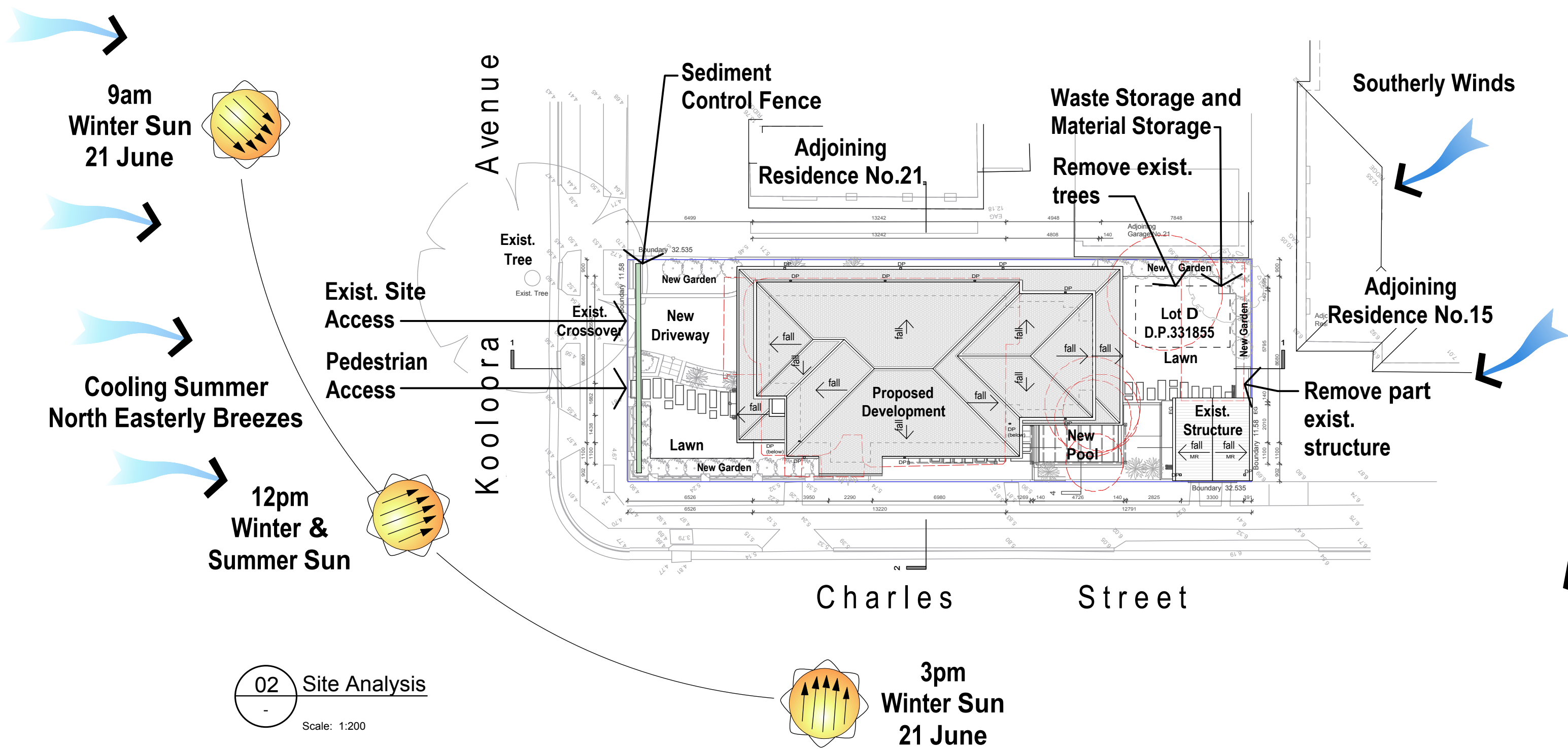


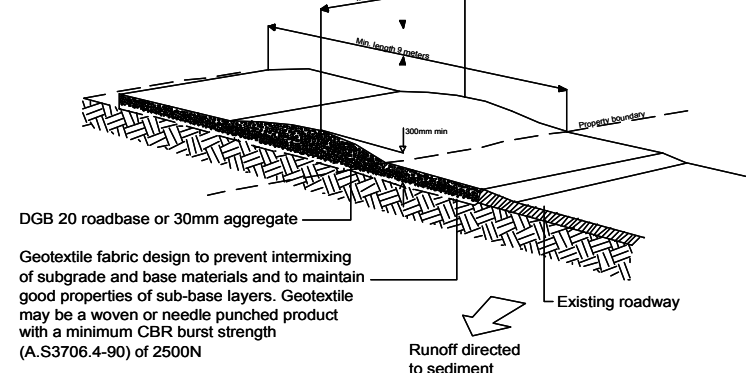


Drawing List

DA A100-A Cover Sheet, Site Analysis, Basix Commitments & Site Photos
DA A100-A Lower Ground, Ground & First Floor Plans
DA A200-A Elevations and Sections
DA A300-A Shadow Diagrams

SITE ANALYSIS CALCS.		
SITE AREA		
376.8 m ²		
SOFT LANDSCAPE		
PERMISSIBLE MIN.	(40% Site Area)	150.72 m ²
PROPOSED	(40.2%)	151.3 m ²

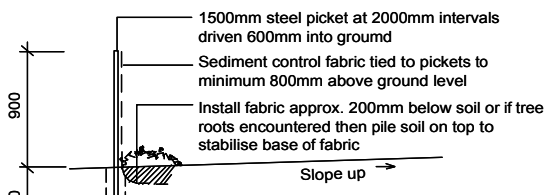
Construction site



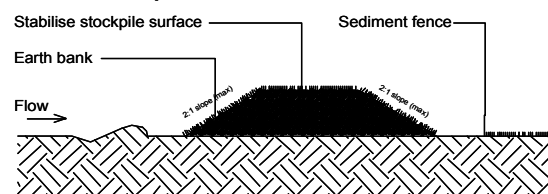
Construction Notes:

- Strip topsoil level site
- Compact subgrade
- Cover area with needle-punched geotextile.
- Construct 200mm thick pad over geotextile using roadbase or 30mm aggregate. Minimum length 15m or to building alignment. Minimum width 3m.
- Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap

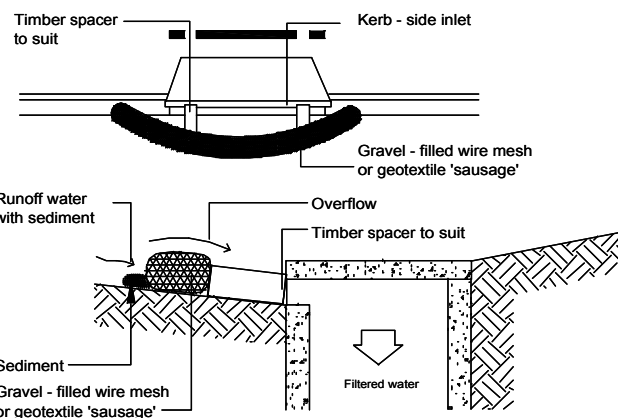
Sediment control fence



Soil stockpile details n.t.s.



Mesh & gravel inlet filter



04 Sediment Control Diagrams

NTS



01 Location Plan

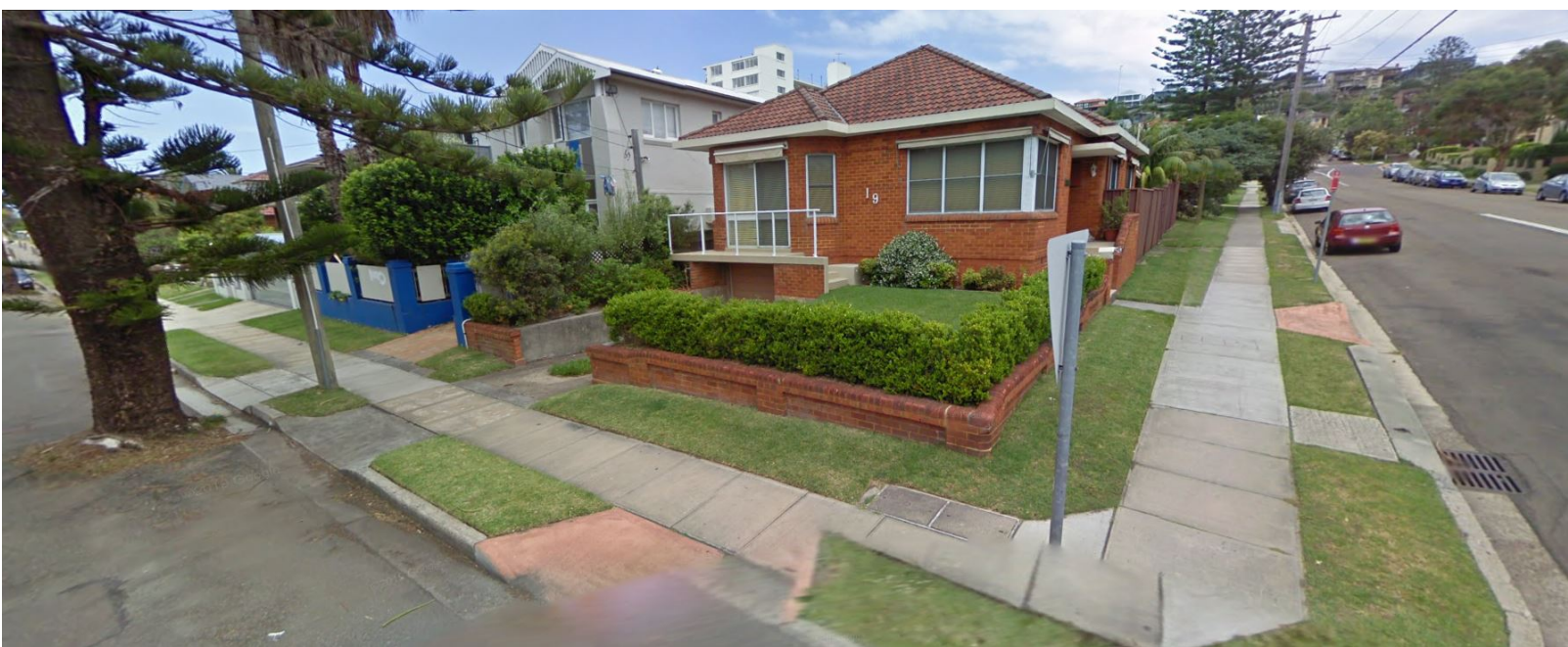
NTS

PROPOSED DEVELOPMENT

Water Commitments		
Landscape		
The applicant must plant indigenous or low water use species of vegetation throughout 25 square metres of the site.		
Alternative water		
Rainwater tank		
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		
Swimming pool		
The swimming pool must not have a volume greater than 17.5 kilolitres.		
The swimming pool must be outdoors.		
Thermal Comfort Commitments		
General features		
The dwelling must not have more than 2 storeys.		
The conditioned floor area of the dwelling must not exceed 300 square metres.		
The dwelling must not contain open mezzanine area exceeding 25 square metres.		
The dwelling must not contain third level habitable attic room.		
Floor, walls and ceiling/roof		
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		
Construction	Additional insulation required (R-Value)	Other specifications
floor - above habitable rooms or mezzanine, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	3.00 (or 3.40 including construction)	
internal wall shared with garage - cavity brick wall	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.5 (up), roof: foil/sarking	unventilated: medium (solar absorptance 0.475-0.70)

03 Schedule of Basix Commitments

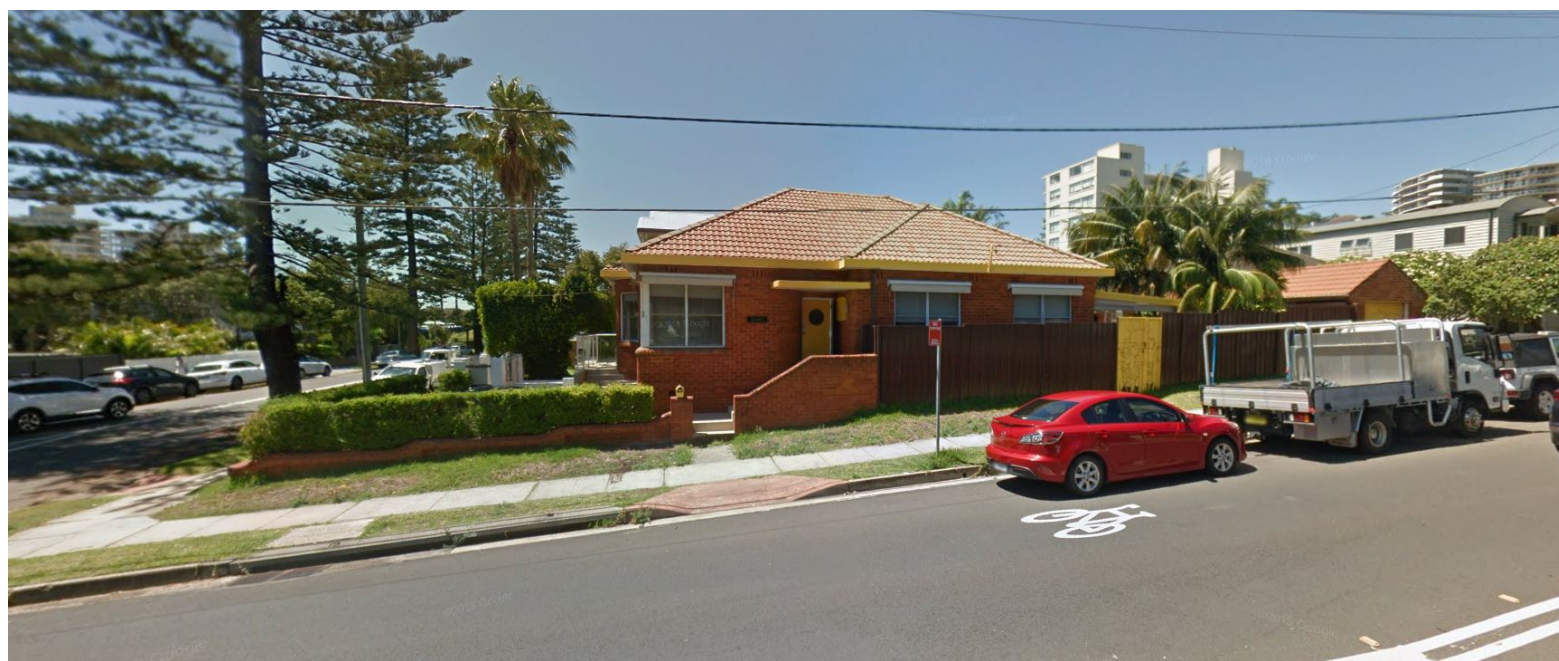
As per Certificate No.1023645S



View to Existing Residence (subject site)
No.19 from Cnr Kooloora Ave and Charles St (courtesy Google Street View)

Windows, doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.					
The following requirements must also be satisfied in relation to each window and glazed door:					
- For the following glass and frame types, the certifier check can be performed by visual inspection. - Aluminium single clear - Aluminium double (air) clear - Timber/UPVC/fibreglass single clear - Timber/UPVC/fibreglass double (air) clear - For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. - Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. - Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.					

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
W01	1790	3000	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W02	2700	1540	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2850 mm, 0 mm above head of window or glazed door	not overshadowed
W03	3520	600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2400 mm, 2100 mm above head of window or glazed door	not overshadowed
W04	1200	2800	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 850 mm, 150 mm above head of window or glazed door	not overshadowed
W05	2140	900	timber/UPVC/fibreglass, single, clear	eave 850 mm, 125 mm above head of window or glazed door	not overshadowed
W06	1750	860	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2400 mm, 450 mm above head of window or glazed door	not overshadowed
W07	800	460	timber/UPVC/fibreglass, single, clear	eave 1800 mm, 400 mm above head of window or glazed door	not overshadowed
South-East facing					
W08	680	1800	timber/UPVC/fibreglass, single, clear	eave 500 mm, 1150 mm above head of window or glazed door	>4 m high, 2-5 m away
W09	680	1500	timber/UPVC/fibreglass, single, clear	eave 500 mm, 1150 mm above head of window or glazed door	>4 m high, 2-5 m away
W10	1540	900	timber/UPVC/fibreglass, single, clear	eave 500 mm, 300 mm above head of window or glazed door	>4 m high, 2-5 m away
W11	1540	900	timber/UPVC/fibreglass, single, clear	eave 500 mm, 300 mm above head of window or glazed door	>4 m high, 2-5 m away
W12	1200	2000	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 550 mm, 100 mm above head of window or glazed door	not overshadowed
W13	1200	1600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
W14	1200	1600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
W15	1200	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed



View to Existing Residence (subject site)
No.19 from Charles St (courtesy Google Street View)

W16	1200	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 100 mm above head of window or glazed door	Sediment Control Fence
South-West facing					
W17	3520	600	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 3000 mm, 2100 mm above head of window or glazed door	not overshadowed
W18	1600	800	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2000 mm, 600 mm above head of window or glazed door	not overshadowed
W19	2700	4800	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 6000 mm, 0 mm above head of window or glazed door	not overshadowed
W20	1750	860	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 2000 mm, 400 mm above head of window or glazed door	not overshadowed
W21	800	460	timber/UPVC/fibreglass, single, clear	eave 1300 mm, 200 mm above head of window or glazed door	not overshadowed
W22	2100	3320	U-value: 2.3, SHGC: 0.171 - 0.209 (timber/UPVC/fibreglass, double (air), Lo-Tsol Low-e/clear)	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
North-West facing					
W23	500	2130	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W24	400	2710	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W25	2700	360	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	eave 1450 mm, 0 mm above head of window or glazed door	not overshadowed
W26	1300	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 3150 mm above head of window or glazed door	not overshadowed
W27	1600	800	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W28	1600	800	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W29	1750	1810	U-value: 3.7, SHGC: 0.342 - 0.418 (timber/UPVC/fibreglass, single, Lo-Tsol Low-e)	external louvre/vertical blind (adjustable)	not overshadowed
W30	1200	600	timber/UPVC/fibreglass, single, clear	eave 850 mm, 100 mm above head of window or glazed door	not overshadowed
W31	800	4400	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed
W32	1200	2000	timber/UPVC/fibreglass, single, clear	external louvre/vertical blind (adjustable)	not overshadowed

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.

Natural lighting

The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Alternative energy

The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

Preliminary
19.7.2019

A	19/7/19	DA Issue	KvB
rev	date	revision notes	by
Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings			
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project		project #	19-774

Golledge McLean Residence

19 Kooloora Avenue,
Freshwater, NSW 2099
Lot 16 Section 2 DP.7022

client

Mr W. Golledge and Mrs L. McLean

dwg

Location Plan, Site Analysis & Basix Commitments

printed	drawn	chk	scale@A1
19/7/19	KvB	JH	1:100

DEVELOPMENT APPLICATION

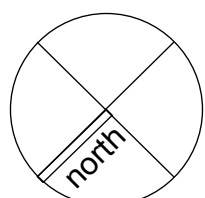
stage	drawing #	revision
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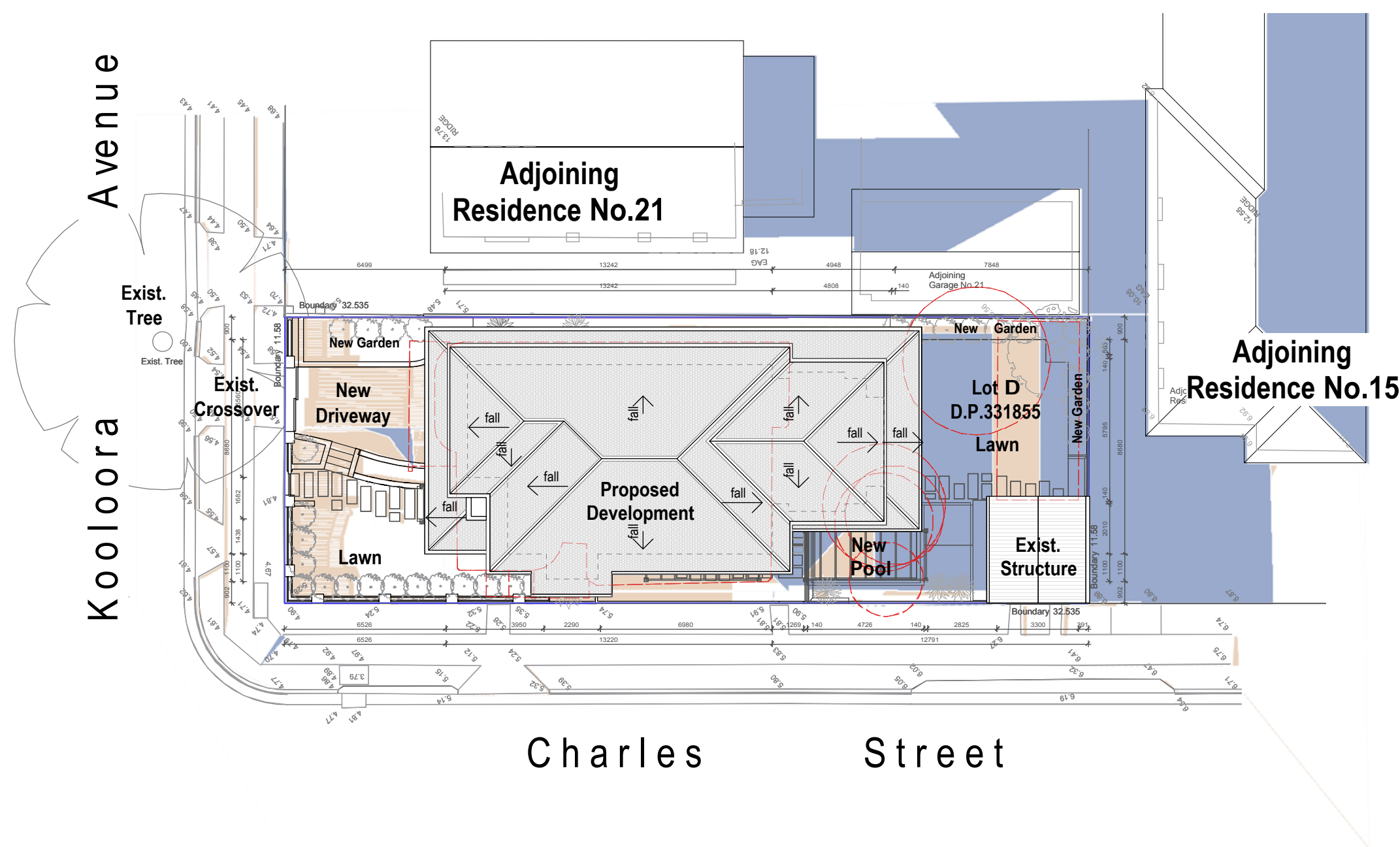
DA A000 A

11 marian street
killara nsw 2071
T 0 2 9498 8811
F 0 2 9498 4970

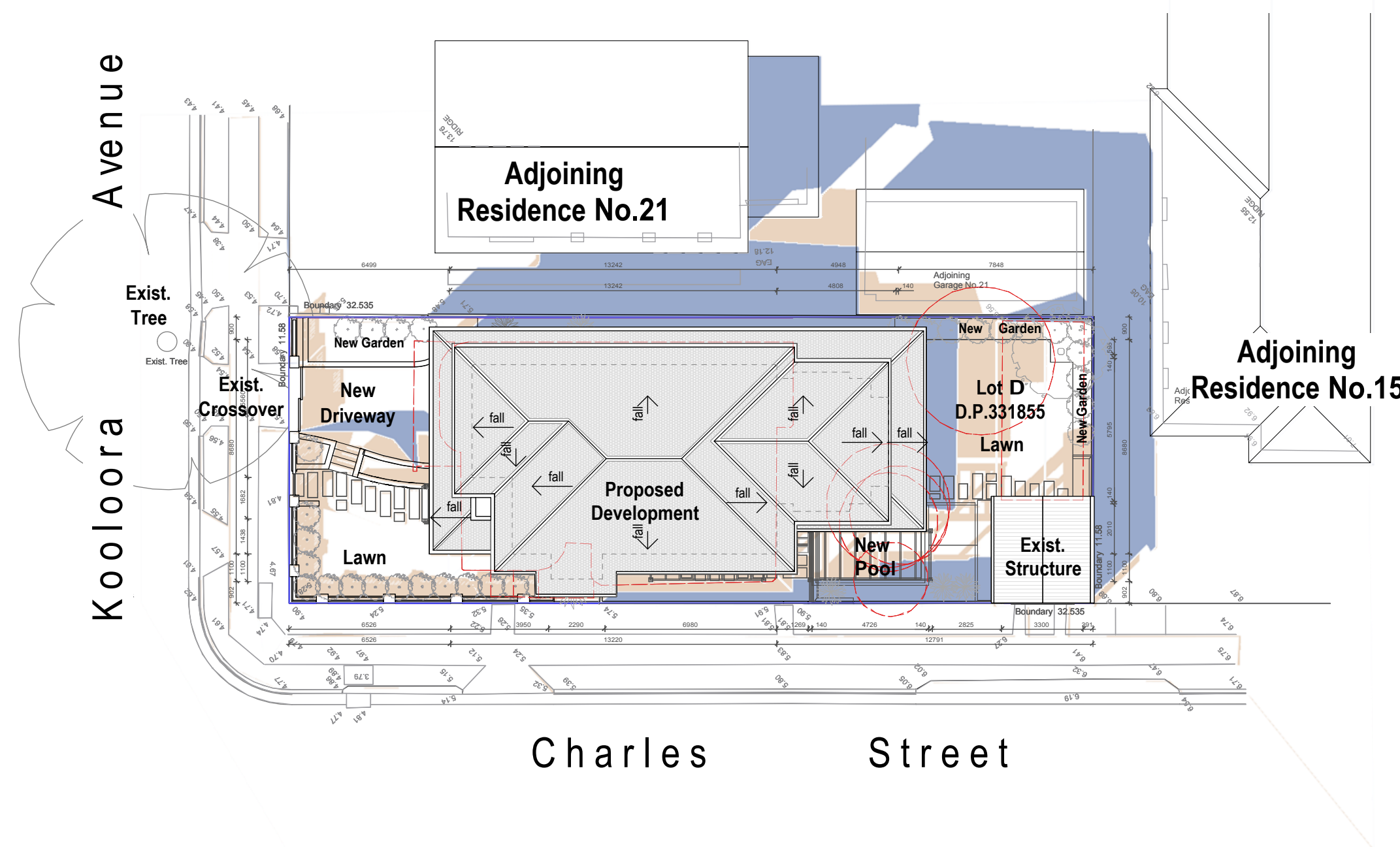
info@playoustchurcher.com.au
www.playoustchurcher.com.au

John J Playoust & Co Pty Limited ACN 008 503 188 & Brett Churcher Architects Pty Ltd
A C N 003 751 611 trading as Playoust Churcher Architects

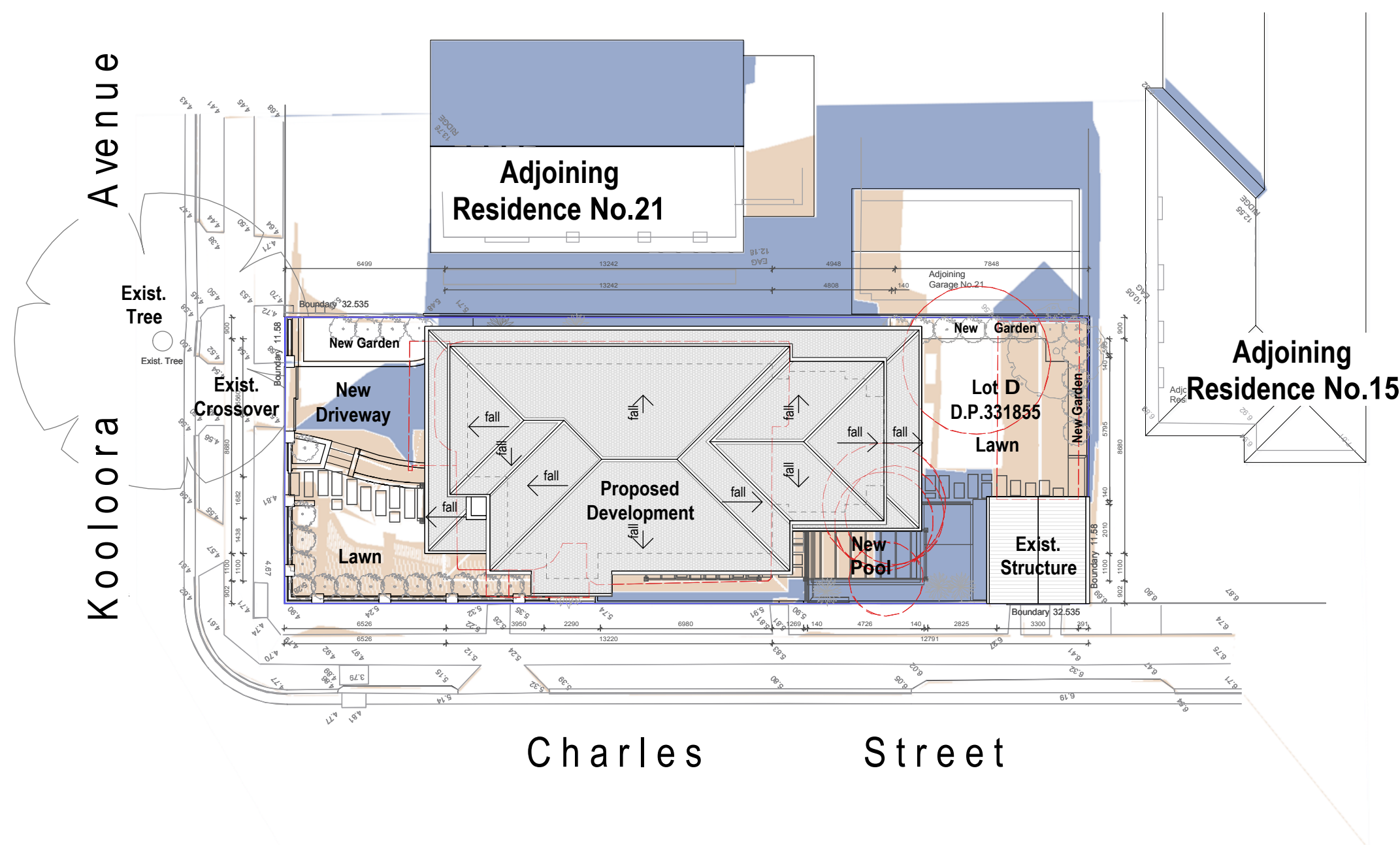




01 Shadow Diagram for June 21st at 9.00am
Scale: 1:200



02 Shadow Diagram for June 21st at 12.00pm
Scale: 1:200



03 Shadow Diagram for June 21st at 3.00pm
Scale: 1:200

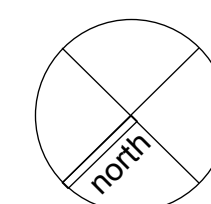
LEGEND

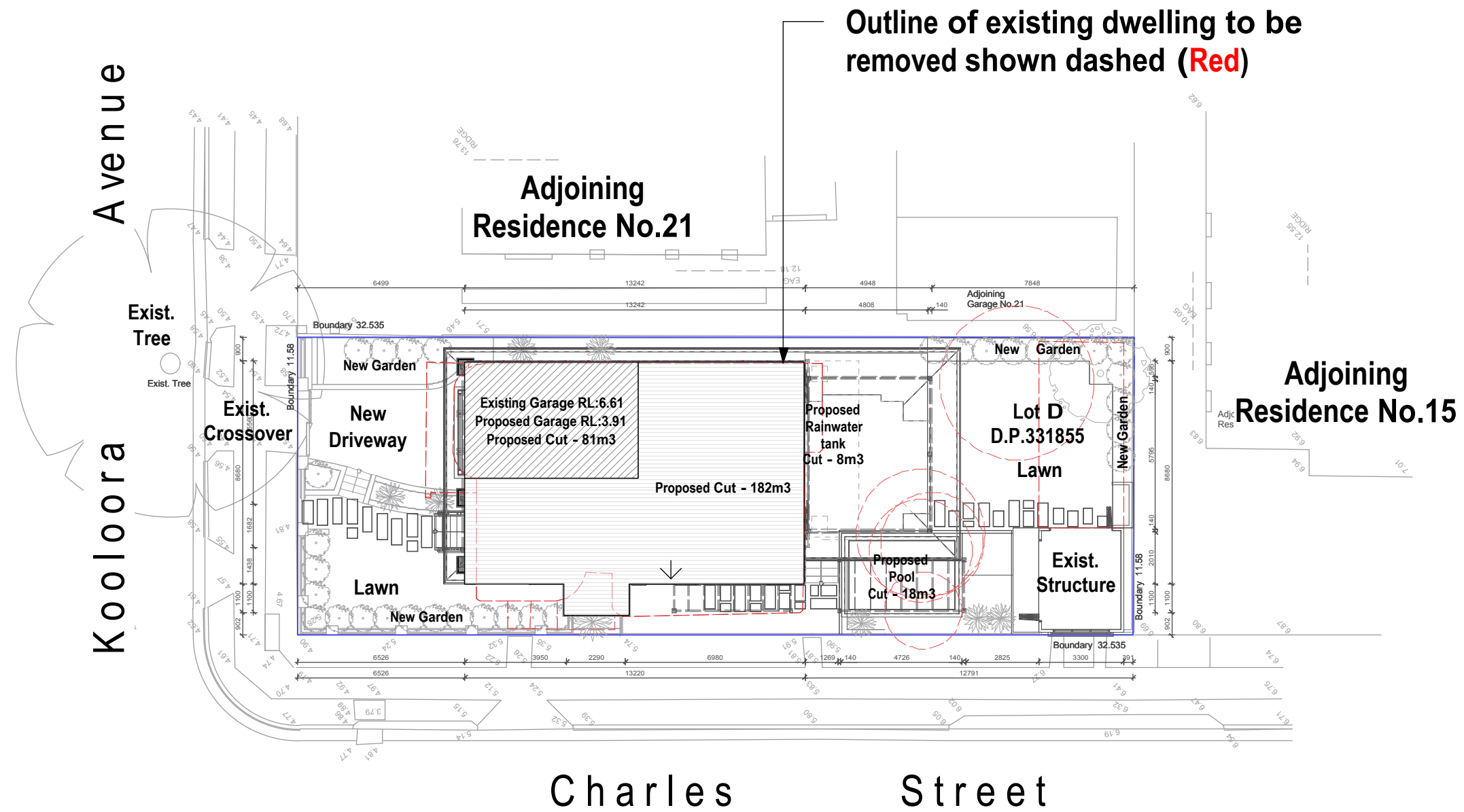
- Shadows cast by existing structures
- Additional shadows cast by proposed structures

Preliminary
19.7.2019

A 19/7/19 DA Issue KvB
rev date revision notes by
Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings
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project 19-774
Gollidge McLean Residence
19 Kooloora Avenue,
Freshwater, NSW 2099
Lot 16 Section 2 DP.7022
client
Mr W. Gollidge and Mrs L. McLean
dwg
Shadow Diagrams
printed 19/7/19 drawn KvB cld JH scale@A1 1:100

DEVELOPMENT APPLICATION
stage drawing # revision
DA A300 A
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killara nsw 2071
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ARCHITECTS
John J F Playoust & Co Pty Limited ACN 008 503 188 & Brett Churcher Architects Pty Ltd
A C N 003 751 611 trading as Playoust Churcher Architects





01 Demolition and Excavation Cut and Fill Plan

Scale: 1:200



Proposed cut below existing Garage - 81m3

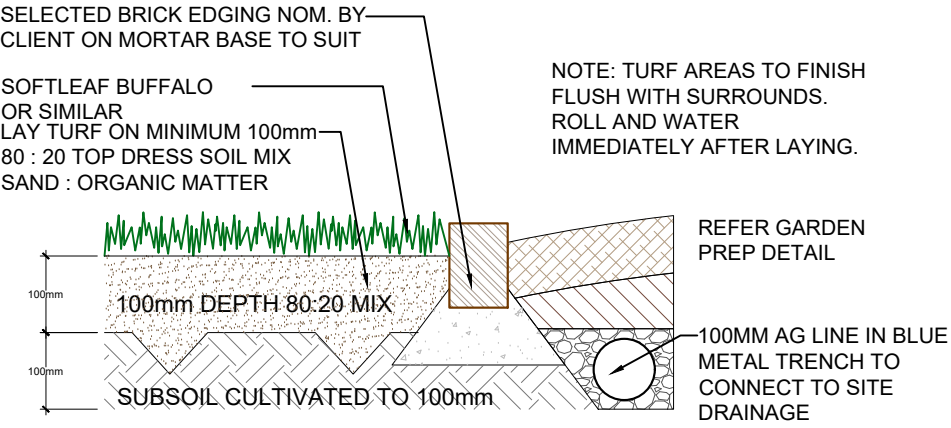
Proposed cut outside existing Garage - 208m3

Total Cut - 289m3



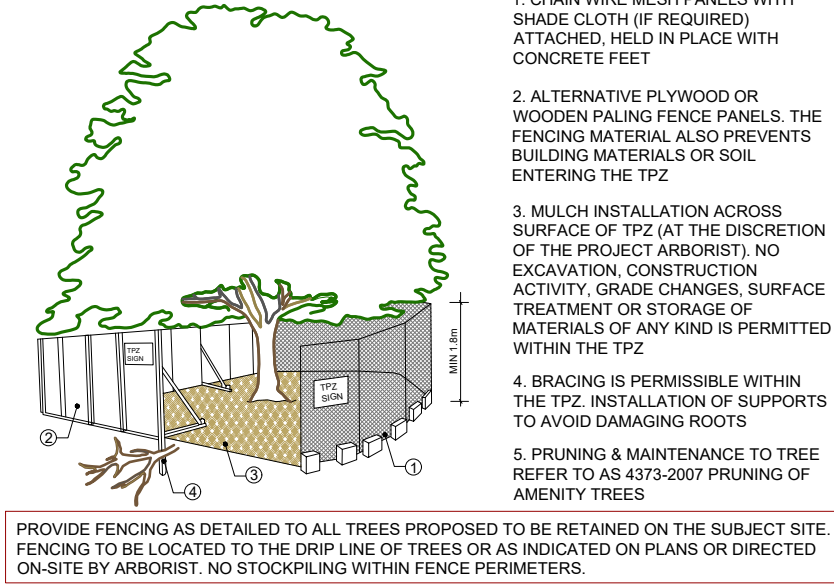
Proposed New Residence
19 Kooloora Ave, Freshwater

revision A	date July 19	revision notes Issued for DA	by
dwg	Demolition, Excavation and Cut / Fill Plan		
printed June 2019	drawing # DA A800	revision A	
drawn KvB			
scale @ A4 NTS	scale @ A3 1:200		



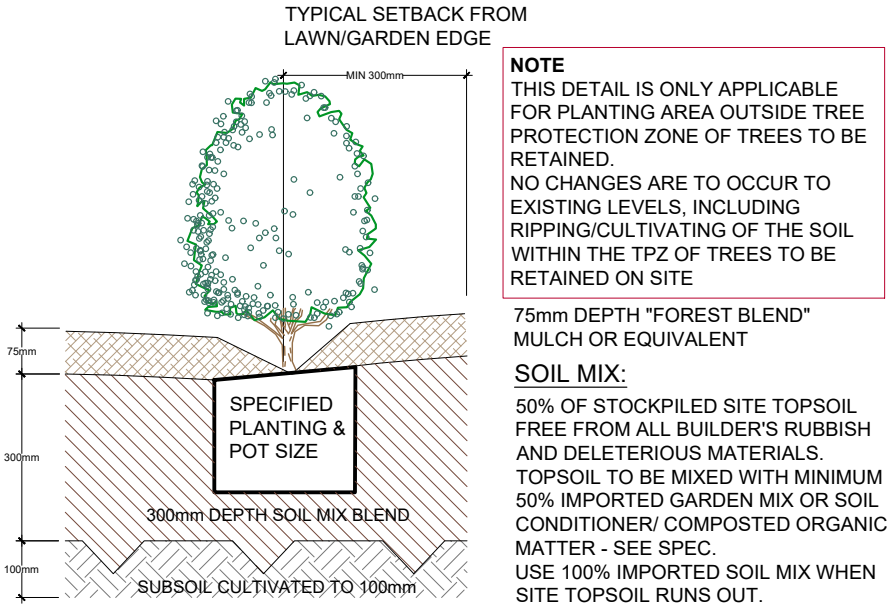
TYPICAL TURF AND BRICK EDGE DETAIL

SCALE: 1:10



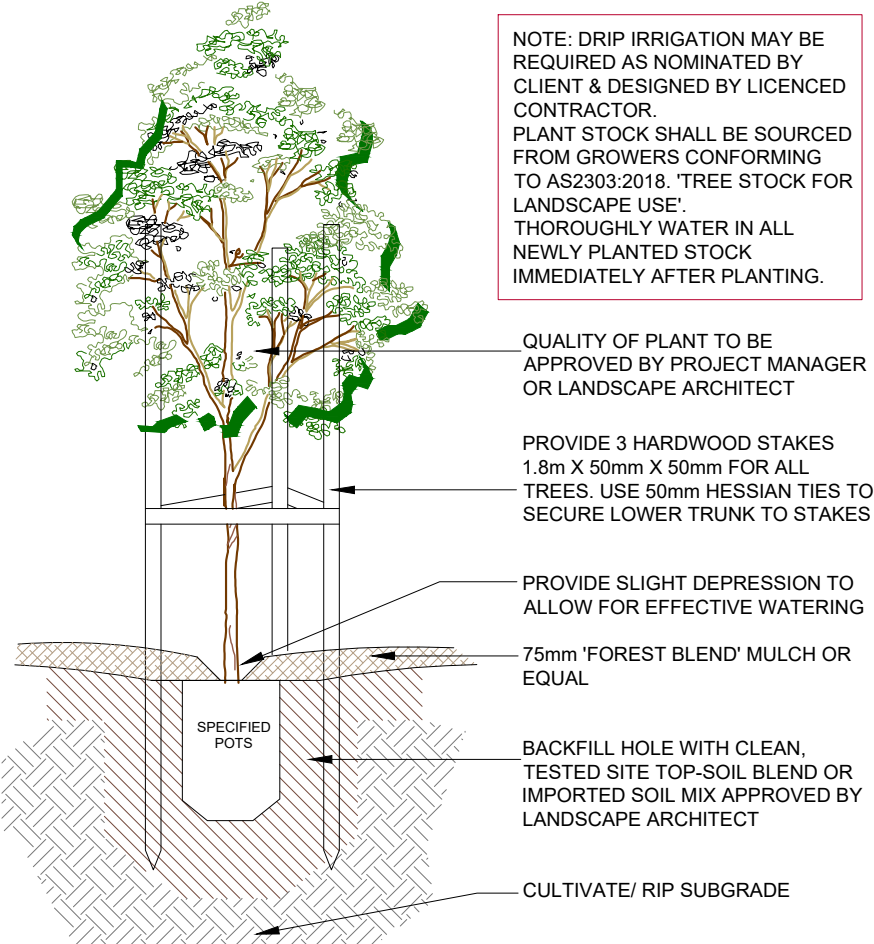
TREE PROTECTION ZONE

N.T.S



TYPICAL GARDEN PREPARATION DETAIL

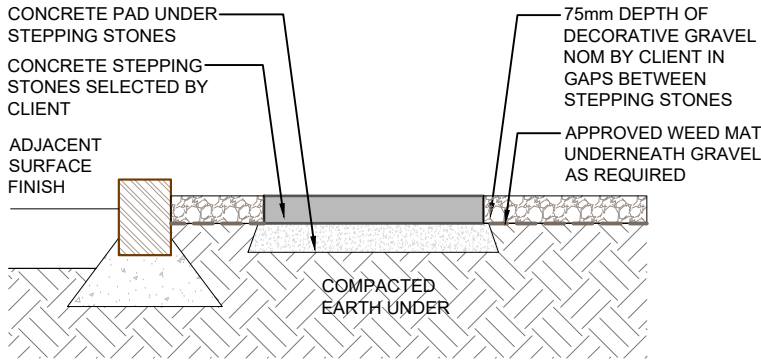
SCALE 1:10



TREE PLANTING DETAIL

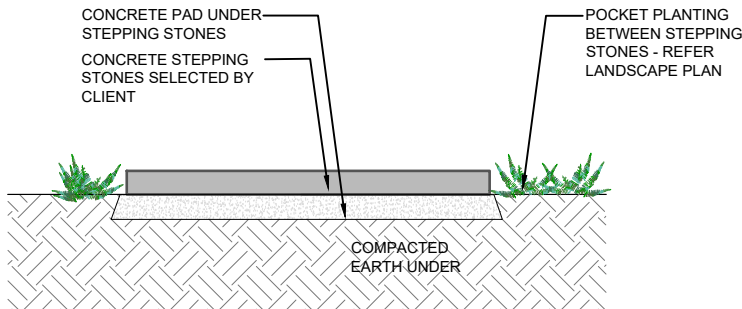
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



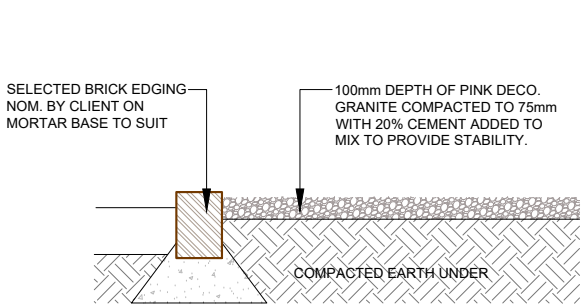
STEPPING STONES IN GRAVEL

SCALE 1:10



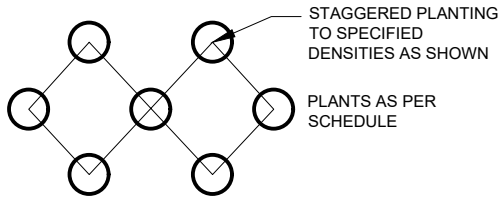
STEPPING STONES IN GROUND COVER PLANTING

SCALE 1:10



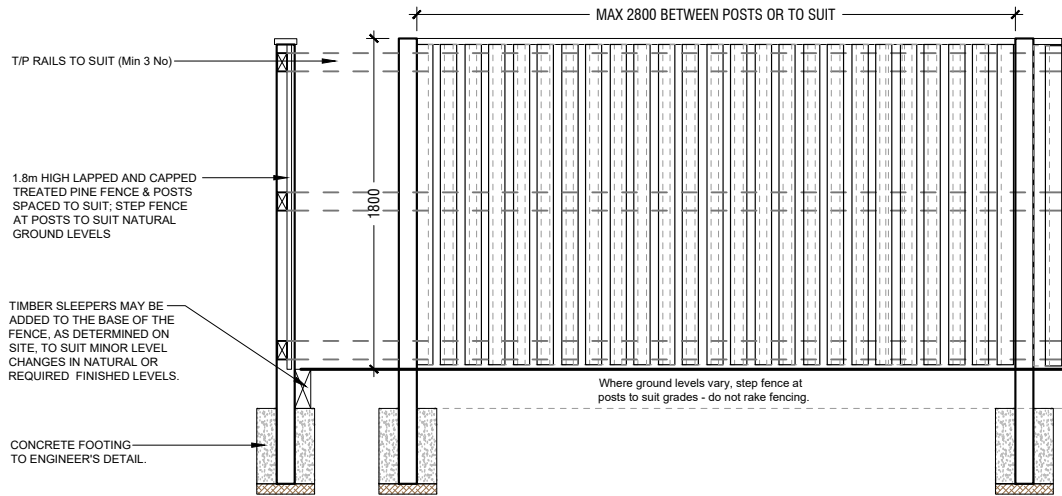
TYPICAL COMPACTED DECO GRANITE DETAIL

SCALE 1:10



MASS PLANTING SETOUT

N.T.S



1.8m BOUNDARY LAPPED AND CAPPED T/P TIMBER FENCING

SCALE: 1:20

General Notes:

Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.

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AILA Associate



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REV	DATE	NOTATION/AMENDMENT
A	21.06.19	Preliminary plan prepared for review

COUNCIL	NORTHERN BEACHES
CLIENT	WAYNE GOLLEDGE
ARCHITECT	PLAYOUST CHURCHER
STATUS / ISSUE	DA - ISSUE A

Conzept
Landscape Architects

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TITLE:	DETAILS	DWG No:	LPDA 19 - 242 / 3
	PROPOSED RESIDENTIAL DEVELOPMENT	SCALE:	AS SHOWN @ A3
	19 KOOLOORA AVE FRESHWATER	DATE:	JUNE 2019
		DRAWN:	R.H
		CHECKED:	R.F

