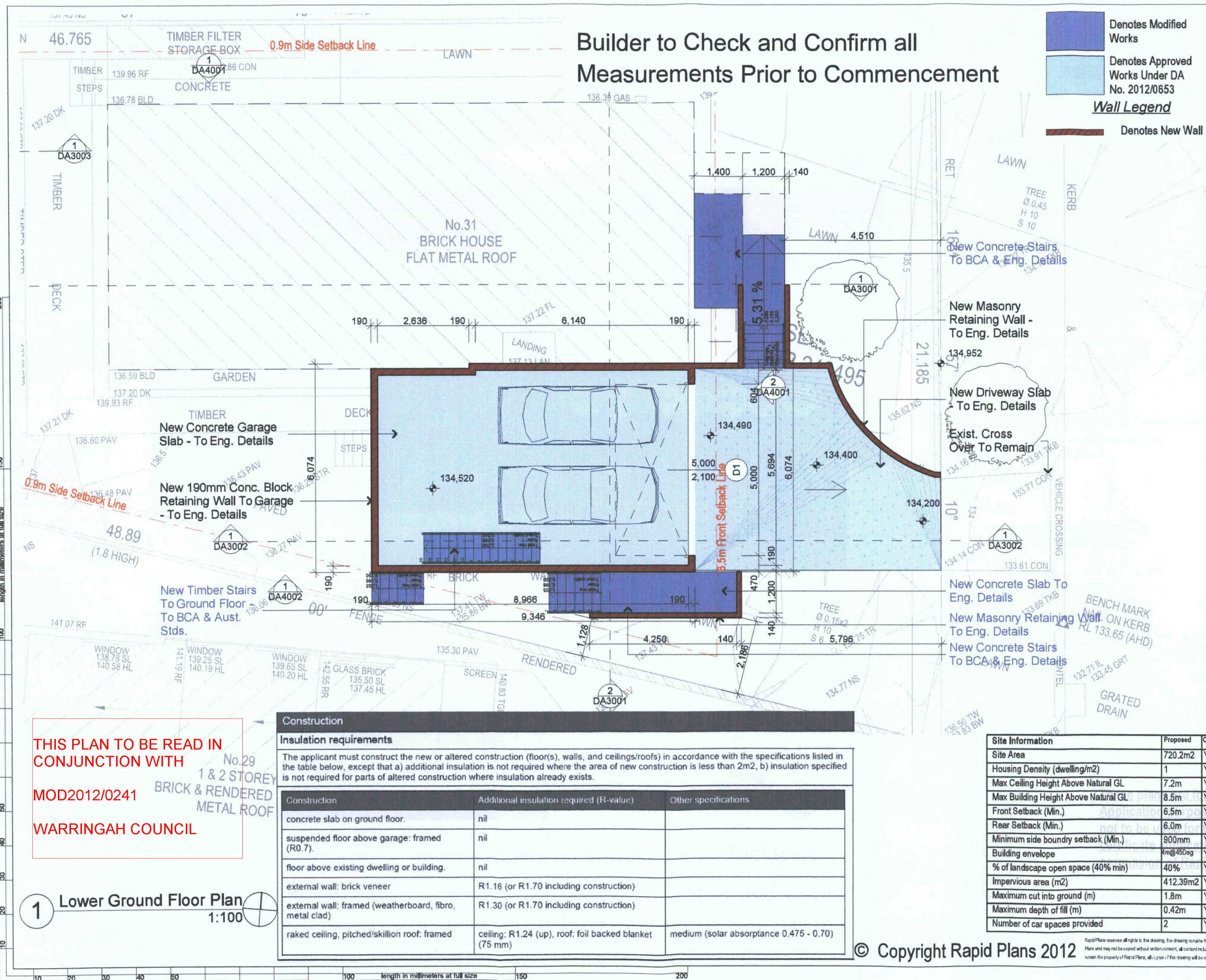




NOTES

No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction

Cladded Upper Floor Walls, Timber & Conc. Flooring
Trussed Metal Roofs & Timber / Tiled Decking
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A137952_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA MOD ONLY
NOT FOR CONSTRUCTION

Client: Dawn & Michael Hunter
Project Name: Alterations & Additions
No.31 Arnhem Road Allambie Heights 2100

Lot 13, Sec 101, D.P.248495

Drawing Title: Plans - Lower Ground Floor Plan
Lower Ground Floor Plan

Scale: A3 as noted Date: 26/11/2012
Status: DA MOD Checked By: GBJ

Project No: RP0212HUN
Drawing No.: DA2001

Plot Date: 26/11/2012

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes Modified Works

Denotes Approved Works Under DA No. 2012/0653

Wall Legend

Denotes New 90mm Stud Wall



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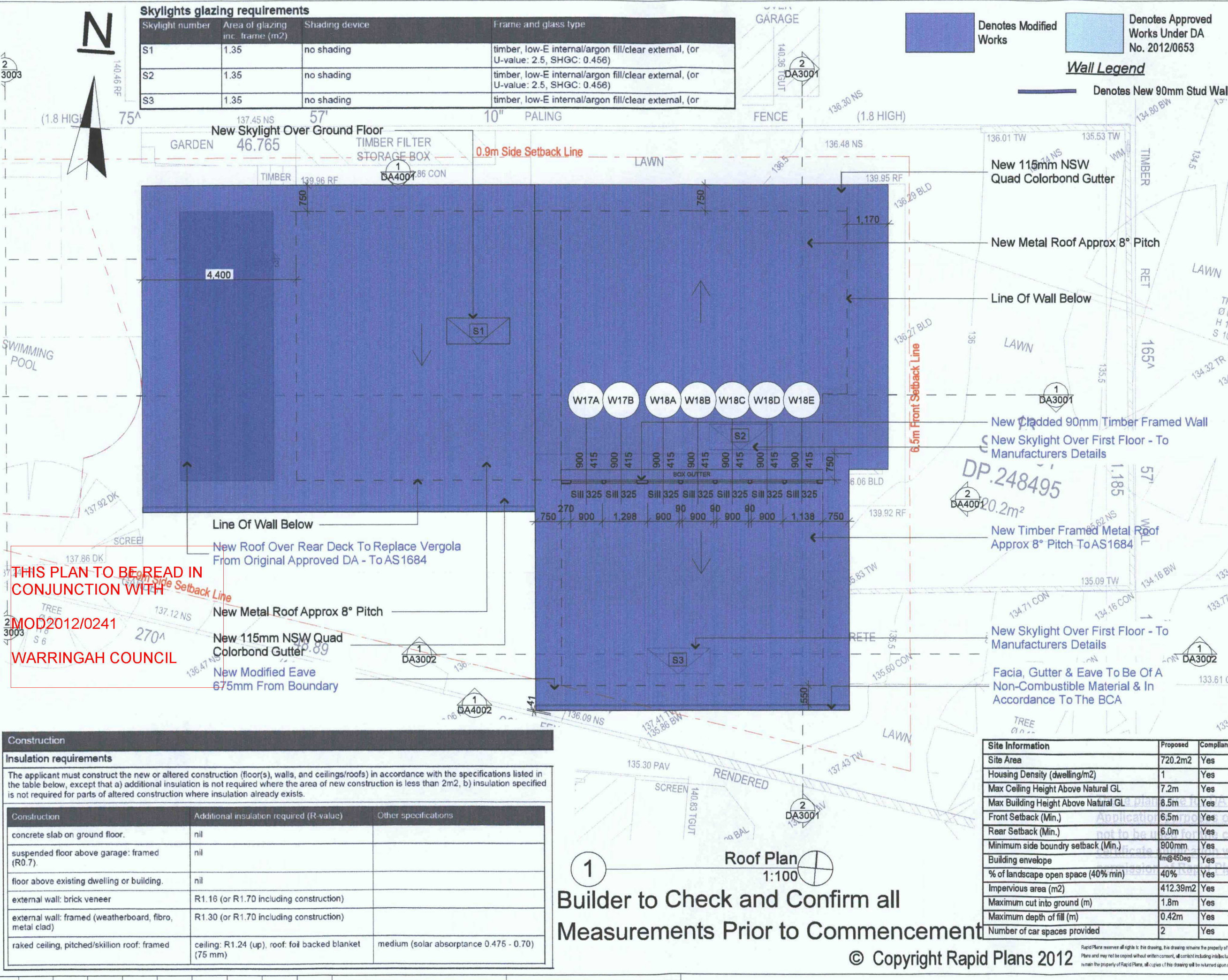
NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring
Trussed Metal Roofs & Timber / Tiled Decking
Trussed Metal Roofs To Have R1.5 Insulation with 5mm Foil Backed Blanket
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A137952_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA MOD ONLY
NOT FOR CONSTRUCTION
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Dawn & Michael Hunter
Project Name: Alterations & Additions
No.31 Arnhem Road Allambie Heights
2100
Lot 13, Sec 101, D.P.248495
Drawing Title: Plans - Roof Plan
Scale: A3 as noted
Date: 26/11/2012
Status: DA MOD
Checked By: GBJ
Project No: RP0212HUN
Drawing No.: DA2004
Plot Date: 26/11/2012



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

1
Builder to Check and Confirm all Measurements Prior to Commencement

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NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc, Flooring Trussed Metal Roofs & Timber / Tiled Decking Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A137952_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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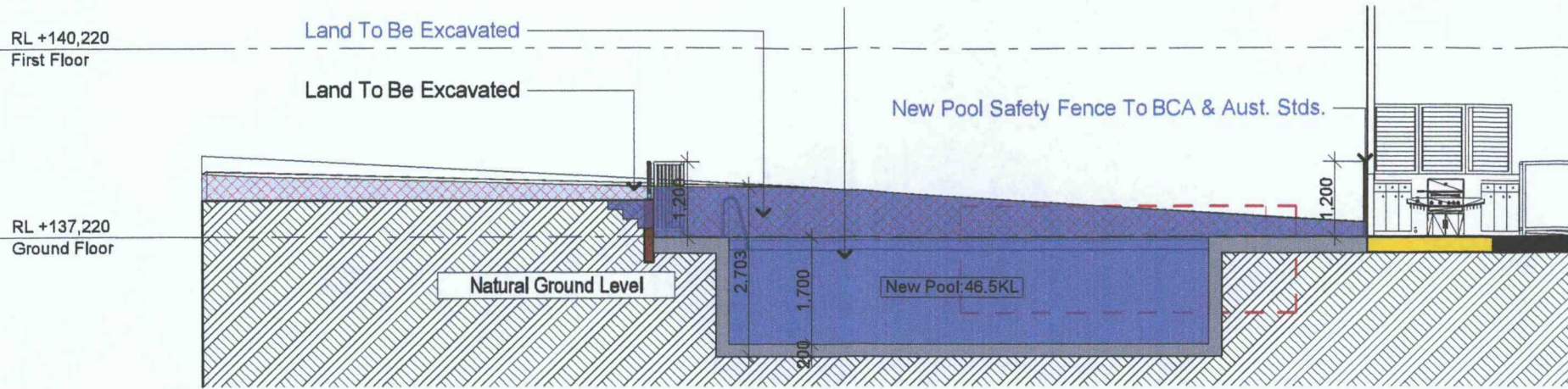
Client:
Dawn & Michael Hunter
Project Name:
Alterations & Additions
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495
Drawing Title:
Sections - Sections - Pool
Section 1 - Pool, Section 2 - Pool

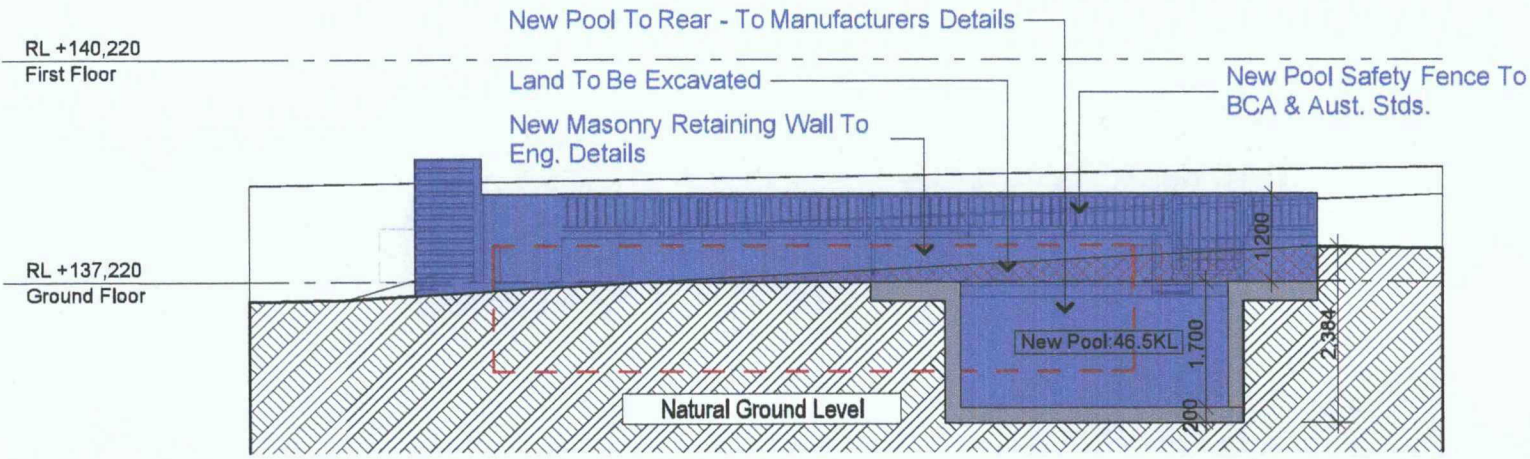
Scale: A3 as noted Date: 26/11/2012
Status: DA MOD Checked By: GBJ

Project No:
RP0212HUN
Drawing No.:
DA3003

Plot Date: 26/11/2012



1 Section 1 - Pool
1:100



2 Section 2 - Pool
1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH

MOD2012/0241

WARRINGAH COUNCIL

Denotes Modified Works

Builder to Check and Confirm all Measurements Prior to Commencement

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 1137 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 110.65 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 46.5 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	412.39m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement

Denotes Modified Works
Denotes Approved Works Under DA No. 2012/0653
Denotes Demolished Items

Max Building Height 8500 Above Exist. GL

Max Ceiling Height 7200 Above Exist. GL

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Email: dgregg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue No.31 Arnhem Road Allambie Heights is not considered a heritage item

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring Trussed Metal Roofs & Timber / Tiled Decking
New Works to be constructed shown in Shaded/Blue No.31 Arnhem Road Allambie Heights is not considered a heritage item
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3680.1
Glazing to BCA and AS 1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A137952_03
All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

N

DA MOD ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:
Dawn & Michael Hunter
Project Name:
Alterations & Additions
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495
Drawing Title:
Elevations - Elevation 1
North, East

Scale: A3 as noted Date: 26/11/2012
Status: DA MOD Checked By: GBJ

Project No:
RP0212HUN DA4001

Plot Date: 26/11/2012

THIS PLAN TO BE READ IN CONJUNCTION WITH

MOD2012/0241

WARRINGAH COUNCIL

Fill In Sill To 900mm With New Window Above

Window / Door No.	Orientation	Area of Frame (m ²)	Overlooking Height (m)	Glazing System	Frame and Glazing Type
W1	E	1.38	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W2	E	0.82	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W3	S	1.9	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W4	S	1.38	0	0	none Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W5	S	1.75	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W6	S	2.42	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W7	N	2.09	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W8	N	1.07	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W9	S	1.4	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W10	E	4.18	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W11	S	2.238	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W12	W	1.23	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W13	W	1.23	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W14	W	1.23	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W15	N	1.68	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W16	N	3.75	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
W17	N	0.74	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D2	E	5.04	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D3	E	9	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D4	W	10.5	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D5	W	9.18	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D6	W	12.07	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D7	N	1.95	0	0	alve/verandah/pergola/balcony +450 mm Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)

NOTE:
-Window 17 In Basix Includes Windows 17A & 17B
-Window 18 In Basix Includes Windows 18A,18B,18C,18D & 18E

New 600mm Awning Over Ground Floor To Satisfy Basix Requirements

New Glass Railing To Balcony To BCA

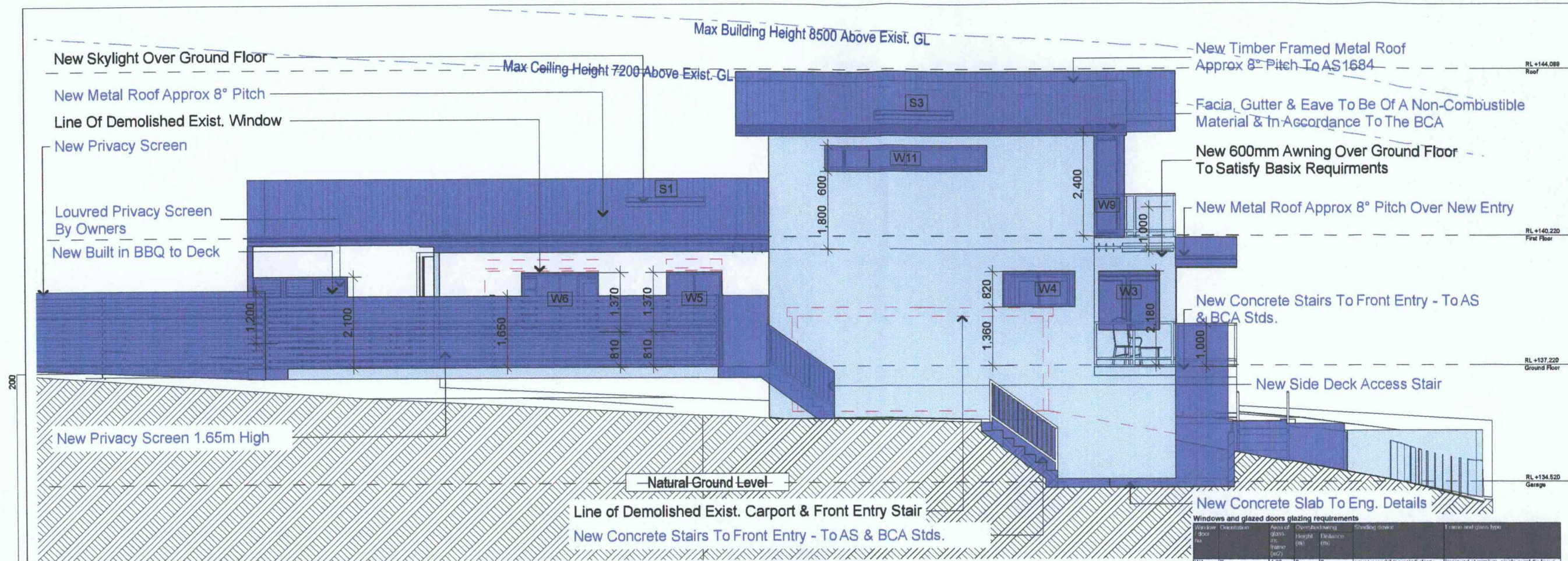
New Metal Roof Approx.8 Deg. Pitch- To AS1684
New Entry Door By Owner

Fill In Sill To 900mm With New Window Above

New Concrete Stairs To Front Entry - To AS & BCA Stds.

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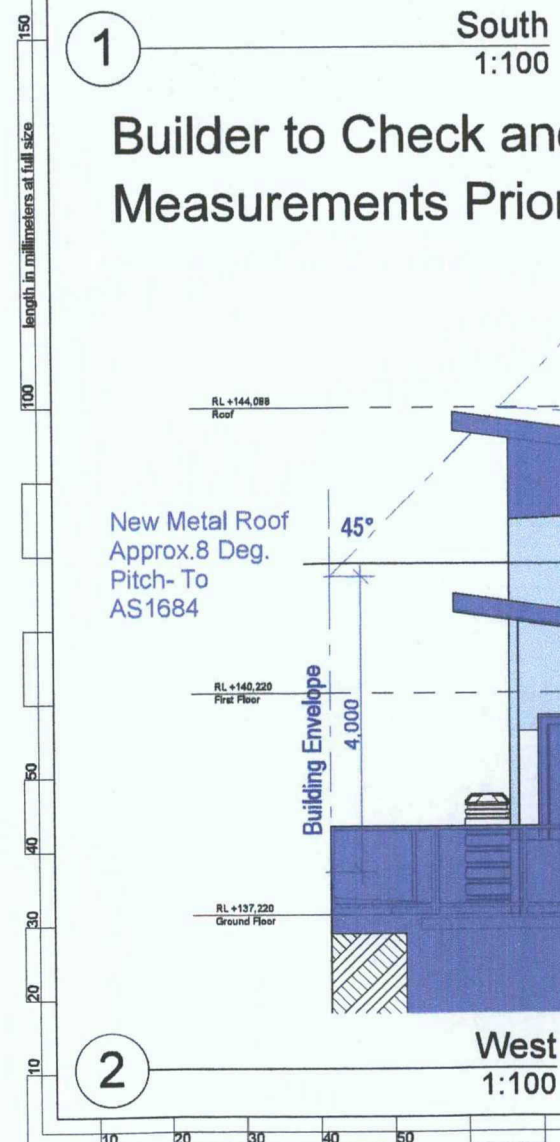


Builder to Check and Confirm all Measurements Prior to Commencement

THIS PLAN TO BE READ IN CONJUNCTION WITH

MOD2012/0241

WARRINGAH COUNCIL



Window/Door No.	Orientation	Area of Glass (m²)	Depth (mm)	Shading device	Frame and glass type
W1	E	1.38	0	0	eeve/verandah/pergola/balcony ->+450 mm
W2	E	0.82	0	0	eeve/verandah/pergola/balcony ->+450 mm
W3	S	1.9	0	0	eeve/verandah/pergola/balcony ->+450 mm
W4	S	1.36	0	0	none
W5	S	1.75	0	0	eeve/verandah/pergola/balcony ->+450 mm
W6	S	2.42	0	0	eeve/verandah/pergola/balcony ->+450 mm
W7	N	2.09	0	0	eeve/verandah/pergola/balcony ->+600 mm
W8	N	1.07	0	0	eeve/verandah/pergola/balcony ->+450 mm
W9	S	1.4	0	0	eeve/verandah/pergola/balcony ->+450 mm
W10	E	4.18	0	0	eeve/verandah/pergola/balcony ->+600 mm
W11	S	2.236	0	0	eeve/verandah/pergola/balcony ->+450 mm
W12	W	1.23	0	0	eeve/verandah/pergola/balcony ->+600 mm
W13	W	1.23	0	0	eeve/verandah/pergola/balcony ->+600 mm
W14	W	1.23	0	0	eeve/verandah/pergola/balcony ->+600 mm
W15	N	1.98	0	0	eeve/verandah/pergola/balcony ->+450 mm
W16	N	3.75	0	0	eeve/verandah/pergola/balcony ->+450 mm
W17	N	0.74	0	0	eeve/verandah/pergola/balcony ->+600 mm
D2	E	5.04	0	0	eeve/verandah/pergola/balcony ->+600 mm
D3	E	9	0	0	eeve/verandah/pergola/balcony ->+600 mm
D4	W	10.5	0	0	eeve/verandah/pergola/balcony ->+600 mm
D5	W	9.18	0	0	eeve/verandah/pergola/balcony ->+600 mm
D8	E	12.07	0	0	eeve/verandah/pergola/balcony ->+450 mm
W18	N	1.86	0	0	eeve/verandah/pergola/balcony ->+600 mm

Site Information	Proposed	Compliance
Site Area	720.2m²	Yes
Housing Density (dwelling/m²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m²)	412.39m²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

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Architectural Building Design and Drafting

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Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

bda BUILDING DESIGNERS AUSTRALIA NSW

NOTES
No.31 Arnhem Road, Allamby Heights is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
No.31 Arnhem Road Allamby Heights is not considered a heritage item

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring
Trussed Metal Roofs & Timber / Tiled Decking
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls
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Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A137952_03
All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA MOD ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:
Dawn & Michael Hunter

Project Name:
Alterations & Additions

No.31 Arnhem Road Allamby Heights
2100

Lot 13, Sec 101, D.P.248495

Drawing Title:
Elevations - Elevation 2

West, South

Scale: A3 as noted Date: 26/11/2012

Status: DA MOD Checked By: GBJ

Project No:
RP0212HUN DA4002

Plot Date: 26/11/2012