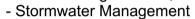
SHEET INDEX

- Cover Sheet
- Existing Floor Plans (Demolition and Waste Management)
- Detailed Site Plan & Analysis
- Site Plan 2
- Proposed Floor Plans
- Proposed Roof Plans
- Elevations (North and West)
- Elevations (South and East)
- Sections
- Perspective Views
- Landscape Area General - Shadow Diagram 9am, 12pm and 3pm



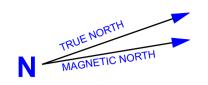
17 Narroy Road North Narrabeen NSW 2101 Lot 299 DP 16719

Lot Size: 519sqm



First Floor RCP (1)

SCALE: 1:351.06

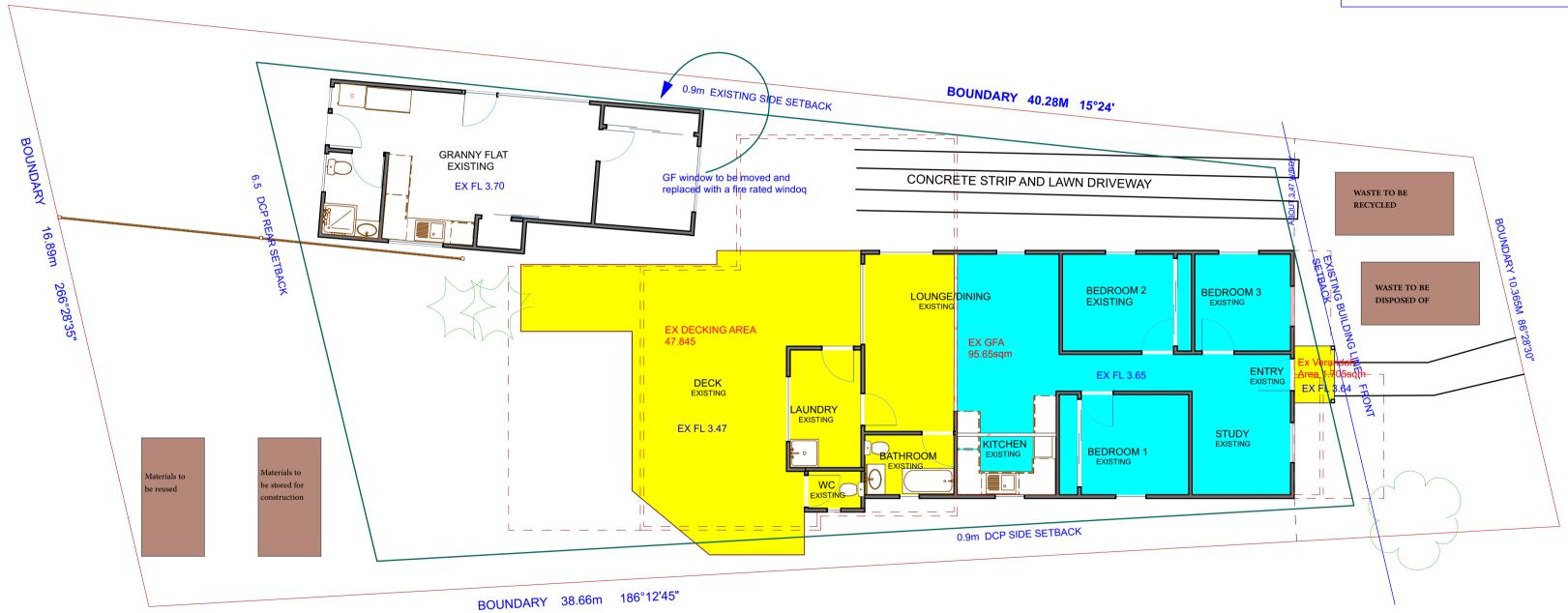


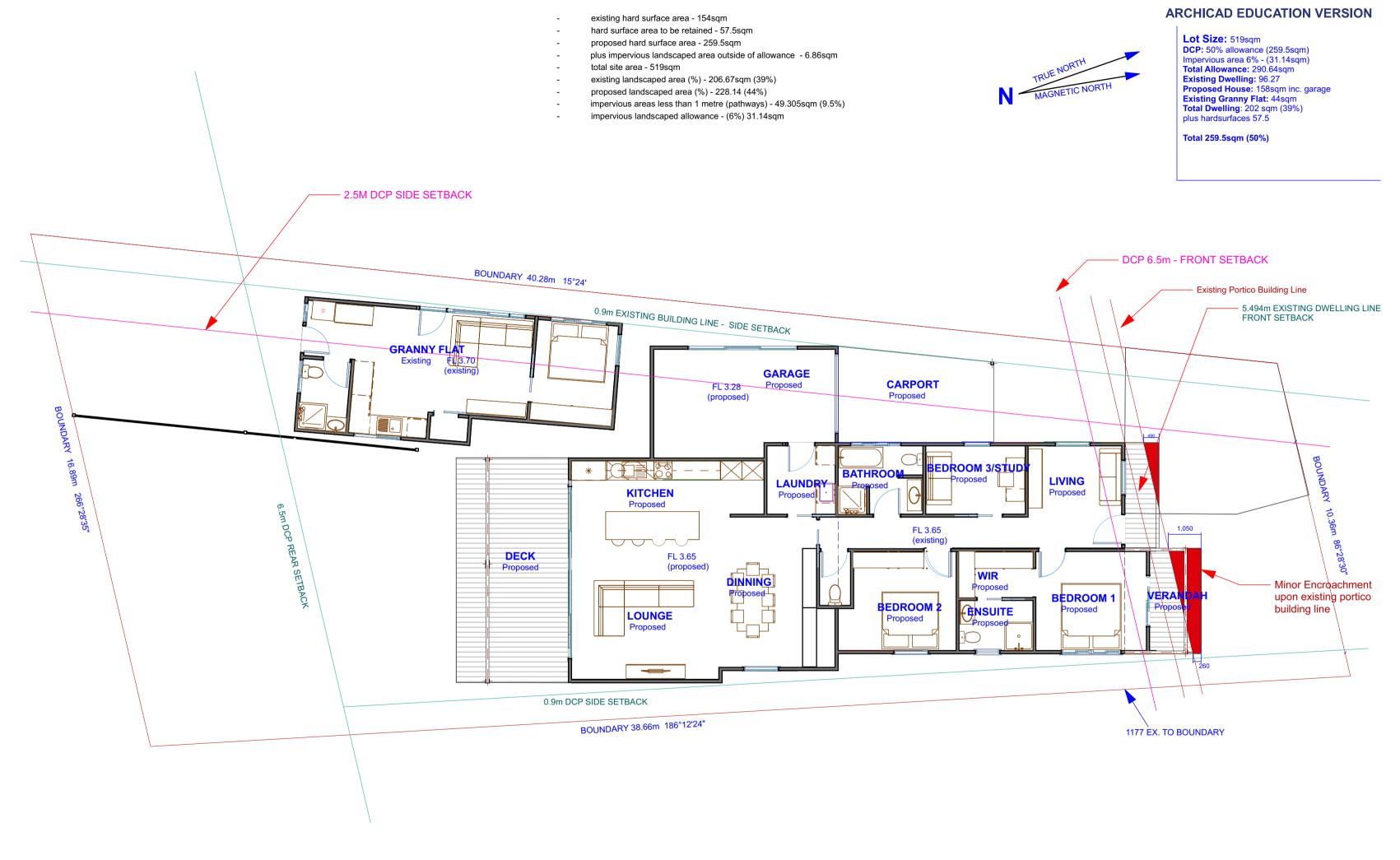
Lot Size: 519sqm
DCP: 50% allowance (259.5sqm)
Existing House: 145.40sqm inc. deck and verandah
Existing Granny Flat: 43.774sqm
Total: 189.174sqm
Existing Front Verandah (excluding Eaves)
1.1m x 1.5m = 1.705sqm

To be demolished

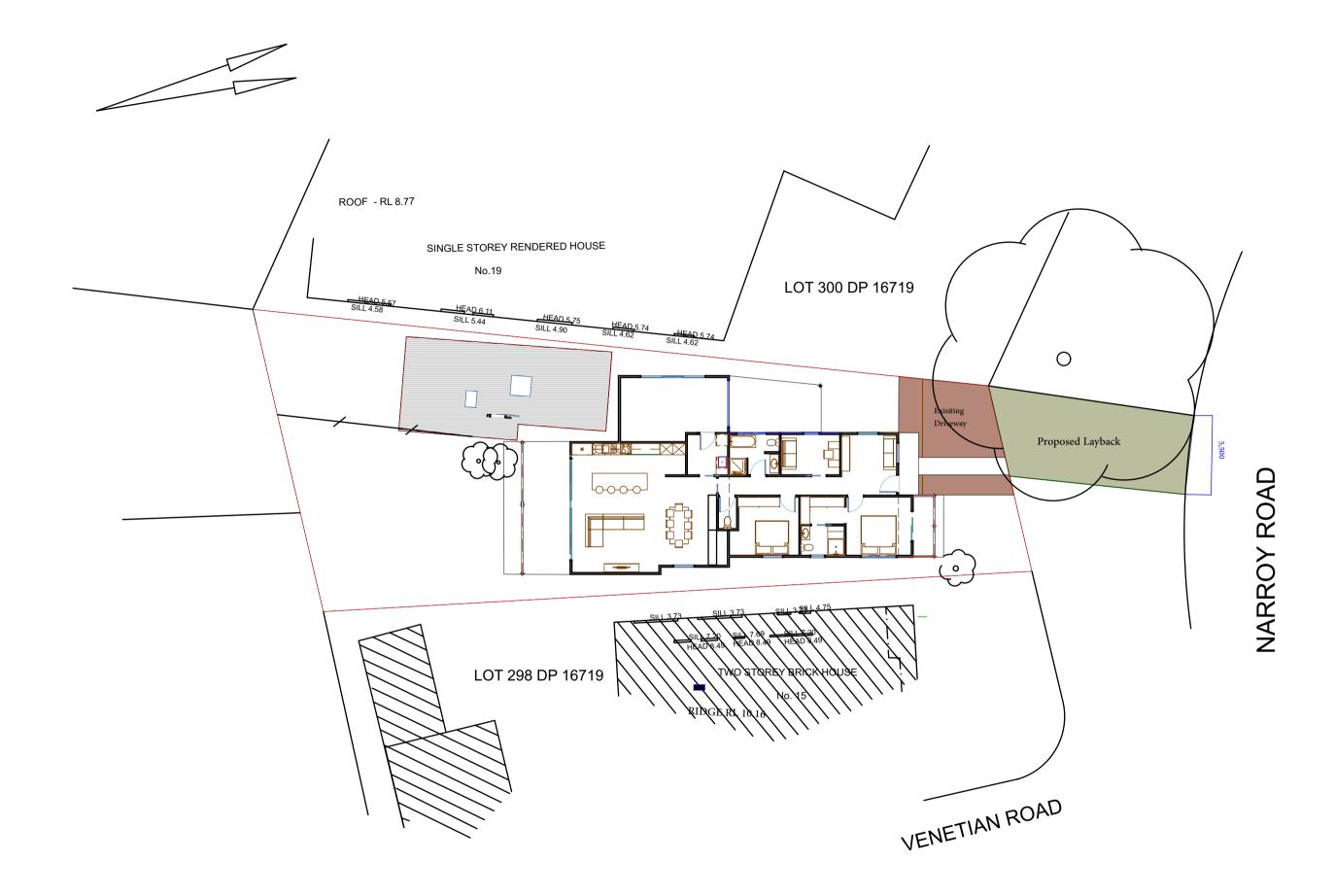
To be retained and internally changed

— _ _ Outline of additions



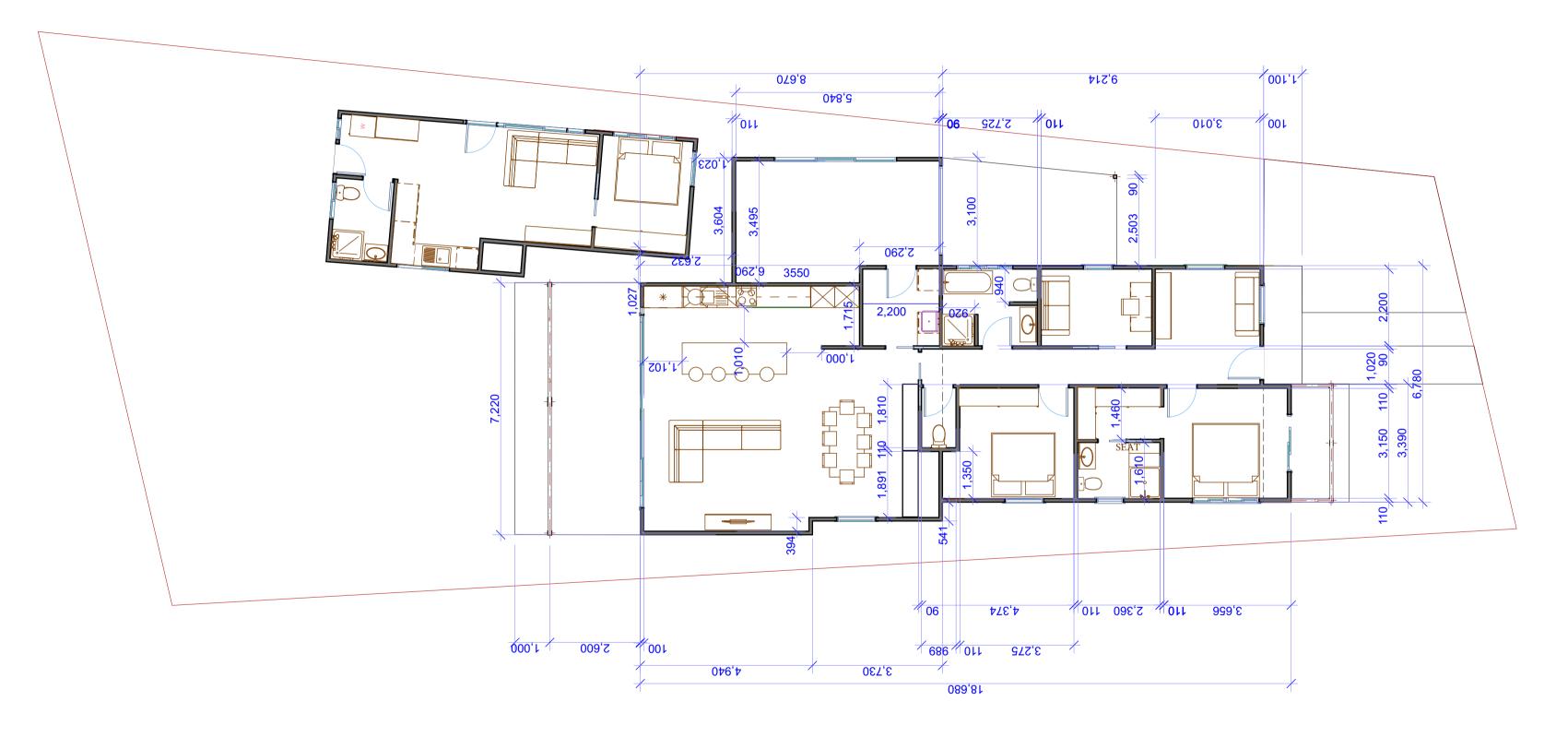


17 Narroy Road

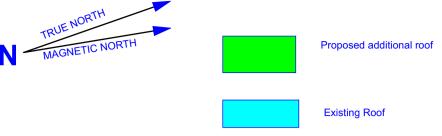


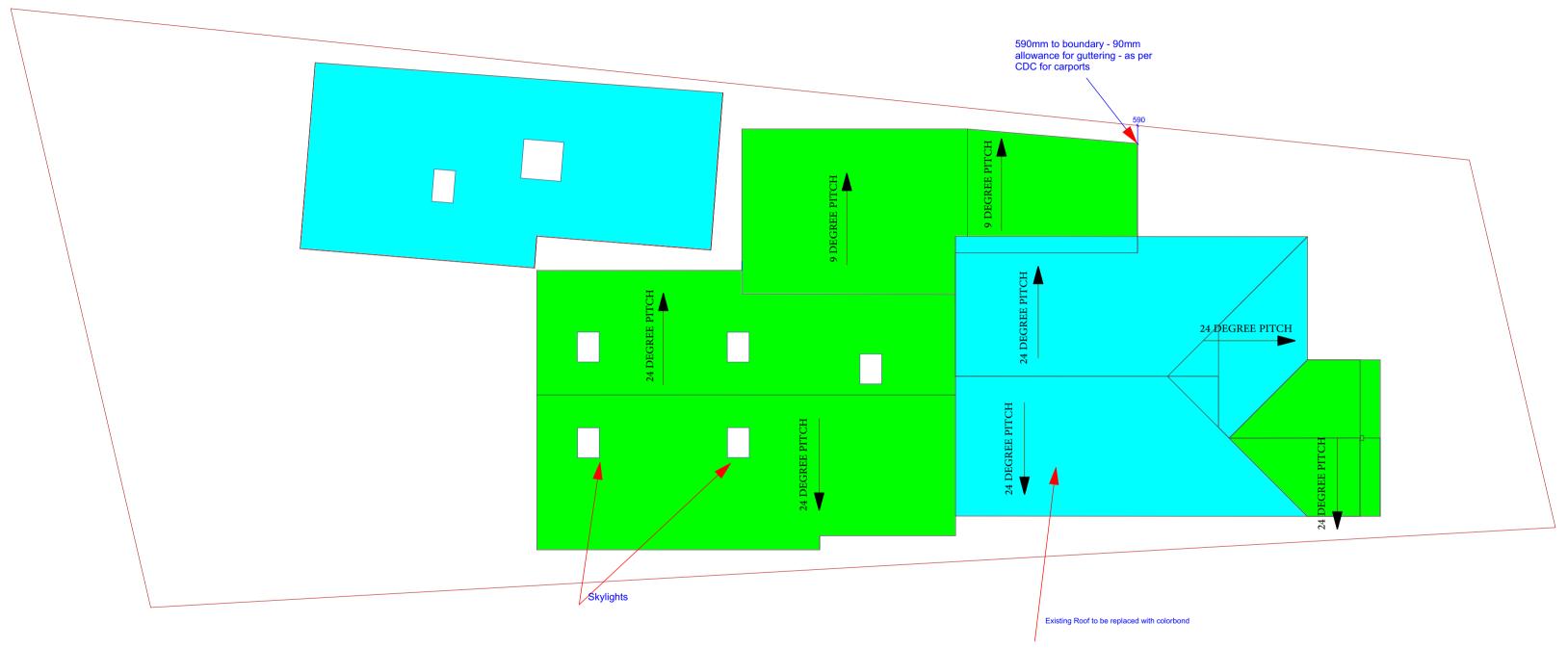
Drawing 4 of 13

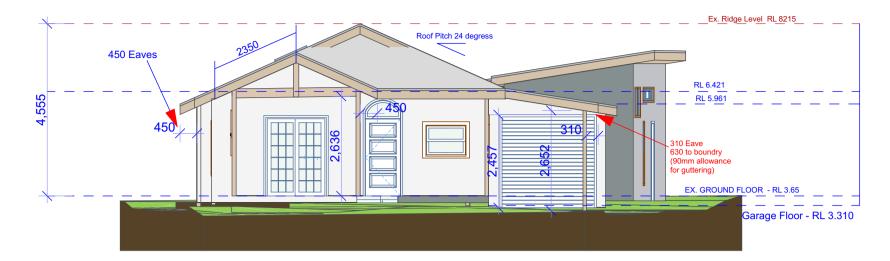




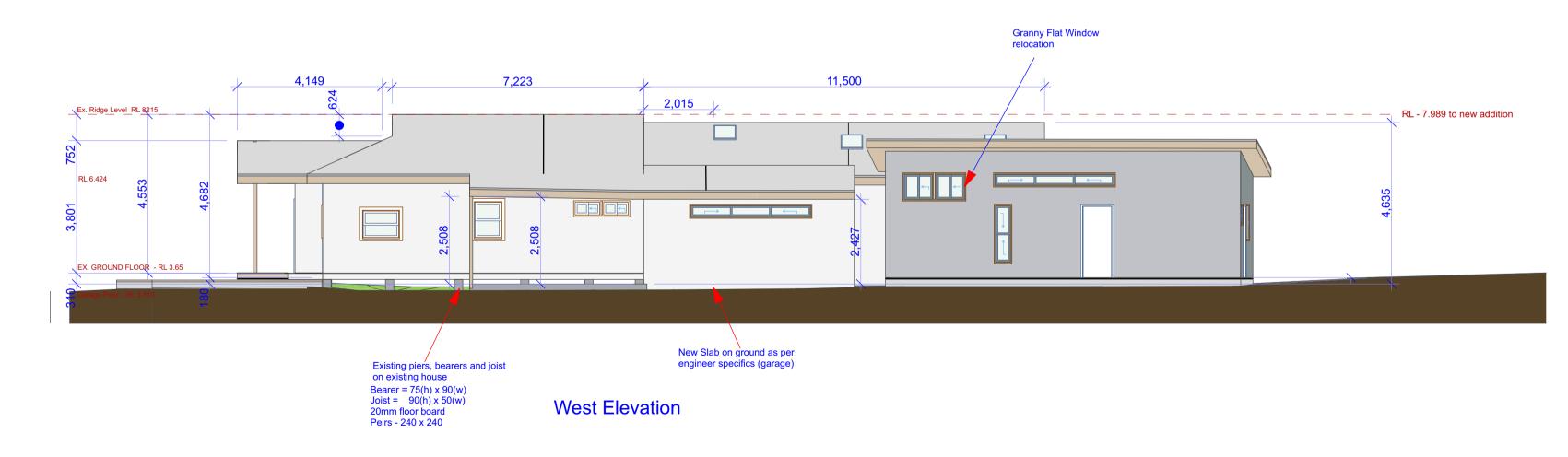
ARCHICAD EDUCATION VERSION



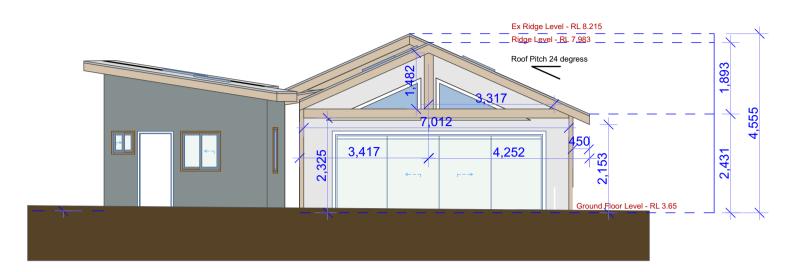




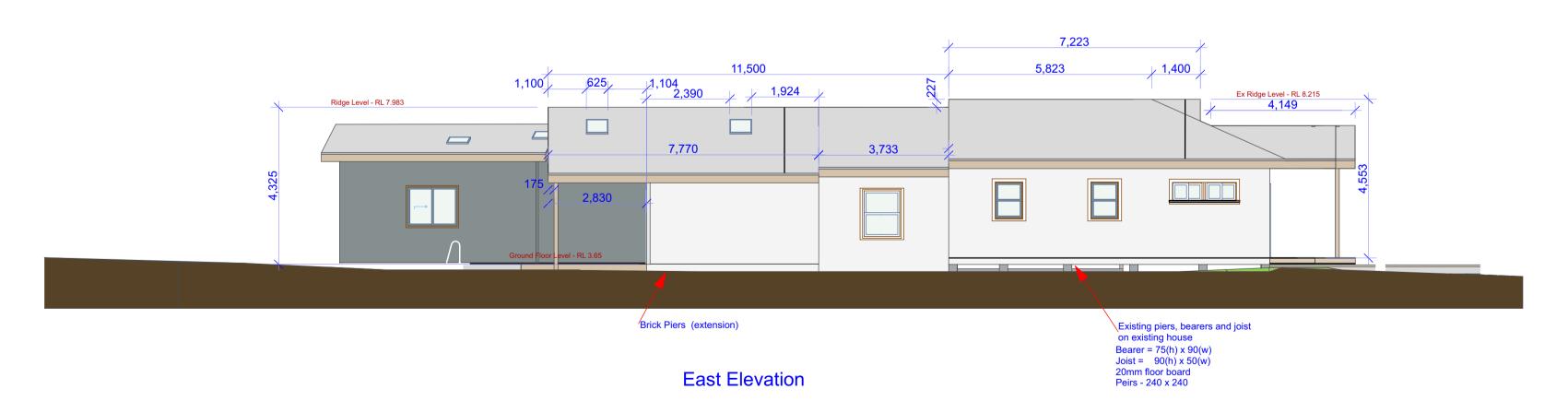
North Elevation



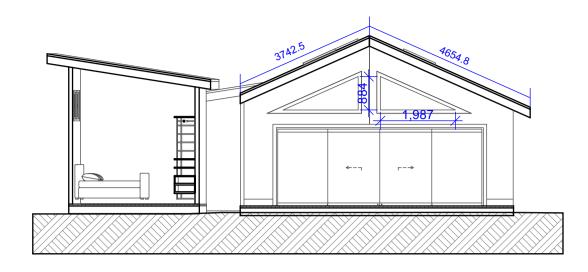
Drawing 7 of 13

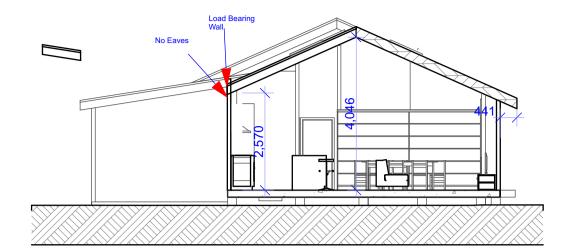


South Elevation



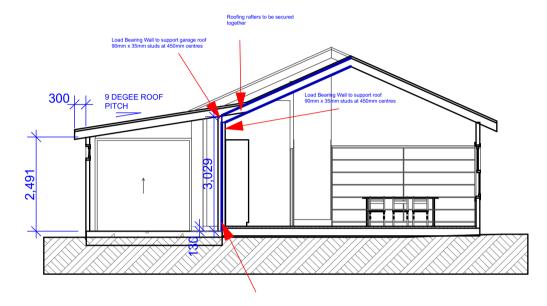
Drawing 8 of 13



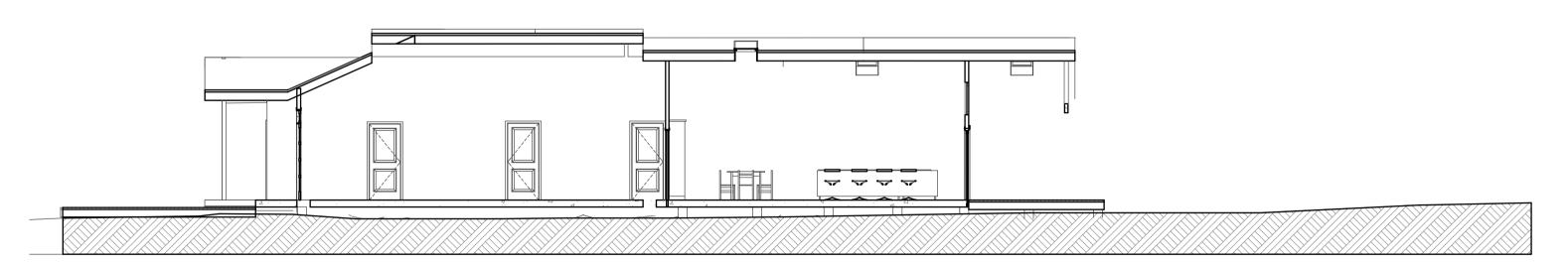


Section 1 (South to North)

Section 2 (South to North)



Section 3 (South to North)



Section 4 (West to East)

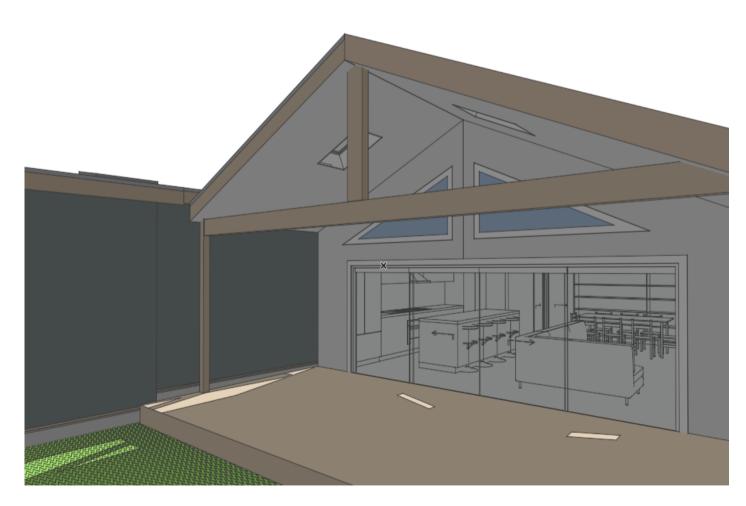
Designer: Jessica De Looze

Date: 28 October 2024

ARCHICAD EDUCATION VERSION







Drawing 10 of 13

- existing hard surface area 154sqm
- hard surface area to be retained 57.5sqm
- proposed hard surface area 259.5sqm
- plus impervious landscaped area outside of allowance 6.86sqm
- total site area 519sqm
- existing landscaped area (%) 206.67sqm (39%)
- proposed landscaped area (%) 228.14 (44%)
- impervious areas less than 1 metre (pathways) 49.305sqm (9.5%)
- impervious landscaped allowance (6%) 31.14sqm



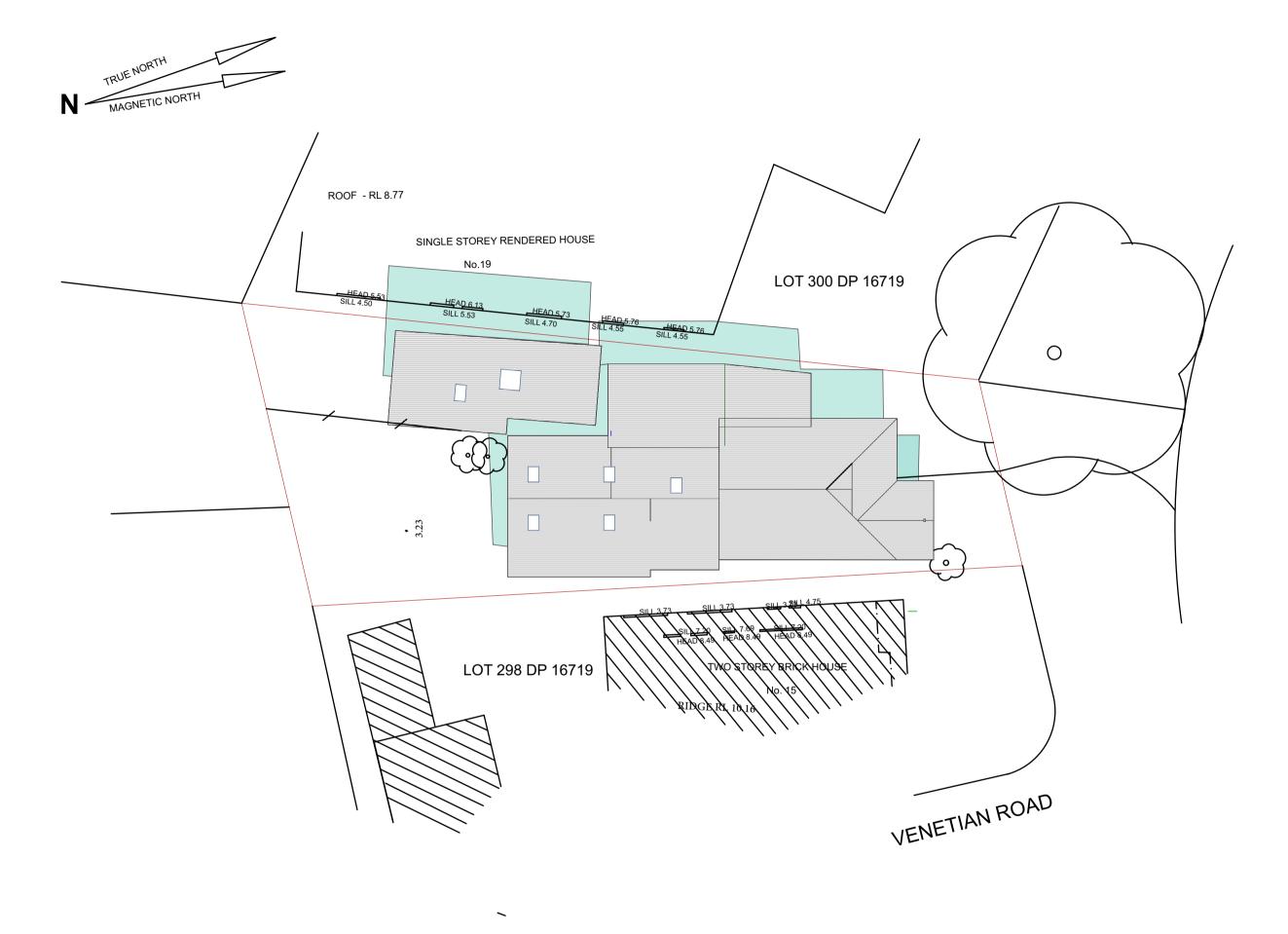
1

Lot Size: 519sqm
DCP: 50% allowance (259.5sqm)
Impervious area 6% - (31.14sqm)
Total Allowance: 290.64sqm
Existing Dwelling: 96.27
Proposed House: 158sqm inc. garage
Existing Granny Flat: 44sqm
Total Dwelling: 202 sqm (39%)
plus hardsurfaces 57.5

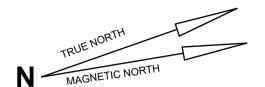
ARCHICAD EDUCATION VERSION

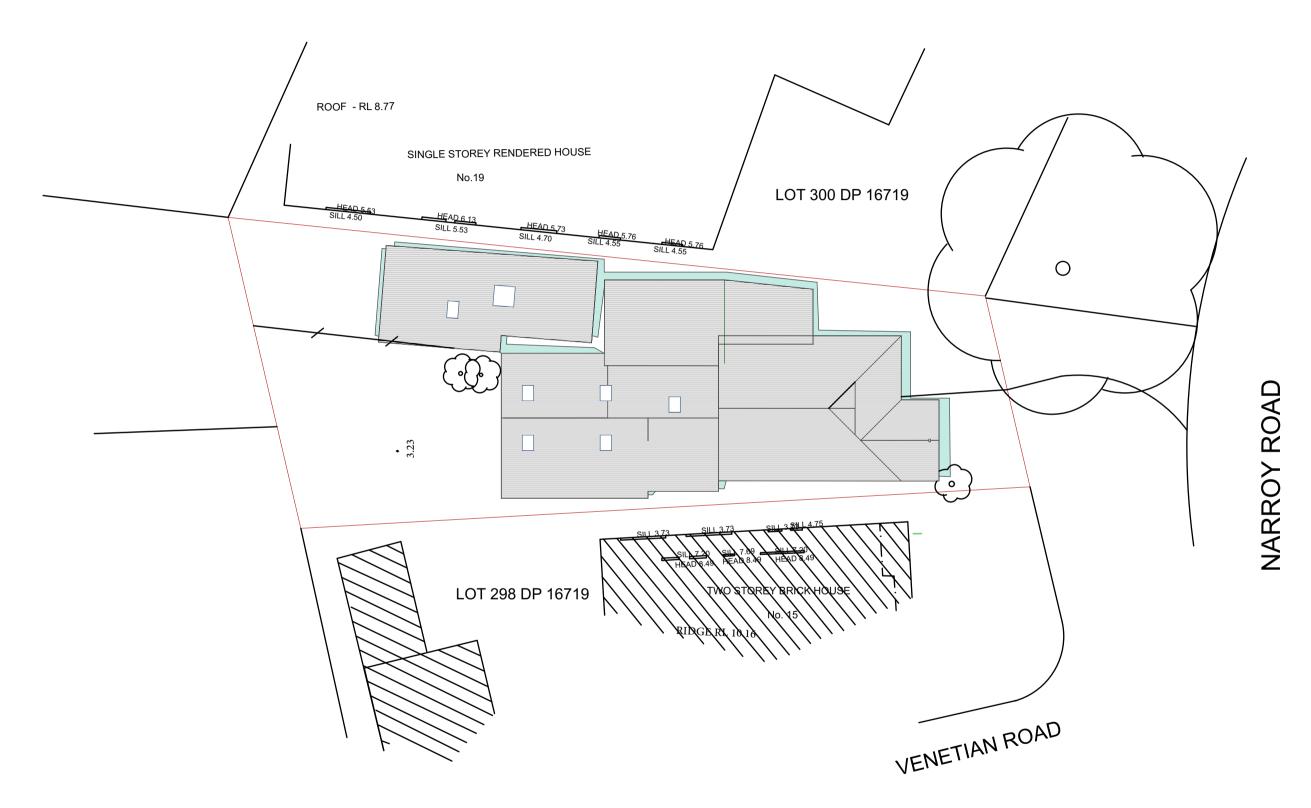
Total 259.5sqm (50%)





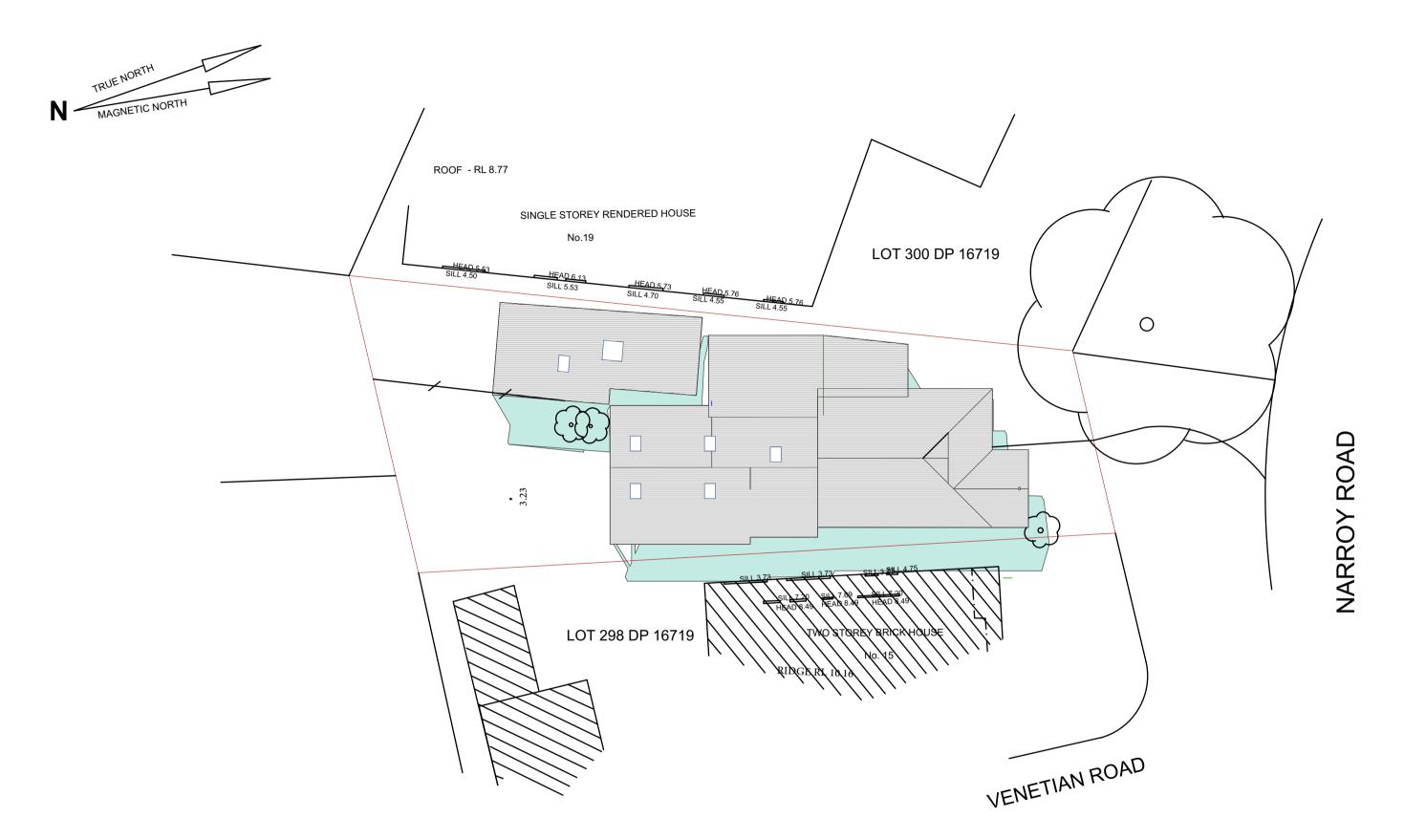
Drawing 12(a) of 13





Designer: Jessica De Looze

Date: 28 October 2024



STORMWATER MANAGEMENT PLAN

AS/NZ 3500.3

ARI = 206 (Table 7.4.3ABCB Housing Provisions Standard (2002) - (Table 1)

Lysaght 150 Half Round Gutter (non slotted) with 100mm downpipes to be installed at a a gradient >1:500

Effective cross section = 7042 (Table 2)

Maximum Catchment Area per down pipe = 37sqm (Figure 1)

- New Drainage and 100mm round down pipes to be installed and linked with existing 100mm stormwater pipe
- Existing Drainage and down pipes- 100mm stormwater pipe

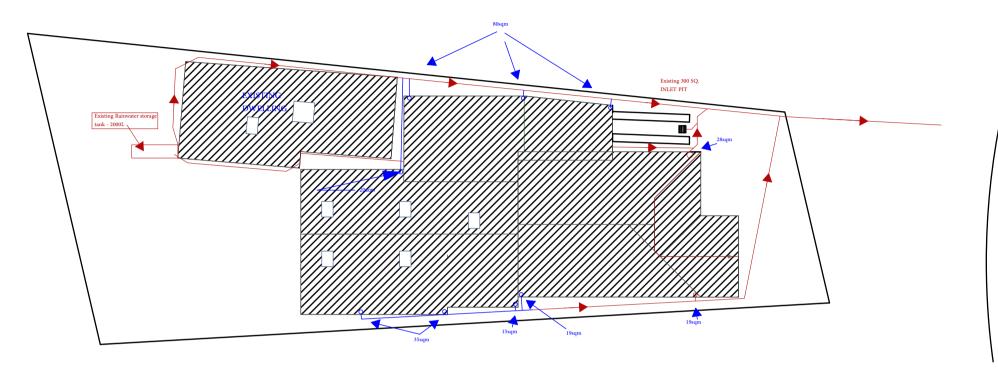


Table 1Design rainfall intensities adopted from Table 7.4.3d of the ABCB Housing Provisions Standard (2022).

	ARI once in 20 years mm/hr	ARI once in 100 years mm/hr	
ACT			
Canberra	143	192	
Gungahlin	137	179	
Tuggeranong	148	210	
New South Wales			
Albury	139	180	
Broken Hill	143	219	
Goulburn	121	156	
Kiama	226	319	
Newcastle	226	316	
Orange	142	186	
Sydney	200	262	
Avalon	206	278	
Campbelltown	167	222	
Penrith	180	244	
Windsor	175	233	
Tweed Heads	252	330	
Wollongong	217 308		

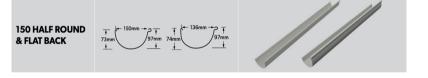


Table 2

LYSAGHT® gutter cross-sectional areas and downpipes.

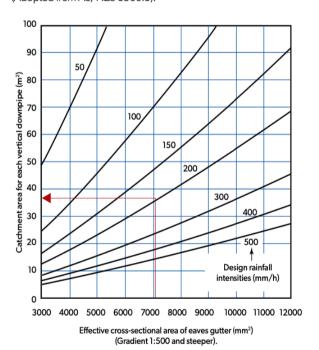
Minimum standard downpipe sizes to suit gutters (gutter gradient \geq 1:500)

			_	
	Slotted	Effective # cross section	Round (diameter)	Rectangular or square
	yes/no	mm²	mm	mm
Quad Hi-front	yes	5225	90	100x50
	no	5809	90	100×50
Quad Lo-front	no	6165	90	100×50
SHEERLINE®	yes	7600	100	100x75
	no	8370	§	100x75
TRIMLINE®	yes	6244	90	100×50
	no	7800	100	100x75
150 Half Round	yes	4675	90	100x50
	no	7042	100	100x75
150 Half Round Flat Back	yes	4602	90	100x50
	no	6914	100	100x75
Half Round 200	no	14500	§	§
Half Round 250	no	24500	§	§
Half Round 300	no	35300	§	§

[#] Values calculated in accordance with AS/NZS 3500.3.

Figure

Cross-sectional area of eaves gutters required for various roof catchment areas (where gradient of gutter is 1:500 and steeper). (Adopted from AS/NZS 3500.3).



NARROY ROAD

[§] Non standard downpipe and nozzle/pop is required.

^{*} Non standard nozzle/pop is required to suit rectangular downpipe.