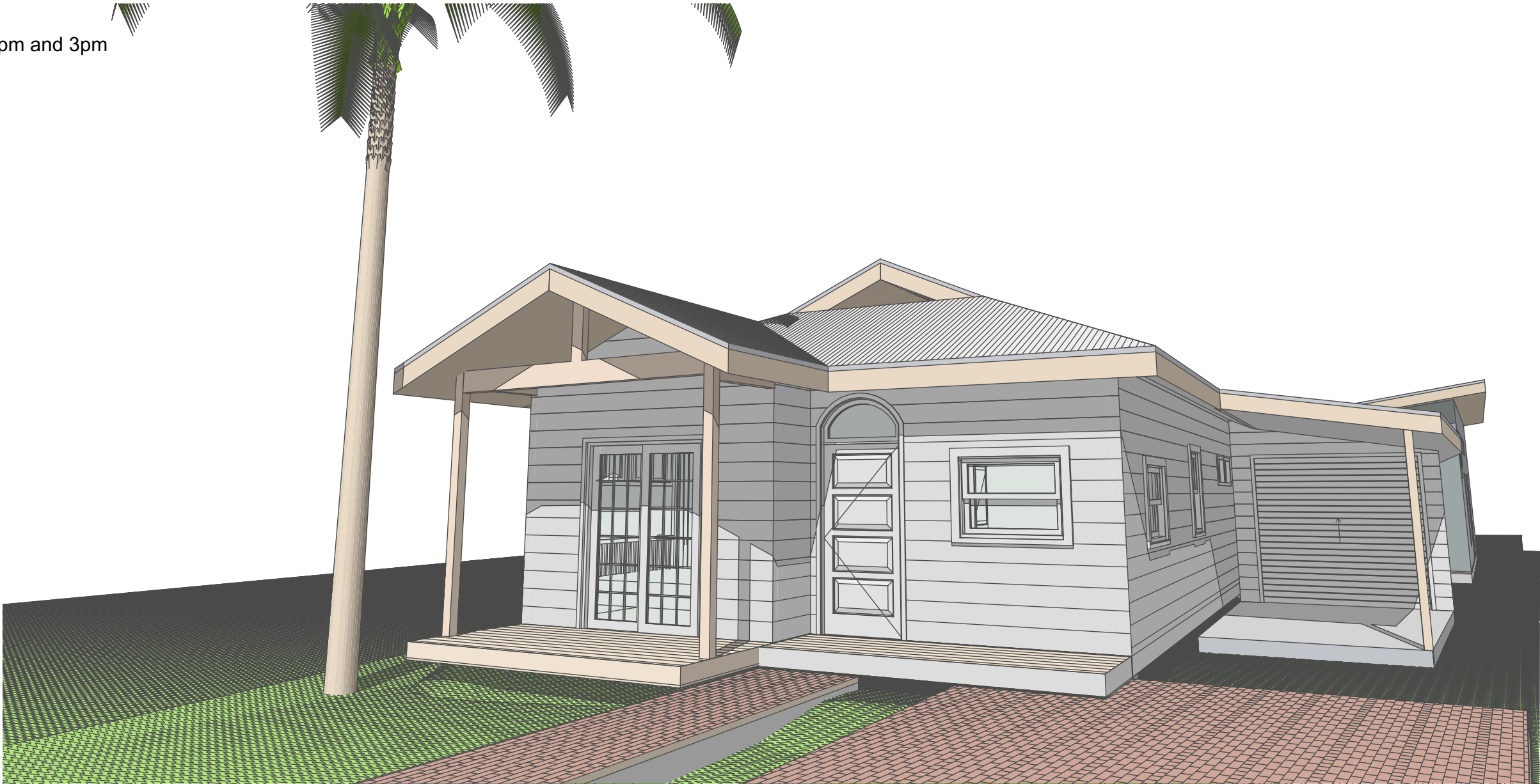


SHEET INDEX

- Cover Sheet
- Existing Floor Plans
(Demolition and Waste Management)
- Detailed Site Plan & Analysis
- Site Plan 2
- Proposed Floor Plans
- Proposed Roof Plans
- Elevations (North and West)
- Elevations (South and East)
- Sections
- Perspective Views
- Landscape Area General
- Shadow Diagram 9am, 12pm and 3pm
- Stormwater Management

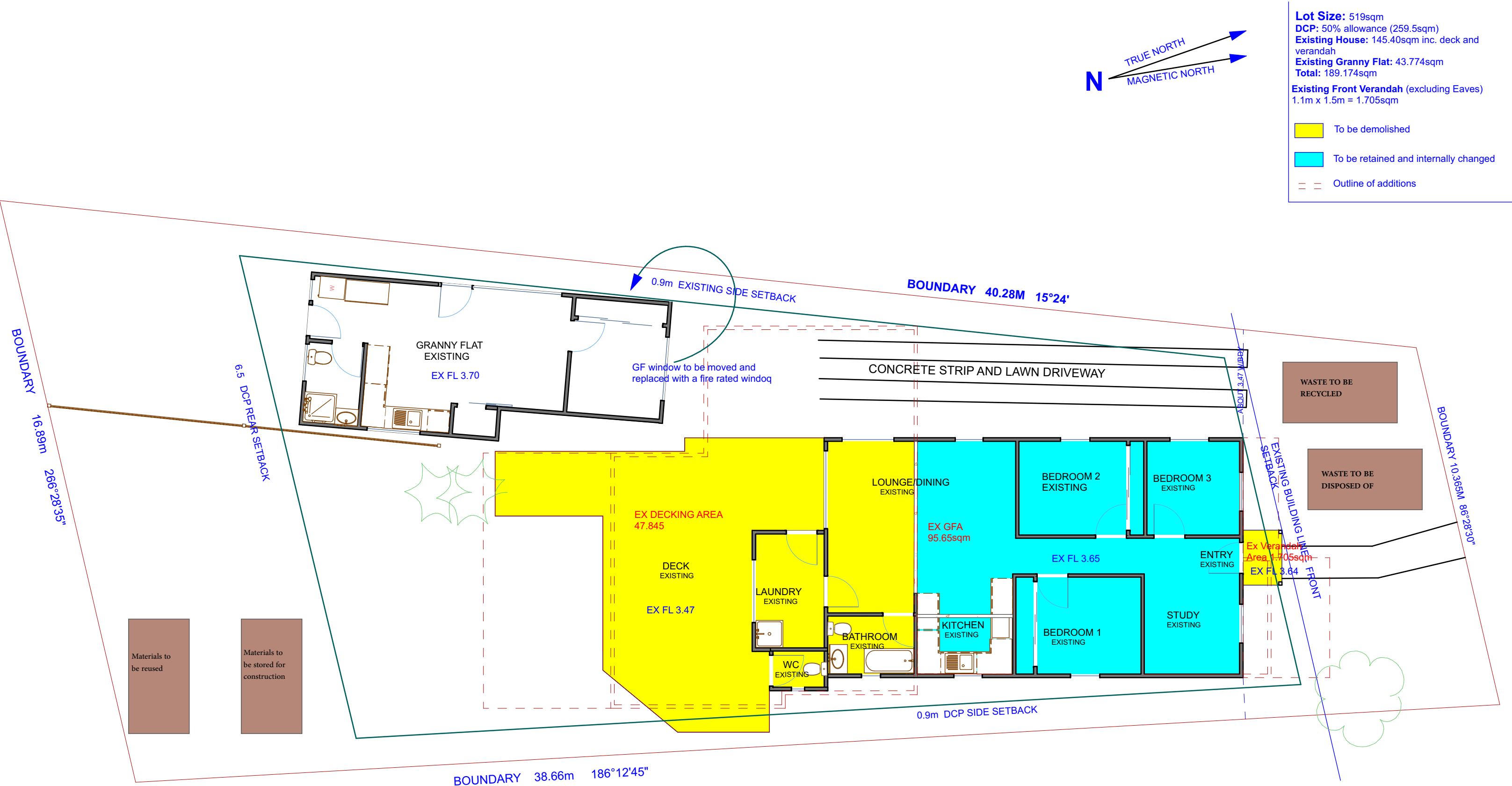
17 Narroy Road North Narrabeen NSW 2101

Lot 299 DP 16719
Lot Size: 519sqm



First Floor RCP (1)

SCALE: 1:351.06

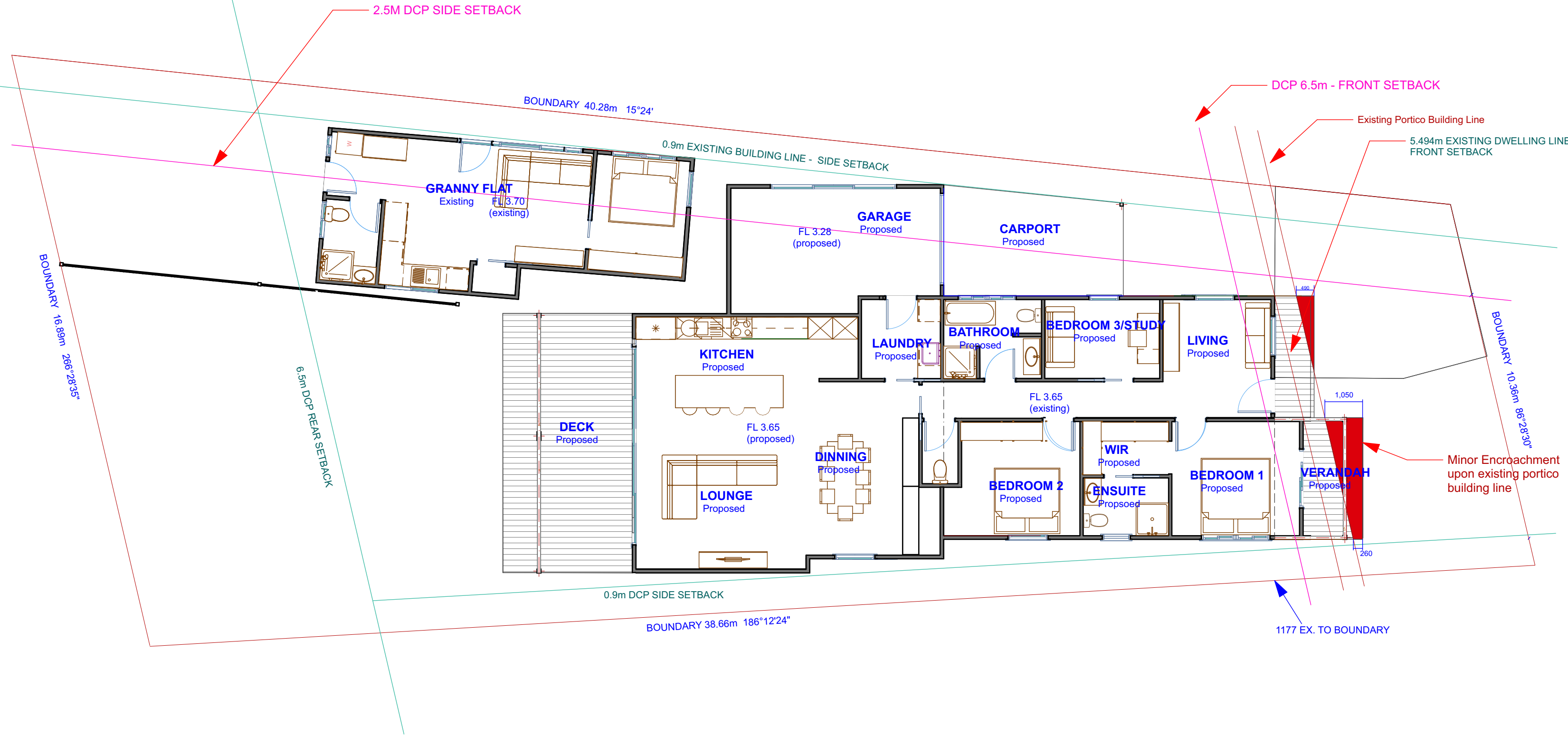
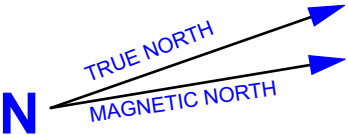


- existing hard surface area - 154sqm
- hard surface area to be retained - 57.5sqm
- proposed hard surface area - 259.5sqm
- plus impervious landscaped area outside of allowance - 6.86sqm
- total site area - 519sqm
- existing landscaped area (%) - 206.67sqm (39%)
- proposed landscaped area (%) - 228.14 (44%)
- impervious areas less than 1 metre (pathways) - 49.305sqm (9.5%)
- impervious landscaped allowance - (6%) 31.14sqm

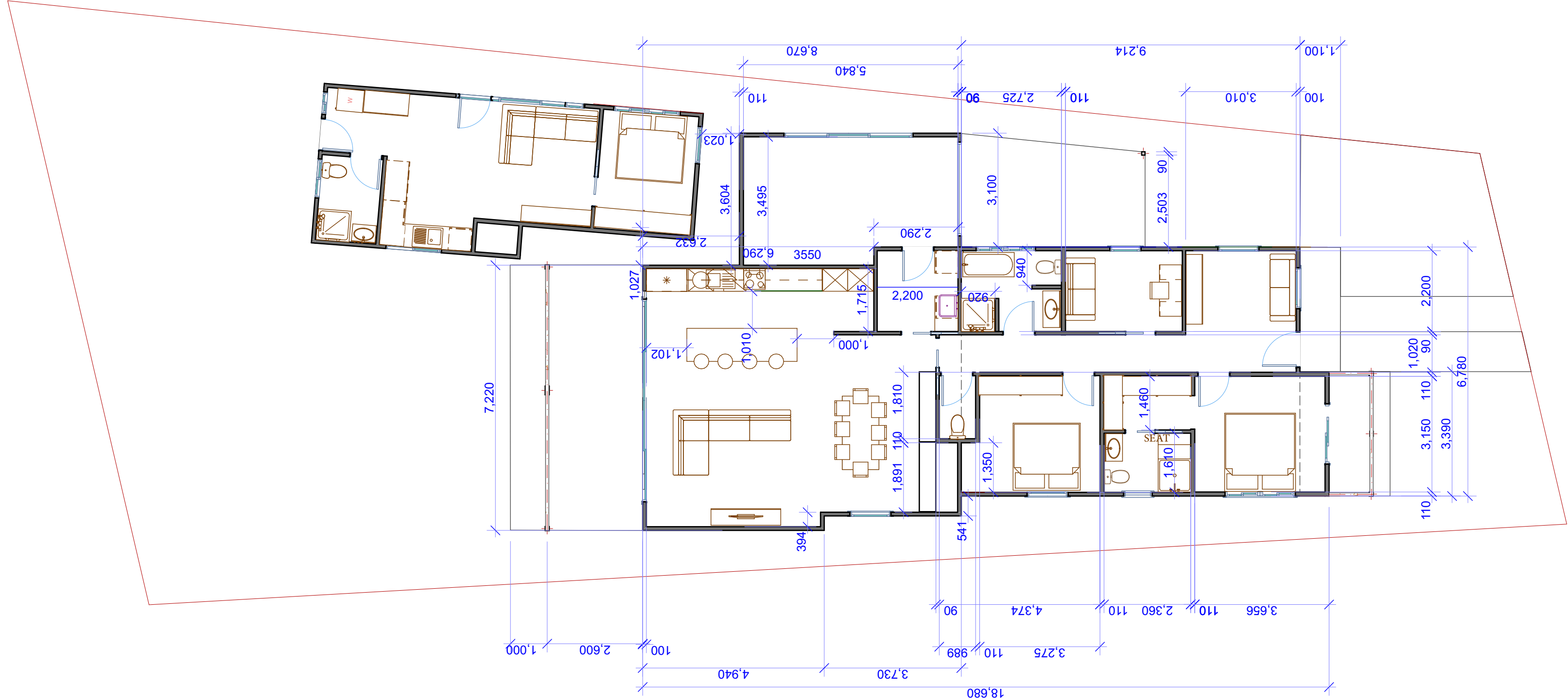
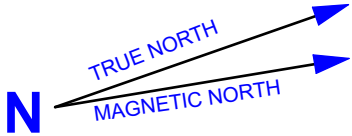
ARCHICAD EDUCATION VERSION

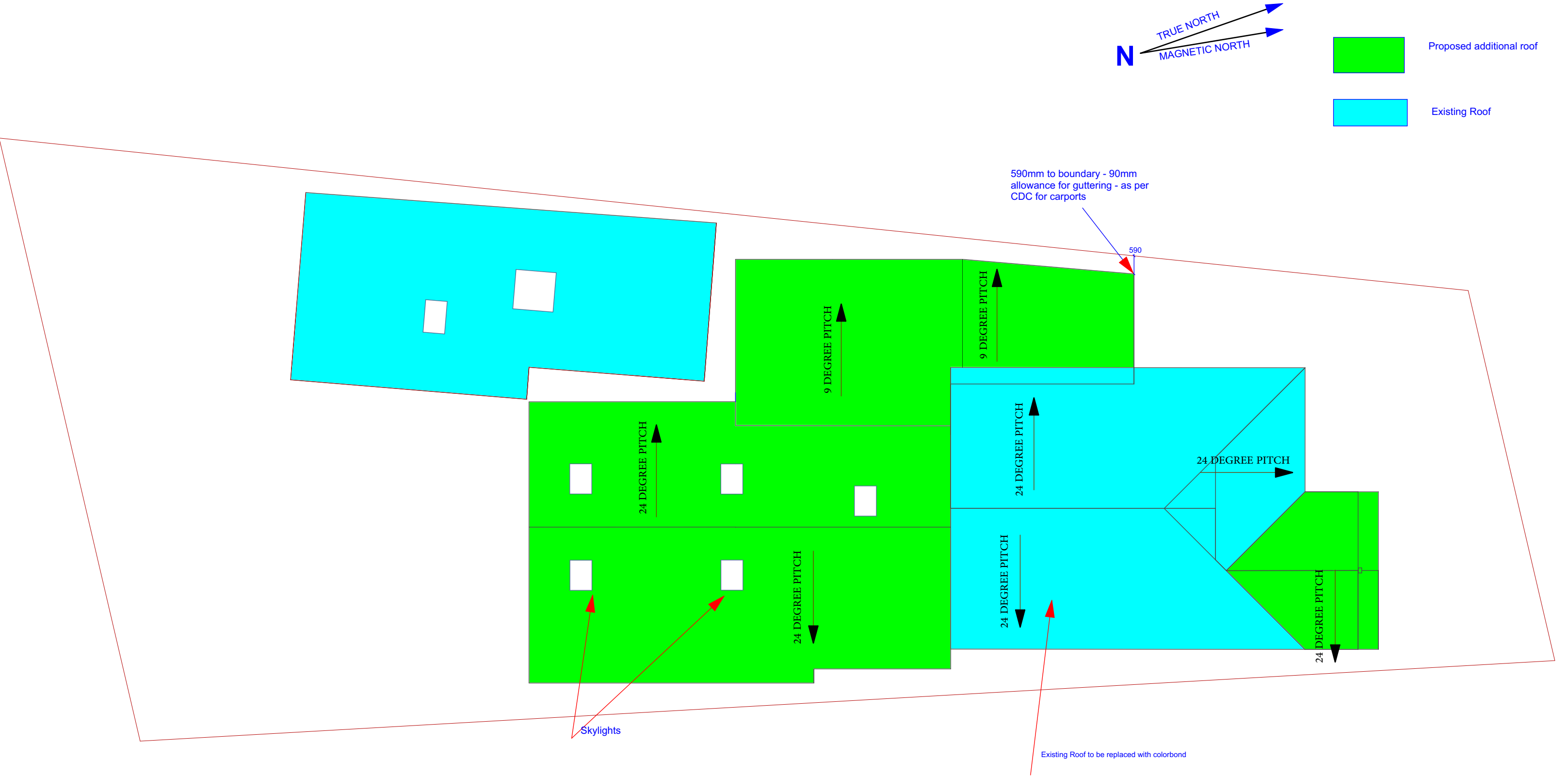
Lot Size: 519sqm
DCP: 50% allowance (259.5sqm)
Impervious area 6% - (31.14sqm)
Total Allowance: 290.64sqm
Existing Dwelling: 96.27
Proposed House: 158sqm inc. garage
Existing Granny Flat: 44sqm
Total Dwelling: 202 sqm (39%)
plus hardsurfaces 57.5

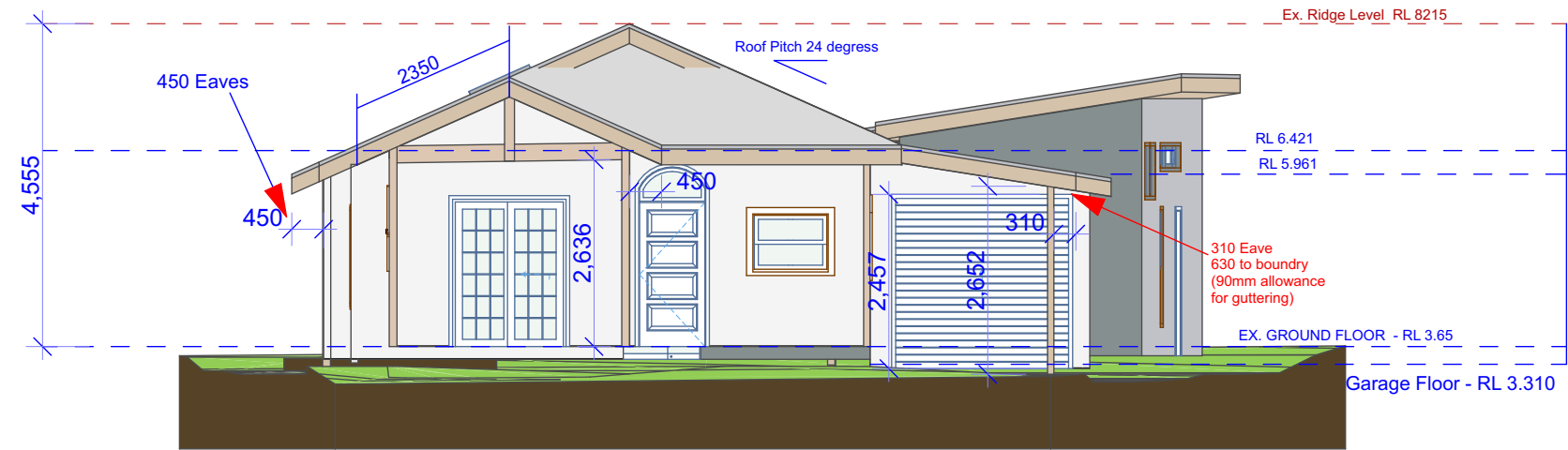
Total 259.5sqm (50%)



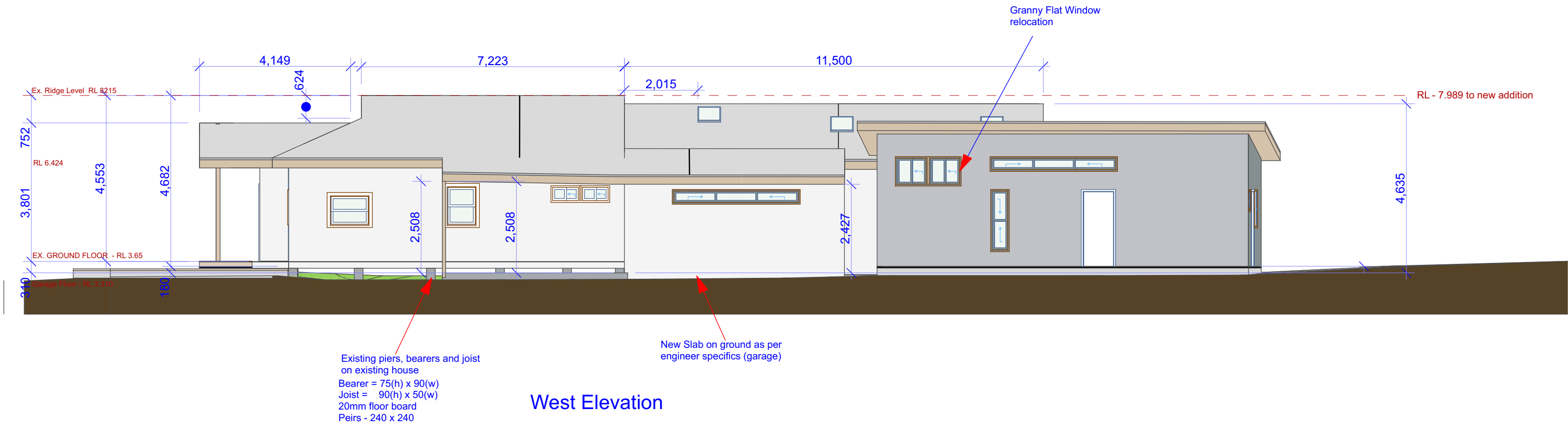




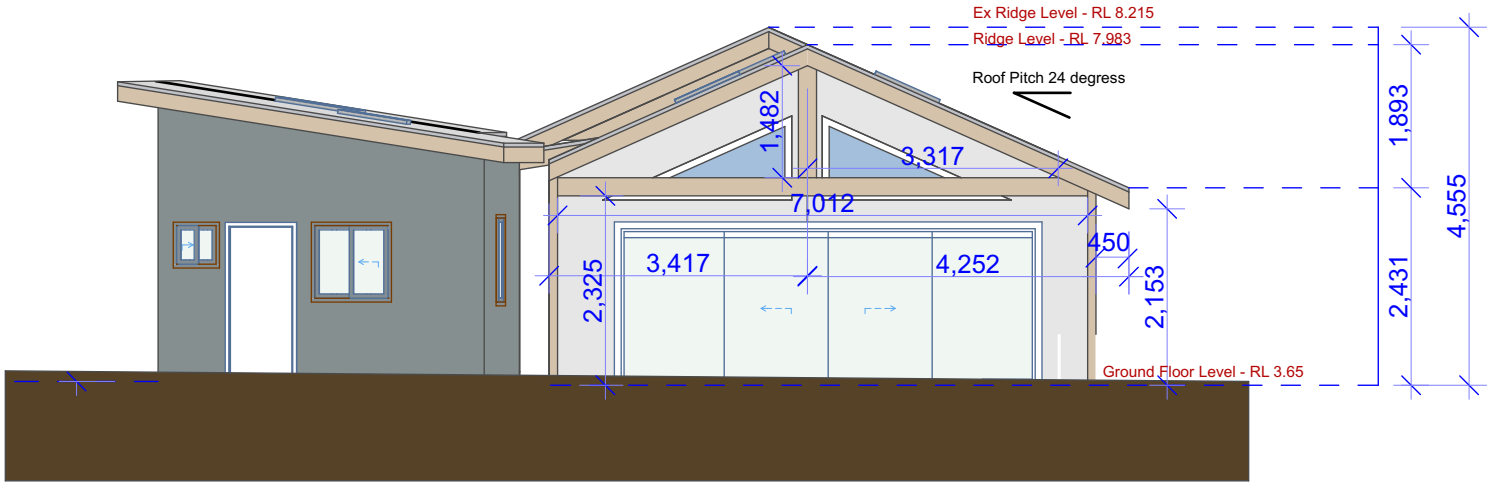




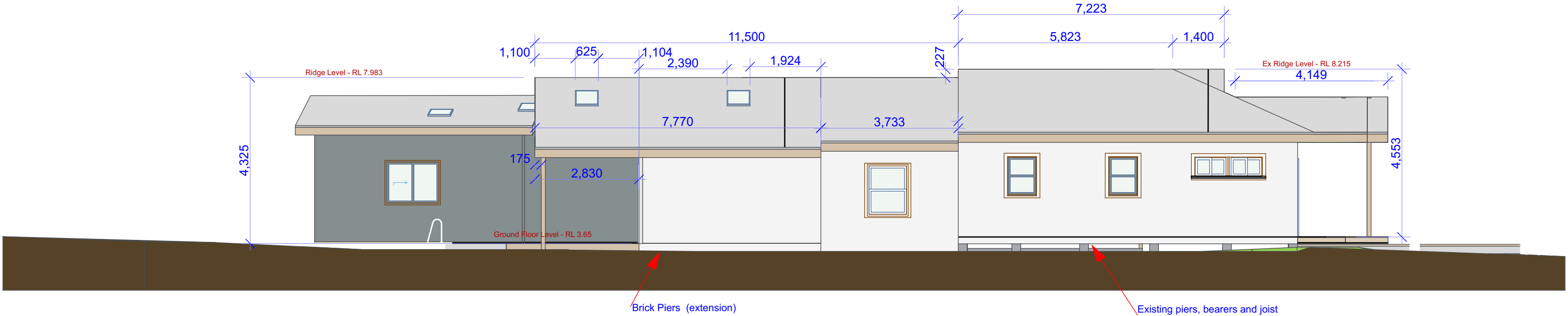
North Elevation



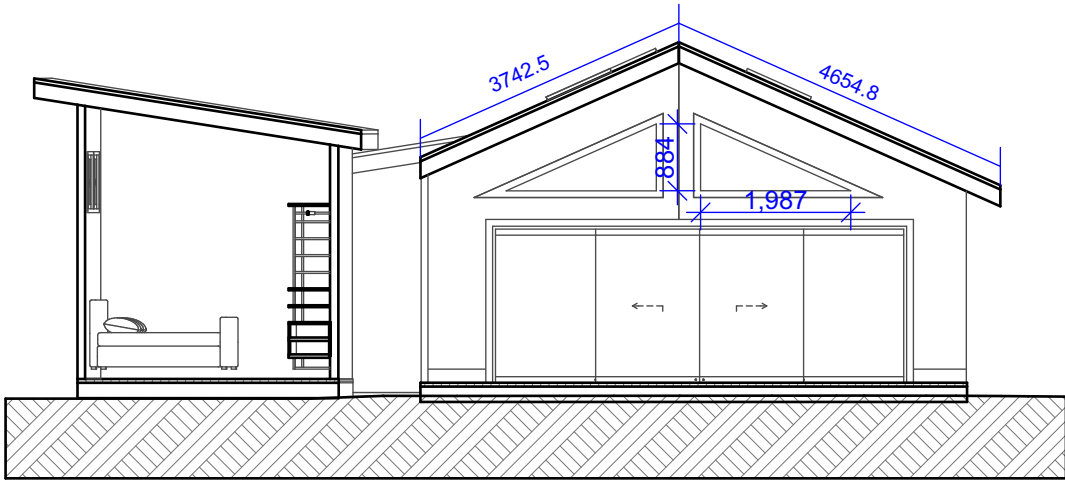
West Elevation



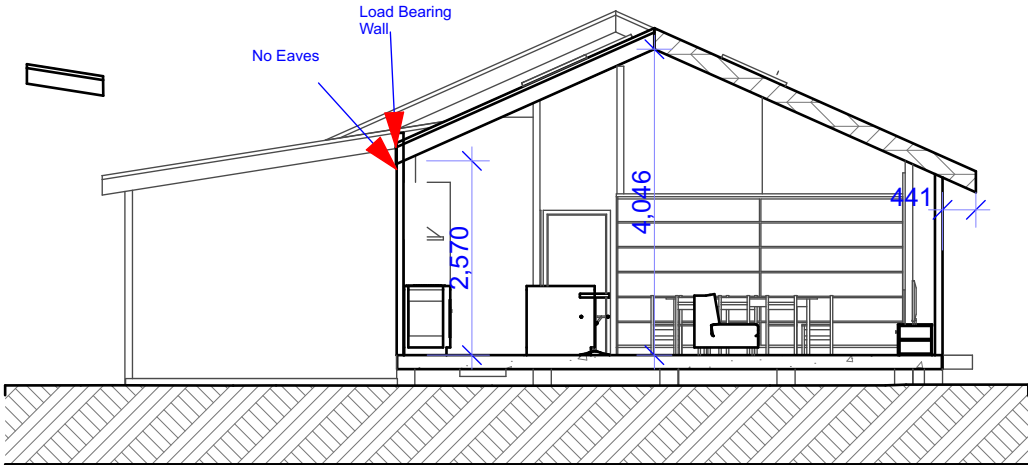
South Elevation



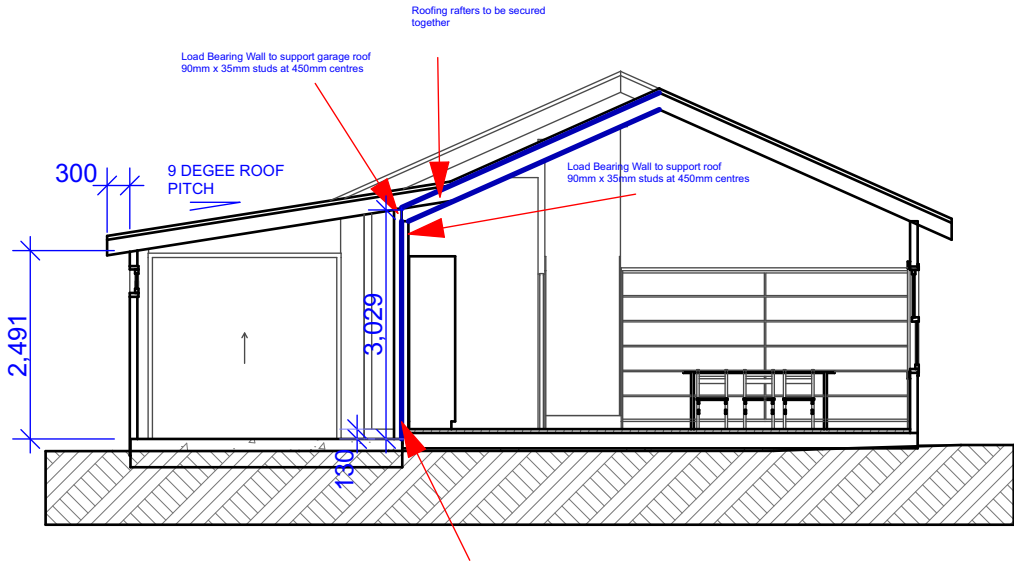
East Elevation



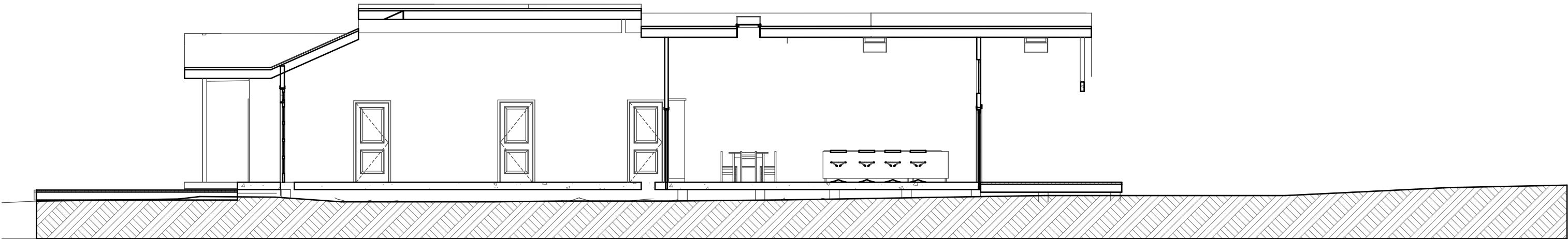
Section 1 (South to North)



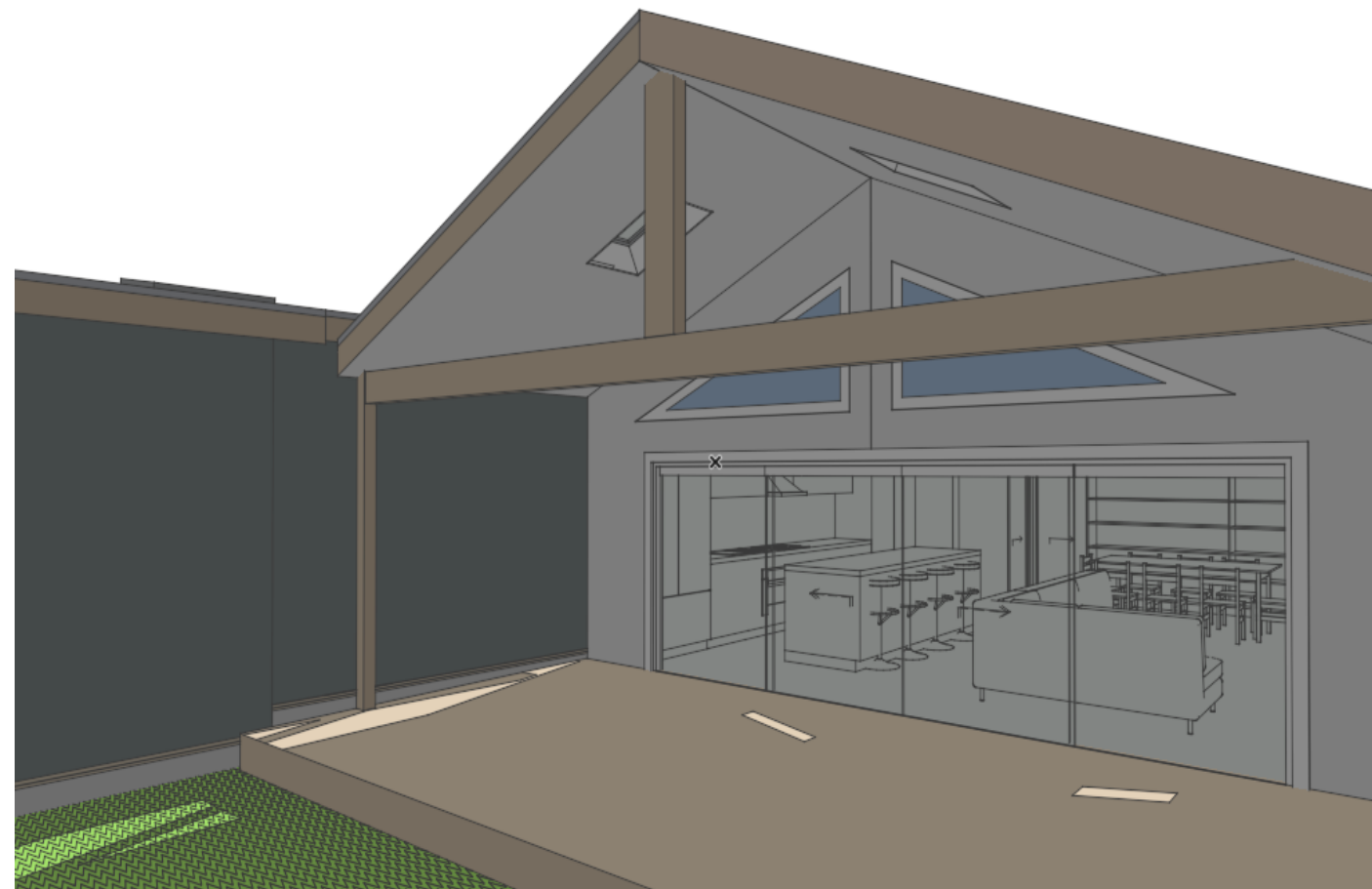
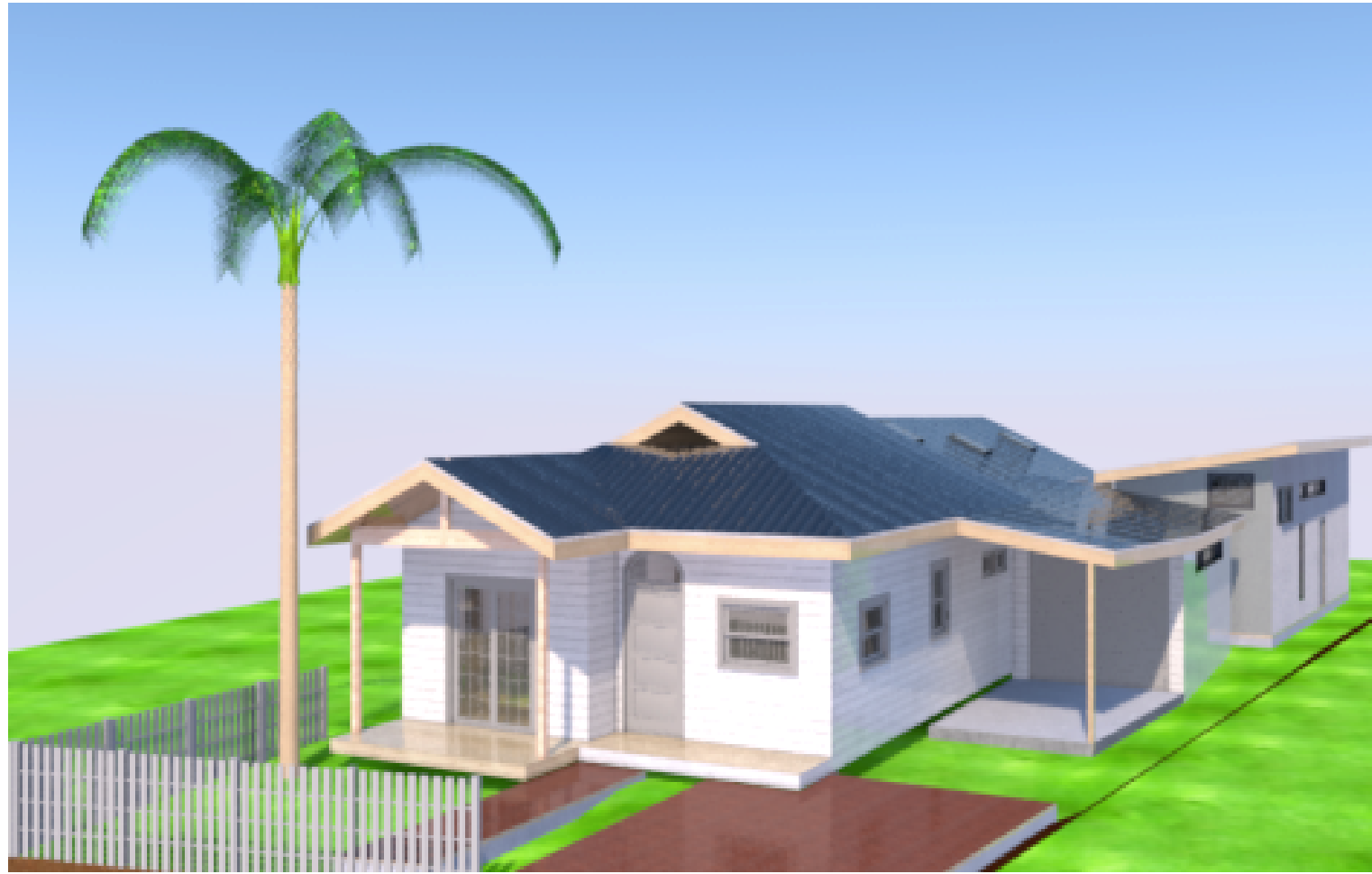
Section 2 (South to North)



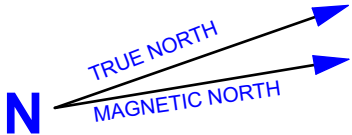
Section 3 (South to North)



Section 4 (West to East)



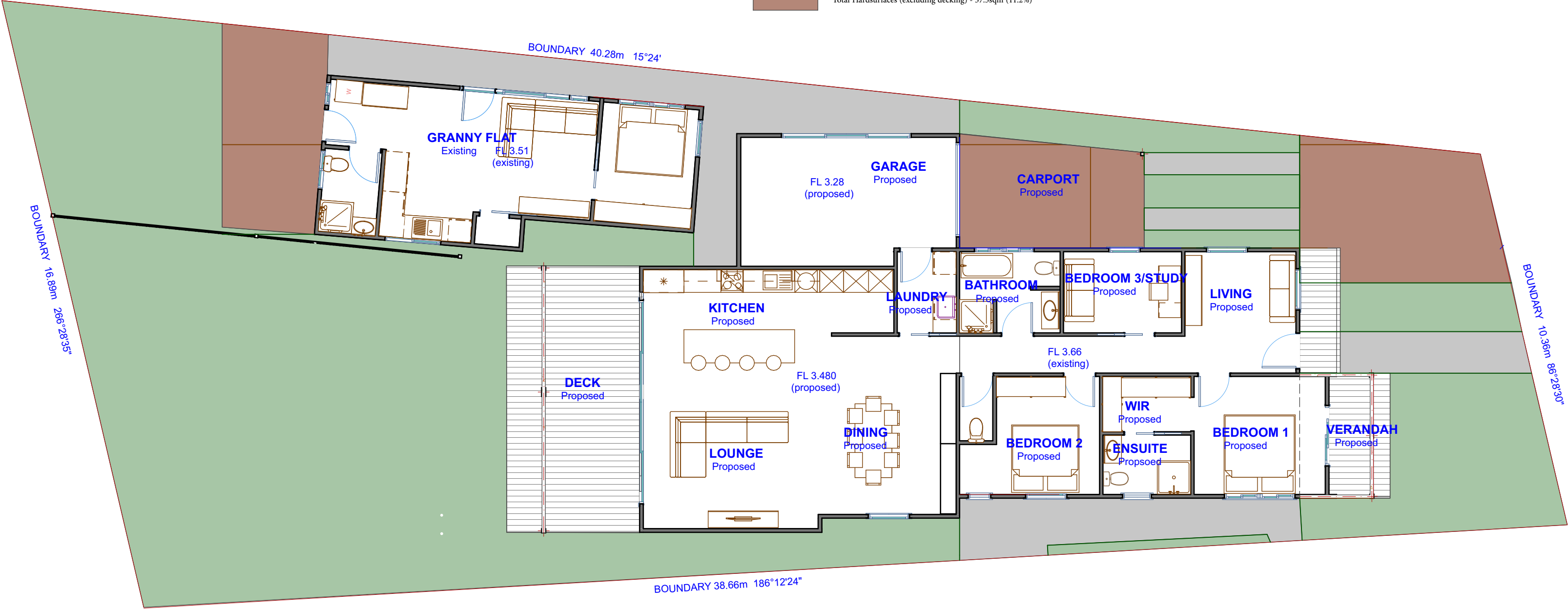
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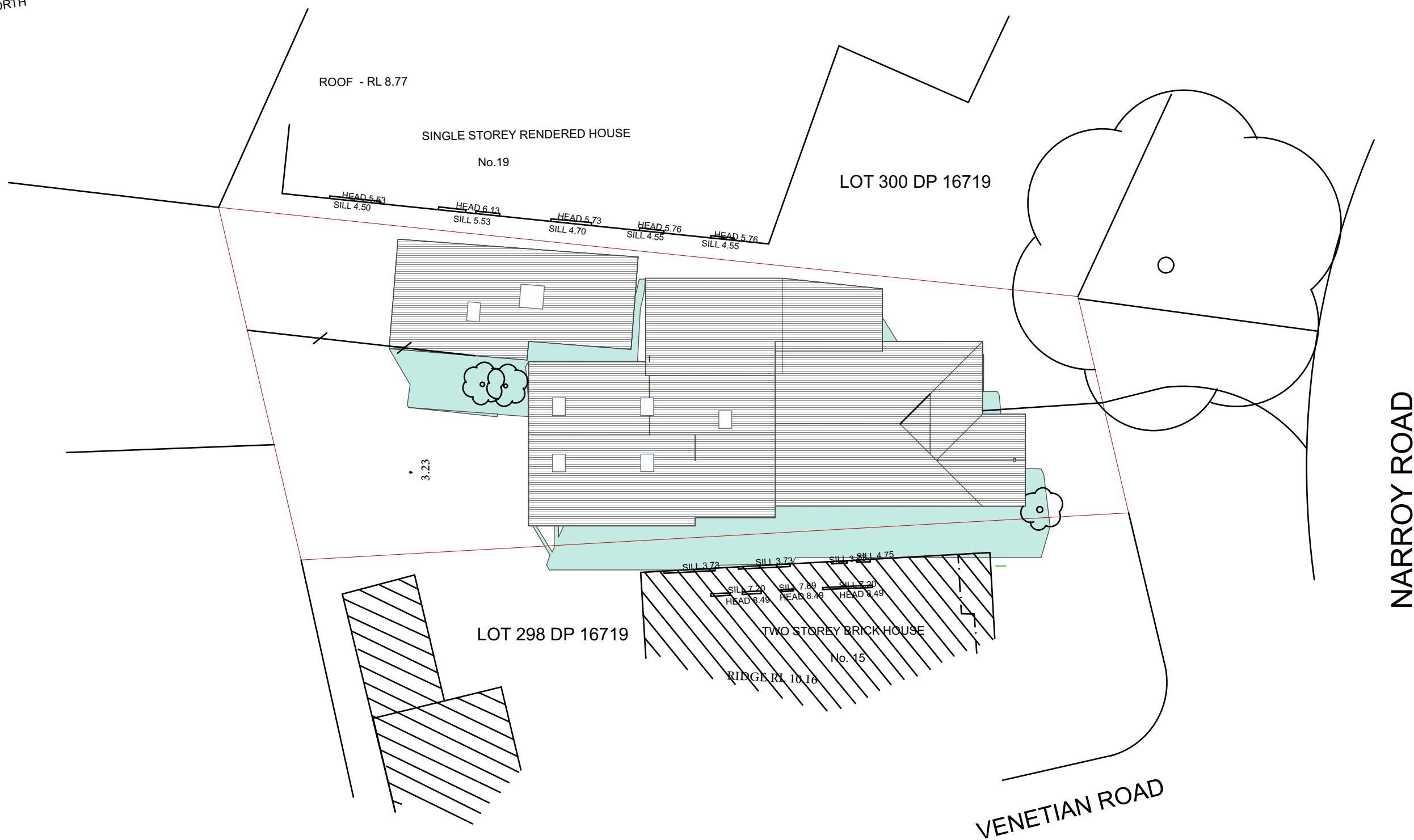
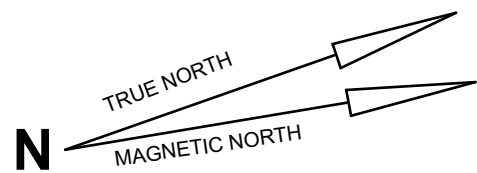
Total 259.5sqm (50%)

-  Landscaped Area 178.835sqm
-  i) impervious areas less than 1 metre in width (e.g. pathways and the like) - 49.305sqm (9.5%)
-  Total Hardsurfaces (excluding decking) - 57.5sqm (11.2%)









STORMWATER MANAGEMENT PLAN

AS/NZ 3500.3

ARI = 206 (Table 7.4.3ABCB Housing Provisions Standard (2002) - (Table 1)

Lysaght 150 Half Round Gutter (non slotted) with 100mm downpipes to be installed at a gradient >1:500

Effective cross section = 7042 (Table 2)

Maximum Catchment Area per down pipe = 37sqm (Figure 1)

- New Drainage and 100mm round down pipes to be installed and linked with existing - 100mm stormwater pipe
- Existing Drainage and down pipes- 100mm stormwater pipe

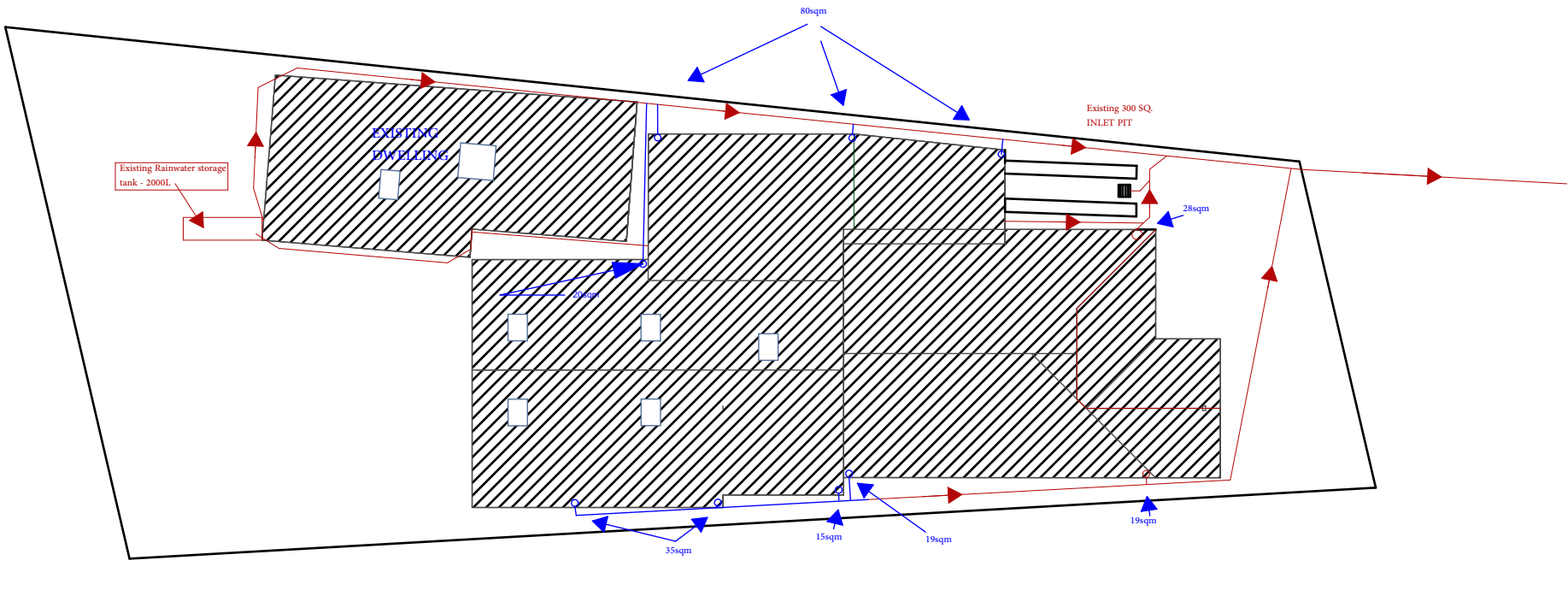


Table 1

Design rainfall intensities adopted from Table 7.4.3d of the ABCB Housing Provisions Standard (2022).

	ARI once in 20 years mm/hr	ARI once in 100 years mm/hr
ACT		
Canberra	143	192
Gungahlin	137	179
Tuggeranong	148	210
New South Wales		
Albury	139	180
Broken Hill	143	219
Goulburn	121	156
Kiama	226	319
Newcastle	226	316
Orange	142	186
Sydney	200	262
Avalon	206	278
Campbelltown	167	222
Penrith	180	244
Windsor	175	233
Tweed Heads	252	330
Wollongong	217	308

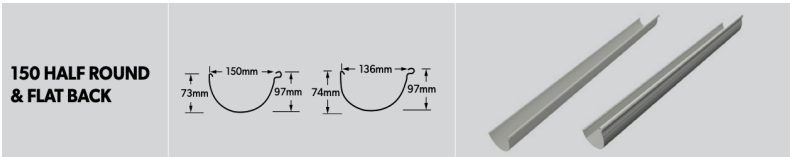


Figure 1

Cross-sectional area of eaves gutters required for various roof catchment areas (where gradient of gutter is 1:500 and steeper). (Adopted from AS/NZS 3500.3).

