

CONSTRUCTION CERTIFICATE No: 2011/0539

Signature:

Approval Date: 13/04/11

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 109C(1)(b) and 109F

Date Application Received: 25/03/11

COUNCIL : Pittwater

DEVELOPMENT CONSENT NO: N0132/09

APPROVAL DATE: 27/05/10

Name of Certifying Authority:

Fitzgerald Building Certifiers Pty. Ltd.

Accreditation No:

ABC 2

Accredited Certifier: Paul Fitzgerald

BPB 0119

Accreditation Body:

BUILDING PROFESSIONALS BOARD

Applicant: Animal Welfare League - Andrew Moody C/- Nicholas Gray

Address: 56 Richmond Ave, St Ives NSW 2075

Owner: Andrew Moody

Address: 11 Cicada Glen Rd, Ingleside

Subject Land: Lot 204 DP 752046 No. 11 Cicada Glen Rd, Ingleside

Description of Development – Alterations & Additions to an animal shelter

Building Code of Australia Classification: 6 **Value of Work: \$** 750,000.00

Builder Details

Name: Ocean Constructions

Licence Number:

Address:

Contact Number:

Approved Plans And Documents:

Plans Prepared By	Drawing Nos.	Dated
Architectural drawings	DA01 - DA09 Issue 01	Sept 2010
D.P. Surveying Services Pty Ltd	1221	08/09/04

Engineer Details	Drawing Nos.	Dated
MPN Group Pty Ltd	9947 S1 - S10 Issue P1	24/09/10
Nasseri & Associates	D2059 Sheets 1 - 6	Undated

\$30 REC 300324 18/4/11

SECTION 1: APPLICATION FORM
APPLICATION FOR CONSTRUCTION/COMPLYING DEVELOPMENT CERTIFICATE
Principle Certifying Authority Agreement
Issued under the Environmental Planning & Assessment Act 1979

Privacy policy - The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Fitzgerald Building Certifiers if the information you have provided in your application is incorrect or requires modification.

☐ Construction Certificate
Dev. Application No: _____
Approval Date: _____

☐ Complying Development Certificate
☐ Engagement As PCA
☐ Application for Occupation Certificate

APPLICANT (This Must Be The Owner/Authorised Agent)

Name: Animal Welfare League C/- Nicholas Gray

Postal Address: 56 RICHMOND AVE ST IVES

Ph: _____ FAX: _____

LAND TO BE DEVELOPED

Address: 11 Cicada Glen Rd Ingleside

Lot: _____ DP: _____ Council Area: _____

DETAILS OF DEVELOPMENT

Description of work: Alterations & additions to an animal shelter

Estimated Cost of works: \$750,000.00

DETAILS OF BUILDER

Name: OCEAN CONSTRUCTIONS License No: _____

Address: _____ Ph No: _____

SECTION 2: PCA SERVICE AGREEMENT

Engagement

The engagement or the appointment of the PCA will not commence until the proposed PCA has accepted and notified their acceptance of the appointment to the Appointer and the Local Council. The proposed PCA or Fitzgerald Building Certifiers will not accept any responsibility for any damages, losses or delays suffered by the Appointer as a result of omissions or errors contained within this form or failure of the Appointer to comply with all items contained in the Checklist on this form.

Scope

The scope of works covered under this appointment is restricted to those building works as described in the "Details of Development" section of the form.

Fitzgerald Certifiers does not undertake quality control inspections. Critical stage inspections do not provide the level of supervision required to ensure that minimum standards and tolerances are achieved, this function is the responsibility of the principle contractor or owner builder.

Terms and Conditions

1. All information provided by the Appointer on this form will be taken to be accurate and correct. The PCA does not accept any responsibility for any intentional or unintentional error or omission made by the Appointer on this form.
2. Where building works have commenced prior to the acceptance of appointment of PCA without the knowledge of the intended PCA the appointment shall be invalid and acceptance of the appointment will be withdrawn.
3. The Appointer is obliged to keep the PCA informed of any changes to the details of Principal Contractor (builder) and any relevant insurances required by the builder. Failure to meet this obligation will result in the Appointer indemnifying the PCA against any losses or suffering as a result of non compliance with the legislative requirements.
4. The Appointer is responsible for ensuring that a copy of Home Warranty Insurance or Owner Builder Permit is submitted to the PCA prior to the commencement of building works. The acceptance of the appointment will not occur until this requirement has been met.
5. It is the responsibility of the Appointer to ensure that critical stage inspections are booked in with our office, or make arrangements for your builder to do this on your behalf no later than 3pm on the prior business day via fax, post or email.
6. The PCA will not accept responsibility for any damages or costs associated for the inability to issue an Occupation Certificate due to, but not limited to, the following:- non-compliance with a development consent condition, unsatisfactory final inspection, non compliance with Basix commitments, missed critical stage inspections, non compliance with approved building plans or failure to pay the required inspection or Occupation Certificate fees.

Fees

Failure to pay the prescribed Appointment of PCA fee will generally result in a refusal to accept the appointment of PCA. Should an appointment be accepted and payment not honoured, the Appointer will be ultimately liable for unpaid fees, regardless of whether the fee was paid directly to the Builder, and any associated debt recovery costs plus interest incurred from the time of the appointment.

It is noted that the PCA and/or Fitzgerald Building Certifiers may suspend its services provided to the appointer or the builder, where fees have not been paid, within the provisions of the Building and Construction Industry Security of Payment Act 1999.

Section 3: Declaration By The Appointer/s

I/We the aforementioned persons as described as the Appointer/s in the PARTICULARS section hereby declared the following that:

1. I/We "have the benefit of the Development Consent or Complying Development Certificate" within the meaning and under EP&A Act 1979 for the proposed works as indicated on this form.
2. I/We, to the best of my/our knowledge, have completed all details in the PARTICULARS section in a correct and accurate manner and hereby indemnify the appointed PCA and Fitzgerald Building Certifiers against any damage, losses or suffering as a result of incorrect information provided under that section.
3. I/We hereby consent to the Builder as shown within the "Particulars" section of this form to apply and obtain on my/our behalf a Construction Certificate, Complying Development Certificate, Occupation Certificate/s or any other "Part 4A Certificate" within the meaning of the EP&A Act 1979.
4. I/We have read, understood and hereby accept the terms and conditions outlined within the PCA Service Agreement on this form.
5. I/We understand that the Appointment of the PCA is not taken to be have been accepted until a copy of the acceptance has been signed by the proposed PCA and released to the Appointer and Council, effective from the date of the acceptance.
6. I/We understand that the Commencement of Building Work cannot be any earlier than 2 business days after the appointment of PCA has been accepted and therefore declare that no building works will commence until after such date.
7. I/We authorise the right of entry for any certifying authority arranged by Fitzgerald Building Certifiers to carry out inspection required by the PCA under this agreement.
8. I/We authorise the transfer of PCA to another employee of Fitzgerald Building Certifiers if the original PCA ceases employment with Fitzgerald Building Certifiers for any reason or becomes unable to fulfil their duties as the PCA at no cost to Fitzgerald Building Certifiers.
9. I/We understand the appointment of PCA will not be accepted by Fitzgerald Building Certifiers until documentation of required insurances or owner builder permit is submitted to Fitzgerald Building Certifiers, in accordance with the Home Building Act 1998.
10. I/We understand that it is my/our responsibility to ensure that sufficient notice is given to Fitzgerald Building Certifiers, in writing, to carry out critical stage inspections or make arrangements with your builder to carry out this function on your behalf as a condition of your Building Contract.
11. I/We declare that I/we will notify the PCA at the earliest possible instance of any changes of the appointment of the builder and ensure any mandatory insurances required by the incoming builder in accordance with Home Building Act 1989 are in place.

Section 4: Owners Declaration/Signatures

OWNERS DECLARATION

I, the aforementioned person or authorised representative of a legal entity as described as the Applicant In Section 1 of the Application Form hereby declare the following:

1. I, to the best of my knowledge, have completed all details in the Application Form in a correct and accurate manner and hereby indemnify Fitzgerald Building Certifiers against any damages, losses or suffering as a result of incorrect information provided under that section.
2. I have obtained consent from the owner/s of the property as indicated in the PARTICULARS section to apply and obtain a Construction Certificate. Such written consent will be provided with this application.
3. I have read, understood and hereby accept the terms and conditions outlined in Section 2 of this form.
4. I understand that the Application for a/the Construction Certificate is not complete until all required documentation has been received by Fitzgerald Building Certifiers.
5. I understand that the Application for and acquisition of a/the Construction Certificate does not authorise Commencement of Building Work. (Refer to appointment of PCA on Fitzgerald Building Certifiers PCA Form.)

As owners of the above mentioned property we consent to this application.

As owners of the above mentioned property I/we wish to appoint Fitzgerald Building Certifiers as PCA

Owners Signature:

Andrew Moody

Date 24/03/2011

Name:

ANDREW MOODY

Owners Signature:

Date

Name:

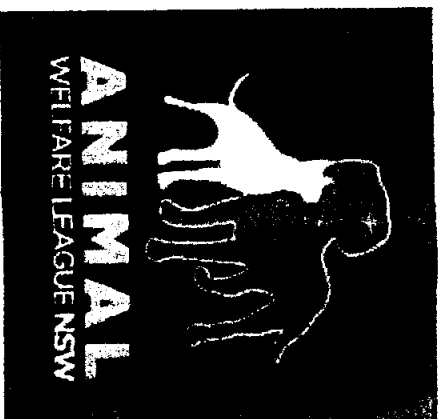
FIRE SAFETY SCHEDULE

Prepared in accordance with clause 168 of the Environmental Planning & Assessment Regulation 2000
to accompany the subject Construction Certificate / Complying Development Certificate.

Identification of building	Address:	11 Cicada Glen Rd, Ingleside
	Description of Work:	Alterations to Kennels
	Basis of FSS (existing):	Base Building Annual Fire Safety Statement
	Basis of FSS (proposed):	List of proposed measures as provided by applicant

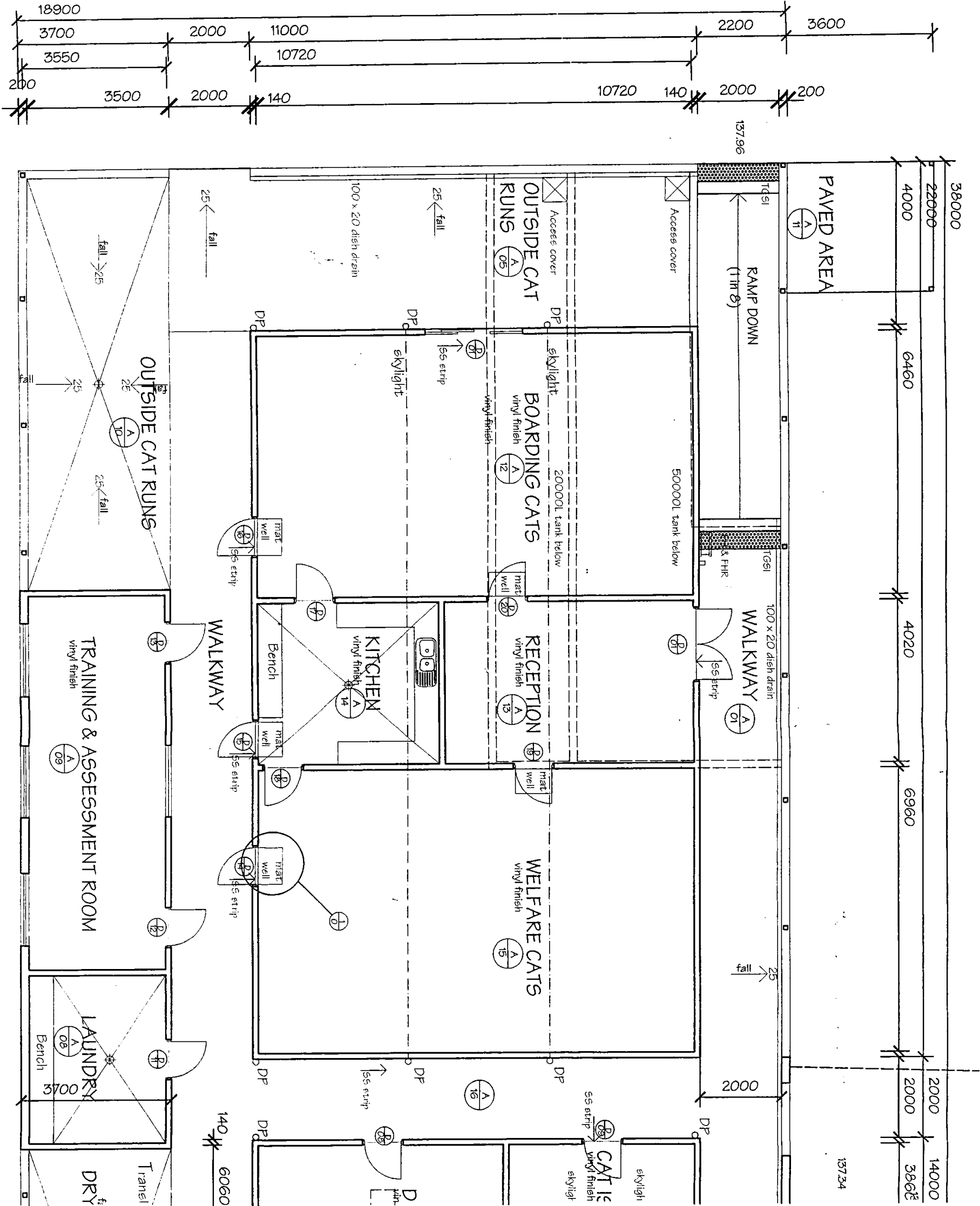
Relevant Certificate Certificate No.: P10144

Fire Safety & Other Measures	Critical Measure	Existing Measure	Proposed Measure	Modify Measure	Minimum Standards of Performance
Automatic Fire Detection & Alarm System	☐	☐	☐	☐	BCA Specification E2.2a AS1670.1-2004
Emergency Lighting	☒	☐	☒	☐	BCA clauses E4.2, E4.3 & E4.5 AS/NZS 2293.1-2005n
Exit Signs	☒	☐	☒	☐	BCA Clauses E4.5, E4.6 & E4.8 AS/NZS 2293.1-2005
Fire Doors	☐	☐	☐	☐	BCA clauses C2.12, C2.13, C3.4, C3.5, C3.6, C3.7, C3.13, D2.8, E1.5, E1.8 NSW101.2, NSW101.4, NSW101.5, NSW101.15, NSW101.17, NSW101.19 & NSW101.26 AS1905.1-2005 AS1735.11-1986
Self-closing fire doors – fire isolated exits	☐	☐	☐	☐	BCA C3.8, Spec C3.4, AS 1905.1-2005
Self-closing fire doors to units	☐	☐	☐	☐	BCA C3.11, Spec C3.4 AS 1905.1-2005
Smoke doors	☐	☐	☐	☐	BCA C2.5, Spec C3.4
Drenchers over external openings	☐	☐	☐	☐	BCA C3.4, AS2118.4
Fire shutters over external openings	☐	☐	☐	☐	BCA C3.4, Manufacturers Specification
Self-closing fire doors - external	☐	☐	☐	☐	BCA C3.4, AS1905.1-2005
Fire door/shutter in fire wall	☐	☐	☐	☐	BCA C3.5
Fire protection of penetrations in floors	☐	☐	☐	☐	BCA C3.12 Spec C3.15, C3.15
Fire resistant ceiling	☐	☐	☐	☐	BCA Spec C1.1 Part 3.1c
Sprinklers	☐	☐	☐	☐	BCA E1.5, AS2118.1-1999, Spec E1.5
Hose Reel Systems	☒	☐	☒	☐	BCA Clause E1.4 AS2441.1-2005
Fire Hydrant Systems	☒	☐	☒	☐	BCA Clause E1.3, AS2419.1 – 2005
Portable Fire Extinguishers	☒	☐	☒	☐	BCA Clause E1.6 AS 2444: 1995
Smoke Detectors & Heat Detectors	☐	☐	☐	☐	BCA Spec E2.2a, AS 1670.1
Sprinklers	☐	☐	☐	☐	BCA E1.5, AS2118.1-1999, Spec E1.5
Warning Signs on Doors in exits	☐	☐	☐	☐	BCA D2.23
Fire resistant ceiling	☐	☐	☐	☐	BCA Spec C1.1 Part 3.1c
Fire protection of penetrations in floors	☐	☐	☐	☐	BCA C3.12 Spec C3.15, C3.15
Fire Dampers	☐	☐	☐	☐	BCA Clause E2.2, AS1668.1 –1998, 1668.2 – 1991
Perimeter Fire Brigade Access	☐	☐	☐	☐	BCA C2.4



NEW CATTERY INGLESIDE SHELTER

This is a photocopy referred to in
the Animal Welfare Conference
Conf. No. 2011/0539
13/4/11
No. 13/4/11

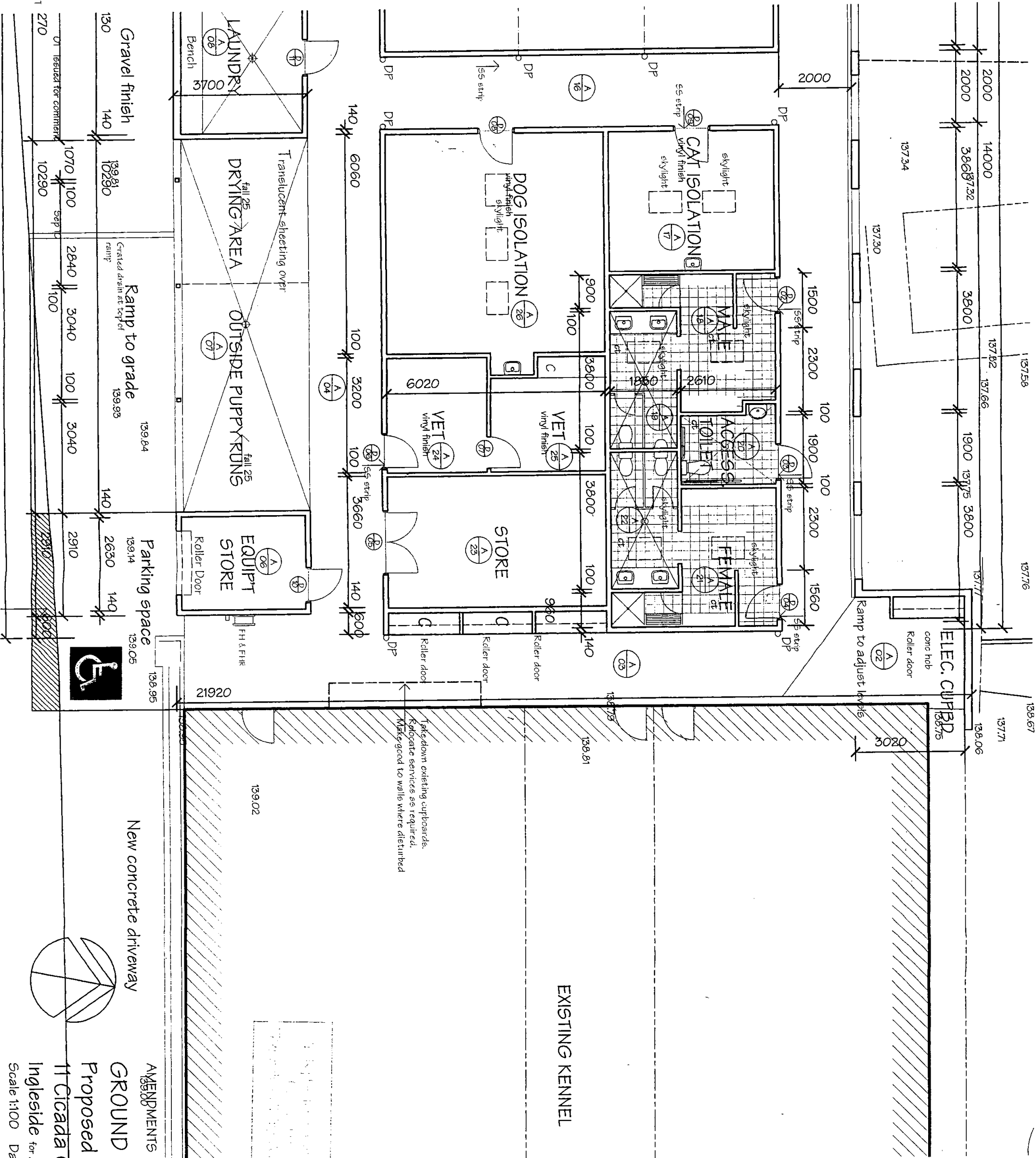


AMENDMENTS

GROUND FLOOR PLAN

Proposed Cattery
11 Cicada Glen Road
Ingleside for Animal Welfare League
Scale 1:100 Date Sep 10 DAO101

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Proposed Cattery
Ground Floor Plan

AMENDMENTS

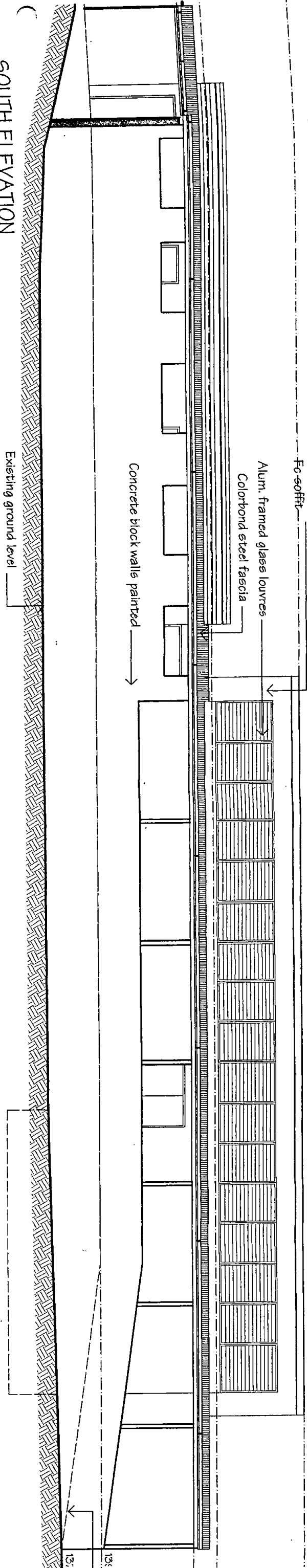
GROUND FLOOR PLAN

Proposed Cattery

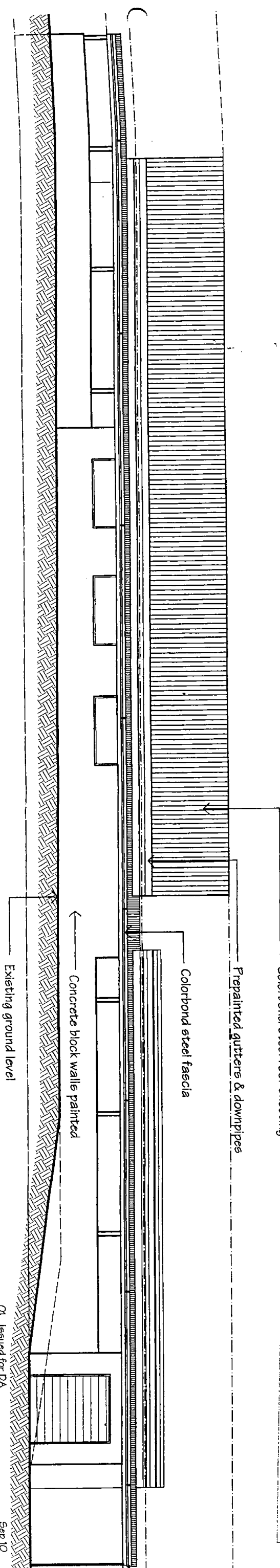
11 Cicada Glen Road

Ingleide for Animal Welfare League
Scale 1:100 Date Sep 10 DAO20

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SOUTH ELEVATION



NORTH ELEVATION

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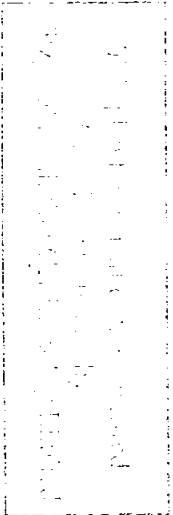
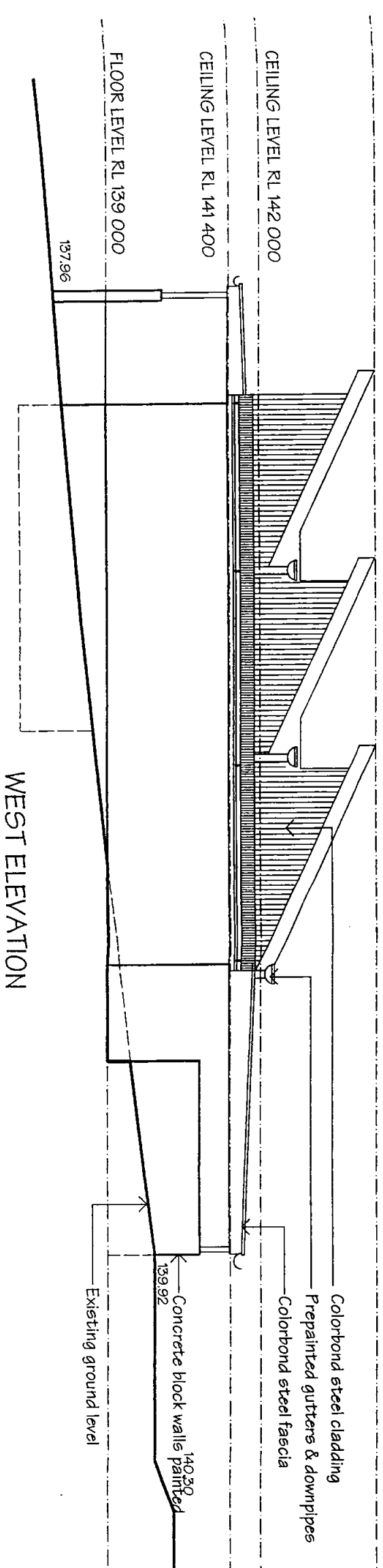
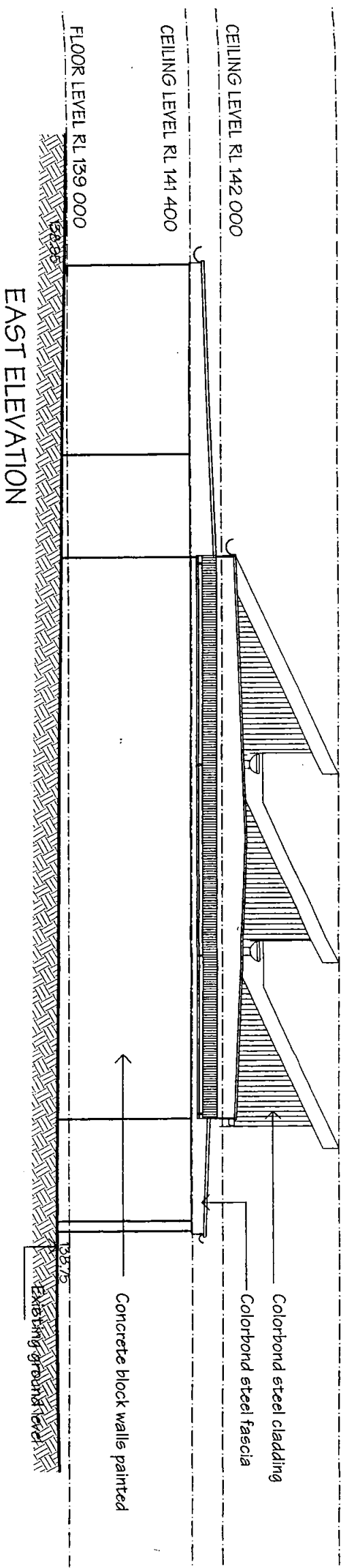
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AMENDMENTS
Sep 10
Sep 10

THE PROPOSED CATTERY
11 CICALADA GLEN ROAD
INGLESIDE NSW 2075

ELEVATIONS

Proposed Cattery
11 Cicada Glen Road
Ingleside for Animal Welfare League

Scale 1:100 Date Sep 10 DA0301



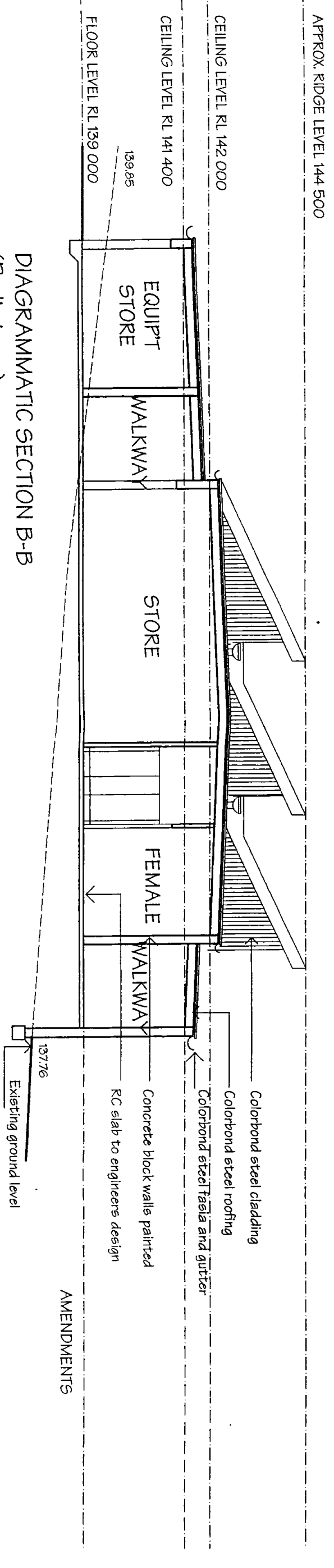
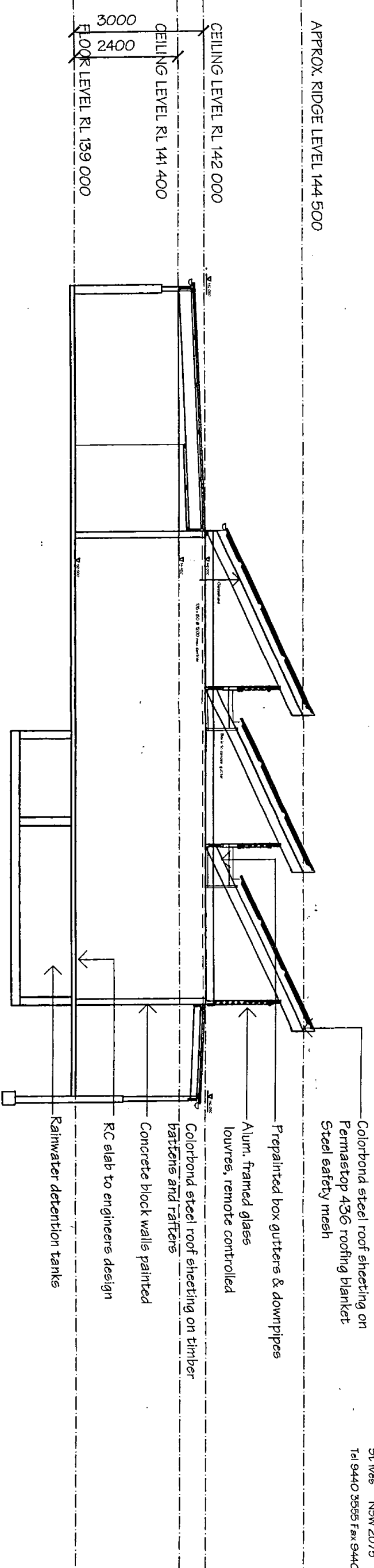
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AMENDMENTS
Sep 10
Sep 10

ELEVATIONS & SECTIONS

Proposed Cattery
11 Cicada Glen Road
Ingleside for Animal Welfare League

Scale 1:100 Date Sep 10 DAO401

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DIAGRAMMATIC SECTION B-B
(Preliminary)

AMENDMENTS

SECTIONS

Proposed Cattery
11 Cicada Glen Road
Ingleside for Animal Welfare League

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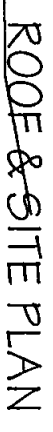
APPROVED

- Reece, Thornleigh,
Quick Check Agent on behalf of
SYDNEY WATER***

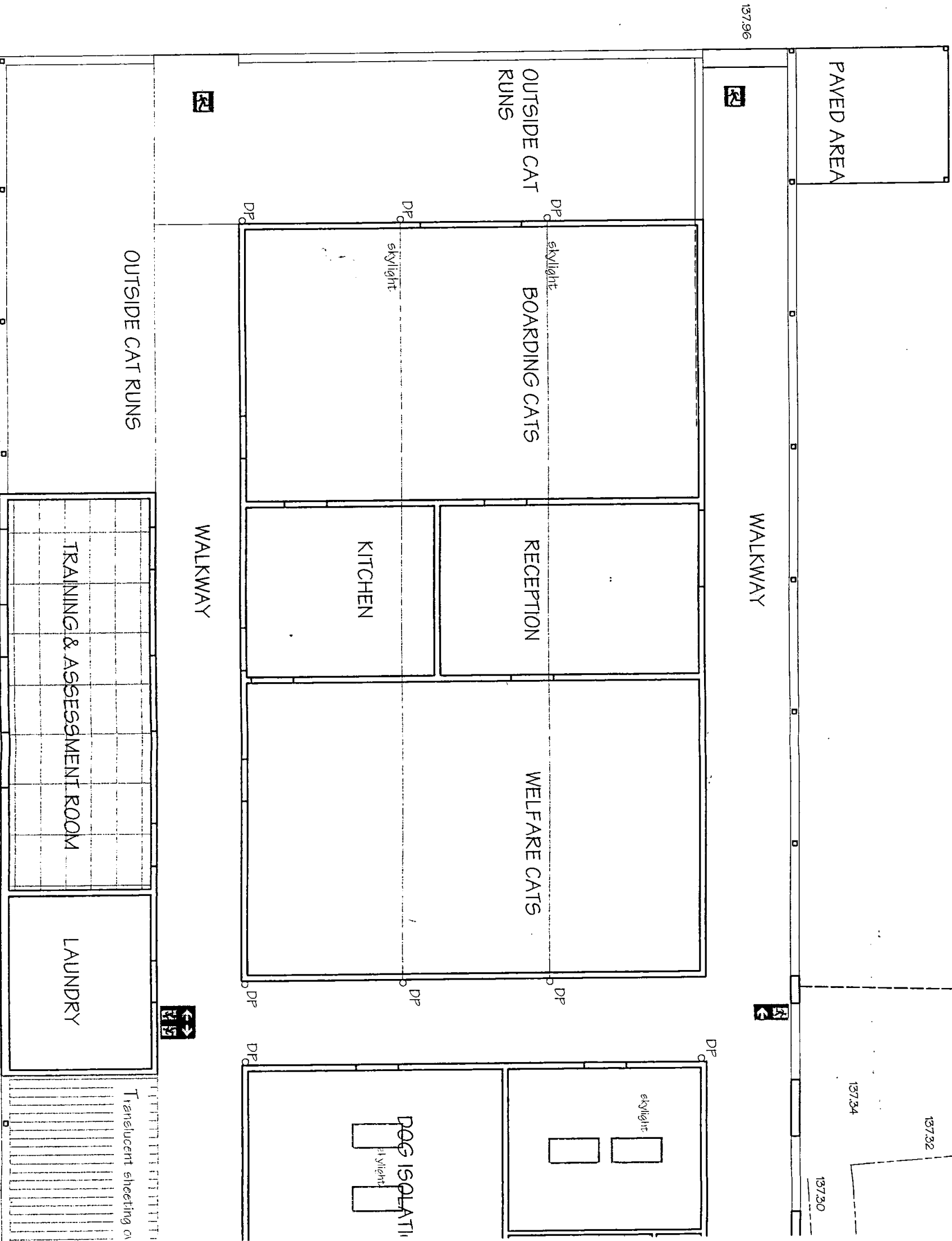
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\\grayws01\cadfiles\AWL Ingleside\Faraj\AWLPlanrev03(3).dwg, 1/11/2010 3:44:23 PM

Nicholas Gray
Dip Arch Comp ARAIA
56 Richmond Avenue
St Ives NSW 2075
Tel 9440 3555 Fax 9440 3111



Scale 1:200 Date Sep 10 DAO 601



LEGEND

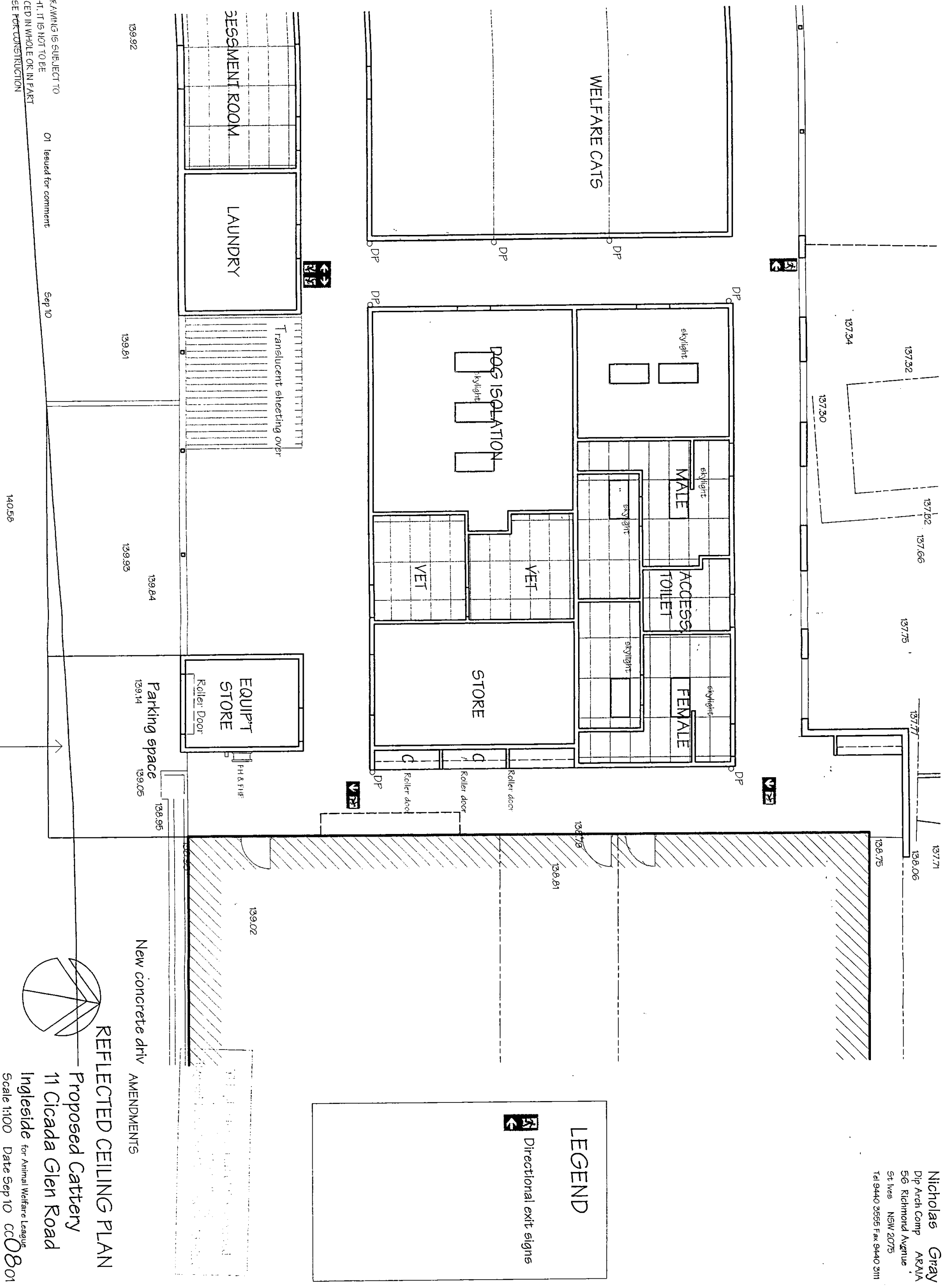
 Directional exit signs

Architectural drawing
for the proposed cat shelter
facility at 11 Cicada Glen Road
St Ives NSW 2075

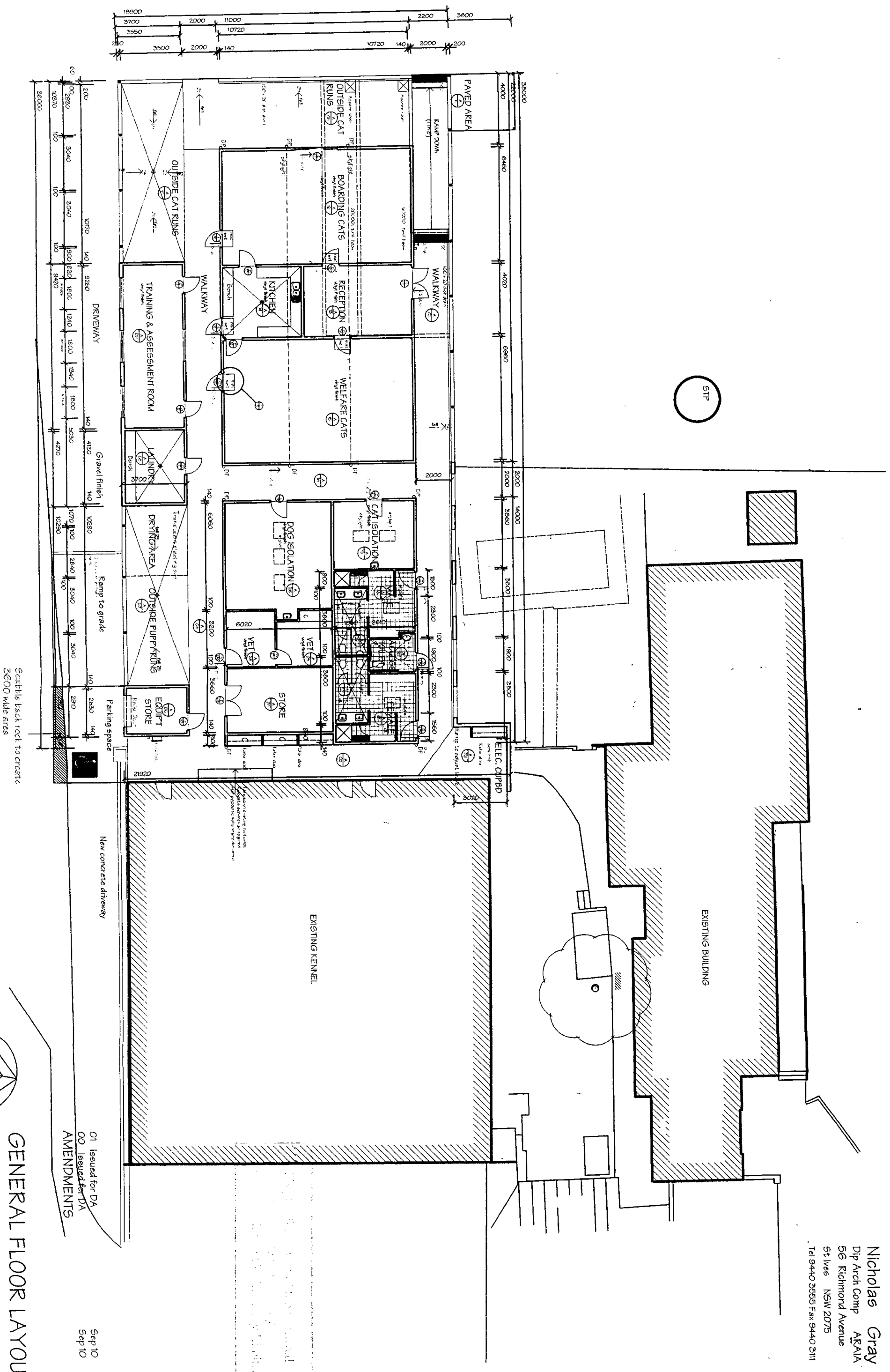
AMENDMENTS

REFLECTED CEILING PLAN
Proposed Cattery
11 Cicada Glen Road
Ingleside for Animal Welfare League
Scale 1:100 Date Sep 10 CC0701

Nicholas Gray
Dip Arch Comp ARAIA
56 Richmond Avenue
St Ives NSW 2075
Tel 9440 3555 Fax 9440 3111



Nicholas Gray
DIP Arch Comp ARAIA
556 Richmond Avenue
St Ives NSW 2075
Tel 9440 3555 Fax 9440 3111



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GENERAL FLOOR LAYOUT
Proposed Cattery
11 Cicada Glen Road
Ingleside for Animal Welfare League
Scale 1:200 Date Sep 10 DA0901

D. P. SURVEYING SERVICES PTY. LTD.

LAND & ENGINEERING SURVEYORS
27 QUEENS AVENUE, AVALON 2107.
PHONE : 99182060
FAX NO : 99187877
DATE : 8 SEPTEMBER, 2004
MY REF : 1221

PLAN OF

LOT 204 IN D.P. 752046
AT No.11 CICADA GLEN RD., INGLESIDE.

SCALE 1:200 DATUM A.H.D.

SITE AREA = 2.024 HA

NOTES:

1. BEARINGS AND DISTANCES ARE BY TITLE ONLY.
NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.
2. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS
DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY
SHOULD BE CONFIRMED BY FURTHER SURVEY.
3. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM
VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION,
EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT
AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED
LOCATION AND DEPTH.
4. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM
LAND TITLES OFFICE PLANS. THEY ARE ON MAGNETIC
MERIDIAN. IF ACCURATE TRUE NORTH IS REQUIRED A
FURTHER SURVEY WOULD BE NECESSARY.
5. PB DENOTES PLANTER BOX

SCALE 1:1000

1
DP787671
NO.7

CICADA GLEN ROAD

77° 00'
169.645

204
NO.11

165.185
270° 02'

264
DP752046
NO.9

4
DP30325
NO.8 WALTER AVENUE

5
DP30325
NO.4 WALTER AVENUE

6
DP30325
NO.2 WALTER AVENUE

4
DP30325
NO.8 WALTER AVENUE

5
DP30325
NO.4 WALTER AVENUE

204

PEG ON BOUNDARY

PEG ON BOUNDARY

NAIL IN ROCK ON BOUNDARY



This is the original plan referred to in
Planning Certificate No. 2011/0539
Issued 13/4/11
D. P. SURVEYING SERVICES PTY. LTD.

STP11

ARCHITECT CO-ORDINATION NOTE

ARCHITECT CO-ORDINATION NOTE

THESE STRUCTURAL DRAWINGS AND SPECIFICATIONS, PREFIXED BY THE NUMBER 9947, ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVED ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES BETWEEN THE COUNCIL APPROVED ARCHITECTURAL DRAWINGS AND THE STRUCTURAL DETAILS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE ARCHITECT.

-
- This image shows a blank white page, likely a separator or endpaper, with some faint scanning artifacts visible along the left edge.

10. VERTICAL REINFORCEMENT TO BE POSITIONED 55" CLEAR FROM FACE OF BLOCKWORK UNLESS NOTED OTHERWISE.
11. ALL REINFORCEMENT TO BE LAPPED MINIMUM 40 BAR DIAMETER.
12. WATERPROOFING MEMBRANE, DRAINAGE PIPES AND WEEPHOLES TO BE AS REQUIRED BY THE ARCHITECT'S SPECIFICATION.
13. BACKFILL RETAINING WALLS WHEN APPROVED BY ENGINEER, WITH THE ENTIRE FACES OF WALL, MODIFIED OR UNMODIFIED.

- 10

UNLESS NOTED ELSEWHERE ON THE DRAWINGS, THE DEVELOPMENT AND LAP LENGTHS FOR REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE TABLE BELOW:

6. PROVIDE TEMPORARY PROPPING TO WALLS WHERE REQUIRED FOR STABILITY DURING CONSTRUCTION.
7. PROVIDE VERTICAL CONTROL JOINTS IN WALLS AT MAXIMUM 10 M CENTRES OR WHERE INDICATED ON DRAWINGS.
8. THESE NOTES ARE TO READ IN CONJUNCTION WITH GENERAL CONSTRUCTION NOTES-MASONRY, ITEMS M1 TO M10.

4. NO MASONRY WALLS SHALL BE BUILT ON A CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH OF 20 MPa. CONCRETE BLOCK MASONRY SHALL BE GRADE 15 TO AS 2733. ALL MASONRY SHALL BE CLASS M3 TO AS 3700 UMO.
5. ALL MASONRY SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH AN CONTROL JOINTS IN THE CONCRETE AND ALL VERTICAL CENTRES UNO.
6. NO CHARGES, RECESSES OR BOUNDS OF JOINTS ARE PERMITTED WITHOUT THE

	17	CONSTRUCT VERTICAL JOINTS IN WALLS AT 6m MASONRY HEIGHTS TO MINIMISE DEVELOPMENT OF INDUSTRIAL STRUCTURAL UNCONTROLLED CRACKING.
	18	VERTICAL BERING WALLS SHALL BE SEPARATED FROM CONCRETE SLOTT AND AT NON LOAD BEARING WALLS BY 15mm TO 20mm JOINT WALL TIES, HEADINGS
	19	AL MASONRY WALLS SHALL BE REFERRED TO AS JOIN SECTION 3 AND ENGINEERS RESTRAINT THE CONDITION OF TIES IN EXISTING WALLS SHALL BE REFERRED TO THE ENGINEER DURING ALTERATIONS/REPAIRING WORKS. REMOVAL WORKS SHALL BE CARRIED OUT AS DIRECTED BY THE ENGINEER AS NECESSARY.
	20	ALL STEELWORK BUILT INTO EXPOSED MASONRY TO BE HOT DIPPED GALVANISED.

N10	500	500
N12	500	500
N16	650	650
N20	900	900
N24	1200	1200
N28	1400	1600
N32	1800	2000
N36	2200	2500

7. PROVIDE VERTICAL CONTROL JOINTS IN WALLS AT MAXIMUM 10 M CENTRES OR WHERE INDICATED ON DRAWINGS.
8. THESE NOTES ARE TO READ IN CONJUNCTION WITH GENERAL CONSTRUCTION NOTES-MASONRY, ITEMS M1 TO M10.

GENERAL DRAWING	DESIGN: E.B.	CHKD:	CAD: J18947STRGEM NG.DWG	P
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DRAWN: P.Y.		APPRD:	
SCALES: N/A		DATE:	
MPN JOB	DRAWING NUMBER		
9947	S1		
ISSUE			P1

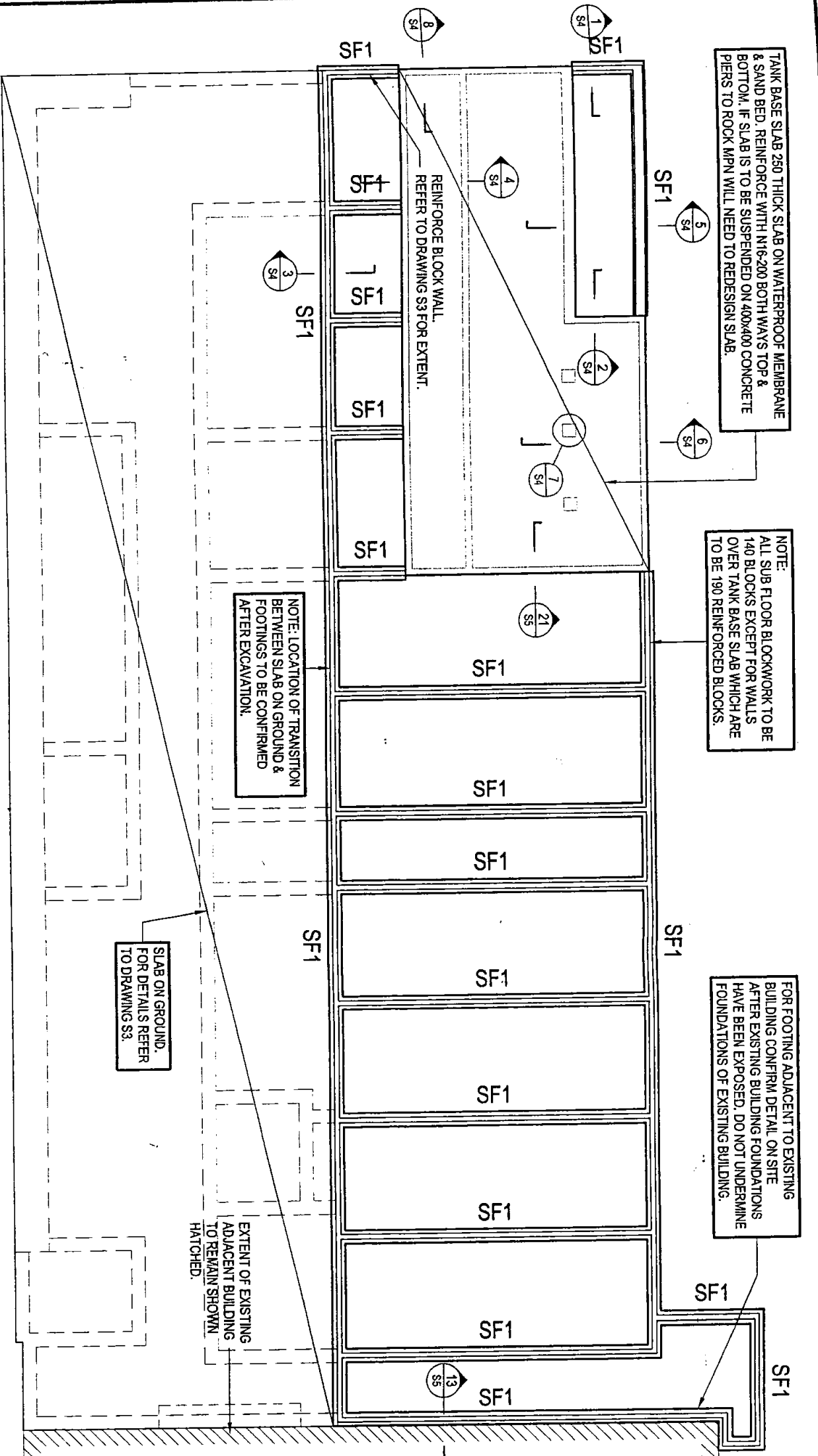
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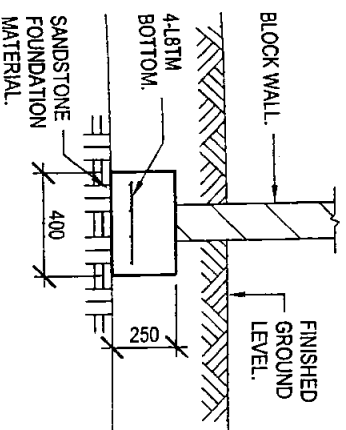
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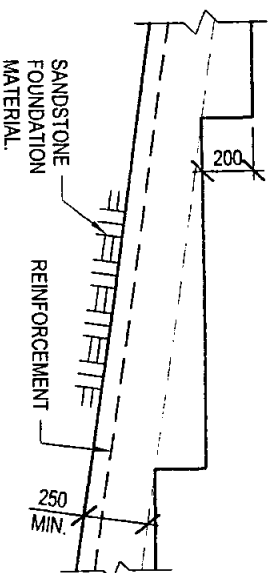
FOOTING PLAN

FOOTINGS TO BE FOUNDED ON 600KPa ALLOWABLE BEARING CAPACITY SANDSTONE. BEARING CAPACITY TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.

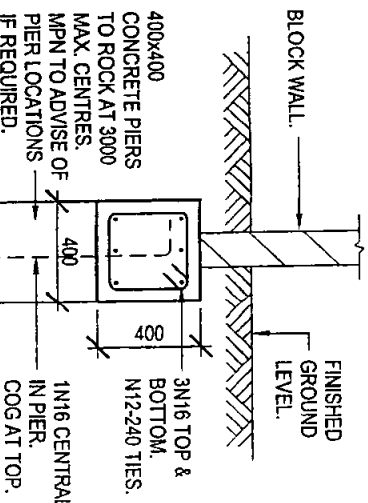


SF1 DETAIL

NOTE: TRENCH MESH TO BE FULLY LAPPED AT ALL CORNERS & JUNCTIONS.



SF1 STEP DETAIL



SF1 ALTERNATE DETAIL



MPN
JOB
NORTH

SF1 ALTERNATE STEP DETAIL AT STEEP SLOPE (MORE THAN 1 IN 6)

SF1 REINF. SHOWN DASHED.

400 MIN

600 MAX

3N16 Z' BARS EACH SIDE OF STRIP FOOTING (500 LEGS).

SF1 REINF. SHOWN DASHED.

MAX SLOPE

1

6

SF1 ALTERNATE STEP DETAIL AT GENTLE SLOPE (LESS THAN 1 IN 6)

P1	ISSUED FOR CO-ORDINATION	E.B.	24-09-2010
ISSUE	AMENDMENT	BY	DATE
COPYRIGHT: THIS DESIGN AND PLANS ARE NOT TO BE USED OR REPRODUCED WHOLLY OR IN PART WITHOUT WRITTEN PERMISSION OF MPN GROUP PTY LTD			
MPN GROUP PTY LTD CONSULTING ENGINEERS - A.C.N. 001568878 L4, 118 WALKER STREET, NORTH SYDNEY 2060 N.S.W. AUSTRALIA - TEL. (02) 9829 7144 EMAIL - email@mpn.com.au FAX. (02) 9922 3041			
ARCHITECT : NICHOLAS GRAY		 PH: (02) 9440 3555	
PROJECT : PROPOSED CATTERY 11 CICADA GLEN RD. INGLESIDE FOR : ANIMAL WELFARE LEAGUE			
FOOTING PLAN & DETAILS			
DESIGN: E.B.	DRAWN: P.Y.	APPRD:	
CHKD:	SCALE: 1:100 AT A2	DATE:	
CAD: J58475TRPLANS FP FTG.DWG	MPN JOB 9947	DRAWING NUMBER S2	ISSUE P1

PRELIMINARY

PRELIMINARY



①



PH: (02) 9440 3555

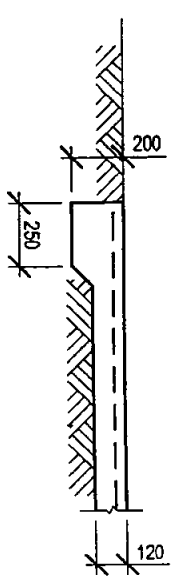
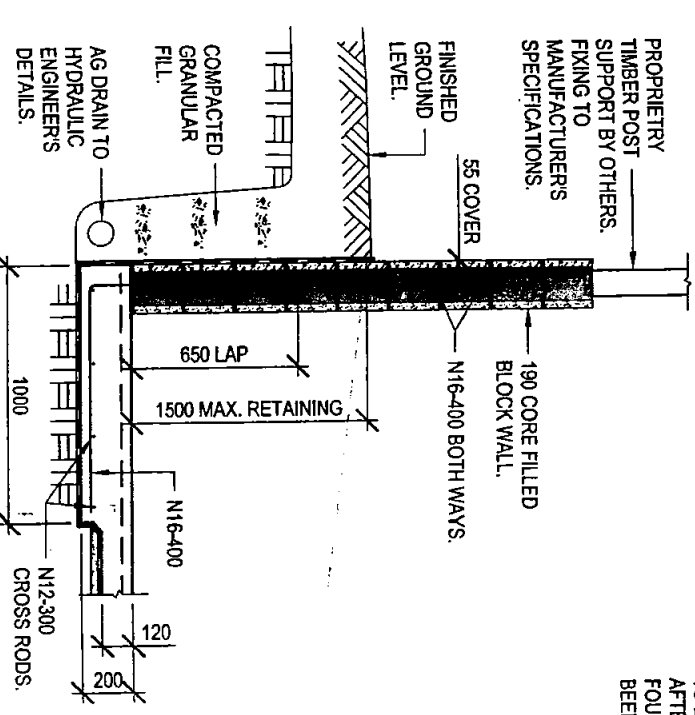
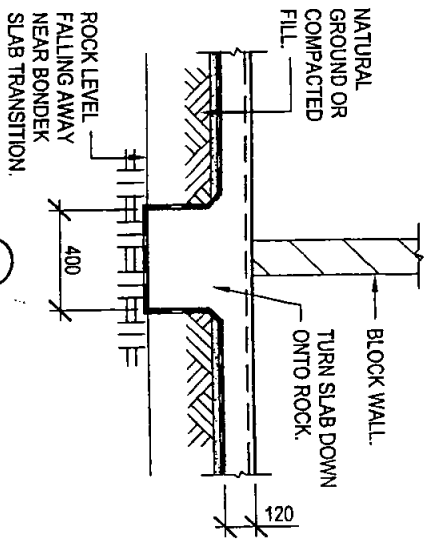
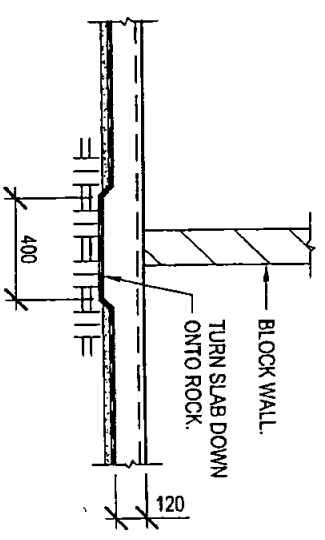
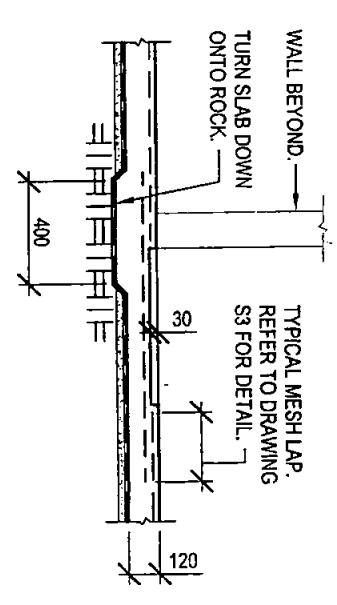
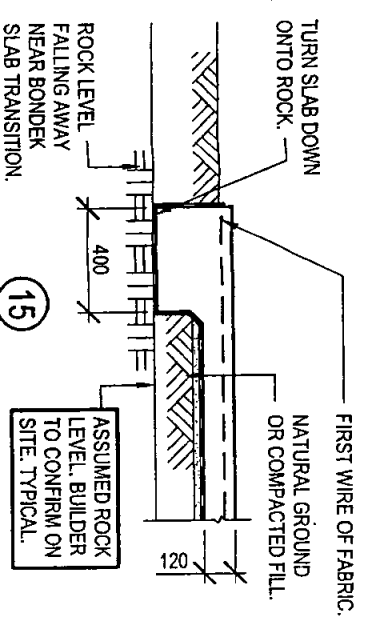
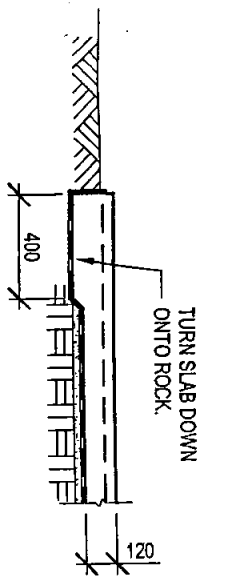
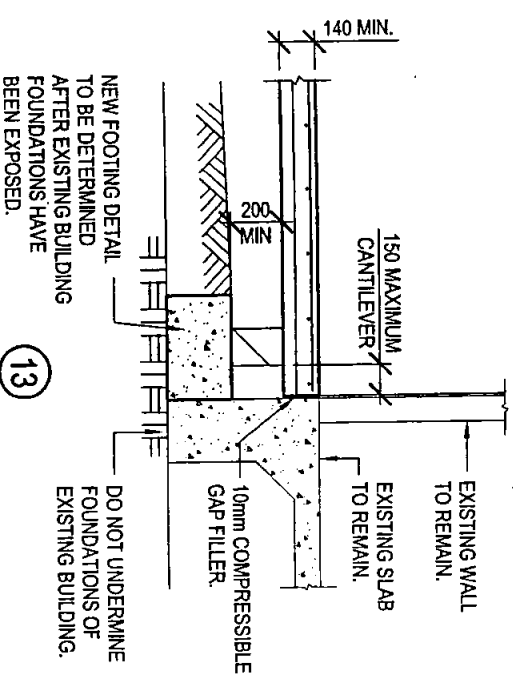
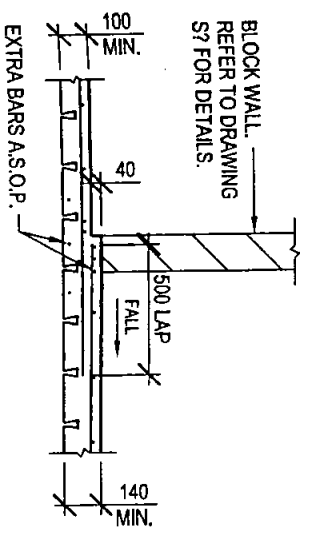
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APPRD:	
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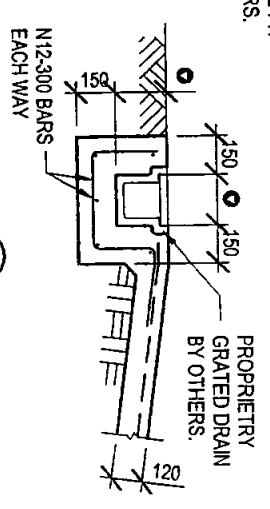
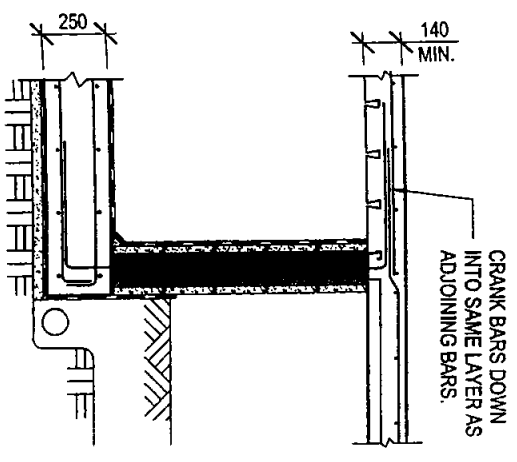
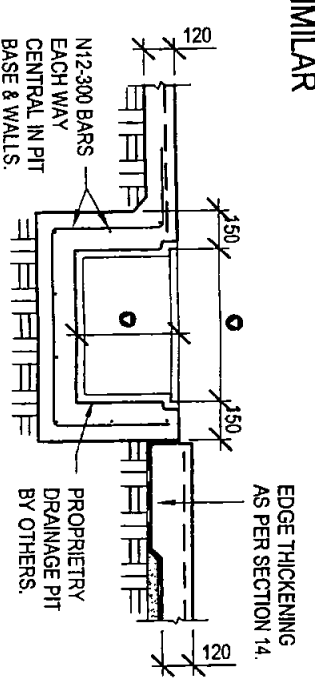
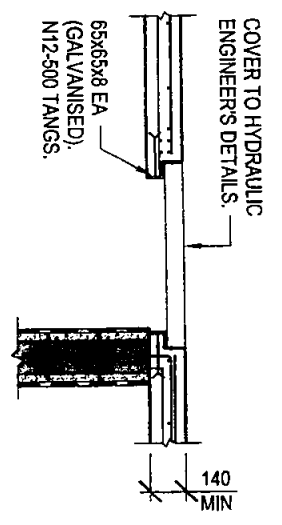
DATE:	
DRAWING NUMBER	ISSU

S4 | **P**

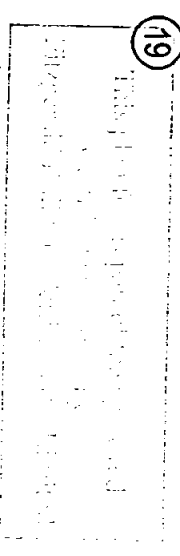
PRELIMINARY



ST1 DETAIL WHERE ROCK FALLS AWAY



• DENOTES DIMENSIONS TO HYDRAULIC ENGINEER'S DETAILS.



P1		ISSUED FOR CO-ORDINATION		E.B.	24-09-2010
ISSUE	AMENDMENT			BY	DATE
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ARCHITECT:		PH: (02) 9440 3555			
NICHOLAS GRAY					
PROJECT:					
PROPOSED CATTERY					
11 CICADA GLEN RD. INGLESIDE					
FOR: ANIMAL WELFARE LEAGUE					
GROUND FLOOR SLAB DETAILS					
SHEET 2					
DESIGN: E.B.	DRAWN: P.Y.	APPRD:			
CHKD:	SCALES: 1:20	DATE:			
CAD: J98947STRDETS	MPN JOB	DRAWING NUMBER		9947	S5
MD_FLOOR.DWG					P1
PRELIMINARY					

PRELIMINARY

NOTE:
FOR ALL TIMBER CONNECTIONS, ANCHORS,
NAILS & BRACING STRAPS ETC REFER TO AS 1684.

NOTE:
CELLINGS BY OTHERS. REFER TO ARCHITECTS
DRAWINGS FOR DETAILS. TYPICAL.



- DENOTES ROOF HOLD DOWN DETAIL TYPE 1. REFER TO SECTION 11 ON DRAWING S7 FOR DETAIL.
- DENOTES ROOF HOLD DOWN DETAIL TYPE 2. REFER TO SECTION 11 ON DRAWING S7 FOR DETAIL.
- DENOTES ROOF HOLD DOWN DETAIL TYPE 3. REFER TO SECTION 2 ON DRAWING S10 FOR DETAIL.
- DENOTES ROOF HOLD DOWN DETAIL TYPE 4. REFER TO SECTION 3 ON DRAWING S10 FOR DETAIL.
- DENOTES ROOF HOLD DOWN DETAIL TYPE 5. REFER TO SECTION 4 ON DRAWING S10 FOR DETAIL.

DEMOLISH
EXISTING ROOF
SHOWN
CROSS-HATCHED.

ISSUE	AMENDMENT	BY	DATE
P1	ISSUED FOR CO-ORDINATION	E.B.	24-09-2010

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N.S.W. AUSTRALIA - TEL. (02) 9929 7144
EMAIL - email@mpn.com.au FAX. (02) 9922 3041

ARCHITECT:
NICHOLAS GRAY
PH: (02) 9440 3555

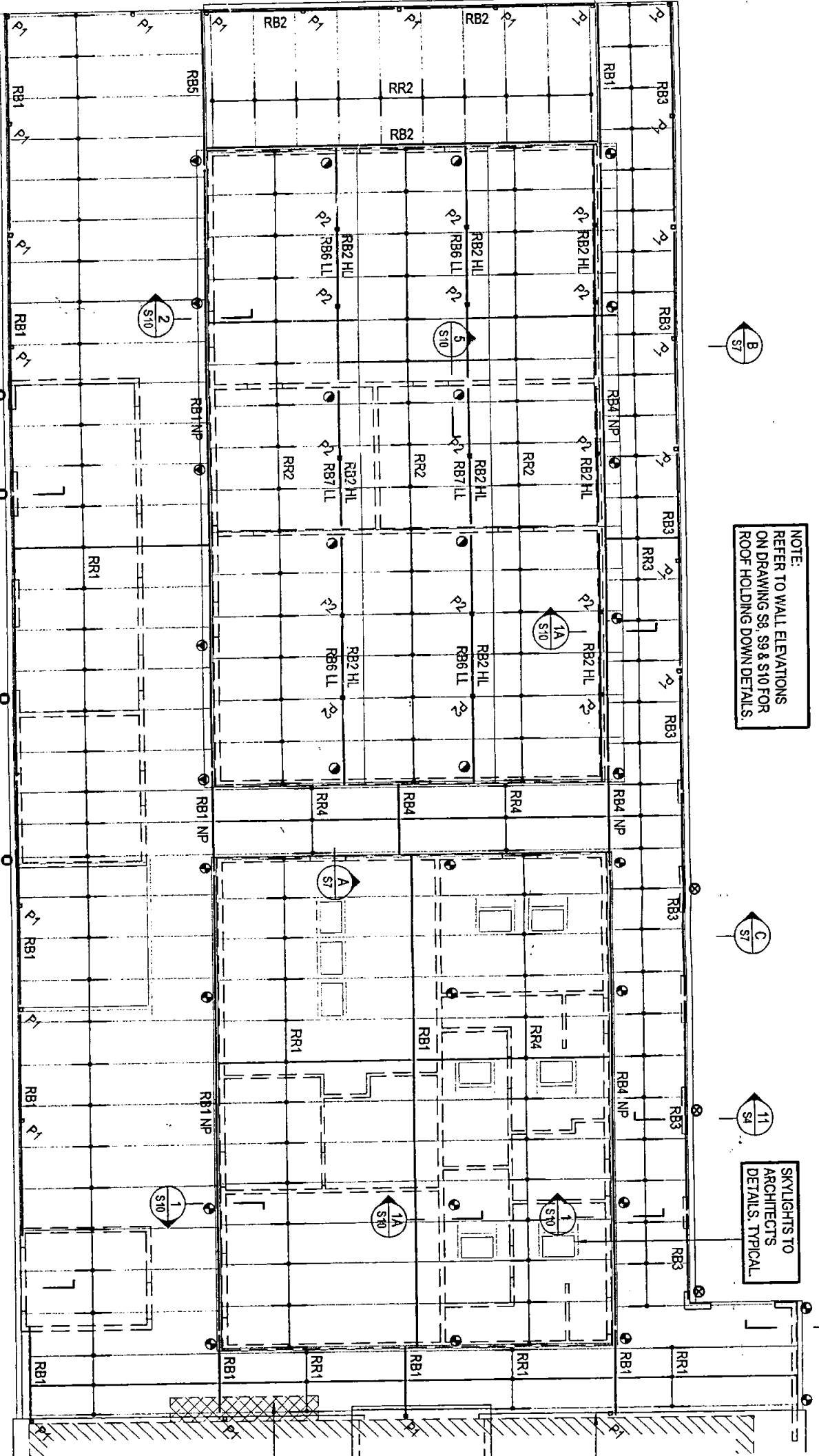
PROJECT:
**PROPOSED CATTERY
11 CICADA GLEN RD. INGLESIDE
FOR: ANIMAL WELFARE LEAGUE**

ROOF FRAMING PLAN

DESIGN: E.B.	DRAWN: P.Y.	APPRD:
CHKD:	SCALE: 1:100 AT A2	DATE:

CAD: J9947SRPLANS	MPN JOB	DRAWING NUMBER	ISSUE
FP ROOF.DWG	9947	S6	P1

PRELIMINARY



NOTE:
REFER TO WALL ELEVATIONS
ON DRAWING S8, S9 & S10 FOR
ROOF HOLDING DOWN DETAILS.

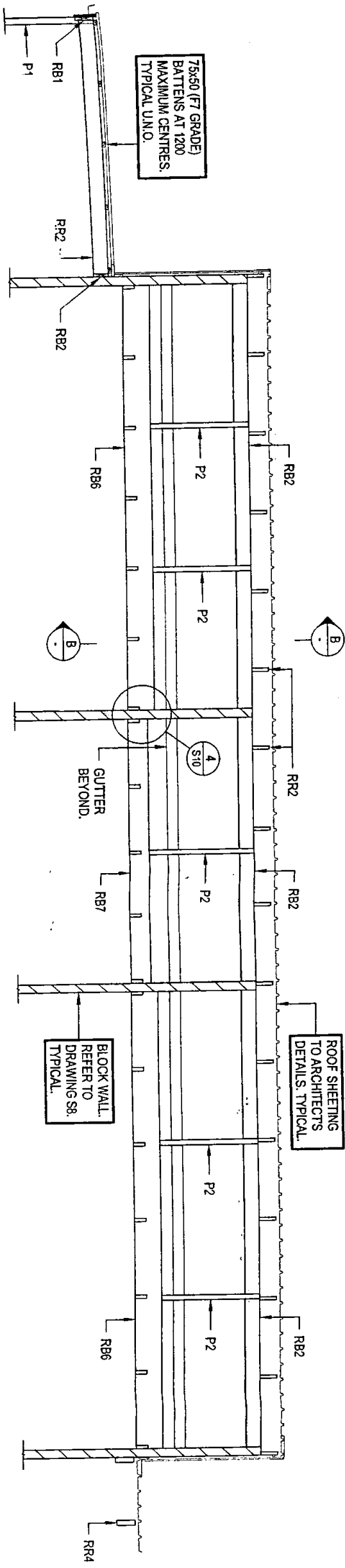
SKYLIGHTS TO
ARCHITECTS
DETAILS. TYPICAL

ROOF FRAMING PLAN

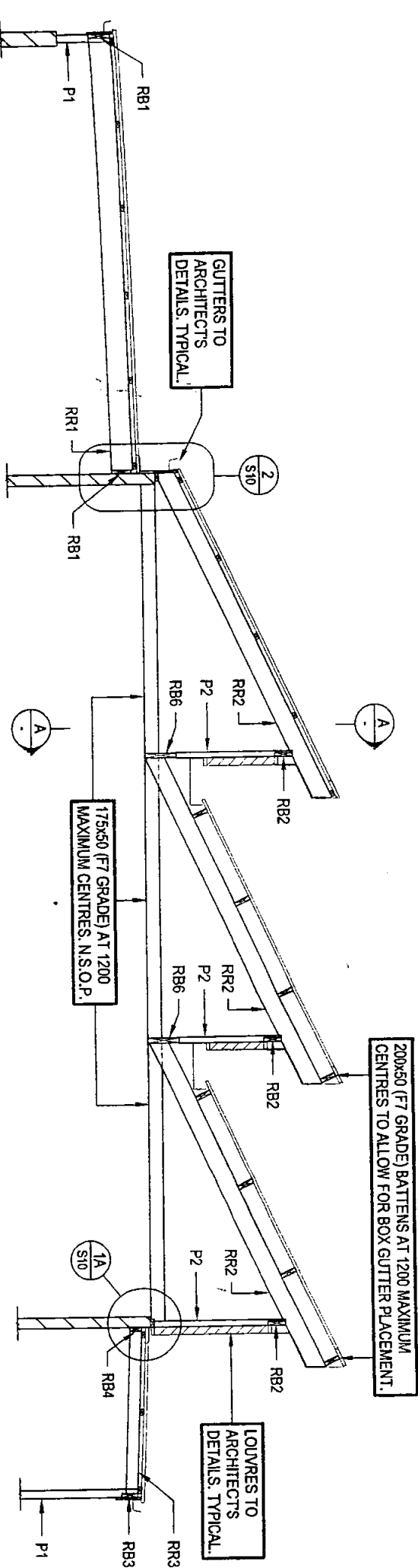
- P1 DENOTES 100x100 (F7 GRADE) TIMBER POST.
P2 DENOTES 75x75 (F7 GRADE) TIMBER POST.
RB1 DENOTES 275x50 (F7 GRADE) ROOF BEAM OR 240x45 HYSPAN BEAM.
RB2 DENOTES 275x50 (F7 GRADE) ROOF RAFTER OR 240x45 HYSPAN RAFTER AT 1200 MAX. CENTRES.
RB3 DENOTES 225x50 (F7 GRADE) ROOF BEAM OR 170x45 HYSPAN BEAM.
RB4 DENOTES 200x50 (F7 GRADE) ROOF RAFTER OR 170x45 HYSPAN RAFTER AT 1200 MAX. CENTRES.
RB5 DENOTES 150x50 (F7 GRADE) ROOF BEAM OR 130x36 HYSPAN BEAM.
RB6 DENOTES 150x50 (F7 GRADE) ROOF RAFTER OR 130x36 HYSPAN RAFTER AT 1200 MAX. CENTRES.
RB7 DENOTES 300x45 HYSPAN BEAM.
HL DENOTES HIGH LEVEL.
LL DENOTES LOW LEVEL.
NP DENOTES NAILING PLATE FIXED TO BLOCK WALL.

TIMBER NOTES

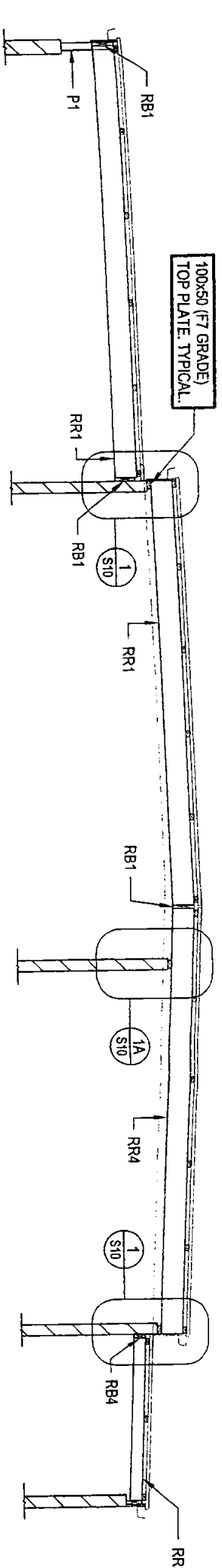
- ALL WORKMANSHIP, TIMBER DESIGN AND MATERIALS SHALL CONFORM TO AUSTRALIAN STANDARDS AS 1684 AND SUPPLEMENTS, A.S. 1720.1 AND AS 1720.2 AS APPLICABLE. TOLERANCES ON THE FINISHED TIMBER WIDTH & THICKNESS TO BE IN ACCORDANCE WITH A.S. 2082, A.S. 1748 OR A.S. 3619 AS APPROPRIATE.
- ALL BOLTS TO BE M16 GRADE 4.6 UNLESS NOTED OTHERWISE. BOLTS, CONNECTORS, METAL ANCHORS, NAILS, BRACING (CYCLONE STRAPS AND FRAMING ANCHORS) TO BE GALVANISED AND FIED TO MANUFACTURERS RECOMMENDATIONS. ALL BOLT HOLES TO BE DRILLED TO MATCH BOLT DIAMETER. GREASE BOLTS BEFORE ASSEMBLY. WASHERS UNDER BOLT HEADS AND NUTS TO BE AT LEAST 2.5 TIMES BOLT DIAMETER.
- TIMBER PERMANENTLY EXPOSED TO WEATHER SHALL BE EITHER HARDWOOD DURABILITY CLASS 1 OR CLASS 2 TO AS 1720.2 OR PINE FLOOD BRUSH COATED WITH KOPERSKY PROTECTIVE WATER REPELLENT TIMBER PRESERVATIVE OR APPROVED EQUIVALENT. SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES. SUPPLY SUPPORTING DOCUMENTATION FOR PRESERVATIVE TREATMENT.
- ALL TIMBER SHALL BE FREE OF GUM VEINS, POCKETS, KNOTS, HOLES AND SPLITS WITHIN 150 mm OF ANY BOLT OR CONNECTION, OR NOTCHING.
- TIMBER EMBEDDED IN THE GROUND SHALL BE EITHER A SUITABLE HARDWOOD OR COA TREATED RADRIAT PINE.
- BRACING AND TIE DOWNS FOR WALL FRAMING, PLATES, TRUSSES AND UNITS SHALL CONFORM TO CURRENT EDITIONS OF AS 1684 UNLESS NOTED OTHERWISE.
- PREFABRICATED TIMBER TRUSSES:
A) DESIGN, DOCUMENTATION AND AUTHORITY APPROVAL BY MANUFACTURER. ERECTION TO COMPLY WITH MANUFACTURERS RECOMMENDATIONS. CUTTING OR DRILLING HOLES IN TRUSS MEMBERS IS NOT PERMITTED.
B) TRUSSES TO BE SLUNG FROM PANEL POINTS DURING ERECTION.
C) TEMPORARY BRACING SHALL BE PROVIDED TO PLUMB AND STABILISE TRUSSES ACCURATELY DURING ERECTION.
D) TRUSSES SHALL BE PRE-CAMBERED AN AMOUNT EQUAL TO DEAD LOAD DEFLECTION.
E) SHOP DWGS ARE TO BE SUBMITTED TO MPN CLEARLY SHOWING DESIGN LOADS, SUPPORT POINTS & REACTION LOADS ONTO WALLS BELOW & ANY PRECAMBERS.
- DESIGN LOADS:
ROOF:
SHEET / TILED ROOF : 0.1 kPa
SDL (CEILING SERVICES) : 0.15 kPa
DESIGN WIND VELOCITY : 45 m/s
LIVE LOAD : 0.25 kPa
FLOOR:
SDL (CEILING/FLOOR FINISHES) : N/A kPa
LIVE LOAD : 1.5 kPa
T9. HARDWOOD TO BE MINIMUM GRADE F14 U.N.O.
T10. TERNITE TREATMENTS AND PROVISIONS TO ARCHITECTS SPECIFICATION AND TO COMPLY WITH AS 3660 AND LOCAL AUTHORITY ORDINANCES.



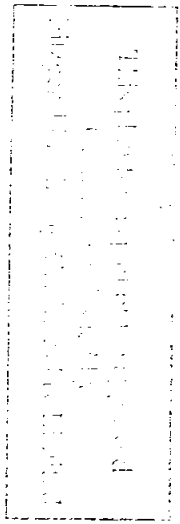
SECTION A-A



SECTION B-B



SECTION C-C



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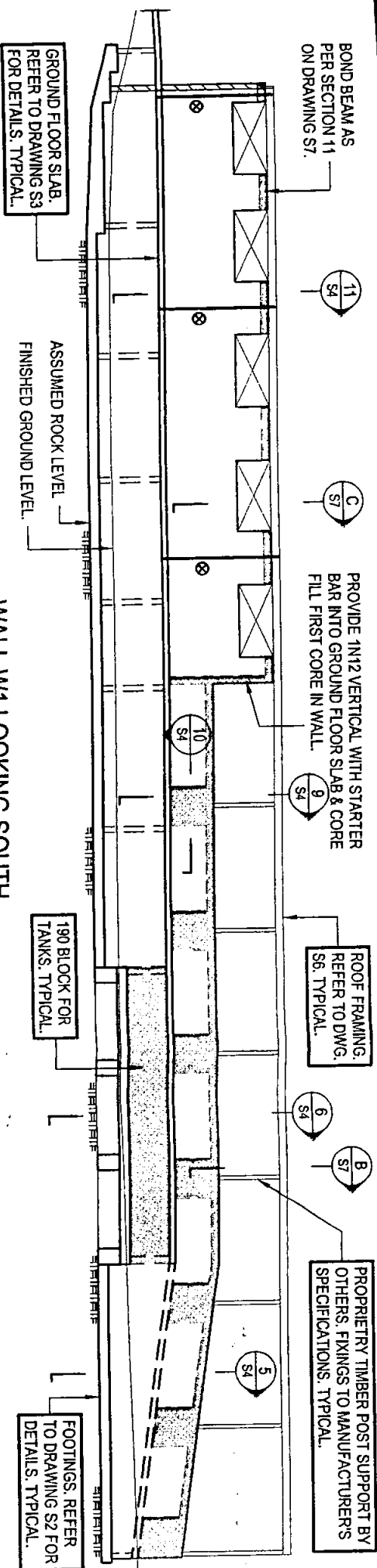
ARCHITECT:
NICHOLAS GRAY
PH: (02) 9440 3555

PROJECT:
PROPOSED CATTERY
11 CICALDA GLEN RD. INGLESIDE
FOR: ANIMAL WELFARE LEAGUE

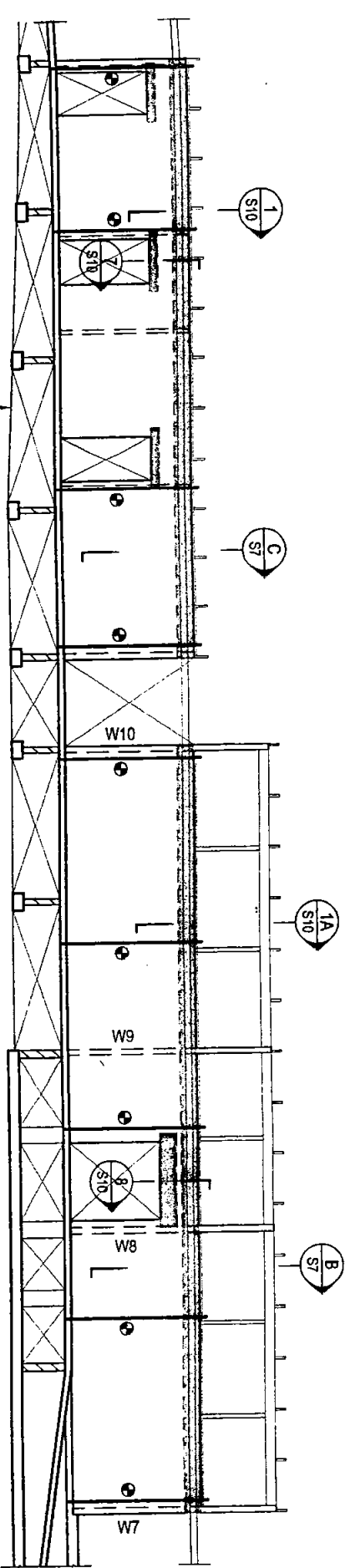
ROOF CROSS SECTIONS

DESIGN: E.B.	DRAWN: P.Y.	APPRD:
CHKD:	SCALES: 1:50 AT A2	DATE:
CAD: J9947STRIDETS	MPN JOB	DRAWING NUMBER
MD: ROOF.DWG	9947	S7
		ISSUE
		P1

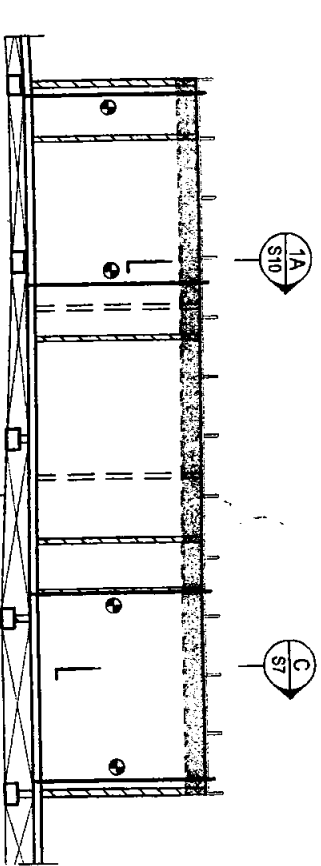
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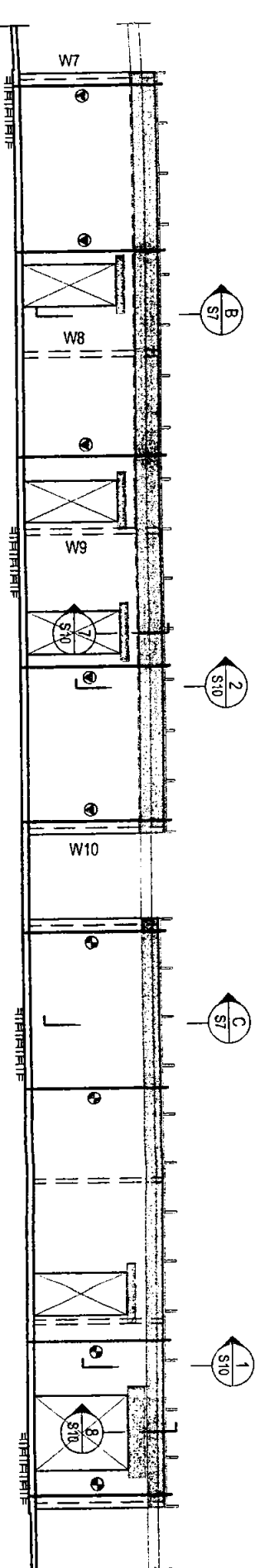
WALL W1 LOOKING SOUTH



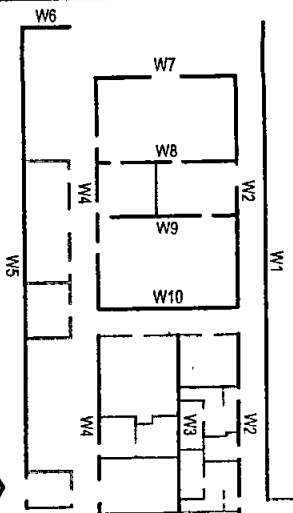
WALL W2 LOOKING SOUTH



WALL W3 LOOKING SOUTH



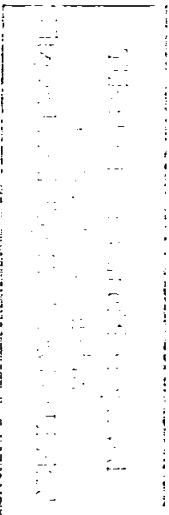
WALL W4 LOOKING NORTH



WALL KEY PLAN

- ⊗ DENOTES ROOF HOLD DOWN DETAIL TYPE 1. REFER TO SECTION 11 ON DRAWING S7 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 2. REFER TO SECTION 1 ON DRAWING S10 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 3. REFER TO SECTION 2 ON DRAWING S10 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 4. REFER TO SECTION 3 ON DRAWING S10 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 5. REFER TO SECTION 4 ON DRAWING S10 FOR DETAIL.

NOTE: ALL BLOCKWORK TO BE 140 THICK UNO.



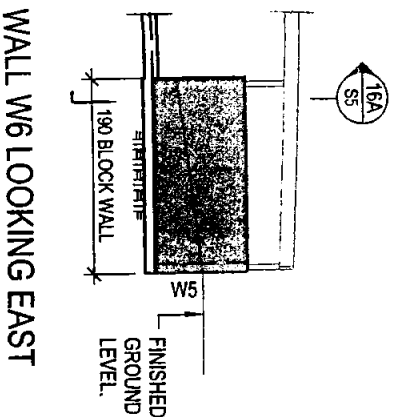
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ISSUE	AMENDMENT	BY	DATE
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ARCHITECT: NICHOLAS GRAY PH: (02) 9440 3555			
PROJECT: PROPOSED CATTERY 11 CICADA GLEN RD, INGLESIDE FOR: ANIMAL WELFARE LEAGUE			
BLOCK WALL ELEVATIONS SHEET 1			
DESIGN: E.B.	DRAWN: P.Y.	APPROD:	
CHKD:	SCALE: 1:100	DATE:	
CAD: J18947STRIGENI	MPN JOB: 9947	DRAWING NUMBER: S8	ISSUE: P1
WE.DWG			

PRELIMINARY

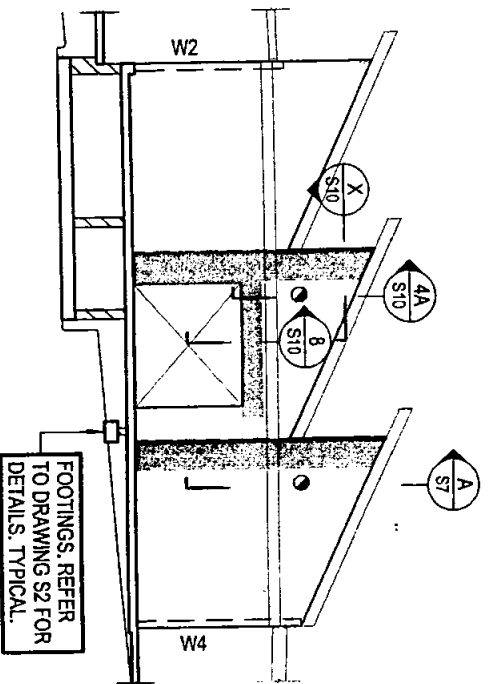
GROUND FLOOR SLAB.
REFER TO DRAWING S3
FOR DETAILS. TYPICAL.

FINISHED GROUND LEVEL.

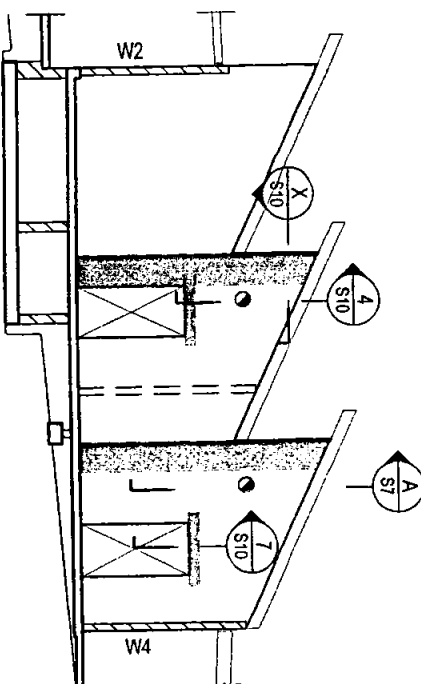
WALL W5 LOOKING NORTH



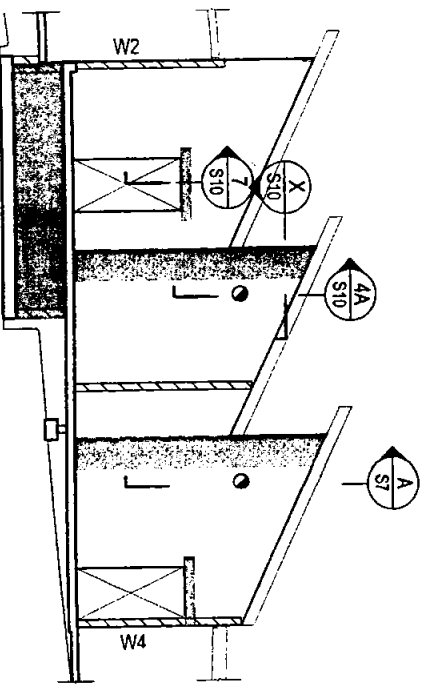
WALL W6 LOOKING EAST



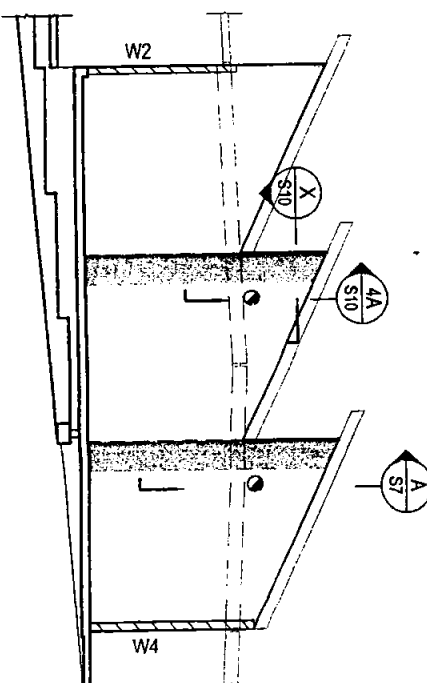
WALL W7 LOOKING EAST



WALL W8 LOOKING EAST



WALL W9 LOOKING EAST

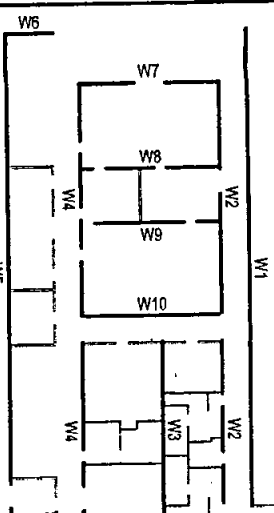


WALL W10 LOOKING EAST

ROOF FRAMING.
REFER TO DWG.
S6. TYPICAL.

EXTEND RETAINING WALL
REINFORCEMENT UP TO
TOP OF WALL. TYPICAL.

PROPRIETARY TIMBER POST
SUPPORT BY OTHERS.
FIXINGS TO MANUFACTURERS
SPECIFICATIONS. TYPICAL.

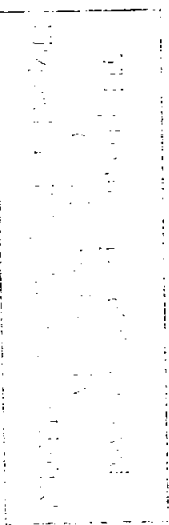


WALL KEY PLAN



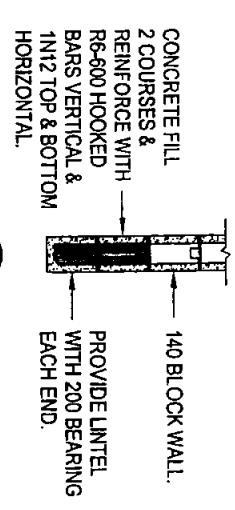
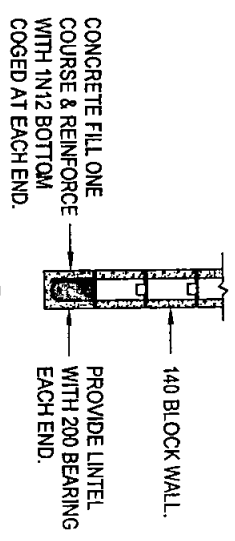
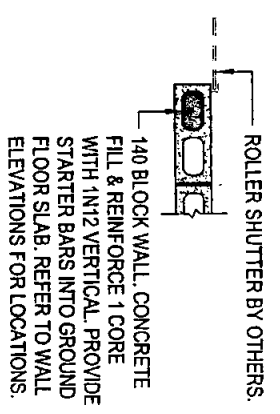
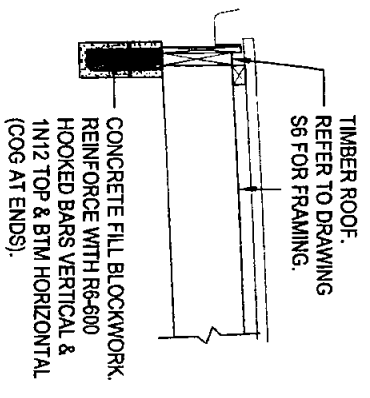
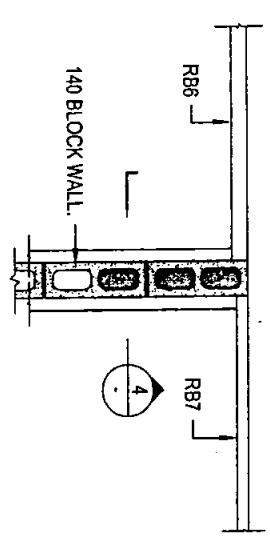
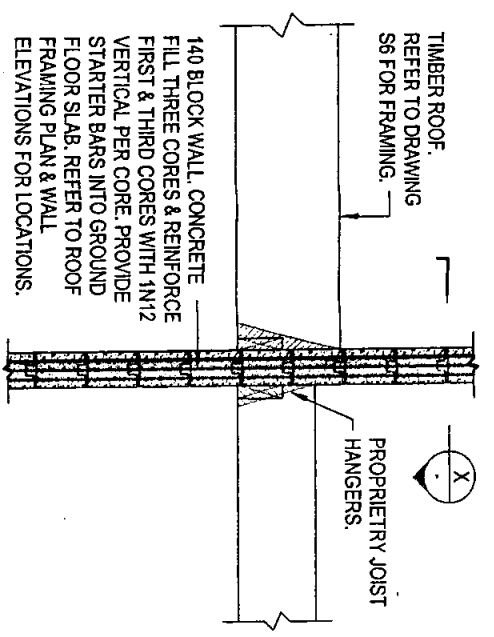
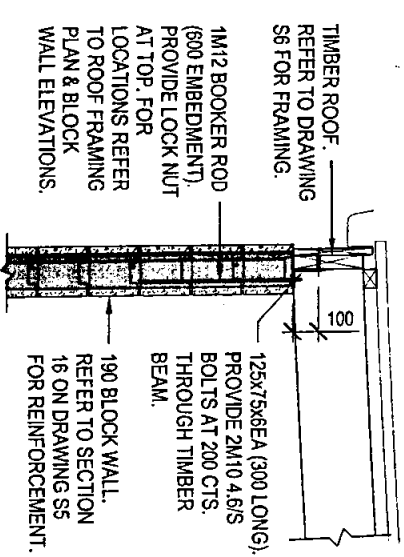
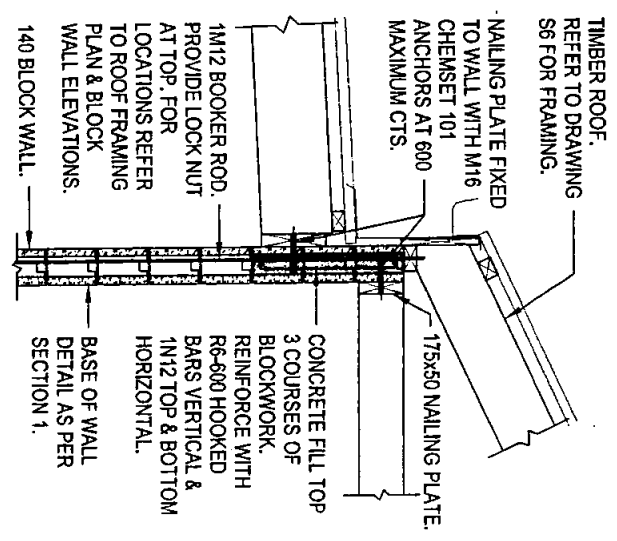
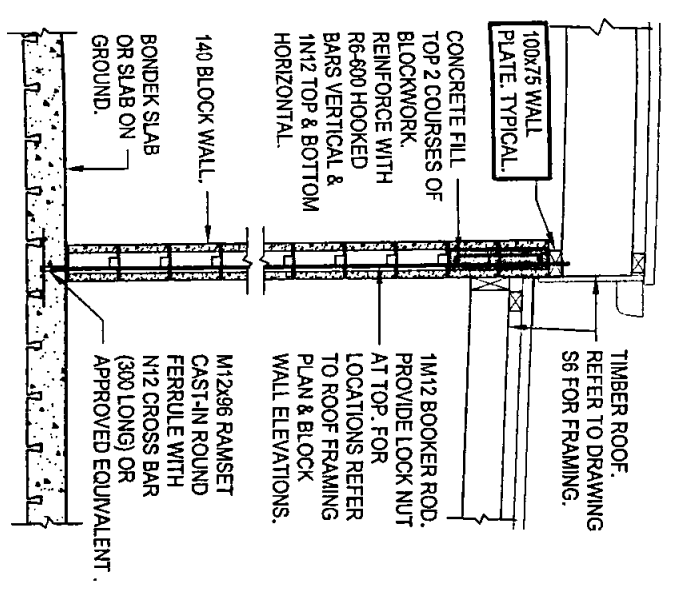
- ⊗ DENOTES ROOF HOLD DOWN DETAIL TYPE 1. REFER TO SECTION 11 ON DRAWING S7 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 2. REFER TO SECTION 1 ON DRAWING S10 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 3. REFER TO SECTION 2 ON DRAWING S10 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 4. REFER TO SECTION 3 ON DRAWING S10 FOR DETAIL.
- ⊙ DENOTES ROOF HOLD DOWN DETAIL TYPE 5. REFER TO SECTION 4 ON DRAWING S10 FOR DETAIL.

NOTE: ALL BLOCKWORK TO BE 140 THICK U.N.O.



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ARCHITECT: NICHOLAS GRAY PH: (02) 9440 3555			
PROJECT: PROPOSED CATTERY 11 CICADA GLEN RD. INGLESIDE FOR: ANIMAL WELFARE LEAGUE			
BLOCK WALL ELEVATIONS SHEET 2			
DESIGN: E.B.	DRAWN: P.Y.	APPRD:	
CHKD:	SCALES: 1:100	DATE:	
CAD: LIBRARIENGEN	MPN JOB	DRAWING NUMBER	ISSUE
WEDWG	9947	S9	P1

PRELIMINARY



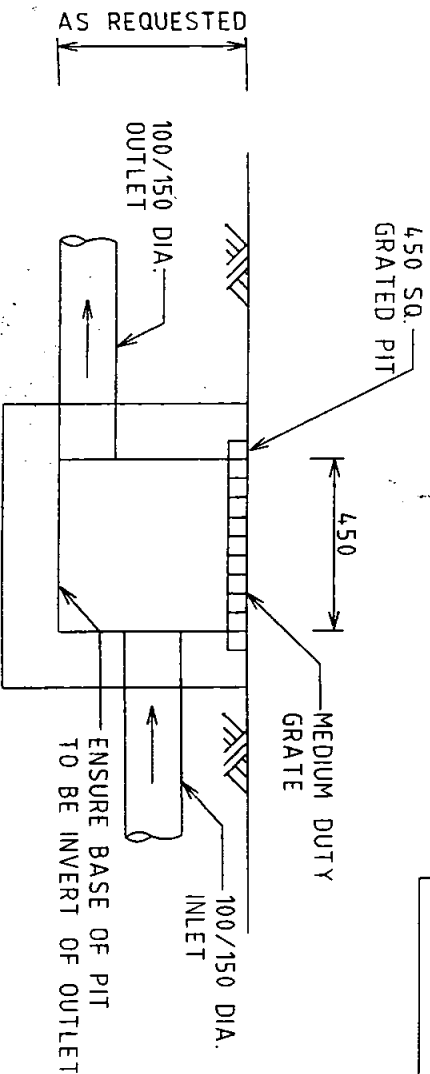
LINTEL DETAIL
(FOR OPENINGS UP TO 1000 WIDE)

LINTEL DETAIL
(FOR OPENINGS UP TO 2400 WIDE)

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EMAIL - email@mpn.com.au FAX. (02) 9922 3041							
ARCHITECT:				PH: (02) 9440 3555			
NICHOLAS GRAY							
PROJECT:							
PROPOSED CATTERY							
11 CICADA GLEN RD. INGLESIDE							
FOR : ANIMAL WELFARE LEAGUE							
BLOCK WALL DETAILS							
DESIGN: E.B.		DRAWN: P.Y.		APPRD:			
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CAD: J9847STRIDETS		MPN JOB		DRAWING NUMBER		ISSUE	
MD_WALLS.DWG		9947		S10		P1	
PRELIMINARY							

GENERAL NOTES:

1. ALL WORKS TO BE IN ACCORDANCE WITH PITTWATER COUNCIL STANDARD SPECIFICATIONS AND TO THE SUPERVISING ENGINEER'S SATISFACTION.
2. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS FROM NICHOLAS GRAY JOB No. 8116 ISSUE A DATED NOVEMBER, 2007 PHONE (02) 9440 3555.
3. ALL STORMWATER PIPES TO BE 100 DIA. UPVC AT 1% MIN. FALL UNLESS NOTED OTHERWISE.
4. DEPTH AND LOCATION OF SEWER & SERVICES TO BE CONFIRMED PRIOR TO COMMENCEMENT OF DRAINAGE WORKS.
5. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENTATION CONTROL MEASURES AS NECESSARY, AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION.
6. ENSURE FINISHED GROUND LEVELS ARE SLOPING AWAY FROM THE DEVELOPMENT & INTO PITS OR YARD SUMPS.
7. PLAN SUBJECT TO COUNCIL APPROVAL.



TYPICAL PIT DETAIL
SCALE 1:20

IMPORTANT NOTES:

1. THE NEW DEVELOPMENT CONSISTS OF SOME EXTENSIONS/ADDITIONS TO THE REAR OF THE PROPERTY. THE SITE REQUIRES 20000 LITRES CAPACITY RAINWATER TANK FOR RE-USE OF WATER FOR ROOF AREA ONLY. ALSO A 50000 LITRES CAPACITY TANK (NON-POTABLE EFFLUENT RE-USE SYSTEM) IS REQUIRED FOR WASHDOWN.
2. PROVIDED 2 UNDERGROUND TANKS UNDER THE NEW FLOOR ON SOUTHERN SIDE OF THE PROPERTY. A 20000 LITRES CAPACITY RWT WILL COLLECT ONLY ROOF WATER FOR RE-USE OF WATER. AN OVERFLOW FROM TOP OF RWT TO BE CONNECTED TO PIT ② PRIOR TO DISCHARGING TO STREET VIA. THE EXISTING 225 DIA. UPVC. TWO 100 DIA. SEWER GRADE OVERFLOWS FROM TOP OF RWT TO BE CONNECTED TO EFFLUENT RE-USE SYSTEM.
3. A 50000 LITRES CAPACITY NON-POTABLE EFFLUENT RE-USE SYSTEM HAS BEEN PLACED UNDER THE FLOOR AT SOUTHERN SIDE OF THE PROPERTY. THE TANK COLLECTS RECYCLE WATER FROM SEWAGE TREATMENT PLANT (STP). THE WATER COLLECTED TO BE USED FOR WASH DOWN PURPOSES.
4. AN OVERFLOW OF 150 DIA. SEWER GRADE FROM NON-POTABLE EFFLUENT RE-USE SYSTEM TO BE CONNECTED TO IRRIGATION SYSTEM ON WESTERN SIDE OF THE PROPERTY.
5. THE COLLECTED WATER FROM 20000 LITRES CAPACITY RAINWATER TANK TO BE USED FOR EITHER IRRIGATION SYSTEM OR TO TOP UP 50000 LITRES CAPACITY EFFLUENT RE-USE SYSTEM. (ENSURE THE PUMP FROM RWT HAS A VALVE WITH THE ABOVE TWO OPTIONS - DURING WET SEASON, IF THE EFFLUENT RE-USE TANK IS NOT FILLED, PUMP WATER FROM RWT TO EFFLUENT RE-USE SYSTEM).
6. LEVELS ARE CRITICAL. PRIOR TO ANY CHANGES CONTACT ENGINEER.
7. PRIOR TO BACKFILLING STORMWATER PIPES CONTACT ENGINEER FOR SITE INSPECTIONS.

BASIS REQUIREMENTS

20000 LITRES CAPACITY
RAINWATER TANK FOR
TOTAL NEW ROOF AREA

CALCULATION

TOTAL SITE AREA = 2.024 ha
NEW IMPERVIOUS AREA = 450m² (APPROX.)

SYMBOLS & NOTATIONS

--- S	STORMWATER LINES	SL	FINISHED SURFACE LEVEL
o	DOWNPIPE	FEL	FINISHED FLOOR LEVEL
●	100 DIA. YARD SUMP	FPL	FINISHED PLATFORM LEVEL
-----	225x100 GRATED BOX DRAIN	---	SEDIMENT CONTROL BARRIER
INV	INVERT LEVEL (PIPE / PIT)	---	PROPOSED BOUNDARY
NS	NATURAL SURFACE LEVEL	---	SEWER

HYDRAULIC DETAILS

NOTES, CALCULATIONS & TYPICAL PIT DETAILS

NASSERI ASSOCIATES
CIVIL, HYDRAULIC & STRUCTURAL ENGINEERING
SUITE 51, No. 14 NARABANG WAY, BELROSE NSW 2085
PO BOX 714, BALGOWLAH, NSW 2093
TEL. (02) 9986 3875
FAX. (02) 9986 3876
MOB. 0410 308 064
EMAIL nasseriassociates@bigpond.com

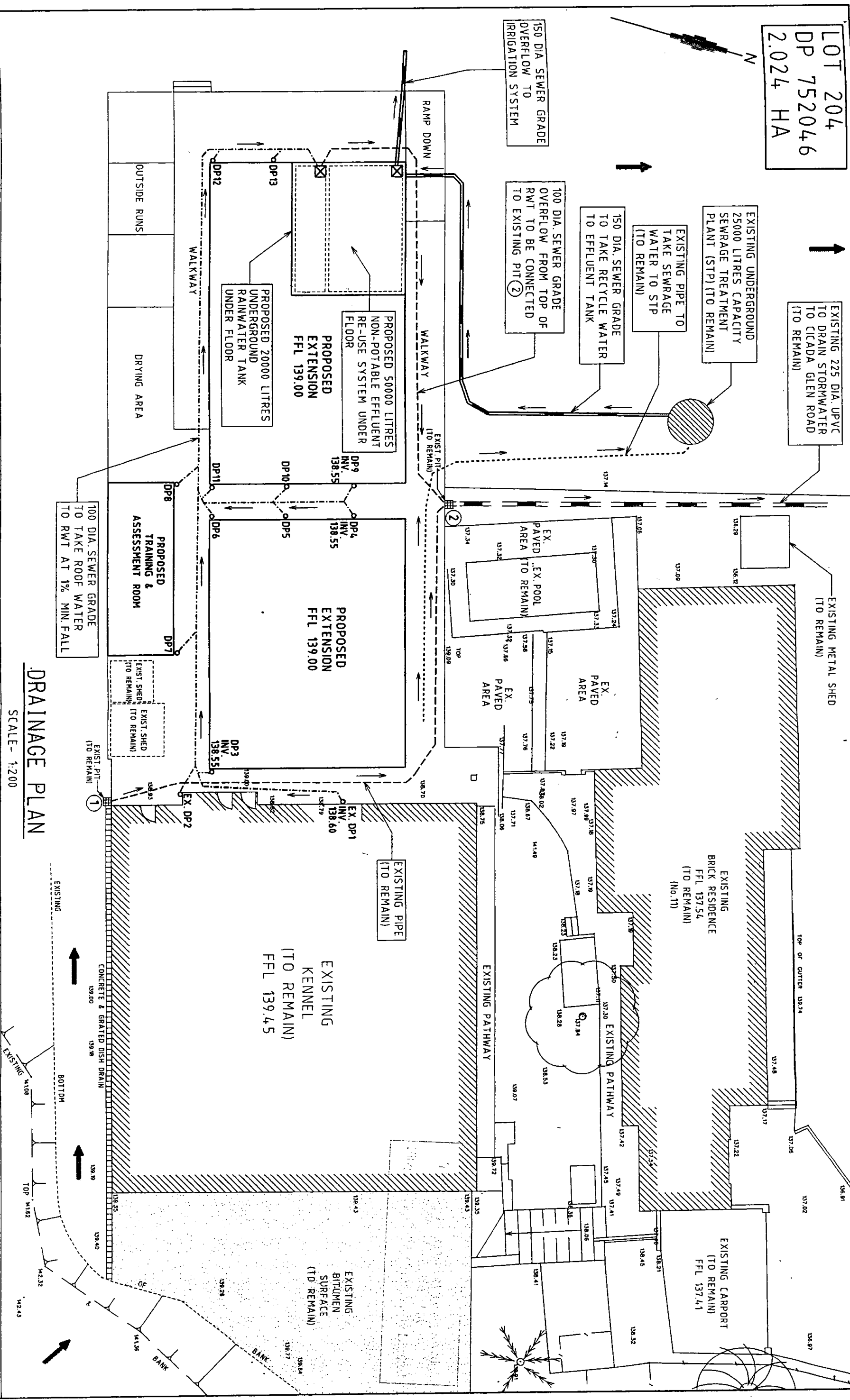
J. NASSERI
BE, FIEAustl.
NPER, CPENG.

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DESIGNED	JN	DRAWN	BUC	CHECKED	JN	SCALE	AS SHOWN	CAD REF.	ENG/PRIVATE	JOB No.	D2059	SHEET No.	1 of 6
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This is the plan/spec referred to in
the Final Certificate of Compliance
Cert. No. 2011/0539
13/4/11
Date of issue: 13/4/11
Author: JN
Checker: BUC
Reviewer: JN
Approved: JN

LOT 204
DP 752046
2.024 HA



NASSERI ASSOCIATES

CIVIL, HYDRAULIC & STRUCTURAL ENGINEERING
 SUITE 51, NO.14 NARABANG WAY, BELROSE NSW 2085
 PO BOX 714, BALGOWLAH, NSW 2093
 TEL. (02) 9986 3875
 FAX. (02) 9986 3876
 MOB. 0410 308 064
 EMAIL nasser.lassociates@igpond.com

J. NASSERI
BE, FIEAust.
NPER, CPEng.

SYMBOLS & NOTATIONS

NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	STORMWATER LINES				
2	DNORPIPE	SL			
3	100 DIA YARD SUMP	FINISHED SURFACE LEVEL			
4	225X100 GRATED BOX DRAIN	FFL			
5	INVERT LEVEL (P/PE / P11)	FINISHED FLOOR LEVEL			
6	NATURAL SURFACE LEVEL	FPL			
7		FINISHED PLATFORM LEVEL			
8		X-- SEDIMENT CONTROL BARRIER			
9		-- PROPOSED BOUNDARY			
10		-- S-- SEWER			

DRAINAGE PLAN

SCALE- 1:200

HYDRAULIC DETAILS

DRAINAGE PLAN

CLIENT ANIMAL WELFARE LEAGUE	DISPOSED	J/N	DRAWN	B/C	CHECKED	J/N	SCALE	A
LOT 204, (H/No.11) CICADA GLEN ROAD, INGLESIDE								

DESIGNED JN

BJC

CHECKED

SCALE AS

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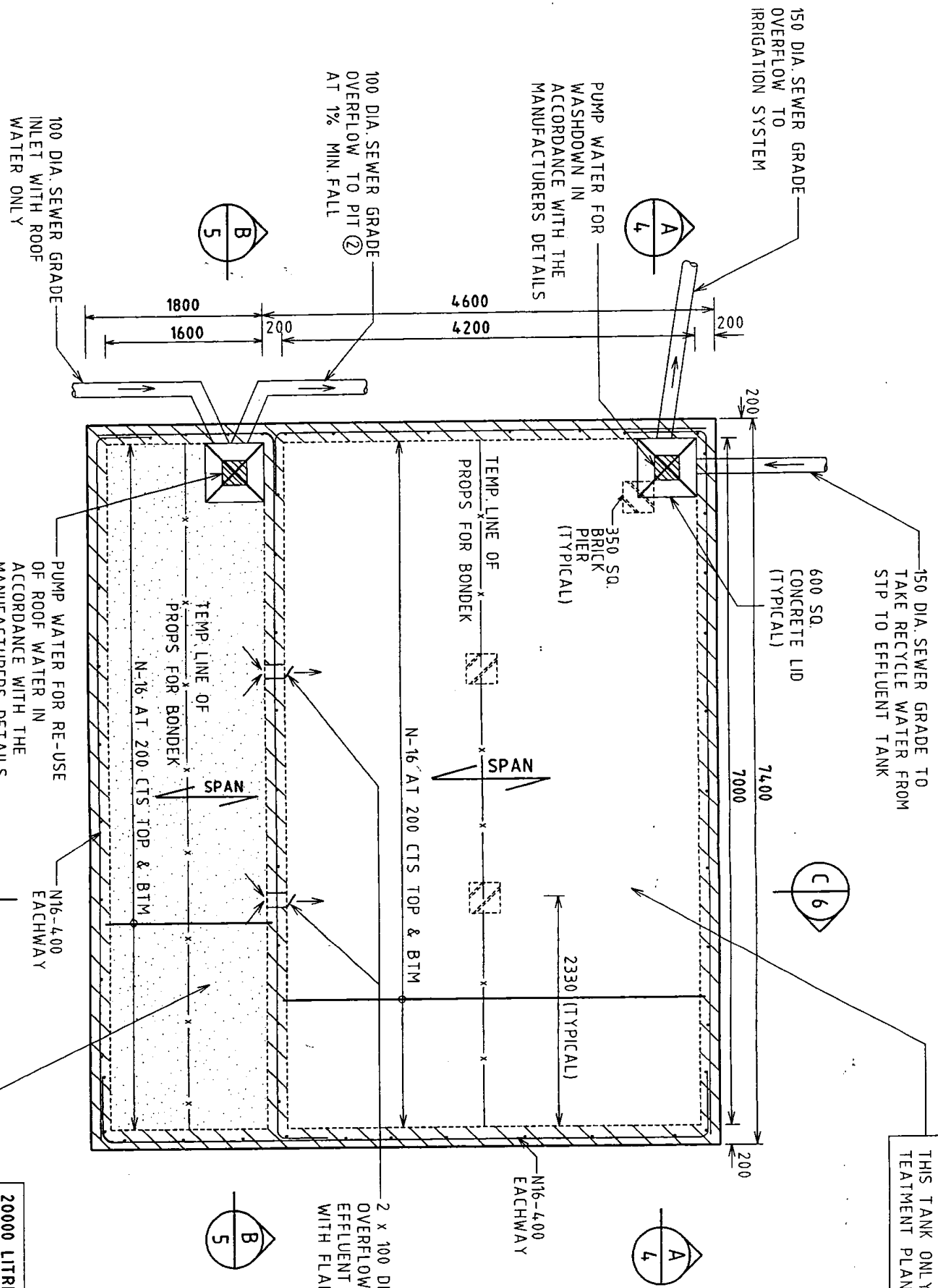
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6

50000 LITRES NON-POTABLE EFFLUENT RE-USE SYSTEM
THIS TANK ONLY COLLECTS WATER FROM SEWAGE TREATMENT PLANT (STP) FOR WASHDOWN.



VOLUME PROVIDED :
EFFLUENT RE-USE SYSTEM
= (7m LONG x 4.2m WIDE x 1.75m DEEP) -
(3 x 0.35² x 1.75m DEEP)
= 50.81m³ > 50m³.....OK
RAINWATER TANK
= (7m LONG x 1.6m WIDE x 1.8m DEEP)
= 20.16m³ > 20m³.....OK

20000 LITRES RAINWATER TANK SYSTEM
RWT ONLY COLLECTS ROOF WATER FOR RE-USE OF WATER - ENSURE ALL INTERNAL WALLS ARE WATERPROOFED IN ACCORDANCE WITH SYDNEY WATER

TANKS PLAN VIEW

SCALE 1:50

SYMBOLS & NOTATIONS

- STORMWATER LINES
- o DOWNPIPE
- 300x150 GRATED BOX DRAIN
- INV INVERT LEVEL (PIPE / PIT)
- NS NATURAL SURFACE LEVEL
- SL FINISHED SURFACE LEVEL
- FPL FINISHED FLOOR LEVEL
- FPL FINISHED PLATFORM LEVEL
- x- SEDIMENT CONTROL BARRIER
- s- PROPOSED BOUNDARY
- s- SEWER

HYDRAULIC DETAILS

TANKS PLAN VIEW

NASSERI ASSOCIATES
CIVIL, HYDRAULIC & STRUCTURAL ENGINEERING
SUITE 51, NO.14 NARABANG WAY, BELROSE NSW 2085
PO BOX 714, BALGOWLAH, NSW 2093
TEL. (02) 9986 3875
FAX. (02) 9986 3816
MOB. 0410 308 064
EMAIL nasser.associates@bigpond.com

J. NASSERI
BE, FIEAust.
NPER, CPEng.

REVISIONS			
NO.	DESCRIPTION	DATE	BY

CLIENT ANIMAL WELFARE LEAGUE			
LOT 204 (H/No.11) CICADA GLEN ROAD, INGLESIDE			
DESIGNED	JN	DRAWN	BUC
CHECKED	JN	SCALE	AS SHOWN
CAD REF.	ENG/PRIVATE	JOB NO.	D2059
SHEET	No. 3 of 6		

TOP - 150 THICK CONCRETE, SL82 TOP, 40 COVER—
N16 AT 200 CTS, TOP & BTM 25 COVER



SCALE 1:20

w

CIVIL, HYDRAULIC & STRUCTURAL ENGINEERING
SUITE 51, NO.14 NARABANG WAY, BELROSE NSW 2085
PO BOX 714, BALGOWLAH, NSW 2093
TEL. (02) 9986 3875
FAX. (02) 9986 3876
MOB. 0410 308 064
EMAIL nasser.iossociates@igpond.com

J. NASSERI
BE, FIEAust.
NPER, CPEng.

	STORMWATER LINES	SL	FINISHED SURFACE LEVEL
DOMESTIC		FFL	FINISHED FLOOR LEVEL
100 DIA YARD SURF		FPL	FINISHED PLATFORM LEVEL
300x150 CASTED BOX DRAIN			SEEDMENT CONTROL BARRIER
INVERT LEVEL (PIPE / PITT)			PROPOSED BOUNDARY
NATURAL SURFACE LEVEL			SEWER

SECTION C DETAILS

JOB No. D2059

SHEET No.6 of 6

EMAIL nasser.associates@igpond.com