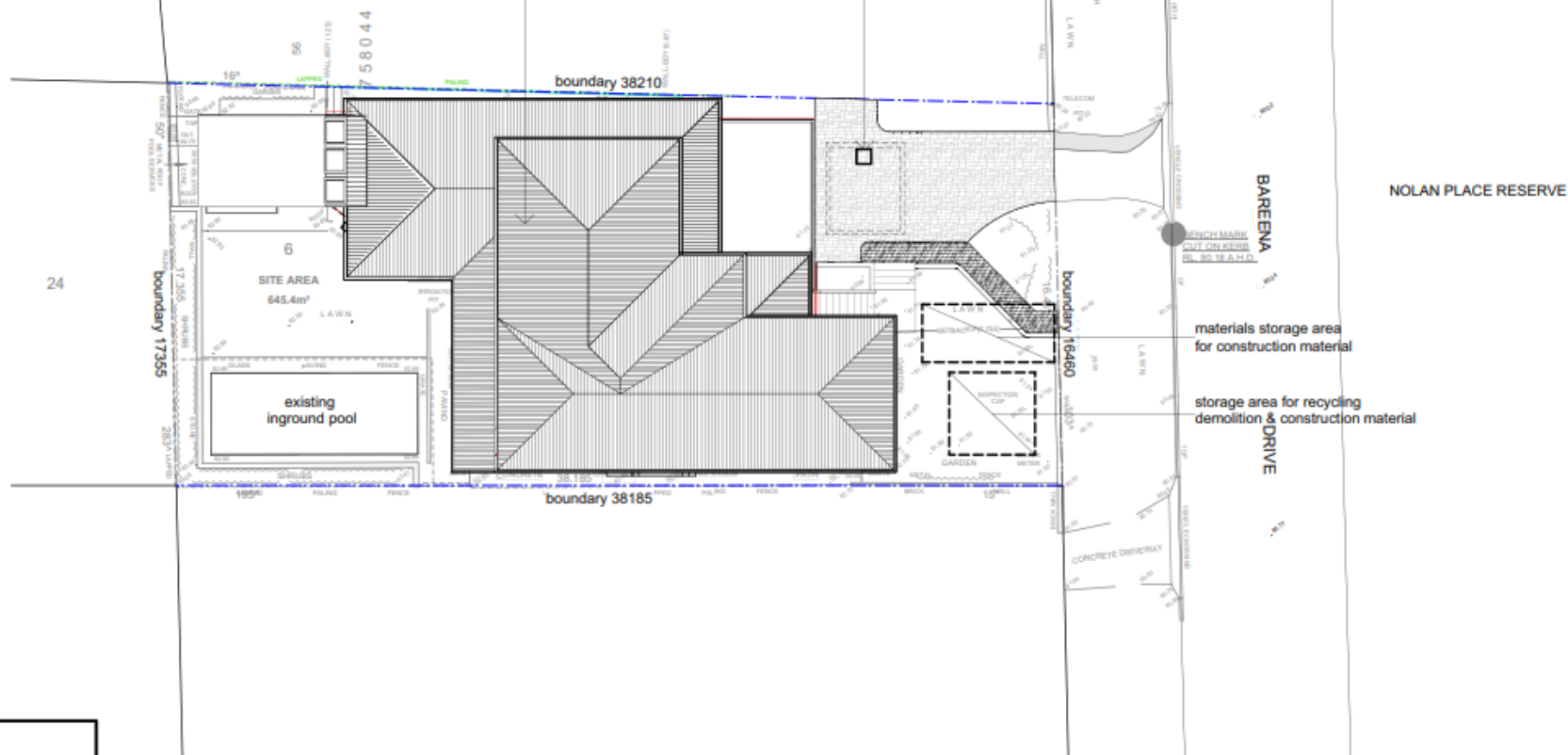


Replace existing tiles with
Lysaght Enseam roofing in
Colourbond Monument in lieu of
approved tiled roof

rainwater tank and access hatch to
hydraulic engineer's detail



SITE PLAN
Scale: 1:200

ENTIRE PROJECT TO REMAIN UNALTERED FROM THAT
APPROVED BY DA2021/1222 WITH THE EXCEPTION OF
THE ROOFING MATERIAL

AREA CALCULATIONS

SITE AREA:	645.4m ²
Existing Floor Area	234.88m ²
Additional Floor Area	53.92m ²
Total proposed Floor Area	288.84m ²
Proposed soft landscaping Area	157.3m ²

This is the Sheet No. _____ of _____
Builder
Drawings referred to in the Contract dated _____
Proprietor
J.&M. Baxter
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B	12.05.22	ISSUED FOR S4.55 MODIFICATION
A	30.06.21	DEVELOPMENT APPLICATION ISSUE
ISSUE:	DATE:	NOTES:

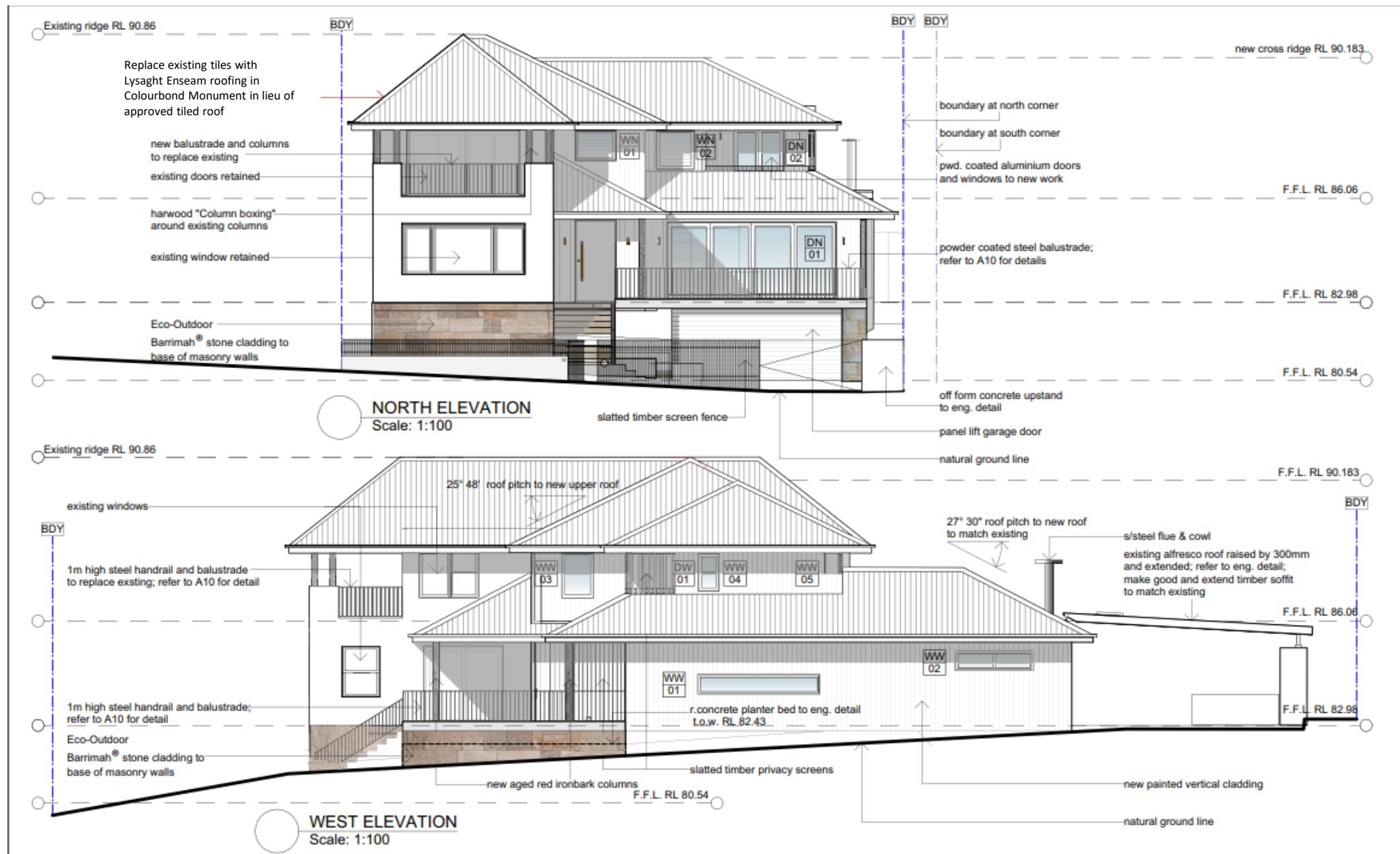
project address: **12 Bareena Drive, BALGOWLAH HEIGHTS**
Lot 6 Section 56 DP 758044
client: **Joanna and Michael Baxter**

SITE PLAN/SITE ANALYSIS

drafted by: **Michal Korecky** Ph.0438 148 944
checked by: **Kyle Hill** Ph.0412 221 962
drawn by: **Brent Guest** Ph.0414 825 022
approved by: **Paul Hill** Ph.9966 8630
establishments



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Drawings referred to in the Contract dated _____

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F	12.05.22	ROOFING MATERIAL CHANGED TO STEEL
E	11.10.21	ENTOURAGE REMOVED FOR CO-ORDINATION
D	07.07.21	DEVELOPMENT APPLICATION ISSUE
C	08.06.21	CLADDING OPTION
B	23.04.21	ISSUE FOR DISCUSSION; finish resolution
A	26.03.21	PRELIMINARY ISSUE FOR DISCUSSION
ISSUE:	DATE:	NOTES:

Project address: 12 Bareena Drive, BALGOWLAH HEIGHTS
Lot 6 Section 56 DP 758044

Client: Joanna and Michael Baxter

Architect: NORTH & WEST ELEVATIONS

Hydrolic Engineer: Michal Korecky Ph.0438 148 944

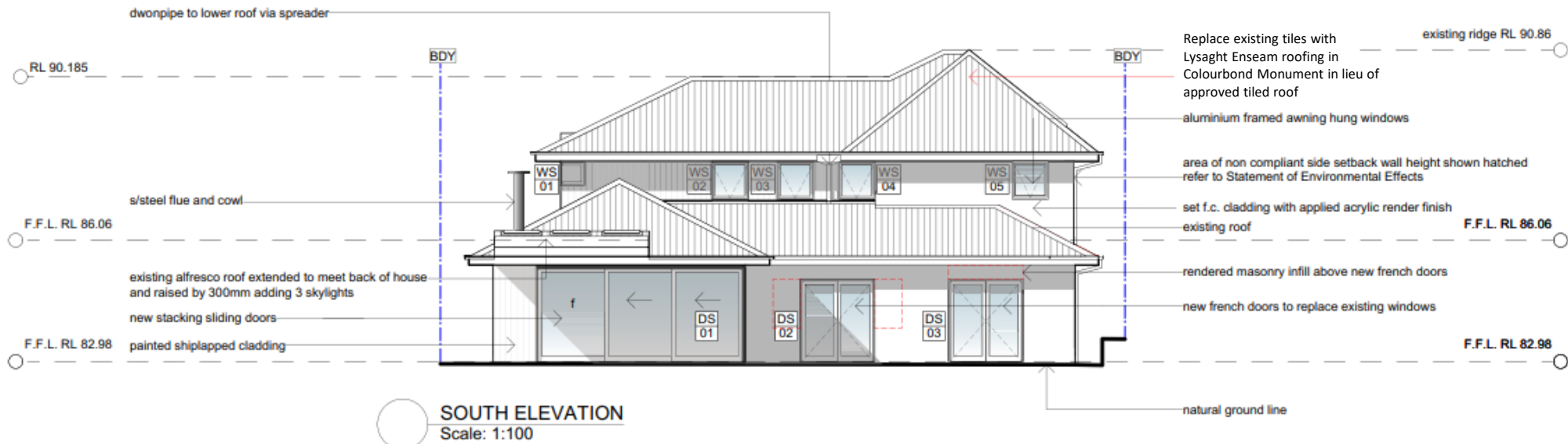
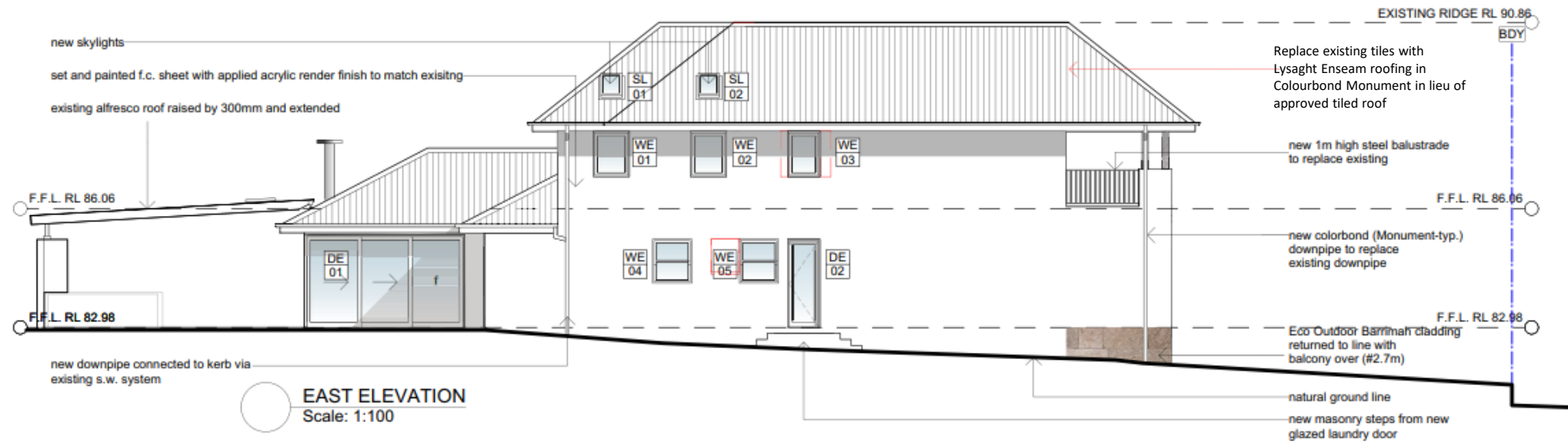
Consultant: "SUBSIDIARY" Ph.0412 221 962

Structural Engineer: Kyle Hill Ph.0414 825 022

Architect: Brent Guest Ph.9966 8630

Reg. No.: DA05
Project No.: 19.002

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57 Tennyson Road, CROMER
Email: paul@fineline.com.au
Web: www.thefineline.com.au
Ph: 0410 132 241



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F	12.05.22	ROOFING MATERIAL CHANGED TO STEEL
E	11.10.21	ENTOURAGE REMOVED FOR CO-ORDINATION
D	07.07.21	DEVELOPMENT APPLICATION ISSUE
C	08.06.21	CLADDING OPTION & ADDITIONAL WINDOWS
B	03.05.21	ISSUE FOR SIGN OFF
A	23.04.21	ISSUE FOR DISCUSSION; finish resolution
ISSUE:	DATE:	NOTES:

project address: **12 Bareena Drive, BALGOWLAH HEIGHTS**
 Lot 6 Section 56 DP 758044
 Clients: **Joanna and Michael Baxter**
 Drawing: **SOUTH & EAST ELEVATIONS**

Architect: **Fineline**
 Consultant Architect: **"BUILDING MY WAY"**
 Michael Korecky Ph.0438 148 944
 Kyle Hill Ph.0412 221 962
 Brent Guest Ph.0414 825 022
 Ph. 9966 8630

Dwg No. **DA06**
 Project No. **19.002**

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