

WSC Building Plan Approval Summary Subject to Requirements

Job Address:	LOT 1 NO.74 SOLDIERS AVENUE FRESHWATER 2096
Building/Structure Description:	New Residence
Sydney Water Tap-In Reference:	1666321
Date Approval Issued:	30/08/2023
Architectural Site Plan Revision:	2
Structural Engineers Revision:	B

Mandatory Inspections Applicable:

Footings/Piers/Foundations* (Including excavation of pool area, if applicable)	Yes
Concrete Encasement*	Yes
Junction Relocation Required	Yes
Pre-Construction CCTV Required	No
Post-Construction CCTV Required	No

***Concrete Encasement & Footings/Piers/Foundations/ Pools are to be inspected prior to concrete pouring and MUST be inspected by Opal Water Management Pty Ltd.**

***48hrs notice is required to confirm your desired inspection time.**

Contact Number for Inspections: 0415 671 467

Failure to organise an inspection prior to works being completed on site will result in this project being closed within Sydney Water's system as "non-compliant". This may cause issues in future with obtaining compliance certificates or when selling the property.

**SYDNEY WATER
BUILDING PLAN APPROVED -
SUBJECT TO REQUIREMENTS**

EITHER: Dofin No: N/A

Quick Check Ref No: N/A

OR: Dofin No: NOT REQUIRED IF

Sydney Water Tap in™ Ref No: 1666321

e-Developer Case No: N/A

Property Location

Street No: 74

Lot No: 1

Street Name: SOLDIERS AVENUE

Suburb: FRESHWATER

Building/Structure Description: New Residence

Building Plan No: 652201

Engineers Plan No: E331632

Proposed building/structure is **APPROVED** to construct **OVER/ADJACENT TO** a Sydney Water asset, subject to the following requirements:

(NB. Delete non applicable requirements)

1. The foundations/piers are to be founded below the zone of influence (OR the following to be used for lightweight structures) The foundations/footings are to be no less than a minimum of 600mm horizontal distance and 750mm vertical distance from the outside edge of the asset to the nearest face of the foundations/footings
2. No part of the building/structure or its foundations to be less than a minimum 0.90 metre, horizontal distance from the outside edge of the asset.
3. No part of the above-ground building/structure to be less than 1m (for MH on mains up to DN300)/600mm(for MS, Lampholes, RP on mains up to DN300) horizontal distance from outside edge of any Sydney Water structure.
4. No part of the below ground building/ structure/foundations to be less than 600/900mm horizontal distance from outside edge of any Sydney Water Structure. (900mm required for piercing solutions)
5. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
6. All foundations/piers are to be founded to below the zone of influence or to solid rock.
7. Concrete encase approximately 4.1 metres of asset. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.
8. Concrete encasement must extend a minimum of 1m past the external walls of the building/structure.
9. Minimum of 450 mm vertical clearance between top of concrete encasement to underside of concrete slab.

Warning - Document current at time of printing or downloading.

Doc. Number: ACDP0258

December 2015

Doc. Owner: Manager, Urban Growth Property Development

Page 1 of 2

SPECIAL REQUIREMENTS

(a) "A requirement of this approval is that this project requires a Concrete Encasement Supervision & Pier Inspection to be carried out by Opal Water Management P/L. We are required by Sydney Water to attend site at the time of these particular stages of construction to ensure that the onsite works comply with the approval as granted herein.

Please ensure 48hrs (2 working days) notice is given to ensure our field team can attend your site at the time you require. (PLEASE NOTE: Failure to supply sufficient notice may result in project delays OR additional cost to facilitate an inspection time). Please contact 0415 671 467 to book your inspection."

- (b) Approximately 4.1m of Concrete Encasement to the existing sewer.
- (c) Possible Junction Relocation during Concrete Encasement - To be confirmed by Plumber.

NOTE:

Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

****In order to obtain your Sydney Water satisfactory compliance letter (Building over/adjacent to sewer letter), please refer to the below Sydney Water link detailing how to obtain your certificate. ****

<https://www.sydneywater.com.au/SW/your-home/moving--renovating--building/buying--selling-or-moving/Certificates-documents-diagrams/index.htm>

APPROVED BY

WSC Company Name: Opal Water Management Pty Ltd

Name of Key Personnel: Greg Houston

Signature of Key Personnel:



Date: 30/08/2023

NON-COMPLIANT / SUBJECT TO
COUNCIL APPROVAL
DA - NORTHERN BEACHES
(WARRINGAH) DCP
(LANDSLIDE RISK)

SITING SUBJECT TO RECEIPT OF ALL RELEVANT
DOCUMENTATION PERTAINING TO RESTRICTIONS ON THE
SUBJECT PROPERTY.

LAND IS SUBJECT TO:

- ZONING	R2
- WIND CLASSIFICATION	N1
- < 1km TO BREAKING SALT	1120m
- < 100m TO SALT WATER	NO
- BUSHFIRE	NO
- MINE SUBSIDENCE	NO
- ACID SULPHATE SOILS	NO
- FLOOD	NO
- BUILDING ENVELOPE	YES - COUNCIL
- SLAB CLASSIFICATION	M
- HERITAGE	NO
- DEVELOPER GUIDELINES	NO
- APPLICABLE 88B CLAUSES	NOT AVAILABLE
- ANY ADDITIONAL RESTRICTIONS	LANDSLIDE RISK KDRB

BUILDING RESTRICTIONS:

- FRONT SETBACK (MIN):	6.5m
- GARAGE SETBACK (MIN):	NOT SPECIFIED
- SIDE SETBACK (MIN):	0.9m
- REAR SETBACK (MIN):	6.0m
- GFA (MAX):	NOT SPECIFIED
- SITE COVERAGE (MAX):	NOT SPECIFIED
- BUILDING HEIGHT (MAX):	7.2m (WALL HEIGHT)
- WALL BREAKS (MAX):	NO CONTINUOUS WALL PLANES
- LANDSCAPED AREA (MIN):	169.05m ² (40%)
- PRIVATE OPEN SPACE (MIN):	60m ²
- CUT (MAX):	NOT SPECIFIED
- FILL (MAX):	1.0m (CONTAINED)

EXISTING STRUCTURE TO BE DEMOLISHED AND REMOVED BY OWNER.

OVERHEAD POWER LINES ARE PRESENT AT FRONT OF PROPERTY.

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	13.88m ³
FILL VOLUME	11.70m ³
DIFFERENCE	2.18m ³

EVEN CUT & FILL	
-----------------	--

DROPPED EDGE BEAM AREA	
AREA (m ²)	7.88

TOTAL FLOOR AREAS		
AREA NAME	DROP FLOOR	AREA (m ²)
LIVING (FIRST FLOOR)	NO	120.90
LIVING (GROUND FLOOR)	NO	154.82
OUTDOOR LIVING	NO	12.14
PORCH	NO	2.92
		290.78 m ²

COMPLIANCE AREAS	
GROSS FLOOR AREA	245.23
LANDSCAPED AREA	218.02
SITE COVERAGE AREA	289.98



Accredited Supplier to SYDNEY WATER

**BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Ref NO: 1666321 Date: 30.08.23

THIS PLAN HAS BEEN DRAWN TO REFLECT YOUR
SCOPE OF WORK. PLEASE CHECK THAT
EVERYTHING IS CORRECT AND FINALISED.
PLEASE NOTE SELECTIONS ITEMS WILL NOT APPEAR
ON YOUR PLANS UNTIL AFTER YOUR INTERNAL
COLOUR SELECTIONS APPOINTMENT IS COMPLETE.
A COMPLETE SET OF PLANS WILL BE PROVIDED AT
YOUR PLAN PRESENTATION APPOINTMENT.

SIGNATURE:

DATE:

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REVISION
1 DRAFT SALES PLAN - SOW
2 AMENDMENTS BY APPOINTMENT

DRAWN
JOL 2023.05.17
JOL 2023.05.23

CLIENT:
MS MARGARET JUNE KAYE & MR ROHAN ANTHONY SMITH
ADDRESS:
74 SOLDIERS AVENUE, FRESHWATER NSW 2096
LOT / SECTION / DP:
1 / - / 954849
COUNCIL:
NORTHERN BEACHES COUNCIL

HOUSE DESIGN:
LIDO 31
FACADE DESIGN:
MODERN
SHEET TITLE:
DSP - CONTOUR SKETCH

HOUSE CODE:
H-NMMLDO17400A
FACADE CODE:
F-NMMLDOMODNFA
SHEET No.:
2 / 7
SCALES:
1:200, 1:500

DO NOT SCALE DRAWINGS, USE
FIGURED DIMENSIONS ONLY. CHECK
AND VERIFY DIMENSIONS AND
LEVELS PRIOR TO THE
COMMENCEMENT OF ANY WORK. ALL
DISCREPANCIES TO BE REPORTED
TO THE DRAFTING OFFICE.
652201

MOJO
homes

Building plan assessment application

Application number: 1666321
Property address: 74 Soldiers Ave, Freshwater 2096
Lot details: Lot 1, Deposited Plan 954849
Property Number: 3453908

09/06/2023

Dear Jessica Obreque

Your building plan assessment application requires

FURTHER ASSESSMENT

The proposed location of one or more of your buildings or excavation works may impact our assets. You will need to engage a Water Servicing Coordinate to complete your assessment.

Please read the details below to understand the reasons why your application was referred.

REASONS

Application automatically referred by system

NEXT STEPS

1. Engage a Water Servicing Coordinator to complete your assessment
A list of Water Servicing Coordinators is available on our website www.sydneywater.com.au and go to the plumbing, building and developing page for a list of water servicing coordinators.
2. Take this referral to the Water Servicing Coordinator so they can complete the application for you.
3. You will need to use the following Sydney Water reference number when you contact the Water Servicing Coordinator .

REF-120832191

The Water Servicing Coordinator will charge for this service. Make sure you discuss prices with them before you select one as their prices can vary.

Your Water Servicing Coordinator may determine that your Building Plans need to be submitted to us for detailed review before any construction may commence. You will be required to pay us for our time to review your application. Your Water Servicing Coordinator will provide you with details on these costs before submitting your application

ANY QUESTIONS?

Email us
swtapin@sydneywater.com.au

Call us
1300 082 746

STRUCTURES

The structures and information you supplied are displayed below.

Structure(s) that may impact Sydney Water infrastructure

Structure 2	WATER TANK	2.9 m x 2.9 m x 1.0 m
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Please refer to the Appendix for list of negative impacts.

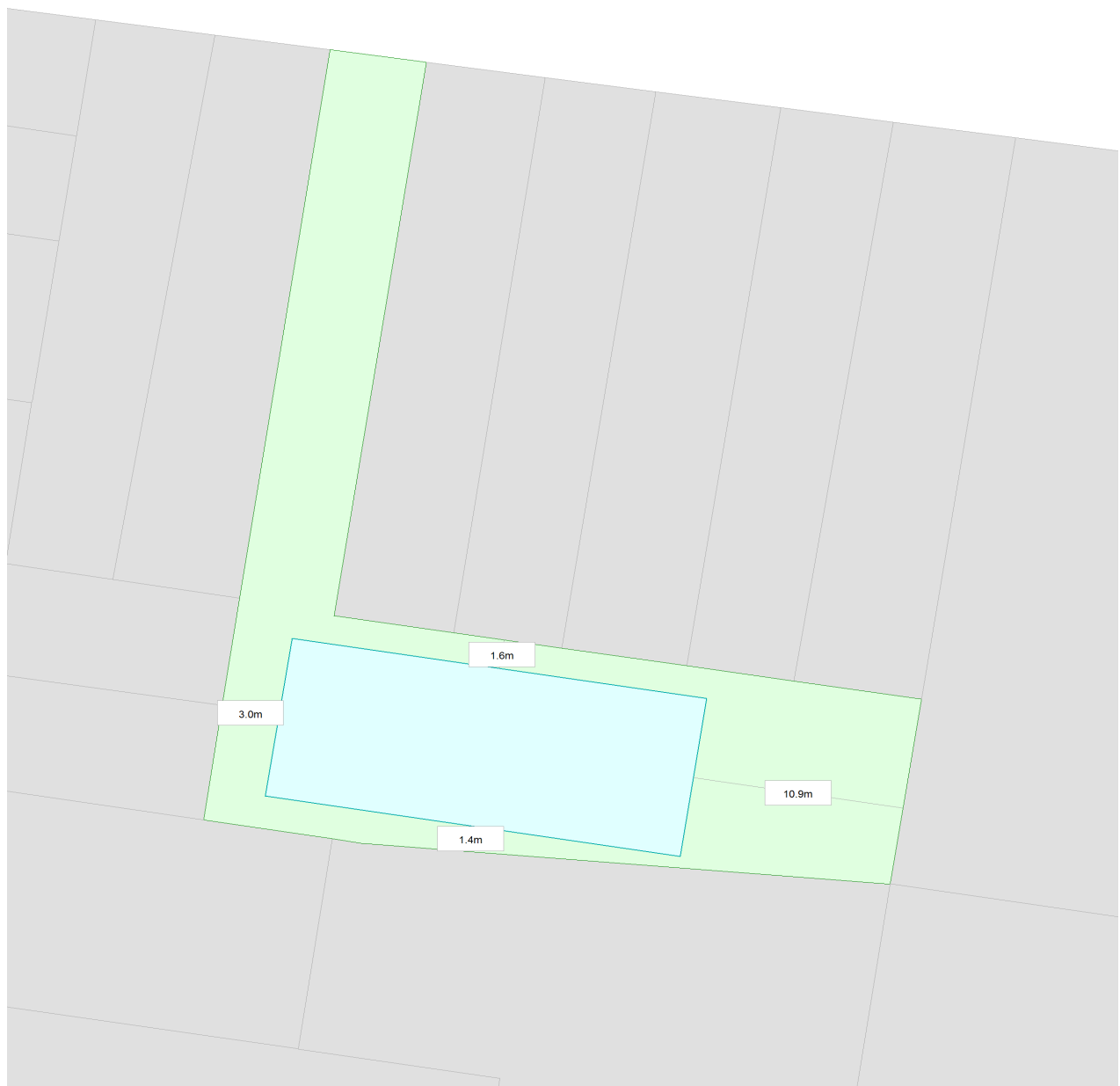
Structure(s) that will not impact Sydney Water infrastructure

Structure 1	New home	21.6 m x 8.87 m x 1.0 m
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Your building plan application needs further assessment
Structure 1 of 2: New home

Application reference number: 1666321
Property address: 74 Soldiers Ave, Freshwater 2096
Lot details: Lot 1, Deposited Plan 954849
Property Number: 3453908

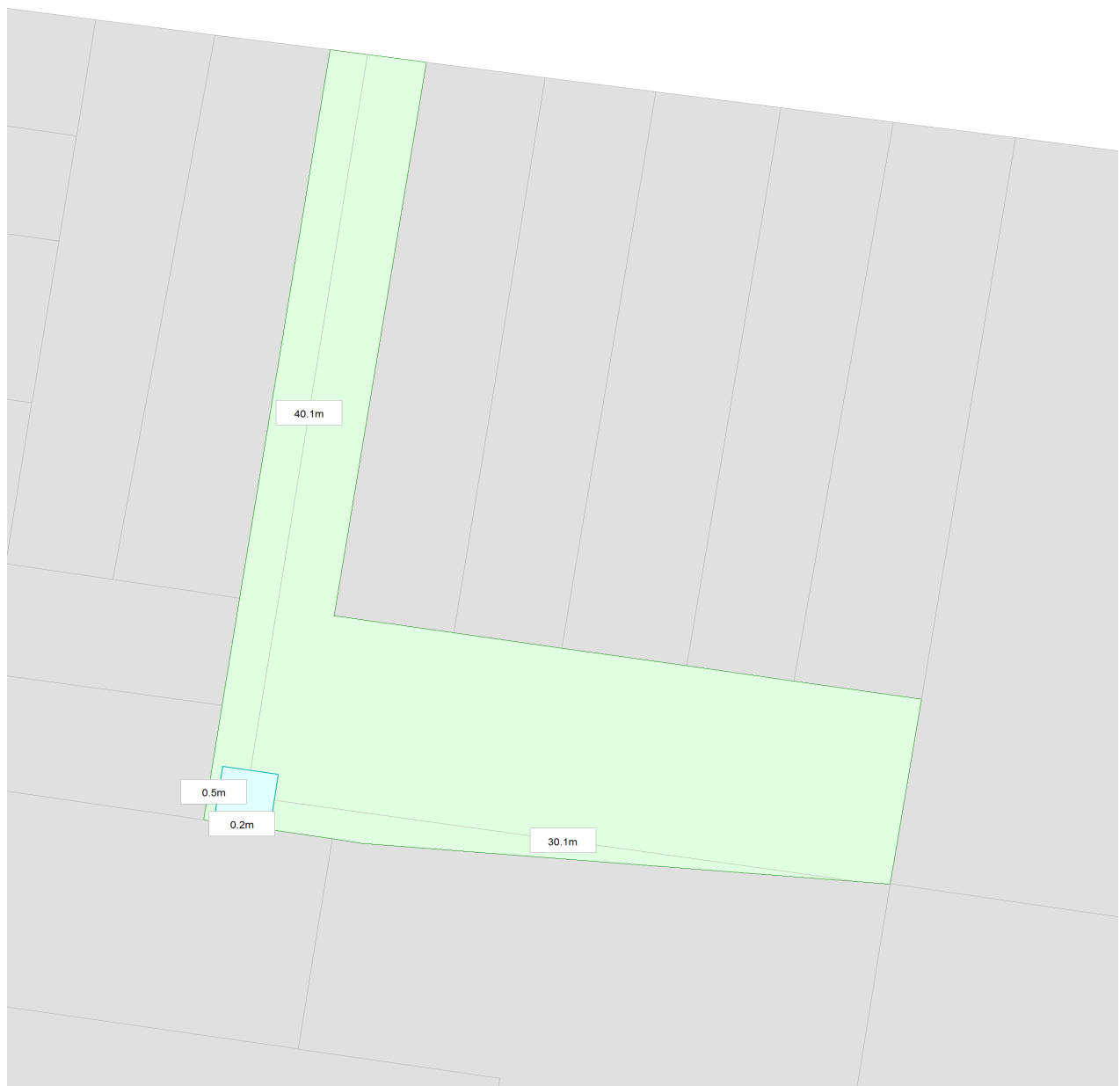
This structure will not impact Sydney Water infrastructure.



Your building plan application needs further assessment
Structure 2 of 2: WATER TANK

Application reference number: 1666321
Property address: 74 Soldiers Ave, Freshwater 2096
Lot details: Lot 1, Deposited Plan 954849
Property Number: 3453908

This structure may impact Sydney Water infrastructure.



Appendix A

List of possible impacts to Sydney Water infrastructure requiring further assessment.

Structure 2	WATER TANK	2.9 m x 2.9 m x 1.0 m
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1. Main within work site. Sewer Main; Asset Number: 3401664.



Plumbing and Drainage Audit Inspection Application

Menu

* [Audit Inspection Application](#)

As you complete the e-Form, additional sections will appear in the menu above. You may switch between the different sections of the e-Form using the menu. As you fill out the sections, the icon beside the section in the menu will indicate the status of that form.

* Incomplete

✓ Complete

! Contains an error

All sections must be complete to submit the e-Form.

Application Details

Given Name(s):

Greg

Surname:

Houston

Contact Number:

83202200

Contact Email Address:

BOSBAS@opalwm.com.au

Information

Only the options available from the drop-down list can be selected.

Owner Details

Owners's Full Name:

Mojo Homes Pty Ltd

Address:

LOT 1 NO.74 SOLDIERS AVENUE FRESHWATER 2096

Suburb:

FRESHWATER

State:

NSW

Postcode:

2096

Property Details

Deposited Plan
Number /
Proposed
Deposited Plan

Lot Number:

1

Number:

954849

Master Strata
Plan Number:

Street Number:

Unit

Number:

Street Name:

SOLDIERS

Street Type:

AVENUE

Suburb:

FRESHWATER

State:

NSW

Postcode:

2096

Nearest Cross Street:

Proposed Property Location

Proposed Property Location:

Inspection Details

Inspection Details:	Original inspection reference number:
Plumbing and/or Drainage - Non Recycled \	
Type of Work:	
☐ Plumbing ☐ Drainage ☒ Plumbing & Drainage	
Building Category:	No of Additional Inspections:
Residential - Single Dwelling	2

Comments

Payment Details

	Total Number of Inspection:
	3
	Payment Amount:
AUD	\$369.00

Next

Thank you for completing your online application. It is allocated the reference number AA202323774

 If you would like to View/Print a Report of Your submitted Application please click here.

[!\[\]\(2bdfe261b986065ee0ac76460d6528c9_img.jpg\) Submit Notice of Work Application.](#)

[!\[\]\(dfbd6b3763a6d1d9afaa974f64e2e4b5_img.jpg\) Return to MyInspections Home Page.](#)

You must contact NSW Fair Trading on 1300 889 099 at least 2 working days prior to the inspection time to arrange for inspection of the works.

Properties in recycled water areas are required to pay for additional inspections, as inspections are required to be carried out on both the potable and recycled water services. These fees will generally be charged upon payment of the Plumbing and Drainage Audit Inspection application, or as directed by NSW Fair Trading.

Recycled water areas require full inspections for all water and sewer drainage installations and a final inspection before occupation. If you have any further inquiries or need to organise the inspection please call NSW Fair Trading on 1300 889 099.

Re-use and greywater (eg: washing machine) or blackwater (eg: treated sewage) requires the installation/s to be inspected by NSW Fair Trading, and a testable backflow prevention device fitted to the water service at the meter installation. The application must be supported by written approval from the local council and also include details of the changes to the house drainage/sanitary plumbing.

Conditions

- 1. All fees are NON REFUNDABLE and NON TRANSFERABLE.**
- 2. Any Plumbing or Drainage work MUST BE carried out by or under the immediate Supervision of an Authorised Licencee who MUST lodge a separate Application to commence the work.**
- 3. This Application will lapse if the relevant work shown hereon has not commenced within 12 months of the date shown on the receipt.**
- 4. Where the Sewer is not available, neither the local utility nor NSW Fair Trading accept any responsibility for the location, lines and levels of the Supervised work for connection to the Sewer when it becomes available.**
- 5. Owner's please note: You should obtain a 'Certificate of Compliance' from your Plumber or Drainer. This is your warranty for the work done.**

Payment Receipt

PI Application Number:	AA202323774
Total Amount:	AUD 369.00 Sale
Status:	Approved - Approved or completed successfully (00)
Receipt Number:	3558856682
Payment Date/Time:	30 Aug 2023
Settlement Date:	30 Aug 2023

Customer Details

Inspection Type:	Plumbing / Drainage - Non Recycled Water Fee
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Property Address:	SOLDIERS AVENUE FRESHWATER NSW 2096
Merchant Details	
Merchant Name:	NSW Department of Customer Services
Merchant Id:	26240051 - NSW FAIR TRADING
ABN:	81 913 830 179
Address:	4 Parramatta Square Parramatta NSW 2150
Email Address:	piasadmin@customerservice.nsw.gov.au
Phone:	13 32 20
Fax:	02 9895 0929

Print

Linetypes

Centerline of Sewer
SEWER
Centerline of Encased Sewer
ENCASED SEWER
Centerline of Relined Sewer
RELINED SEWER

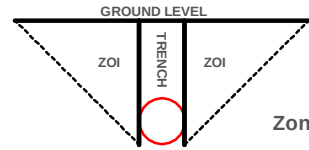
Minimum Horizontal Clearance from Centerline of sewer

Minimum Horizontal Clearance from Structures

Zone of Influence

Ties & Abbreviations

Square Off Tie
S.O
Flow Direction
Asset No.
Corner Tie
CNR
Drop Junction
D/J
Sewer Inspection Cap
S.I.C
End of Pipe
E.O.P



Zone of Influence Interpretation

Maintenance Structures & Min Clearances

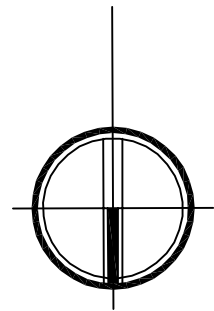
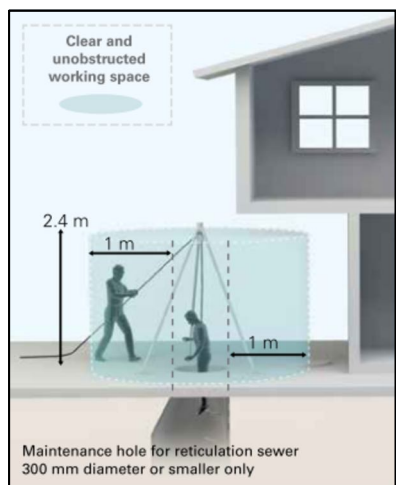
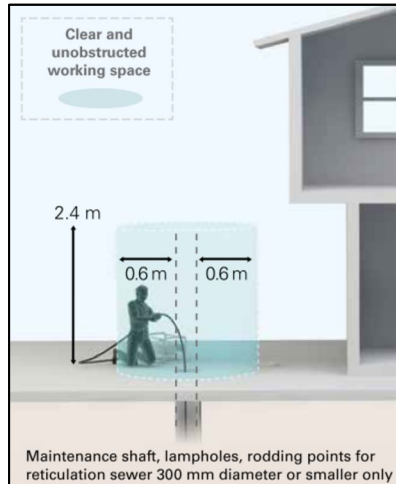
Min Clearance: 0.90m Clearance

Horizontal Clearance

DN150 = Min Clearance 0.975m

DN225 = Min Clearance 1.0125m

DN300 = Min Clearance 1.05m



IMPORTANT NOTICE

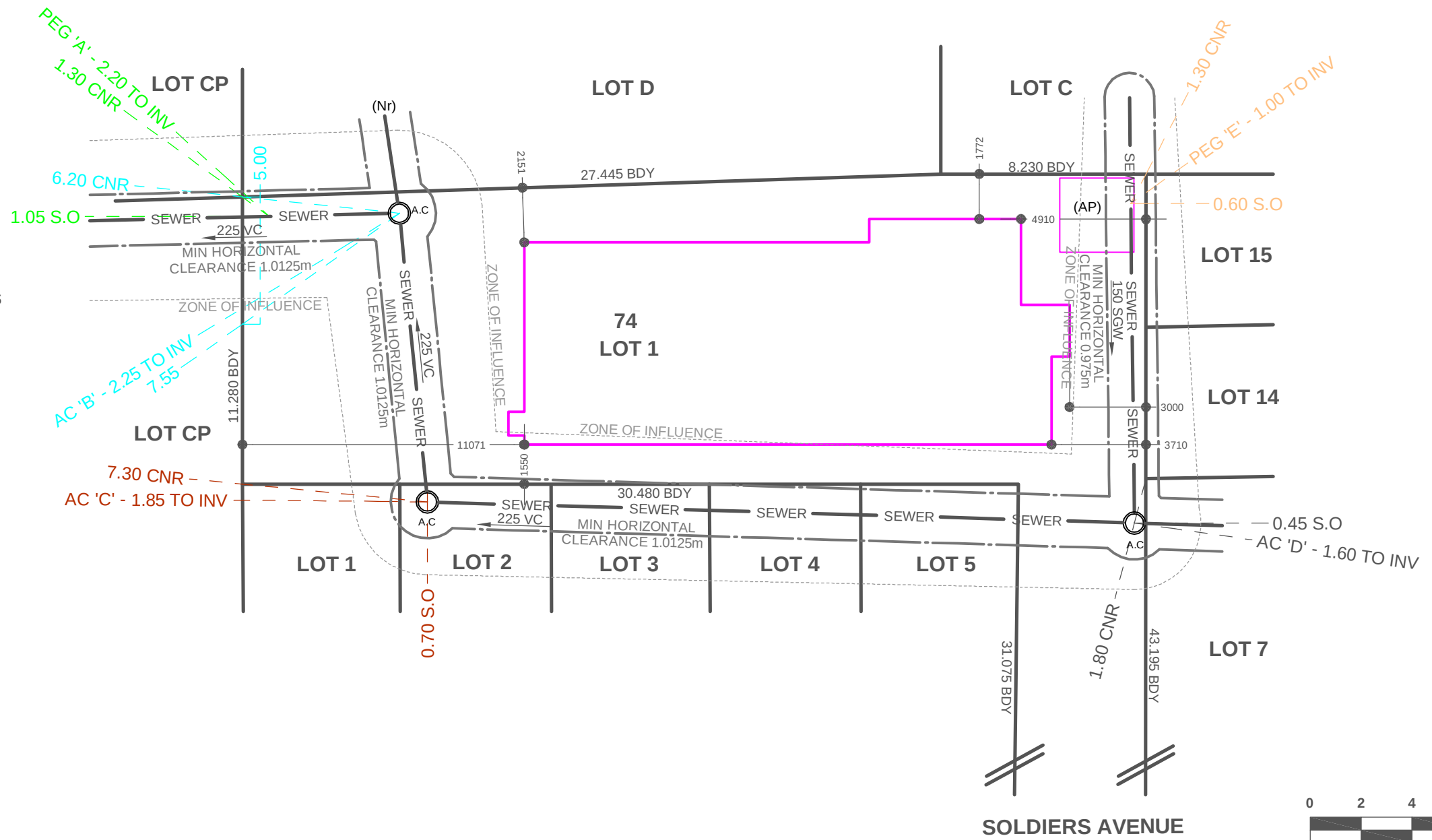
Please note all Sewer location ties are shown from existing fence's located onsite at time of survey.

(AP) APPROXIMATE POSITION ONLY

(Nr) LOCATION OF SEWER NOT REQUIRED FOR BUILDING PLAN APPROVAL



NOTICE
BUILDER TO
REVIEW
DRAINAGE
REQUIREMENTS



I, Greg Houston of Opal Water Management Pty Ltd, being accredited to carry out a Service Protection Report, certify that the information shown on the Report has been prepared in accordance with the relevant instructions and accept full responsibility for the accuracy of the information on the Report

For the purpose of this report bdy (boundary) refers to fixed structures (fence, retaining walls, buildings etc) used to tie location of the Sydney Water assets, and may not always correspond to the property boundary (as identified on site plan).

For all enquiries relating to the SPR, please contact bosbas@opalwm.com.au

DO NOT SCALE.

Always reference dimensions shown in preference to scale when reading this document.

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This document is prepared in accordance with Sydney Water Guidelines, procedure & instruction. For more information please visit: www.sydneywater.com.au/Publications/FactSheets/buildingRenovatingInfo.pdf

SERVICE PROTECTION REPORT

CLIENT: MOJO HOMES PTY LTD
PROPERTY ADDRESS: SOLDIERS AVE LOT 1 NO.74 FRESHWATER

SCALE	1:200@A3	PIPE SIZE	Ø 150+225mm	PIPE TYPE	VC/SGW
STRATA	SAND	LOT	1	DP	954849
CHECKED BY	GH	ISSUE	A	DATE	21/07/2023

LOCATION METHOD ELECTRONIC LOCATION + VISUAL INSPECTION OF STRUCTURE