

DIMENSIONS INCLUDE CLADDING THICKNESS



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1607

NOTE:

FRONT SETBACK IS TO BE
AT LEAST:
6.5m

SIDE SETBACK IS TO BE AT
LEAST:
1/3 OF WALL HEIGHT

FLOOR SPACE RATIO
MAXIMUM FSR = .45
LOWER GROUND FLOOR + GROUND FLOOR + FIRST FLOOR = 288m²
PROPOSED FSR = 46.9 %

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	10/08/2020
B	CHANGES AS PER EMAIL 20/08/2020	25/08/2020
C	CHANGES AS PER EMAIL 31/08/2020	07/09/2020
D	UPDATE TO FULL SET DA ISSUE	30/09/2020
E	UPDATED SLAB PLAN	11/11/2020
F	CHANGES AS PER EMAIL 24/11/2020	01/08/2020
G	CHANGE ROOF PITCH	11/03/2021
H	CHANGES AS PER EMAIL 17/03/2021	18/03/2021

PROPOSED FLOOR SPACES		
NAME	AREA	%

LOWER GROUND FLOOR		
LOWER FLOOR	64 m ²	16%
ALFRESCO	29 m ²	7%
	93 m ²	23%

GF		
GROUND	125 m ²	31%
GARAGE	48 m ²	12%
ALFRESCO	29 m ²	7%
PORCH	6 m ²	1%
	207 m ²	52%

UF		
FIRST FLOOR	99 m ²	25%
	99 m ²	25%
TOTAL AREAS:	399 m ²	100%

DIMENSIONS INCLUDE
CLADDING THICKNESS

1 SITE PLAN
1 : 200

0 1m 3m 5m 10m
SCALE BAR 1:200

G.J. Gardner.
Builders Details

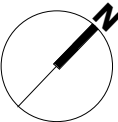
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TO G.J. GARDNER HOMES

DRAFTERS:
KJR
SUIITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

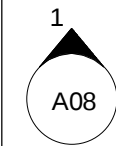
CLIENT: TRI STOREY DWELLING
GOULD
DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

PROJECT:
16 BARANBALI AVE
SEAFORTH

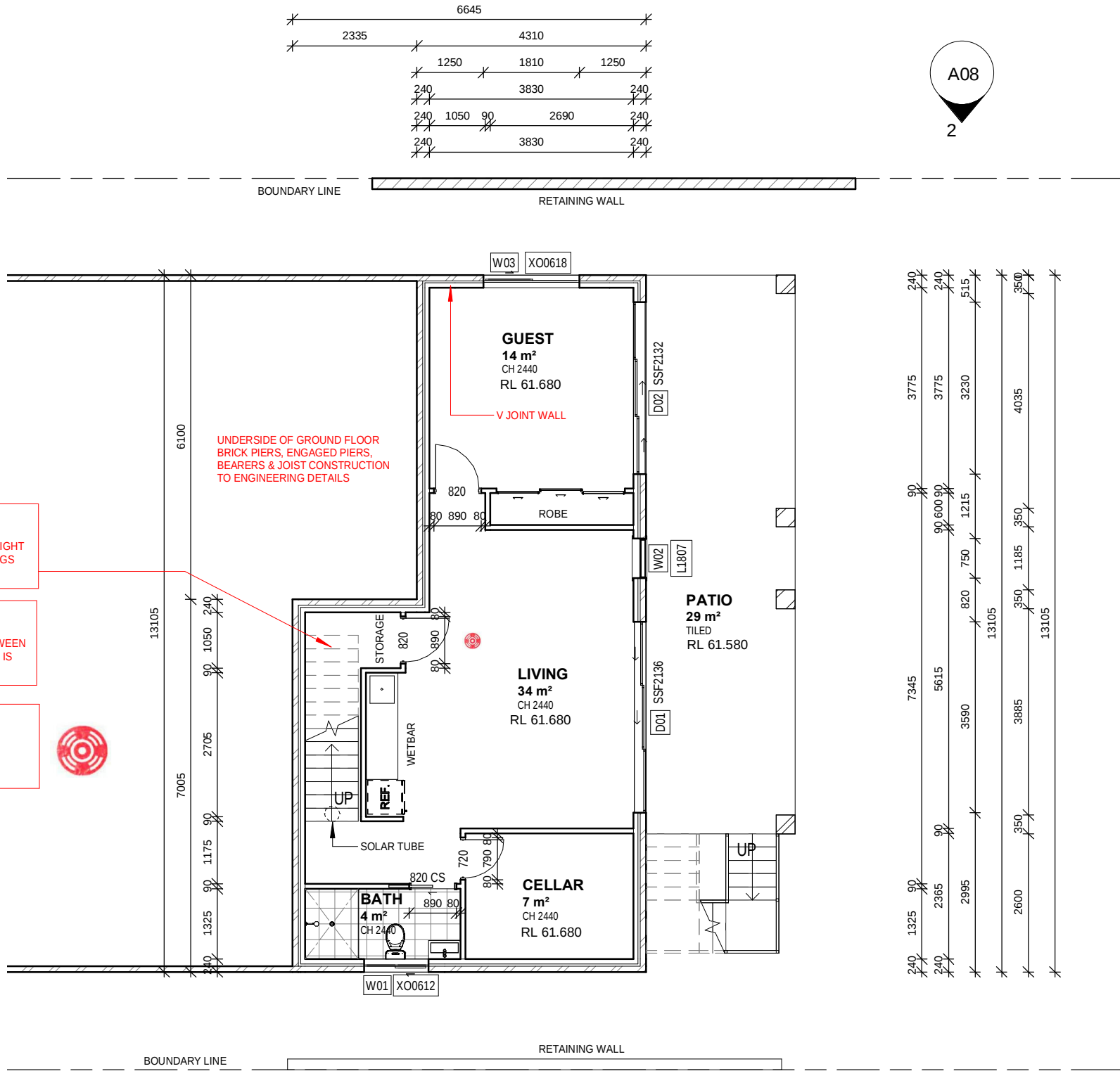
SHEET SIZE: A3
SHEET No: A03
REVISION: H
DATE: 18/03/2021
JOB NO: 230286
STAGE: DA
DRAWN: NF
GJGN121



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:



1 LOWER GROUND FLOOR
1 : 100



STAIRS

LGF TO GF = 2740mm
No. of RISERS =15
RISERS = 182.7mm
TREADS = 250mm

GF T OFF = 3040mm
No. of RISERS =18
RISERS = 168.9mm
TREADS = 250mm

EXTERNAL STAIRS = 2070
No. of RISERS = 15
RISERS = 182.7mm
TREADS = 250mm

DOOR SCHEDULE

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

Code	Width	Height
D01	858	2100
D02	3228	2100
D03	1690	2400
D04	1200	2400
D05	3588	2400
D06	3588	2400

Grand total: 6

WINDOW SCHEDULE

Code	Width	Height
W01	1210	600
W02	750	1800
W03	1810	600
W04	610	1460
W05	610	1460
W06	1210	600
W07	850	600
W08	1570	1200
W09	750	2100
W10	850	1800
W11	850	1800
W12	850	1460
W13	2170	860
W14	2170	1200
W15	2170	1200
W16	2410	600
W17	1570	600
W18	1210	600
W19	1210	1200
W20	3010	1200
W21	2410	600
W22	1210	1200
W23	1200	1500
W24	2410	600

Grand total: 24

PROPOSED FLOOR SPACES

NAME	AREA	%
------	------	---

LOWER GROUND FLOOR

LOWER FLOOR	64 m²	16%
ALFRESCO	29 m²	7%
	93 m²	23%

GF

GROUND	125 m²	31%
GARAGE	48 m²	12%
ALFRESCO	29 m²	7%
PORCH	6 m²	1%
	207 m²	52%

UF

FIRST FLOOR	99 m²	25%
	99 m²	25%

TOTAL AREAS: 399 m² 100%

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	10/08/2020
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C	CHANGES AS PER EMAIL 31/08/2020	07/09/2020
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FLOOR SPACE RATIO
MAXIMUM FSR = .45
LOWER GROUND FLOOR + GROUND FLOOR + FIRST FLOOR = 288m²
PROPOSED FSR = 46.9 %

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY

Lot 146

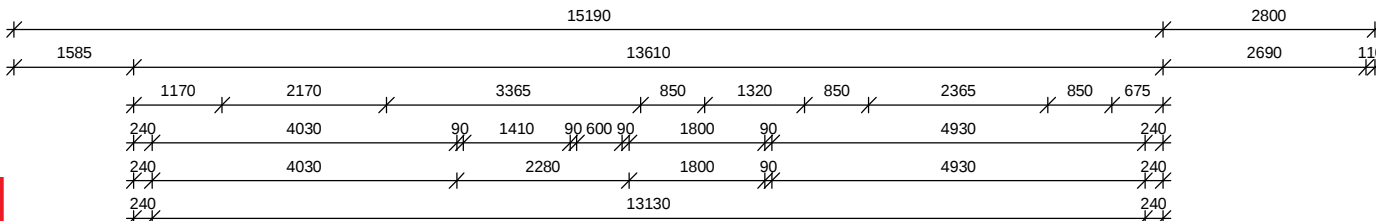
613.1m²



northern
beaches
council

THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1607



A08

2

STAIRS

LGF TO GF = 2740mm
No. of RISERS = 15
RISERS = 182.7mm
TREADS = 250mm

EXTERNAL STAIRS = 2070
No. of RISERS = 15
RISERS = 182.7mm
TREADS = 250mm

GF T OFF = 3040mm
No. of RISERS = 17
RISERS = 178.8mm
TREADS = 250mm

DOOR SCHEDULE

Code	Width	Height
D01	3588	2100
D02	3228	2100
D03	1690	2400
D04	1200	2400
D05	3588	2400
D06	3588	2400

Grand total: 6

WINDOW SCHEDULE

Code	Width	Height
W01	1210	600
W02	750	1800
W03	1810	600
W04	610	1460
W05	610	1460
W06	1210	600
W07	850	600
W08	1570	1200
W09	750	2100
W10	850	1800
W11	850	1800
W12	850	1460
W13	2170	860
W14	2170	1200
W15	2170	1200
W16	2410	600
W17	1570	600
W18	1210	600
W19	1210	1200
W20	3010	1200
W21	2410	600
W22	1210	1200
W23	1200	1500
W24	2410	600

Grand total: 24

PROPOSED FLOOR SPACES

NAME	AREA	%
LOWER GROUND FLOOR		
LOWER FLOOR	64 m ²	16%
ALFRESCO	29 m ²	7%
	93 m ²	23%
GF		
GROUND	125 m ²	31%
GARAGE	48 m ²	12%
ALFRESCO	29 m ²	7%
PORCH	6 m ²	1%
	207 m ²	52%
UF		
FIRST FLOOR	99 m ²	25%
	99 m ²	25%
TOTAL AREAS:	399 m ²	100%

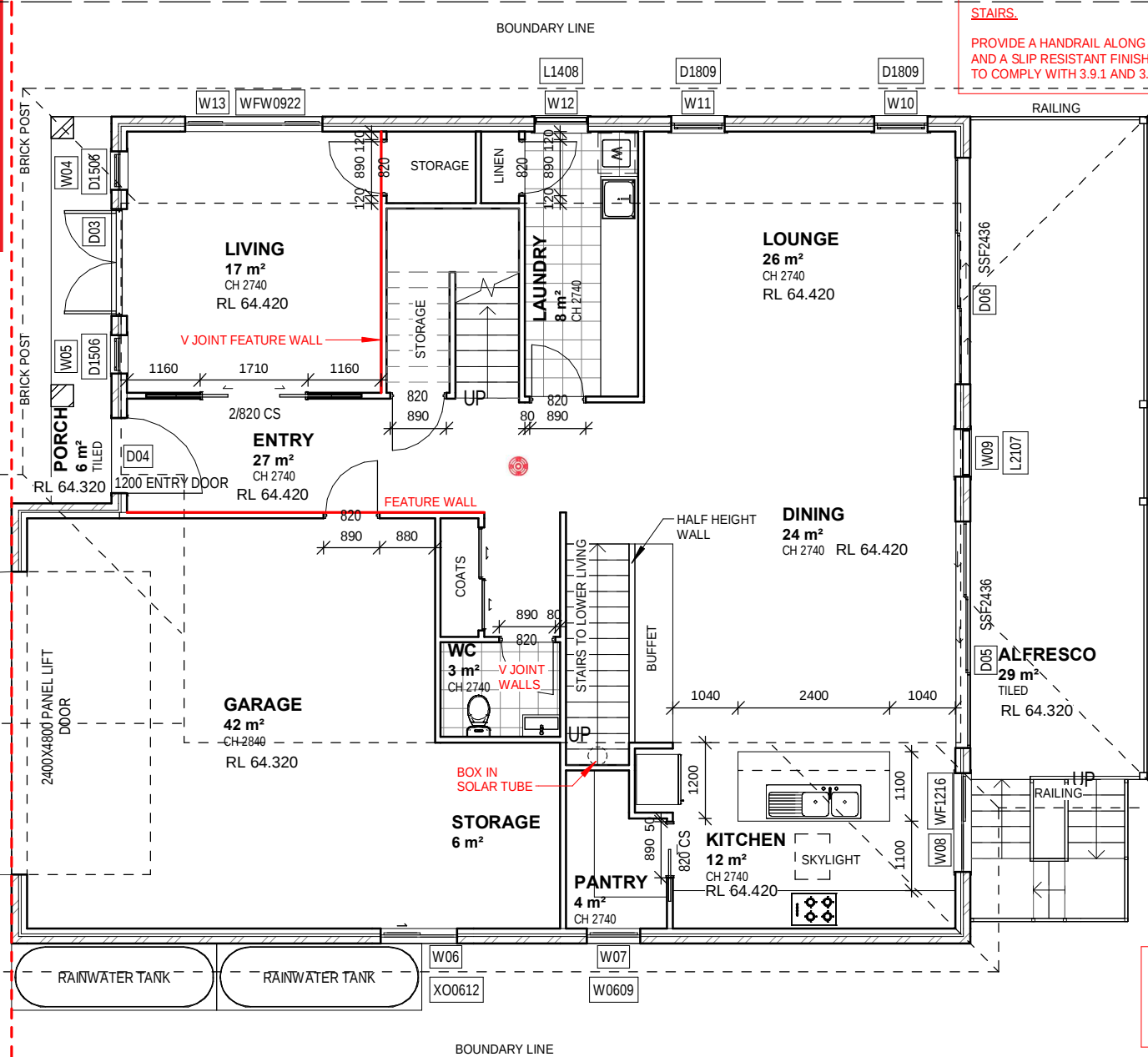
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FLOOR SPACE RATIO
MAXIMUM FSR = .45
LOWER GROUND FLOOR + GROUND FLOOR + FIRST FLOOR = 288m²
PROPOSED FSR = 46.9 %

SMOKE ALARMS

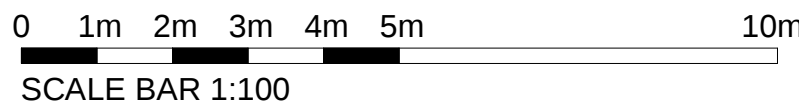
INSTALL AN INTERCONNECTED / HARDWIRED SMOKE
ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA
Clause 3.7.2.2



1

A08

1 GROUND FLOOR
1 : 100



DIMENSIONS ARE TO
FRAME SIZE ONLY

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G.J. Gardner. HOMES
Builders Details

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TO G.J. GARDNER HOMES

DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: TRI STOREY DWELLING

GOULD

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE: 1 : 100

PROJECT:

16 BARANBALI AVE
SEAFORTH

SHEET SIZE:

A3

SHEET NO:

A05

REVISION:

H

DATE: 18/03/2021

JOB NO: 230286

DRAWN: NF

STAGE: DA

GJGN121

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
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ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY

A07

1

STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT
AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS
TO COMPLY WITH 3.9.1 AND 3.9.2 OF THE NCC/BCA.

STAIRS

LGF TO GF = 2740mm
No. of RISERS = 15
RISERS = 182.7mm
TREADS = 250mm

GF T OFF = 3040mm
No. of RISERS = 17
RISERS = 178.8mm
TREADS = 250mm

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT

DA2020/1607

PROPOSED FLOOR
SPACES

NAME	AREA	%
------	------	---

LOWER GROUND FLOOR

LOWER FLOOR	64 m ²	16%
ALFRESCO	29 m ²	7%
	93 m ²	23%

GF

GROUND	125 m ²	31%
GARAGE	48 m ²	12%
ALFRESCO	29 m ²	7%
PORCH	6 m ²	1%
	207 m ²	52%

UF

FIRST FLOOR	99 m ²	25%
	99 m ²	25%
TOTAL AREAS:	399 m ²	100%

DOOR SCHEDULE

Code	Width	Height
D01	3588	2100
D02	3228	2100
D03	1690	2400
D04	1200	2400
D05	3588	2400
D06	3588	2400

Grand total: 6

WINDOW SCHEDULE

Code	Width	Height
W01	1210	600
W02	750	1800
W03	1810	600
W04	610	1460
W05	610	1460
W06	1210	600
W07	850	600
W08	1570	1200
W09	750	2100
W10	850	1800
W11	850	1800
W12	850	1460
W13	2170	860
W14	2170	1200
W15	2170	1200
W16	2410	600
W17	1570	600
W18	1210	600
W19	1210	1200
W20	3010	1200
W21	2410	600
W22	1210	1200
W23	1200	1500
W24	2410	600

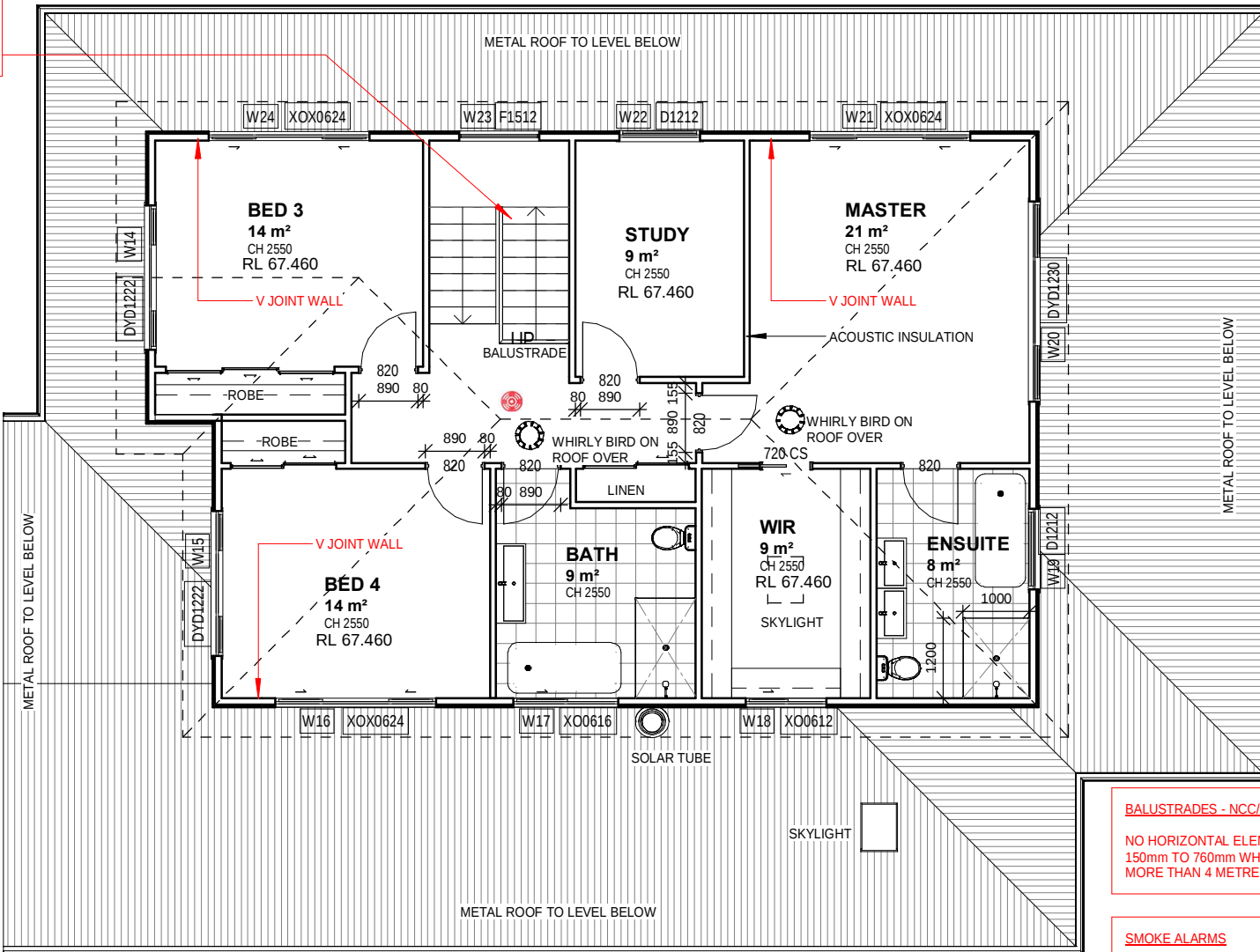
Grand total: 24

DIMENSIONS ARE TO
FRAME SIZE ONLY

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
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FLOOR SPACE RATIO
MAXIMUM FSR = .45
LOWER GROUND FLOOR + GROUND FLOOR + FIRST FLOOR = 288m²
PROPOSED FSR = 46.9 %



BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN
150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS
MORE THAN 4 METRES.

SMOKE ALARMS

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE
ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA
Clause 3.7.2.2



FIRST FLOOR

1 : 100

1

A08

2

A07

0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

G.J. Gardner. HOMES
Builders Details

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TO G.J. GARDNER HOMES

DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: TRI STOREY DWELLING

GOULD

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE: 1 : 100

PROJECT:

16 BARANBALI AVE
SEAFORTH

SHEET SIZE:

A3

SHEET No:

A06

REVISION:

H

DATE: 18/03/2021

JOB NO: 230286

STAGE: DA

DRAWN: NF

GJGN121

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1607

DOOR SCHEDULE

Code	Width	Height
D01	3588	2100
D02	3228	2100
D03	1690	2400
D04	1200	2400
D05	3588	2400
D06	3588	2400

Grand total: 6

WINDOW SCHEDULE

Code	Width	Height
W01	1210	600
W02	750	1800
W03	1810	600
W04	610	1460
W05	610	1460
W06	1210	600
W07	850	600
W08	1570	1200
W09	750	2100
W10	850	1800
W11	850	1800
W12	850	1460
W13	2170	860
W14	2170	1200
W15	2170	1200
W16	2410	600
W17	1570	600
W18	1210	600
W19	1210	1200
W20	3010	1200
W21	2410	600
W22	1210	1200
W23	1200	1500
W24	2410	600

Grand total: 24

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G	CHANGE ROOF PITCH	11/03/2021
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RL 71.174 ▼ ROOF PEAK

RL 70.010 ▼ UF CEILING

RL 67.460 ▼ UF

RL 67.160 ▼ GF CEILING

RL 64.420 ▼ GF

RL 64.120 ▼ LGF CEILING

RL 61.680 ▼ LOWER GROUND FLOOR

1 FRONT ELEVATION
1 : 100

RL 71.174 ▼ ROOF PEAK

RL 70.010 ▼ UF CEILING

RL 67.460 ▼ UF

RL 67.160 ▼ GF CEILING

RL 64.420 ▼ GF

RL 64.120 ▼ LGF CEILING

RL 61.680 ▼ LOWER GROUND FLOOR

2 REAR ELEVATION
1 : 100

0 1m 2m 3m 4m 5m 10m

SCALE BAR 1:100

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ABN 15 078 937 238
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CLIENT: TRI STOREY DWELLING

GOULD

DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**16 BARANBALI AVE
SEAFORTH**

SHEET SIZE: **A3** SHEET No: **A07** REVISION: **H**
DATE: **18/03/2021**
JOB NO: 230286 STAGE: DA
DRAWN: NF GJGN121

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 71.174 ROOF PEAK

RL 70.010 UF CEILING

RL 67.460 UF

RL 67.160 GF CEILING

RL 64.420 GF

RL 64.120 LGF CEILING

RL 61.680 LOWER GROUND FLOOR

1 SIDE ELEVATION 1
1 : 100

RL 71.174 ROOF PEAK

RL 70.010 UF CEILING

RL 67.460 UF

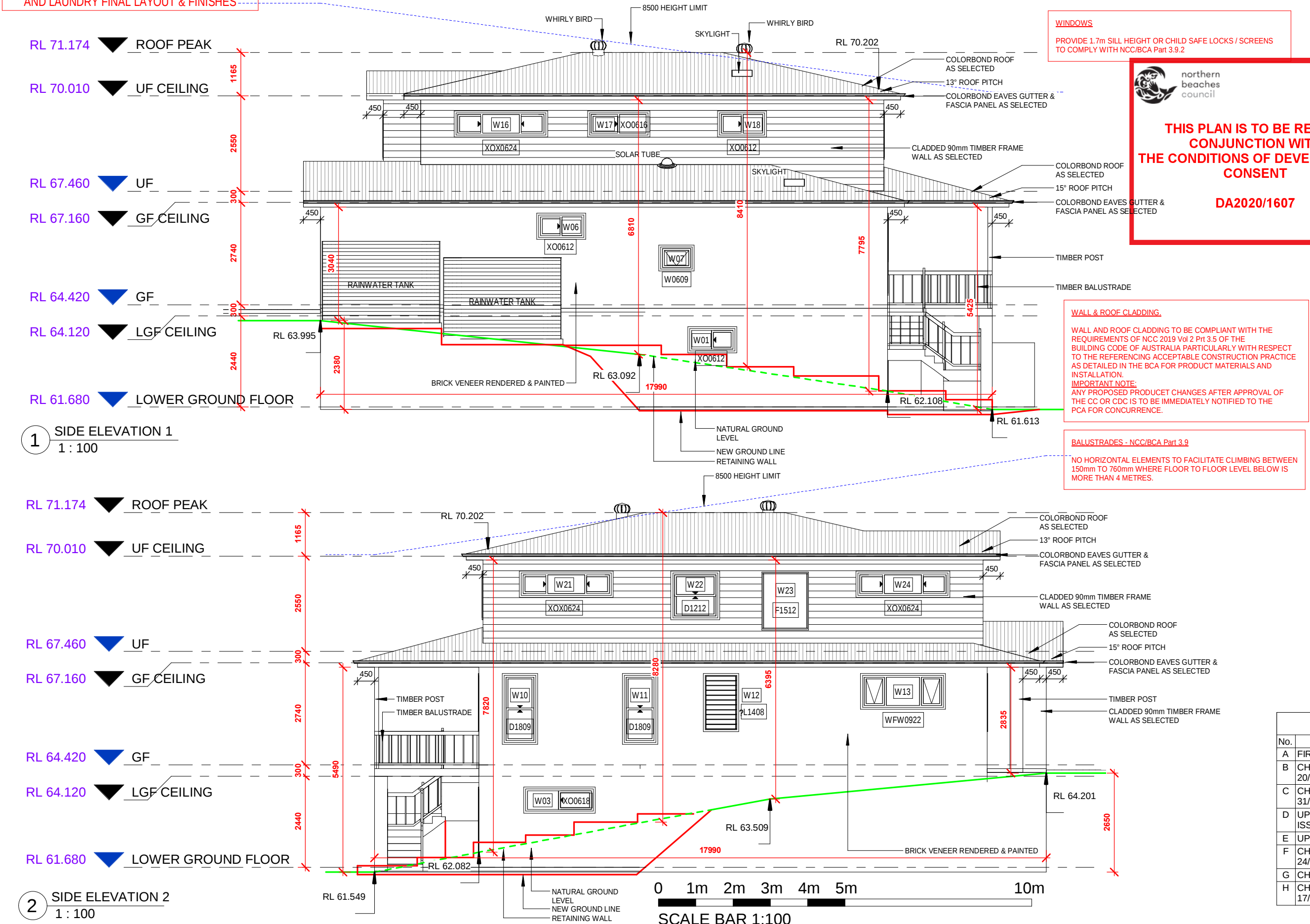
RL 67.160 GF CEILING

RL 64.420 GF

RL 64.120 LGF CEILING

RL 61.680 LOWER GROUND FLOOR

2 SIDE ELEVATION 2
1 : 100



DOOR SCHEDULE

Code	Width	Height
D01	3588	2100
D02	3228	2100
D03	1690	2400
D04	1200	2400
D05	3588	2400
D06	3588	2400

Grand total: 6

WINDOW SCHEDULE

Code	Width	Height
W01	1210	600
W02	750	1800
W03	1810	600
W04	610	1460
W05	610	1460
W06	1210	600
W07	850	600
W08	1570	1200
W09	750	2100
W10	850	1800
W11	850	1800
W12	850	1460
W13	2170	860
W14	2170	1200
W15	2170	1200
W16	2410	600
W17	1570	600
W18	1210	600
W19	1210	1200
W20	3010	1200
W21	2410	600
W22	1210	1200
W23	1200	1500
W24	2410	600

Grand total: 24



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CONSENT

DA2020/1607

WALL & ROOF CLADDING

WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE
REQUIREMENTS OF NCC 2019 Vol 2 Pt 3.5 OF THE
BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPECT
TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE
AS DETAILED IN THE BCA FOR PRODUCT MATERIALS AND
INSTALLATION.
IMPORTANT NOTE:
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF
THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE
PCA FOR CONCURRENCE.

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN
150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS
MORE THAN 4 METRES.

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CLIENT: TRI STOREY DWELLING

GOULD

DRAWING TITLE:

ELEVATIONS

SCALE: 1 : 100

PROJECT:

16 BARANBALI AVE
SEAFORTH

SHEET SIZE:

A3

SHEET No:

A08

REVISION:

H

DATE: 18/03/2021

JOB NO: 230286

DRAWN: NF

STAGE: DA

GJGN121

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BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 71.174 ROOF PEAK

RL 70.010 UF CEILING

RL 67.460 UF

RL 67.160 GF CEILING

RL 64.420 GF

RL 64.120 LGF CEILING

RL 61.680 LOWER GROUND FLOOR

A SECTION A-A
1 : 100

RL 71.174 ROOF PEAK

RL 70.010 UF CEILING

RL 67.460 UF

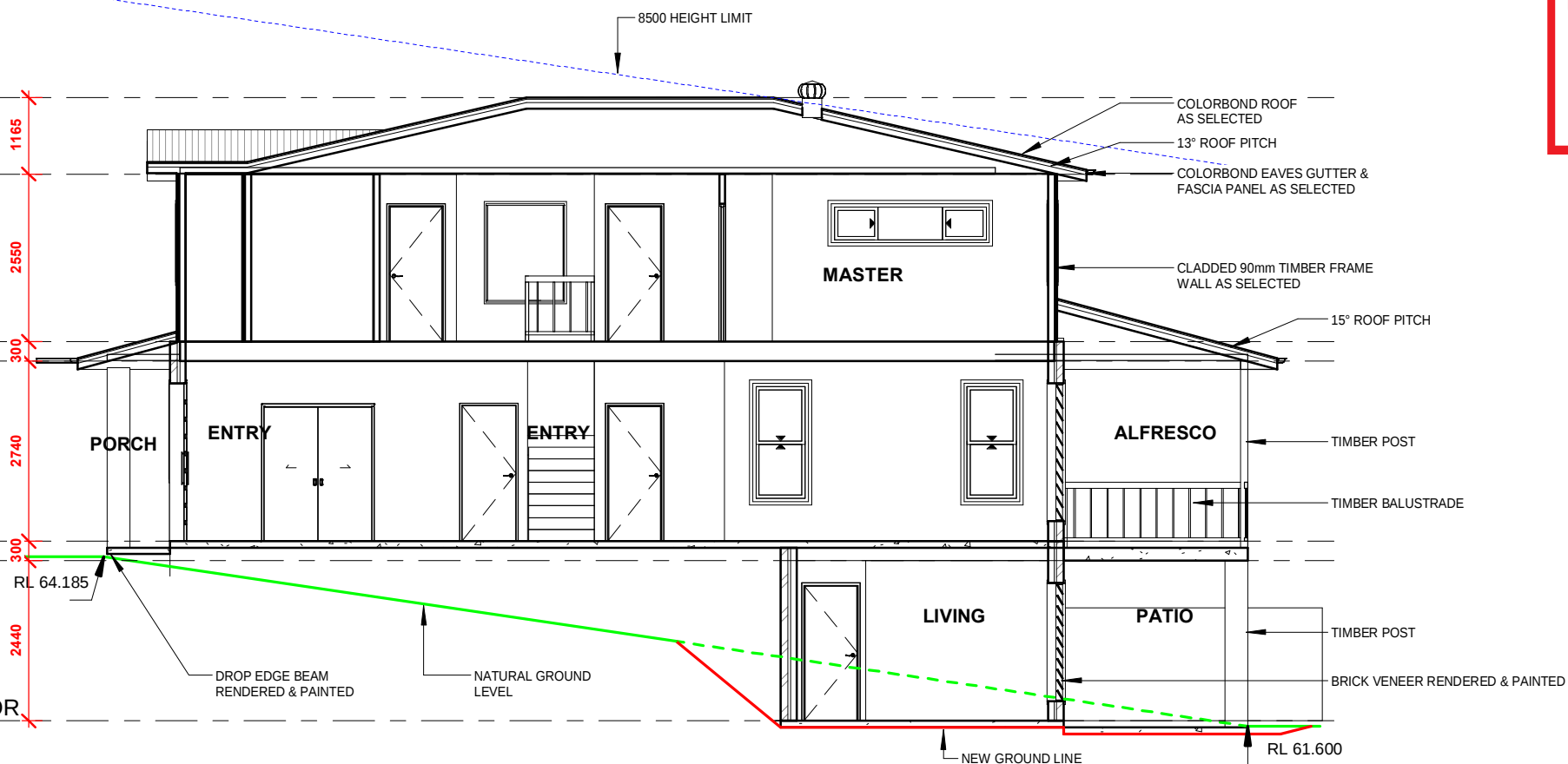
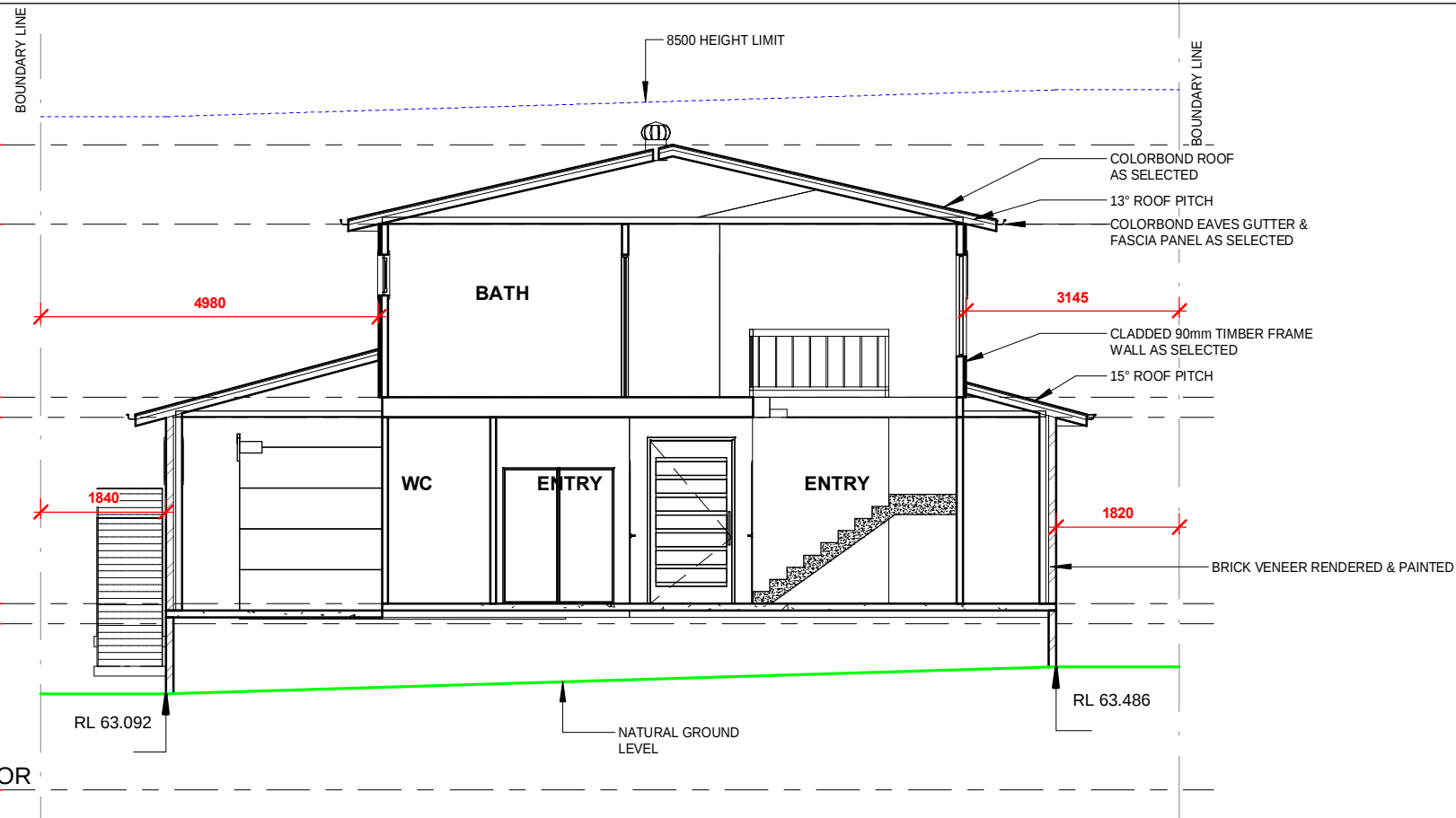
RL 67.160 GF CEILING

RL 64.420 GF

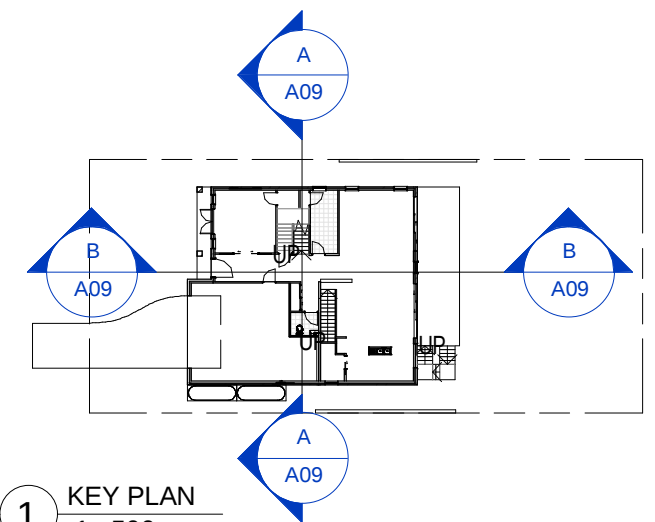
RL 64.120 LGF CEILING

RL 61.680 LOWER GROUND FLOOR

B SECTION B-B
1 : 100



0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100



THIS PLAN IS TO BE READ IN
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CONSENT

DA2020/1607

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	10/08/2020
B	CHANGES AS PER EMAIL 20/08/2020	25/08/2020
C	CHANGES AS PER EMAIL 31/08/2020	07/09/2020
D	UPDATE TO FULL SET DA ISSUE	30/09/2020
E	UPDATED SLAB PLAN	11/11/2020
F	CHANGES AS PER EMAIL 24/11/2020	01/08/2020
G	CHANGE ROOF PITCH	11/03/2021
H	CHANGES AS PER EMAIL 17/03/2021	18/03/2021

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G.J. Gardner. HOMES
Builders Details

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DRAFTERS:
KJR
SUIITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: TRI STOREY DWELLING

GOULD

DRAWING TITLE:
SECTIONS

SCALE: As
indicated

PROJECT:

16 BARANBALI AVE
SEAFORTH

SHEET SIZE: SHEET No: REVISION:

A3 A09 H

DATE: 18/03/2021

JOB NO: 230286

STAGE: DA

DRAWN: NF

GJGN121

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

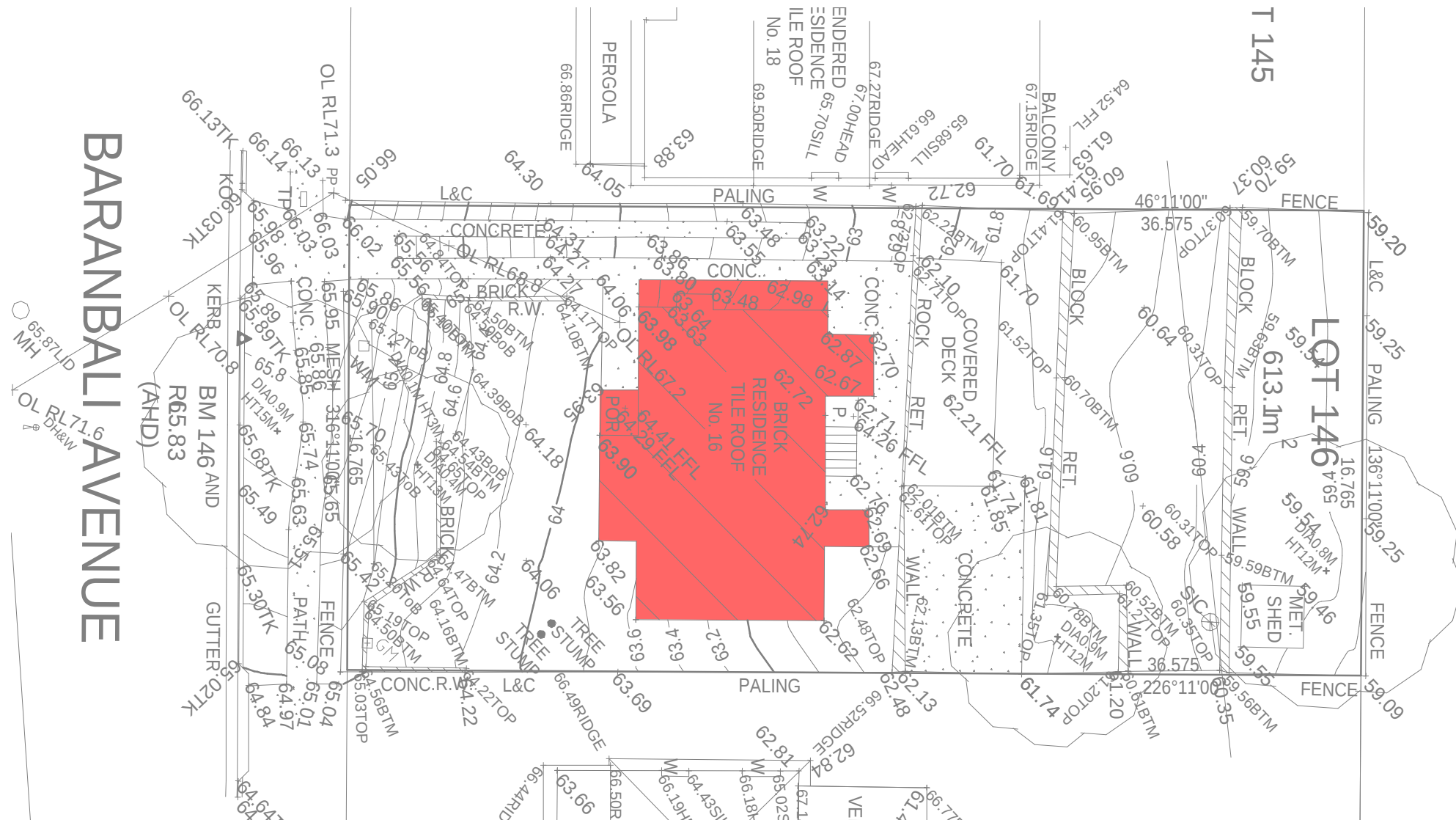
OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



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DA2020/1607



1 DEMOLITION PLAN
1 : 200

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	10/08/2020
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0 1m 3m 5m 10m
SCALE BAR 1:200

DEMOLITION WORKS ARE
SHOWN IN RED

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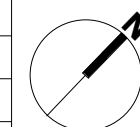
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(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: TRI STOREY DWELLING
GOULD
DRAWING TITLE:
DEMOLITION PLAN
SCALE: 1 : 200

PROJECT:
**16 BARANBALI AVE
SEAFORTH**

SHEET SIZE: **A3** SHEET No: **A10** REVISION: **H**
DATE: **18/03/2021**
JOB NO: 230286 STAGE: DA
DRAWN: NF GJGN121

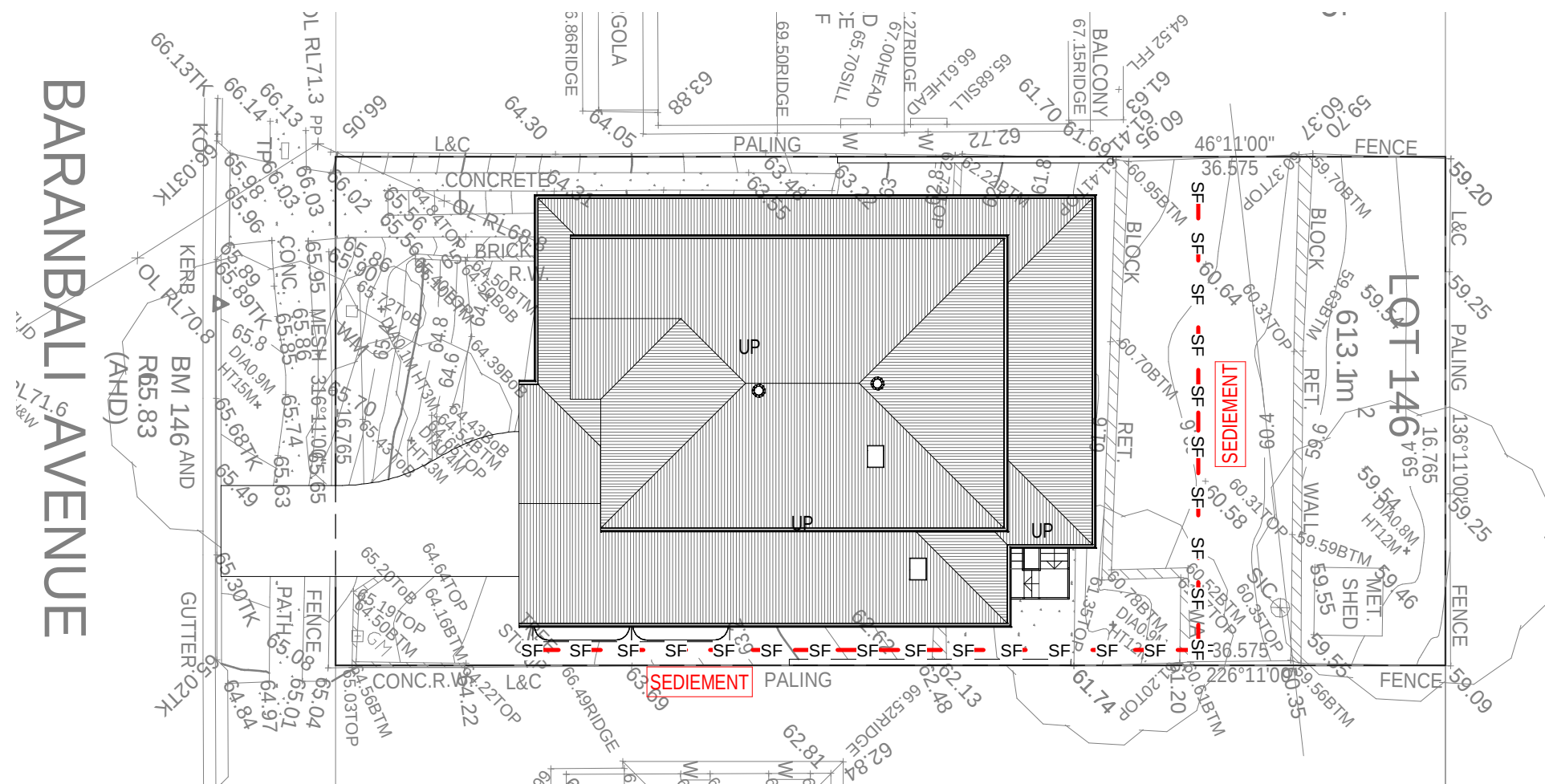


I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



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DA2020/1607



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	10/08/2020
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SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

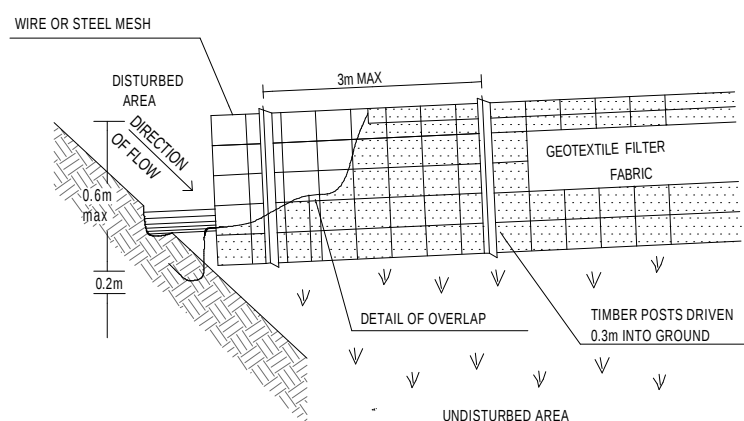
ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

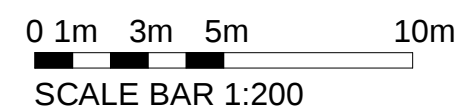
- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.



SEDIMENT FENCE DETAILS



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Builders Details

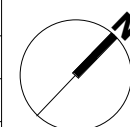
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(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: TRI STOREY DWELLING
GOULD
DRAWING TITLE:
EROSION & SEDIMENT PLAN
SCALE: 1 : 200

PROJECT:
**16 BARANBALI AVE
SEAFORTH**

SHEET SIZE: **A3** SHEET No: **A12** REVISION: **H**
DATE: **18/03/2021**
JOB NO: 230286 STAGE: DA
DRAWN: NF GJGN121



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:

LEGEND

- LAWN AREA
- PAVING
- CONCRETE
- GARDEN AREA
- DECORATIVE PEBBLES
- STEPPING SLEEPERS
- TREE TO BE RETAINED
- TREE TO BE REMOVED
- RL 60.900 PROPOSED LEVEL
- + TOW 60.900 PROPOSED TOP OF WALL LEVEL



POOL SHAPE



POOL SHAPE



POOL SHAPE



POOLSIDE PAVING



LAWN AND STEP DETAILS

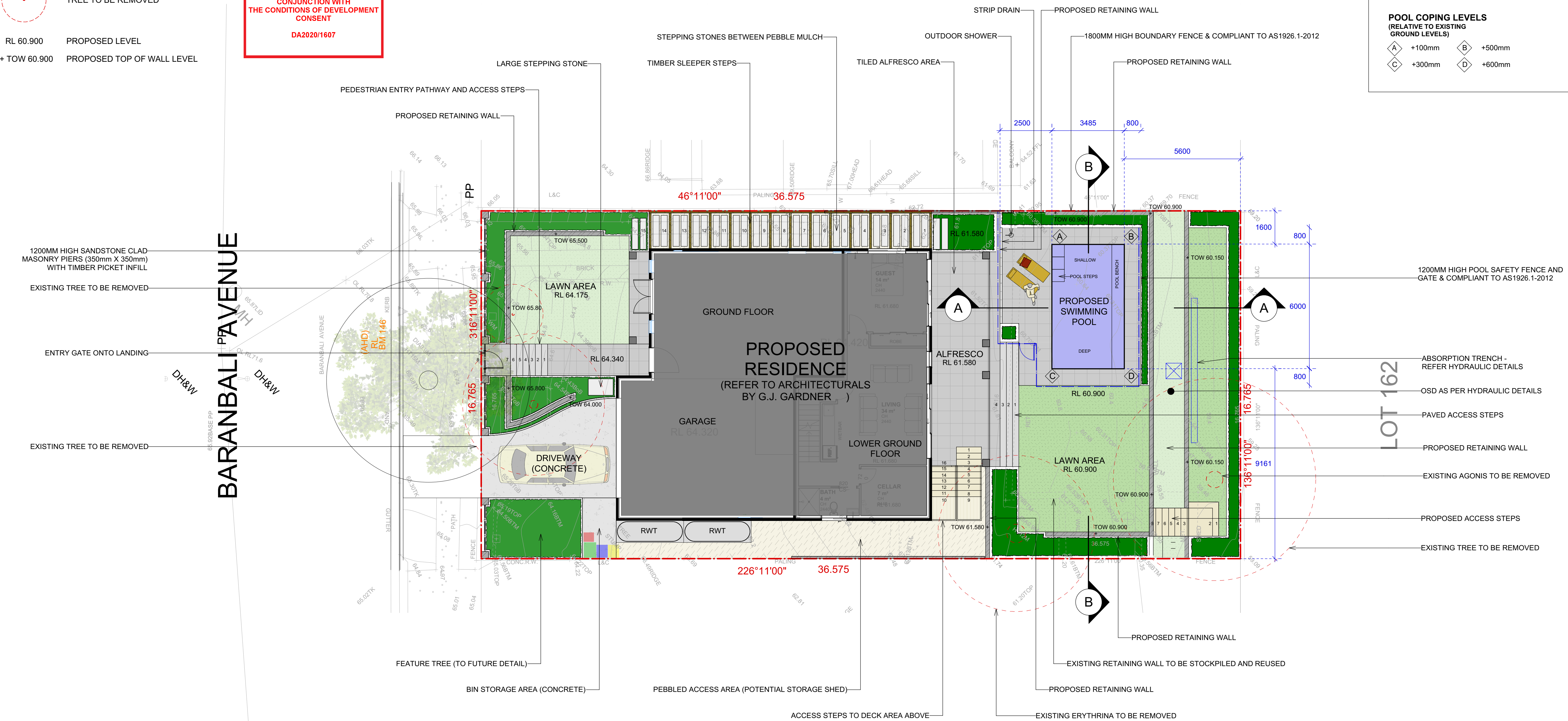
DEVELOPMENT COMPLIANCE TABLE

LANDSCAPED AREA		
		COMPLY
SITE AREA	613.10 m2	N/A
MINIMUM TOTAL OPEN SPACE - 55%	337.21 m2	N/A
PROPOSED LANDSCAPED AREA	167.71 m2 (101.16m2 REQ.)	YES

- PROPOSED SWIMMING POOL AND SURROUNDS SHALL BE NO GREATER THAN 600mm ABOVE EXISTING LEVELS
- SWIMMING POOL AND SPA WATER CAPACITY IS LESS THAN 40 000 LITRES - 31 365 LITRES
- SWIMMING POOL LOCATED IN REAR YARD
- SWIMMING POOL SAFETY FENCING & SWIMMING POOL SHALL COMPLY WITH:
 - COUNCIL CODES
 - BUILDING CODE OF AUSTRALIA
 - SWIMMING POOLS ACT 1992-NO. 49
 - SWIMMING POOL SAFETY AS 1926.1-2007
 - SWIMMING POOL SAFETY AS 1926.2-2007
 - SWIMMING POOL SAFETY AS 1926.1-2012 AS APPLICABLE.

POOL COPING LEVELS
(RELATIVE TO EXISTING
GROUND LEVELS)

A	+100mm	B	+500mm
C	+300mm	D	+600mm



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Gould Residence

16 Baranbali Street,
Seaforth, NSW 2092

BUILDER:
GJ Gardner

NOTES

comply with building code of australia and all relevant australian standards

all works shall be in accordance with development application and construction certificate conditions of consent

all levels to ahd

refer to survey information relating to existing site data

verify all dimensions prior to works

do not scale from drawings

use figured dimensions in preference to scaling

refer all discrepancies to landscape architect for determination

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DATE	REV.	ISSUE
22/09/20	A	
16/11/20	B	
01/12/20	C	

DATE: 22/09/2020

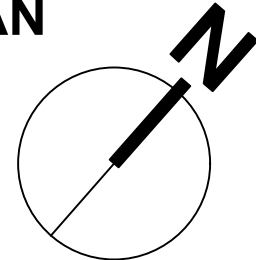
SCALE: 1:100 @ A1
1:200 @ A3

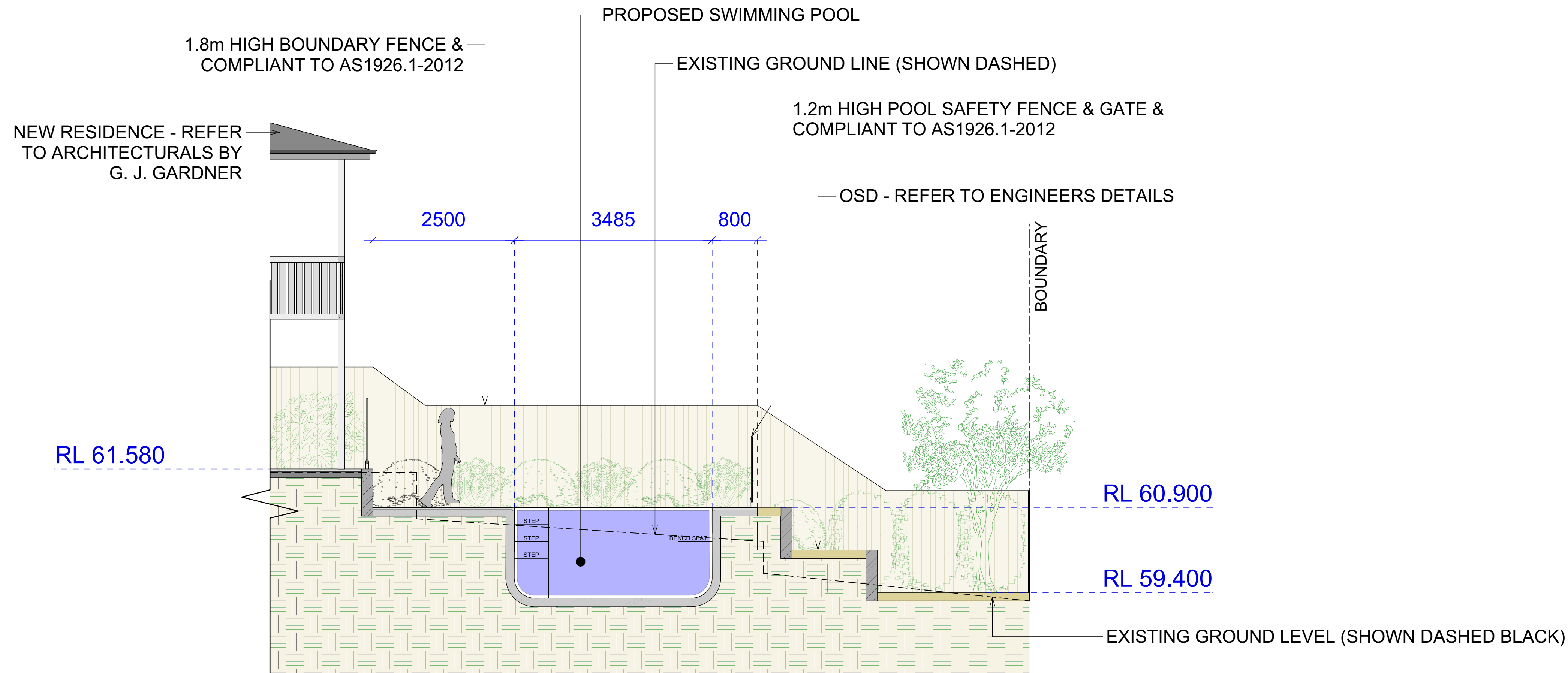
DRAWN: LH

DRAWING
LANDSCAPE PLAN

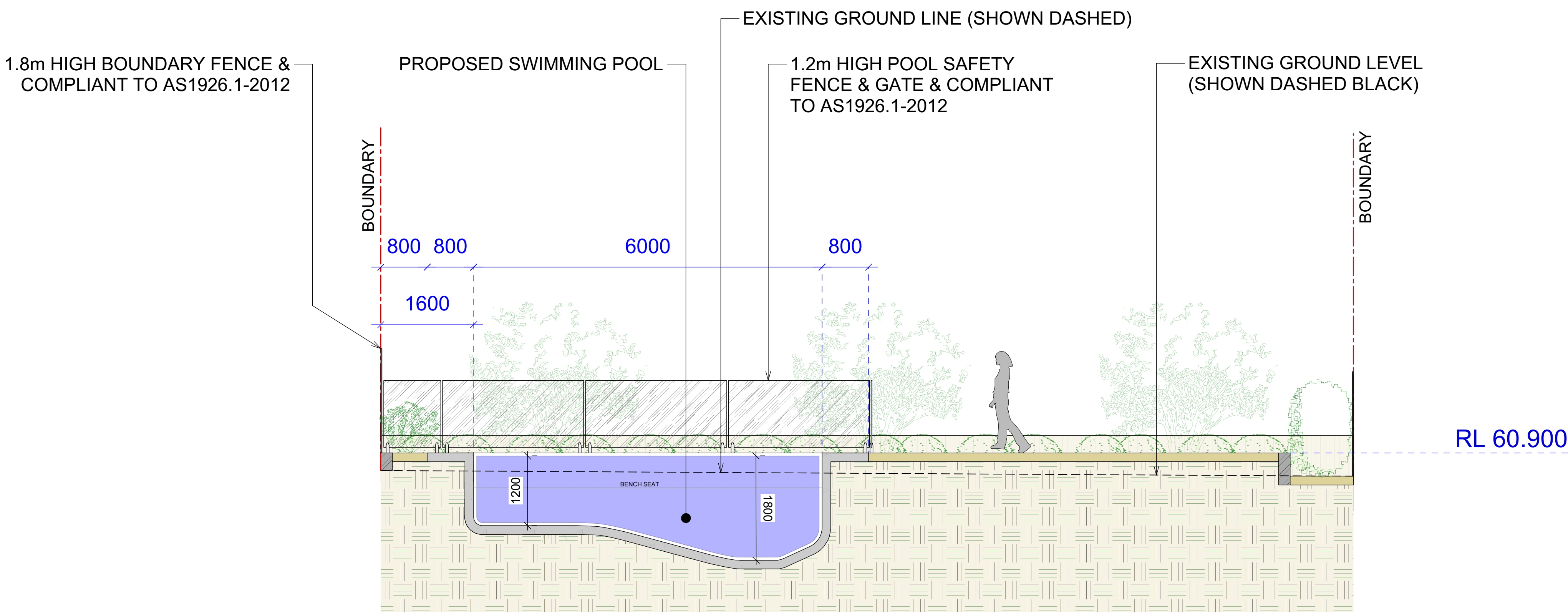
DRAWING NO:
C1

REV:
C





SECTION AA
scale 1:50



SECTION BB
scale 1:50


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CONTOUR
LANDSCAPE ARCHITECTURE

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DATE	REV.	ISSUE
01/12/20	A	

DATE:	01/12/2020	DRAWING POOL SECTIONS
SCALE:	1:50 @ A1 1:100 @ A3	DRAWING NO: C2
DRAWN:	LH	REV: A