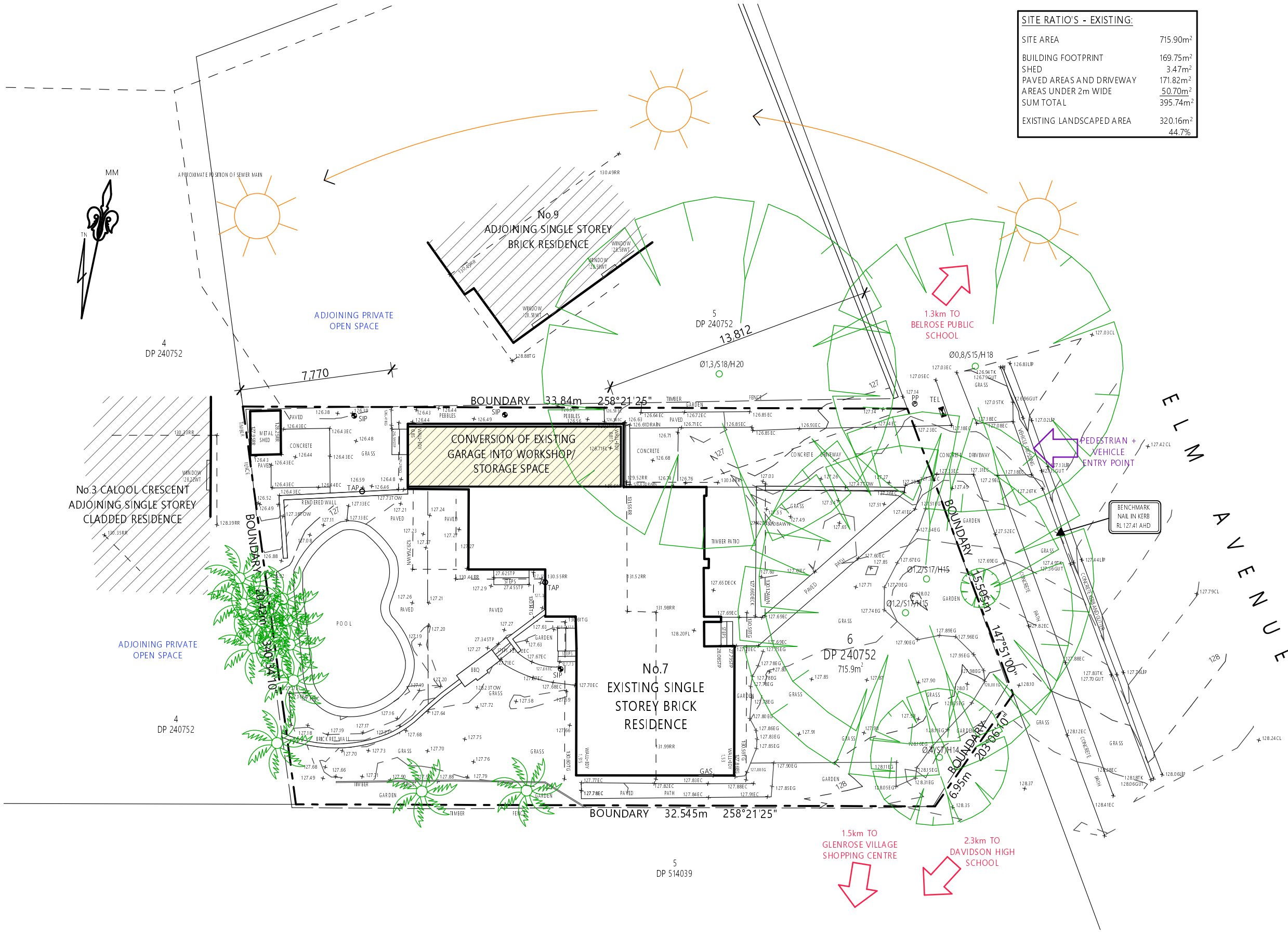




SITE RATIOS - EXISTING:	
SITE AREA	715.90m ²
BUILDING FOOTPRINT	169.75m ²
SHED	3.47m ²
PAVED AREAS AND DRIVEWAY	171.82m ²
AREAS UNDER 2m WIDE	50.70m ²
SUM TOTAL	395.74m ²
EXISTING LANDSCAPED AREA	320.16m ²
	44.7%

NOTES

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- BASIC INFORMATION REQUIREMENTS:**
- WATER COMMITMENTS:**
- Fixtures: All new Shower heads, toilets and taps shall have a minimum 4 Star rating
 - Landscaping: There must be 18.76m² of indigenous or low water use species planted on the site
 - Alternative Water: A 2000lt rainwater tank must be installed to collect runoff from at least 37m² of roof area. The tank must be connected to one outdoor tap.
- ENERGY COMMITMENTS:**
- Hot Water System: Any new Hot Water system shall be a gas instantaneous system in accordance with the Basic certificate.
 - Cooling System: The living room and bedroom must not have any cooling system
 - Heating System: A 3 star energy rated non-ducted gas heater must be installed in the living area. A 4 star energy rated non-ducted gas heater must be installed in the bedroom.
- THERMAL PERFORMANCE REQUIREMENTS:**
- External walls: The external walls shall be brick veneer or timber cladded and shall meet R3.0 (including construction)
 - Floors: The floor shall be a concrete slab on ground
 - Ceiling: The new flat ceiling / flat roof shall meet minimum R4.0 up and be fully insulated.
 - Roof: The roof shall have a foil/sarking and be medium colour (solar absorption 0.475 > 0.70)
 - Ceiling Fans: A ceiling fan is to be provided in the living room and the bedroom
 - Lighting: A minimum of 80% of all new or altered light fixtures are to be fluorescent compact fluorescent or LED lamps. A window must be installed in the kitchen.
 - Ventilation: No mechanical ventilation to be installed in the bathroom or kitchen.
- ENERGY COMMITMENTS:**
- Alternative Energy: A photovoltaic system is to be installed in accordance with the Basic certificate
- WINDOWS & GLAZED DOORS:**
- All window/door numbers shown on the window/door schedule correspond to matching window/door numbers shown in the Basic certificate.
 - Sizes: The total area of glazing for each window/door shall be no greater than that shown on the Basic certificate
 - Shading devices: Shading devices shall be installed in accordance with the Basic certificate
 - Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate



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Client
MS. RIGNEY-HAIN
Project Name
PROPOSED GARAGE CONVERSION
7 ELM AVENUE
LOT 6 , DP 240752
BELROSE NSW 2085



SUITE 106, 138 NARA BANG WAY, BELROSE NSW 2085
ABN 22 630 690 834
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:	
SITE PLAN	
Scale:	Date:
1:200 @ A3	OCTOBER 2025
Status:	Checked By:
DA submission	JAH
Project No:	Drawing No:
2419	DA01
Plot Date:	30/10/2025

1 SITE PLAN 1:200

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

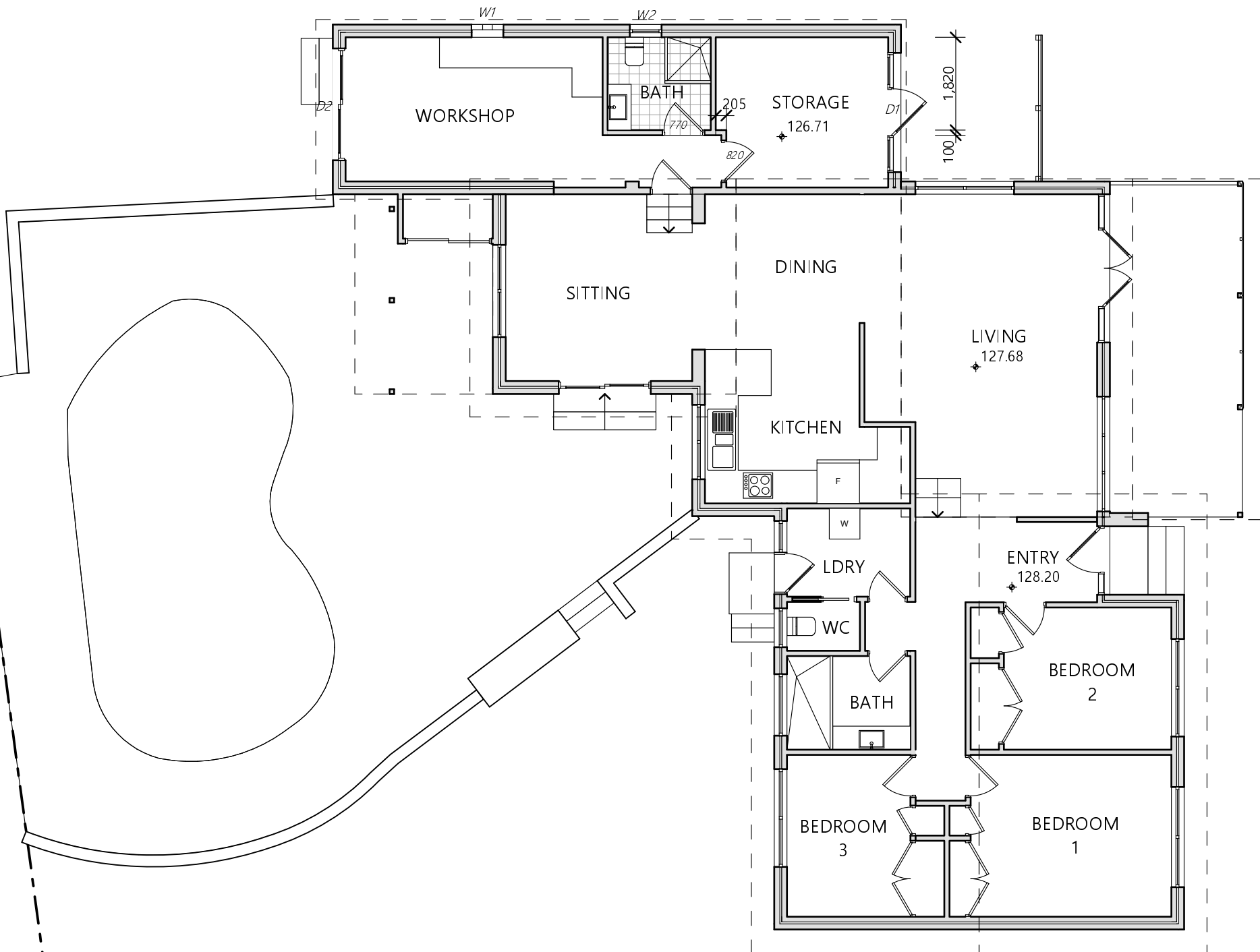
DOOR/WINDOW SCHEDULE

D 1	2345w x 2060h	Selected Timber Framed Door with 2 Sidelights
D 2	2190w x 2060h	Selected Timber framed Sliding Doors
W 1	620w x 1030h	Selected Aluminium Framed Glass Blocks
W 2	620w x 1030h	Selected Aluminium Framed Awning Window- Frosted Glass

100 2,020 100 3,385

BOUNDARY 33.84m 258°21'25"

BOUNDARY 20.42m 340°34'10"



BOUNDARY 32.545m 258°21'25"

1

FLOOR PLAN

1:100

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SIZES:

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Shading devices:

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Frames and glazing frame and glazing types shall meet the requirements of the Basic certificate.



Project North

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Client

MS. RIGNEY-HAIN

Project Name

PROPOSED GARAGE CONVERSION

7 ELM AVENUE

LOT 6 , DP 240752

BELROSE NSW 2085

JAH
DESIGN SERVICES

SUITE 106, 138 NARA BANG WAY, BELROSE NSW 2085
ABN 22 630 690 834
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:

FLOOR PLAN

Scale:

1:100 @ A3

Date:

OCTOBER 2025

Status:

DA submission

Checked By:

JAH

Project No:

2419

Drawing No:

DA02

Plot Date:

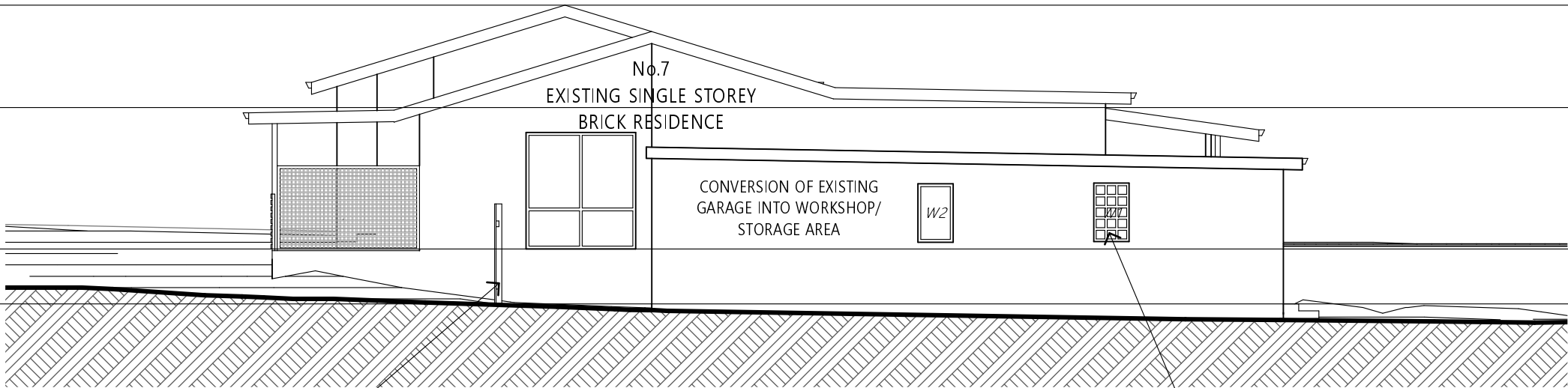
30/10/2025

EXISTING RIDGE LEVEL
RL 131.99

EXISTING CEILING PITCHING POINT
RL 130.18

EXISTING GROUND FLOOR
RL 127.68

PROPOSED GRANNY FLAT FLOOR
RL 126.71



Selected timber privacy screen

Window to be replaced with aluminium
framed glass blocks as part of BIC
compliance to achieve NCC requirements

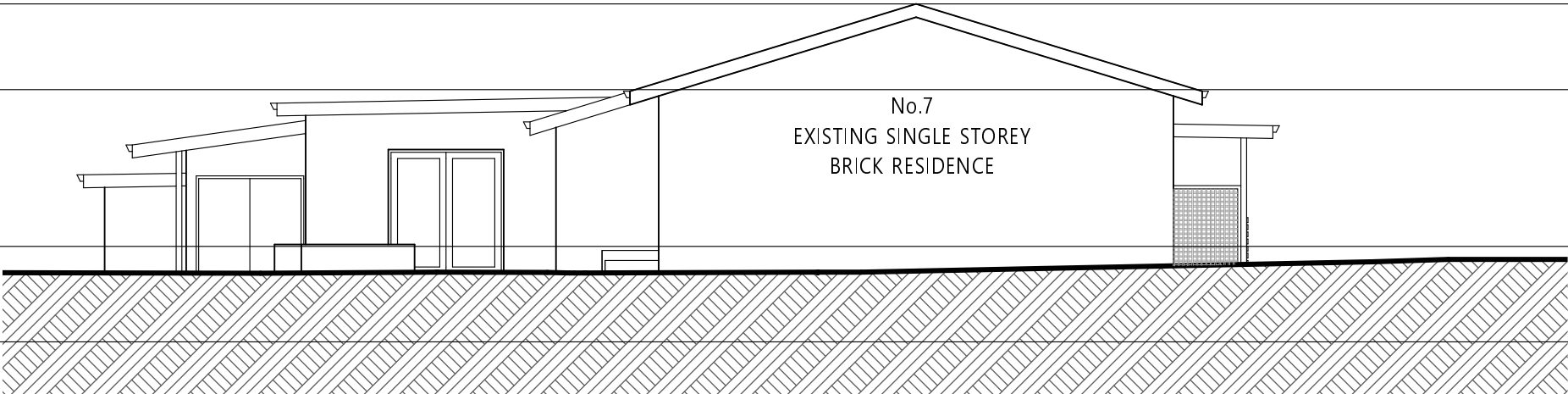
1 NORTH ELEVATION 1:100

EXISTING RIDGE LEVEL
RL 131.99

EXISTING CEILING LEVEL
RL 130.65

EXISTING GROUND FLOOR
RL 128.20

PROPOSED GRANNY FLAT FLOOR
RL 126.71



NOTE- NO CHANGES TO
SOUTH ELEVATION

1 SOUTH ELEVATION 1:100

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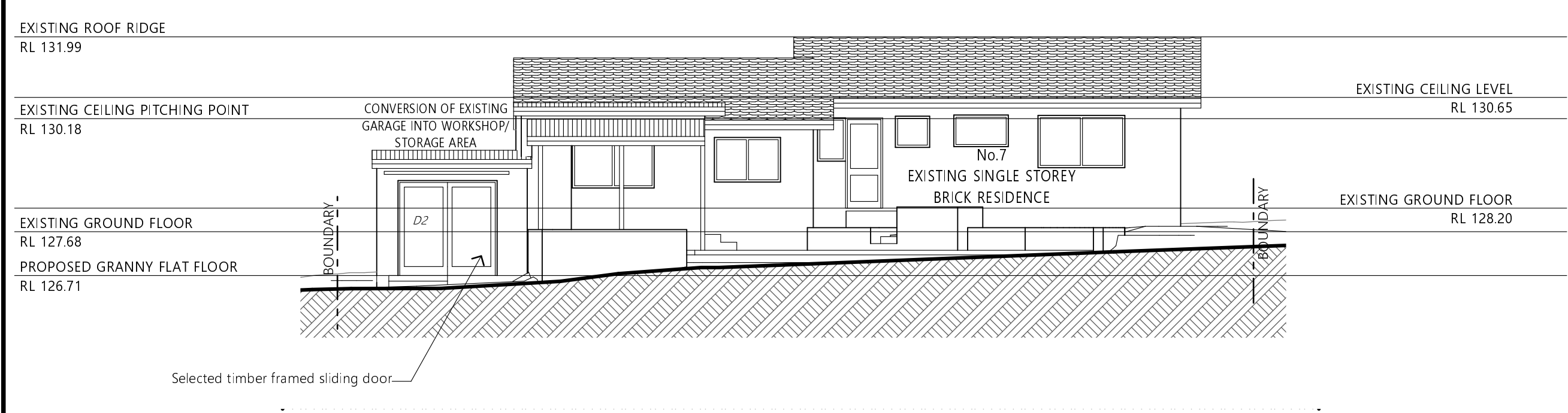
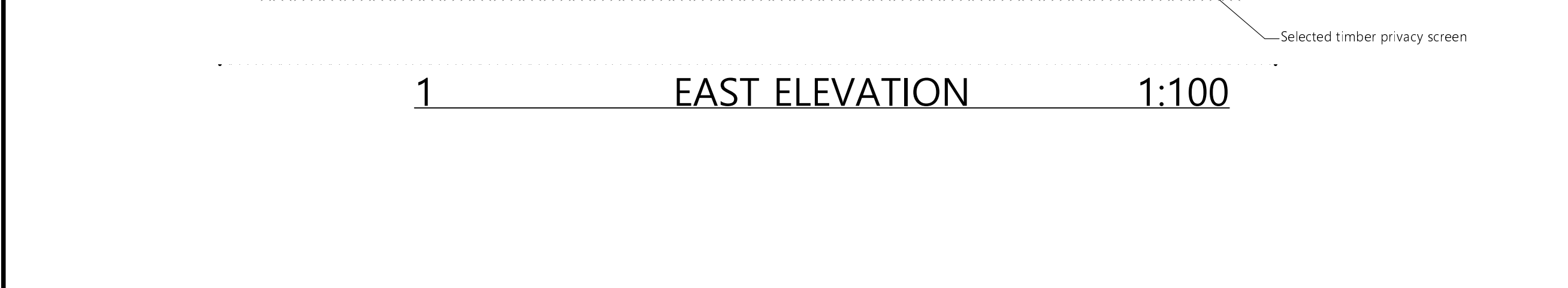
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Client
MS. RIGNEY-HAIN
Project Name
PROPOSED GARAGE CONVERSION
7 ELM AVENUE
LOT 6 , DP 240752
BELROSE NSW 2085



Drawing Title:	
NORTH & SOUTH ELEVATION	
Scale:	Date:
1:100@ A3	OCTOBER 2025
Status:	Checked By:
DA submission	JAH
Project No:	Drawing No:
2419	DA03
Plot Date:	30/10/2025



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Client

MS. RIGNEY-HAIN

Project Name

PROPOSED GARAGE CONVERSION

7 ELM AVENUE

LOT 6 , DP 240752

BELROSE NSW 2085

JAH
DESIGN SERVICES

SUITE 106, 138 NARA BANG WAY, BELROSE NSW 2085
ABN 22 630 690 834
PH. 0410 410 064 EMAIL jule@jahdesigns.com.au

Drawing Title:

EAST & WEST ELEVATION

Scale:	1:100@ A3	Date:	OCTOBER 2025
Status:	DA submission	Checked By:	JAH
Project No:	2419	Drawing No:	DA04
Plot Date:	30/10/2025		