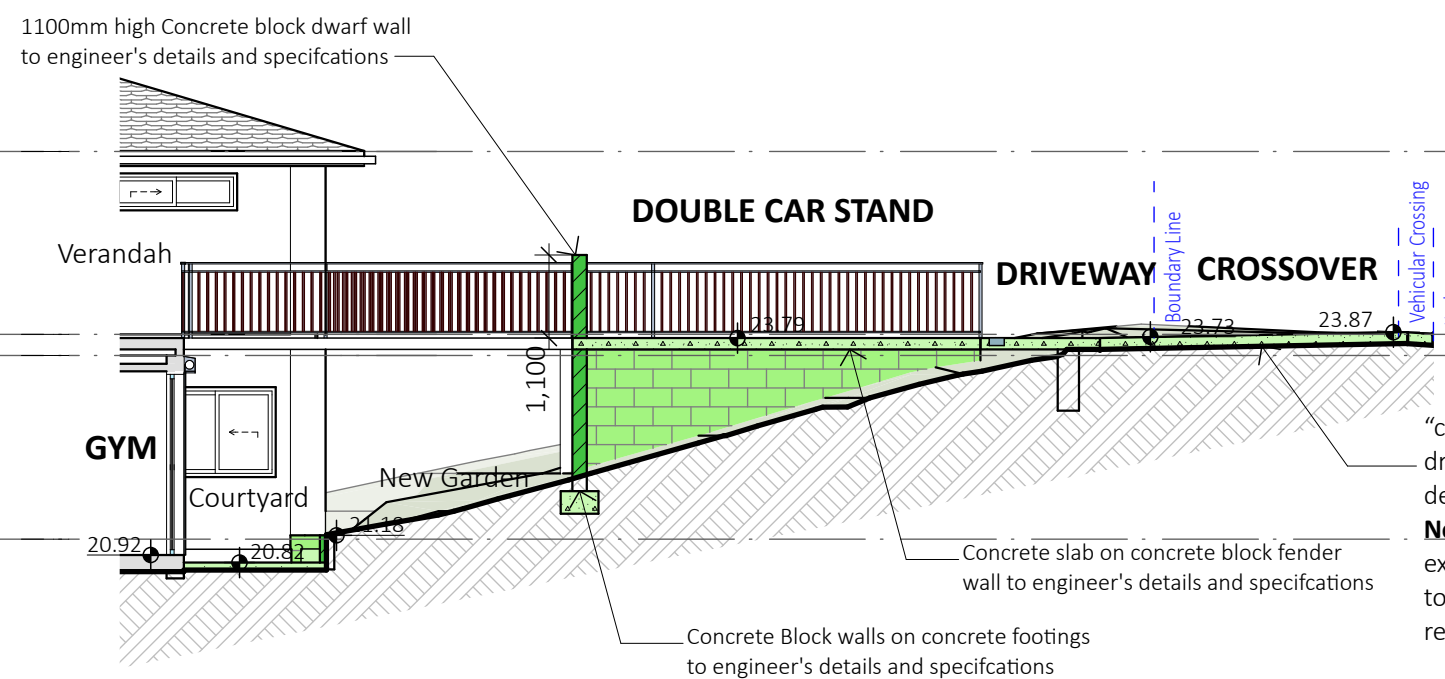
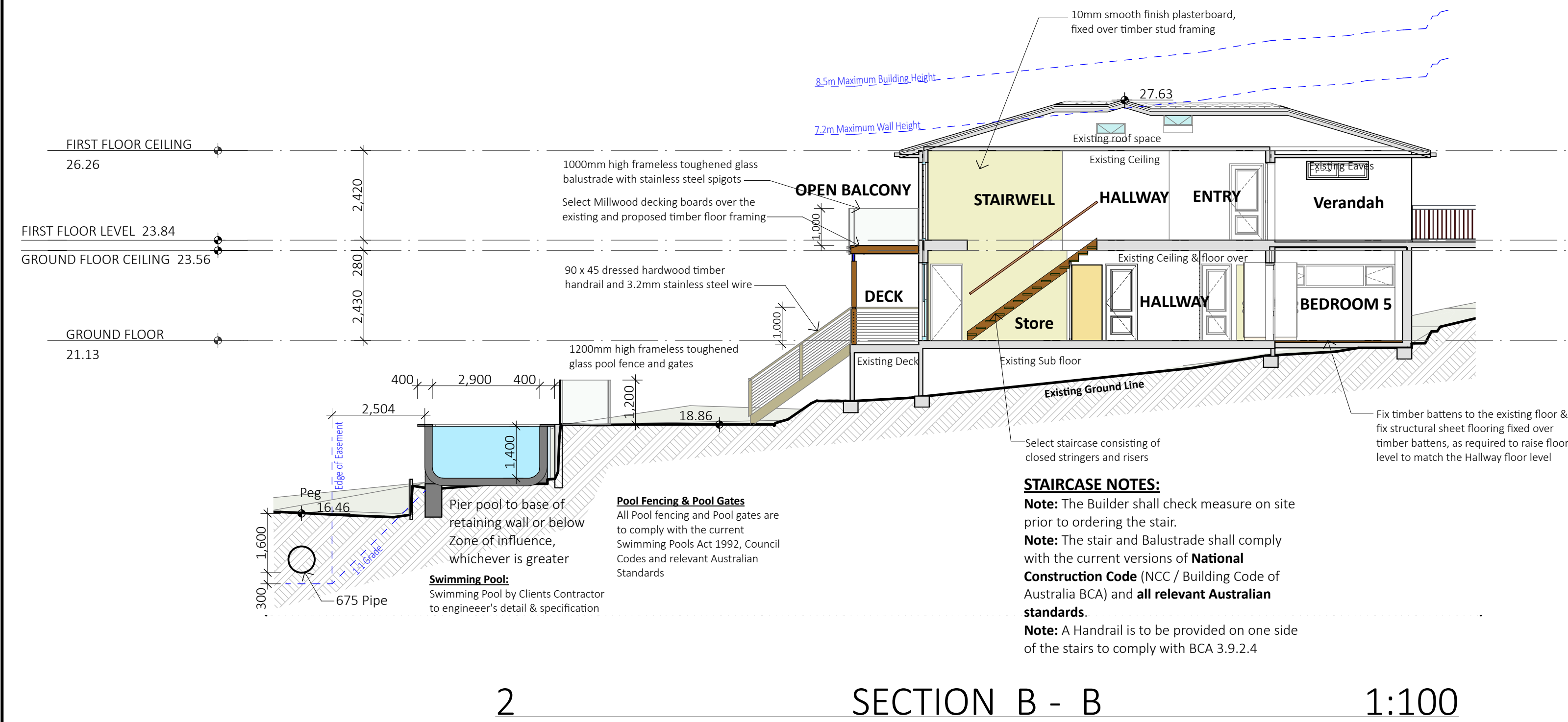
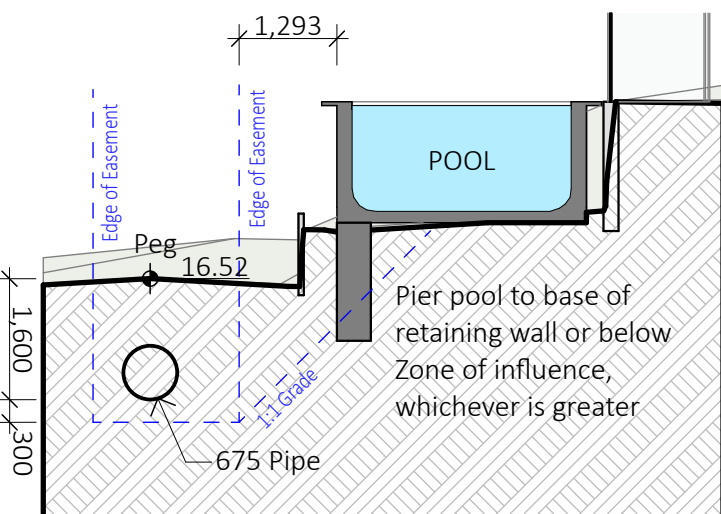
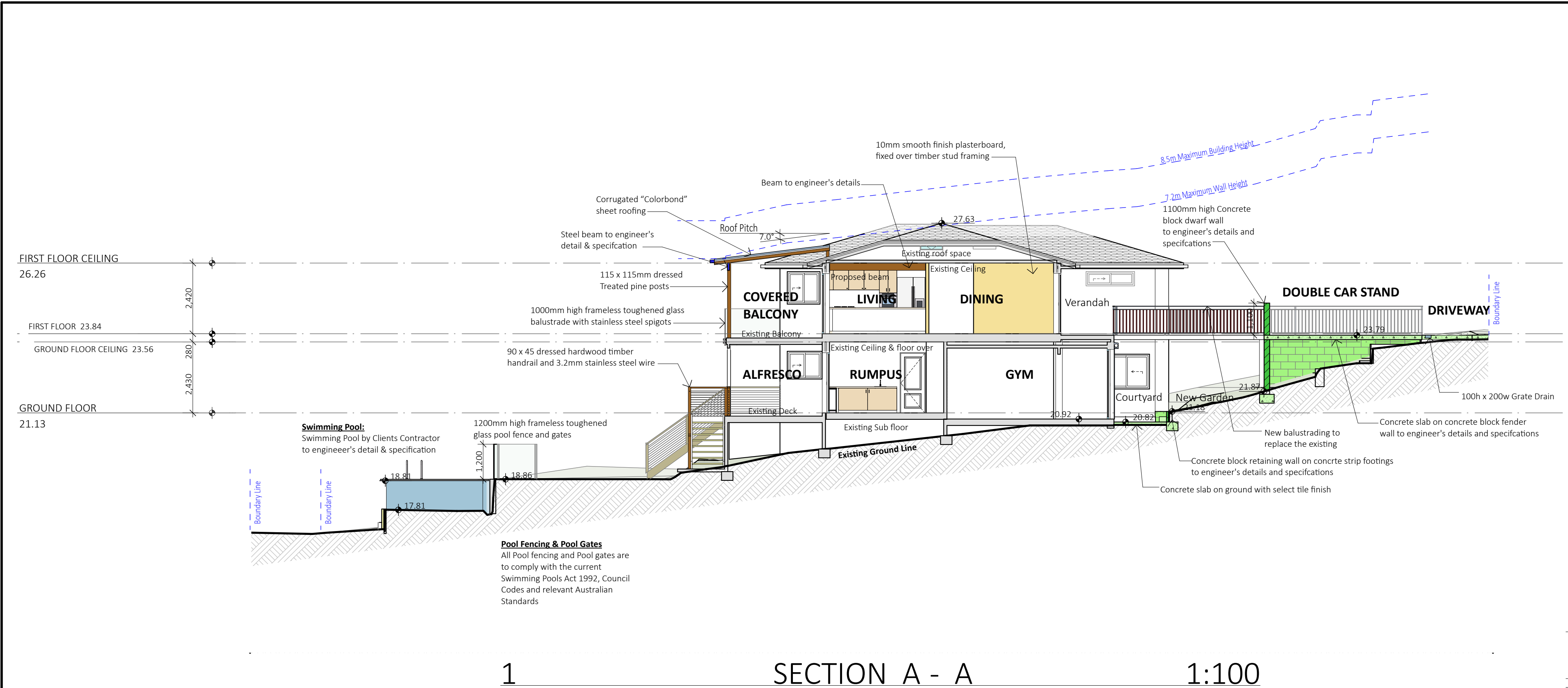
Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : Drawing # : [V4]

**2202 DA 04**

**ANNEXURE "A"** Plot Date: 10/03/2023





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Project Name  
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**LOT 47 DP 236457**  
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**COLLAROY NSW 2097**

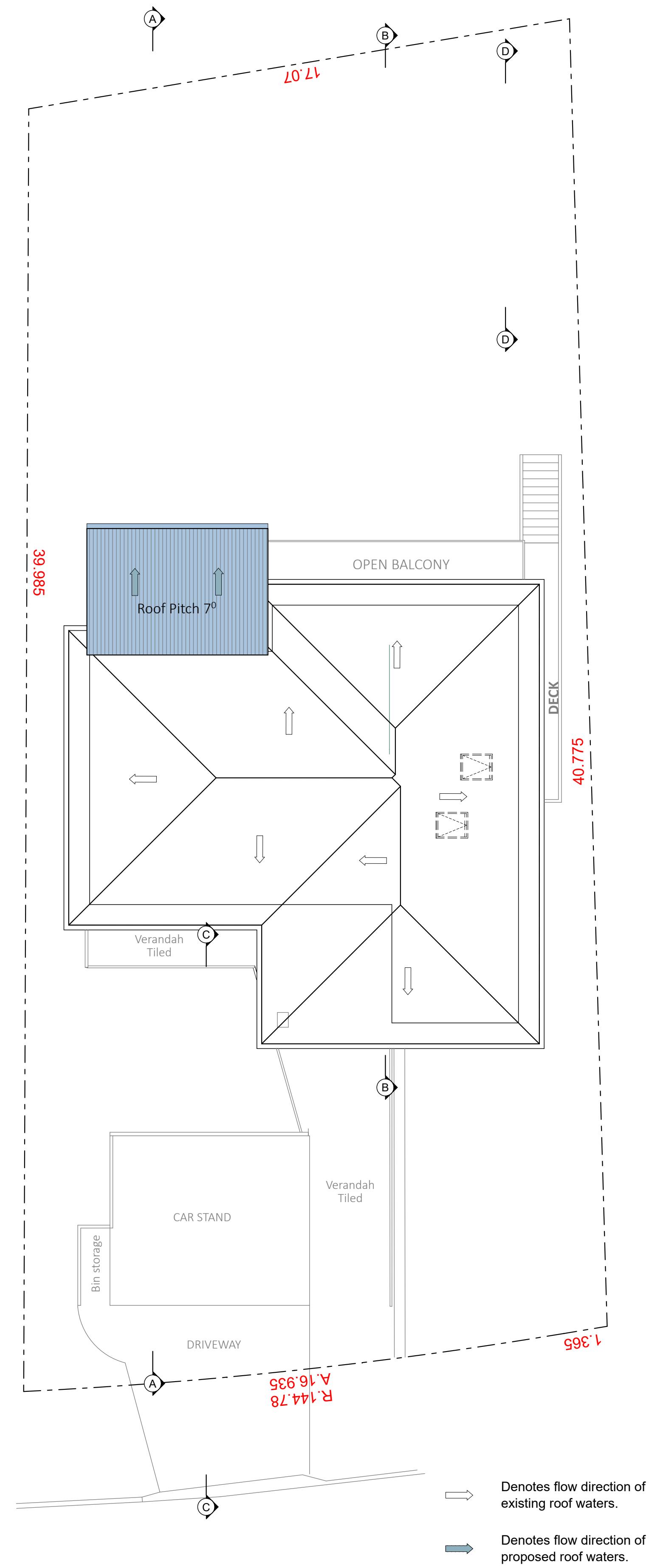
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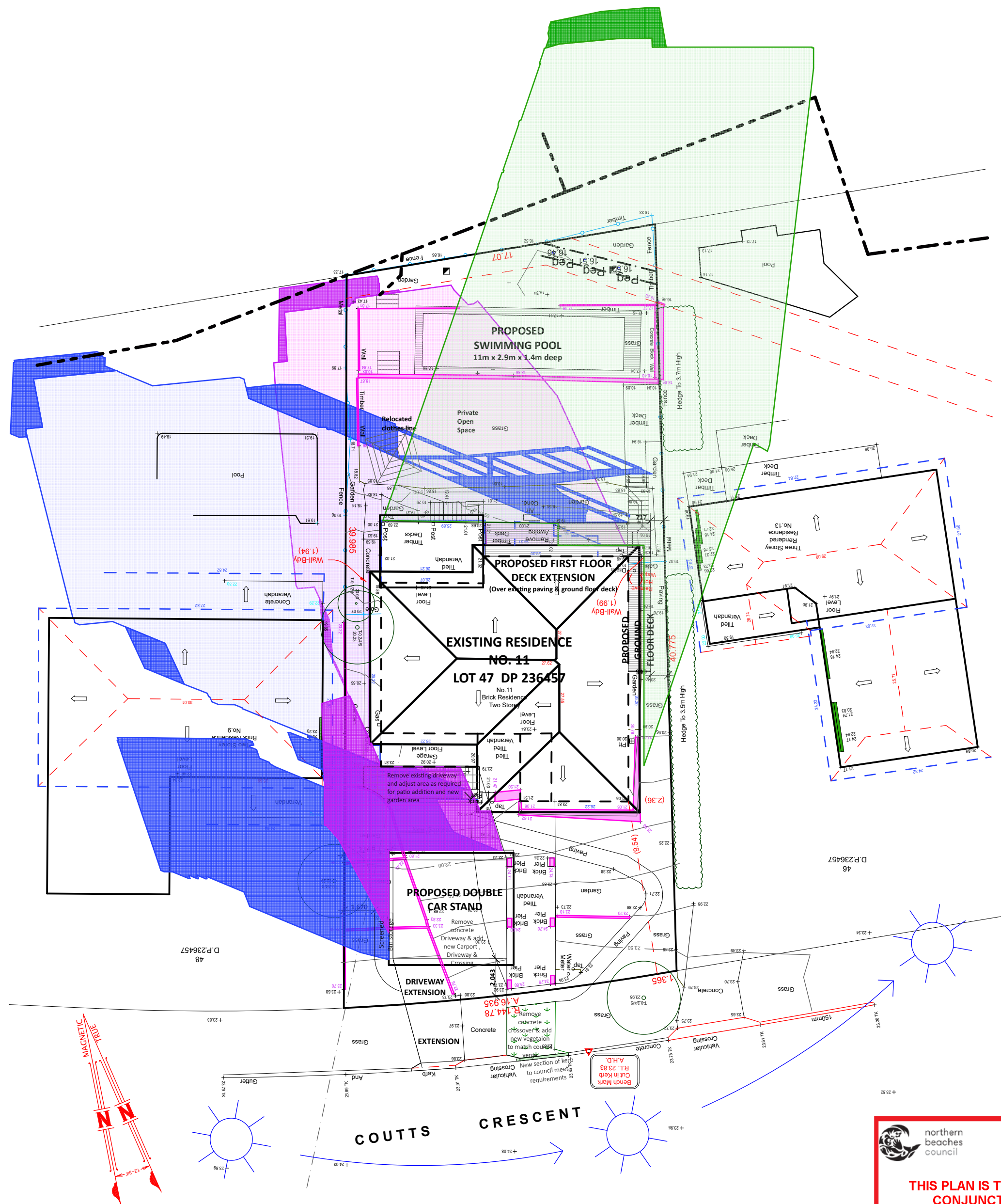
Scale :	1:100 (A1)	Date :	FEBRUARY 2023
Council :	NORTHERN BEACHES	Checked By :	J. ADAMS
Project No :	2202	Drawing # :	[V4]
ANNEXURE "A"		Plot Date:	10/03/2023







1 ROOF PLAN 1:100



2 SHADOW DIAGRAM- JUNE 21- EXISTING & PROPOSED 1:200  
Existing & Proposed Shadows at 9am, 12 noon & 3pm

### LEGEND

- EXISTING SHADOWS- 9AM 21 JUNE
- ADDITIONAL SHADOWS- 9AM 21 JUNE
- EXISTING SHADOWS- 12PM 21 JUNE
- ADDITIONAL SHADOWS- 12PM 21 JUNE
- EXISTING SHADOWS- 3PM 21 JUNE
- ADDITIONAL SHADOWS- 3PM 21 JUNE

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The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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### BASIX INFORMATION REQUIREMENTS:

**LIGHTING:**  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

**WATER COMMITMENTS:**

New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.  
**SWIMMING POOL:** Maximum size pool must not be greater than 45 kilolitres. It must have a pool pump timer, pool cover and will be Solar heated. You are required to install a rainwater tank- Minimum rainwater tank size: 1389 Litres.

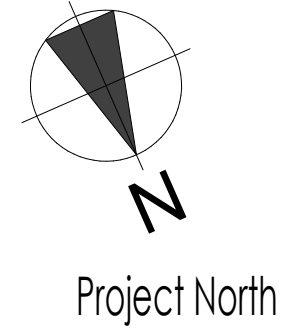
**HOT WATER SYSTEM:**  
Any new Hot water system shall be a Solar (electric boosted) system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**  
floor above existing dwelling or building: nil  
External walls: The external walls shall meet minimum R1.16 (or R1.70 including construction)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.

You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed

**SKYLIGHTS:**  
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate.



Client  
**MS. MATTHEWS**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 47 DP 236457**  
**11 COUTTS CRESCENT**  
**COLLAROY NSW 2097**

Drawing Title: <b>ROOF PLAN &amp; SHADOW DIAGRAM</b>			
Scale : 1:100, 1:200 (A1)	Date : FEBRUARY 2023		
Council : NORTHERN BEACHES	Checked By : J. ADAMS		
Project No : <b>2202</b>	Drawing # : [V4]		
<b>ANNEXURE "A"</b>		<b>DA 06</b>	
		Plot Date: 10/03/2023	

 **northern beaches council**  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2022/1799**





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## Schedule of Colours and Finishes for Property at:

11 Coutts Crescent, Collaroy NSW 2097  
Lot 47, DP 236457,

### External finishes

**Roof** - Existing roof tiles and ridge capping to be painted in Dulux Windspray



**Colorbond sheet roof** – Colorbond sheet roof in Windspray



**Brickwork** - New brickwork is to be face brick to match the existing residence, with mortar joints to match the existing residence

**Gutters & Down pipes** - to match the existing residence



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CONSENT**

**DA2022/1799**