

Telephone 1300 663 215  
Facsimile (02) 9659 1633  
PO Box 6160  
Baulkham Hills BC NSW 2153

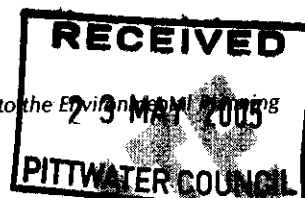


R Moy & Associates Pty Ltd  
T/as Greenfield Accredited Certifiers  
ACN 100 924 605  
ABN 23 100 924 605

## Construction Certificate

CONSTRUCTION  
CERTIFICATE NUMBER CC2005-05617

Issued in accordance with the Environmental Planning & Assessment Regulation 2000 with reference to the Environmental Planning & Assessment Act 1979 Sections 109C(1)(b), 81A(2) and 81A(4) and Application under CI 79D. (2)(a)



COUNCIL: PITTWATER

### APPLICANT

Name: Domaine Homes (NSW) Pty Ltd  
Address: Norwest Quay, Unit 1 Ground Floor 21 Solent Street, BAULKHAM HILLS 2153  
Contact no (telephone/fax): 8851 6700

### OWNER

Name: Chrisaps, M  
Address: C/- Domaine Homes

### SUBJECT LAND

Address: 61 Dickson Place, WARRIEWOOD 2102  
Lot No 58  
DP - 1035785

### DESCRIPTION OF DEVELOPMENT

Type of Work: ☒ Building work ☐ Subdivision work

Description: Two Storey Dwelling

### COUNCIL'S D/A CONSENT

Development Consent No: 77/2005  
D.A Approval Date: 30/03/05

Greenfield Accredited Certifiers Certificate No. CC2005-05617

**BUILDING CODE OF AUSTRALIA****BUILDING CLASSIFICATION** 1a**BUILDER or OWNER/BUILDER**

Name Domaine Homes (NSW) Pty Ltd

Contractor Licence No. or

Owner Builder Permit No. 91387C

**\$ VALUE OF WORK**

Building/Subdivision \$268,350.00

**DATE CC APPLICATION RECEIVED**

Date Received 5/04/05

**DETERMINATION**

Decision Approved

Date of Decision 17/05/05

**ATTACHMENTS**

Certificate of Insurance - Vero Construction &amp; Engineering

PCA &amp; Land Owners Form

Long Service Levy Receipt

Sydney Water Approval

Hydraulic Detail Plan JN: D12453 - Sheet No. 1 - dated 28.4.05 &amp; Complying

Component Certificate prepared by Rafeletos Zanuttini Pty Ltd dated 5.5.05

Landscape Plan JN: Xd163 - Sheets 1- 4 unnumbered - dated 16.5.05 &amp; Complying

Component Certificate prepared by Exterior dated 16.5.05

Driveway Longsection - JN: D12453 - Sheet No. 1 - Rafeletos Zanuttini

Schedule of Work Plans - JN: D12453 - Sheet No. 1 - Rafeletos Zanuttini

Council Submission Cheque - \$30.00

Greenfield Accredited Certifiers Certificate No. CC2005-05617

## PLANS AND SPECIFICATIONS

### APPROVED/REFUSED

List plan no(s) and specifications

Reference: JN: 55678 Sheet Nos. 1/8 - 2/8 - dated 14.1.05 - Issue D  
Sheet Nos. 3/8 - 6/8 inclusive - dated 9.12.04 - Issue C  
Sheet Nos. 9/9 - dated 9.11.04

### RIGHT OF APPEAL

*under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.*

### ACCREDITATION BODY

DIPNR, 20 Lee Street, Sydney 2000.

### CERTIFICATION

I certify that the work if completed in accordance with these plans and specifications (with such modifications verified by the Certifying Authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in s81A(5) of the Environmental Planning and Assessment Act 1979.

### CERTIFYING AUTHORITY

Name of Certifying Authority

Greenfield Accredited Certifiers

Name of Accredited Certifier

Kieran Tobin

Accreditation No

44

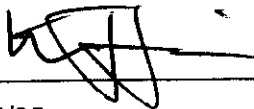
Contact No

1300 663 215

Address

PO Box 6160 Baulkham Hills BC 2153.

SIGNED



DATED

17/05/05

Greenfield Accredited Certifiers Certificate No. CC2005-05617

# **INFORMATION ON REQUIRED INSPECTIONS**

Please find your Construction Certificate CC2005-05617 enclosed for:

[Lot58] 61 Dickson Place, WARRIEWOOD 2102

We will be required to carry out the following critical stage inspections:

- Commencement
- Stormwater
- Framework – Truss & Bracing details will be required prior to inspection
- Wet Area
- Final

Please note that you will need to arrange for an ENGINEER accredited under the IEAust Accreditation Scheme to carry out the following critical stage inspections:

- Piers, footings and slab

---

**TO BOOK AN INSPECTION CALL US ON 1300 663 215  
AND ASK FOR "INSPECTION BOOKINGS"**

**\*\*PLEASE BOOK INSPECTIONS BEFORE 3.00PM THE DAY  
PRIOR TO THE INSPECTION\*\***

---

## **Contact Personnel**

|                |
|----------------|
| Cathi McGovern |
|----------------|

To check the status of your job contact:

For technical enquiries contact:  
Kieran Tobin

# RAFELETOS

ABN 35 079 047 466

Level 2, 103 Vanessa St.  
Kingsgrove NSW 2208



# ZANUTTINI

Pty Ltd

Telephone : (02) 9554 9311  
Facsimile : (02) 9554 9764

## Complying Component Certificate

**Date :** Thursday, 5 May 2005

**Our Reference :** D12453

**Builders Reference :** CHRISAFIS 55678

**Job Location :** LOT 58, 61 DIXON PLACE WARRIEWOOD

**Development Consent No :**

**Council / Shire :** Pittwater Council

I certify that the following has been complied with :

Hydraulic Detail Plan Compiled by our office, Issue A detailing the stormwater design for the above mentioned site complies with the objectives of the council Development Consent condition/s 2, 3

John Rafeletos  
B.E., E.Aust.

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- 100 DIA SUBSON LINES  
 DOWNPIPE LOCATION  
 INVERT LEVEL (PIPE / PVI)  
 FINISHED SURFACE LEVEL  
 TOP OF KERB  
 FINISHED FLOOR LEVEL  
 APPROX SEWER LOCATION  
 200 W x 100 D HOT DP GRAB  
 GRAVED BOX DRAIN  
 CONTROL SEDIMENT AND  
 EROSION CONTROL BARRIER  
 150 DIA GRADED FLOOR GRADE  
 OR SUMP YARD  
 NON RETURN REFLEX VALVE  
 MAINTENANCE INSPECTION CHAMBER

**Figure 1**

VHS CHIRSA-15

ISSUES

LO- 58 DICKSON PL.  
WARREWOOD

CJNCIT:BIT-WAT[3

SCALE : 100

Signature: \_\_\_\_\_

[illegible][illegible]

Hydroxyl,  $\omega$

2005-5617

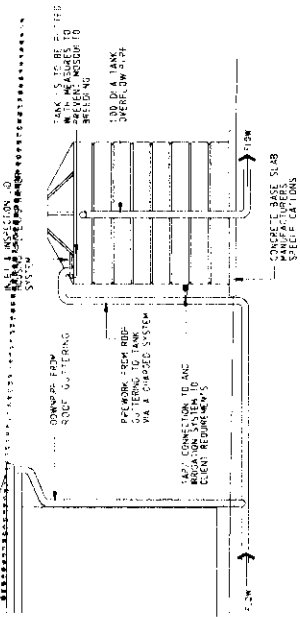
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These Plans have been certified

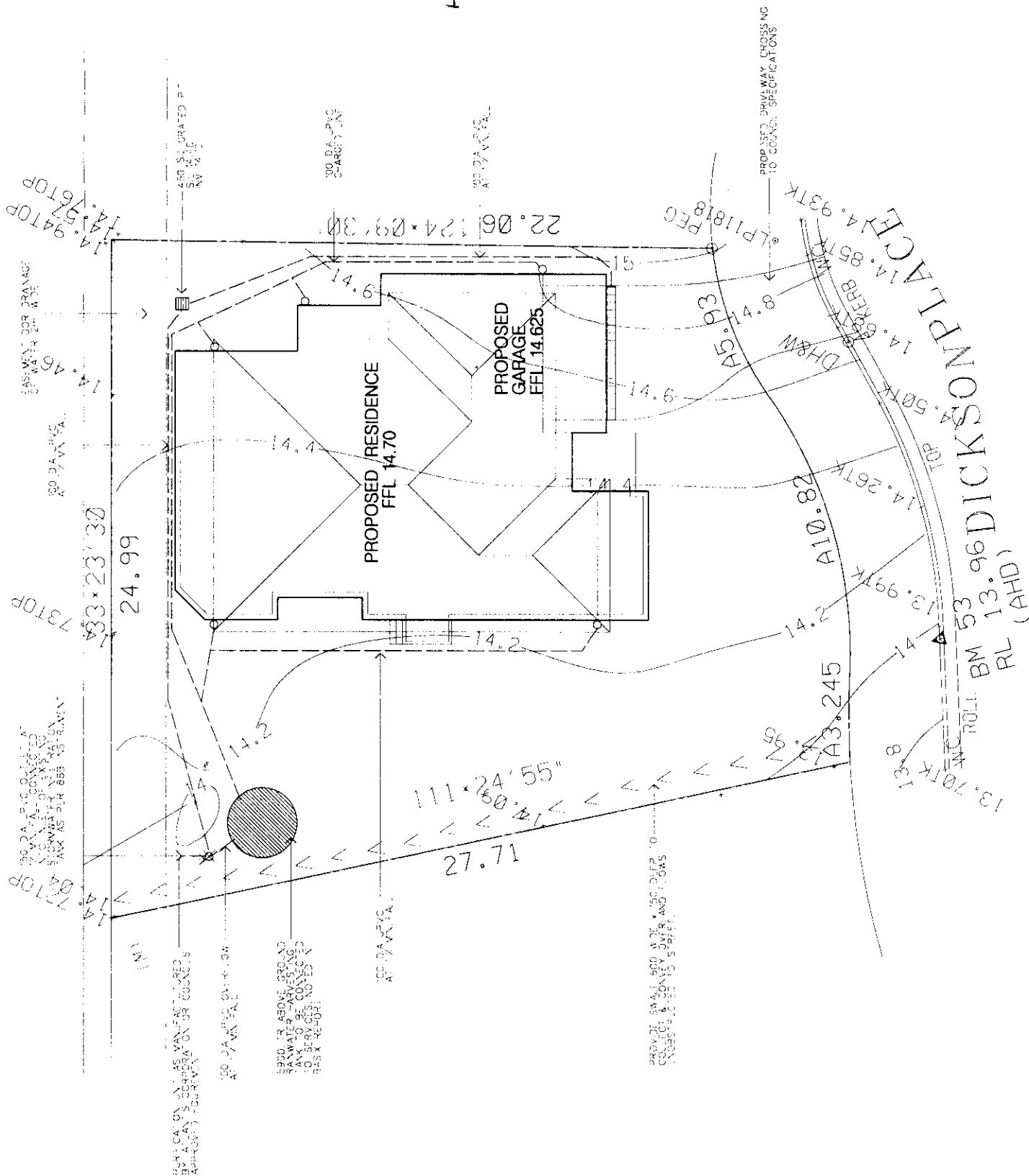
Rate/ctos Zonutt: P/L

& refer to the Compiling Component

W. J. L. J.



TYPICAL RAIN WATER  
TANK SYSTEM



GREENFIELD ACCREDITED CERTIFICATE

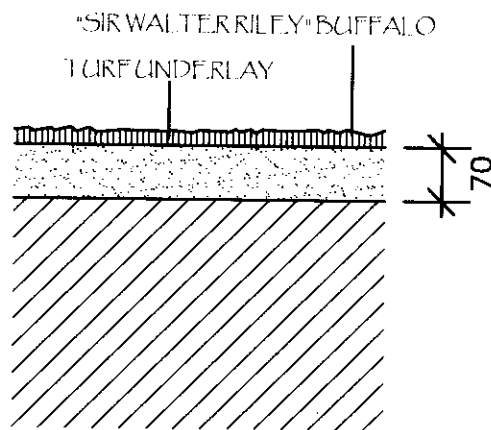
2005-5617  
Details C.O. No.

These Plans have been certified

by *Exterior*

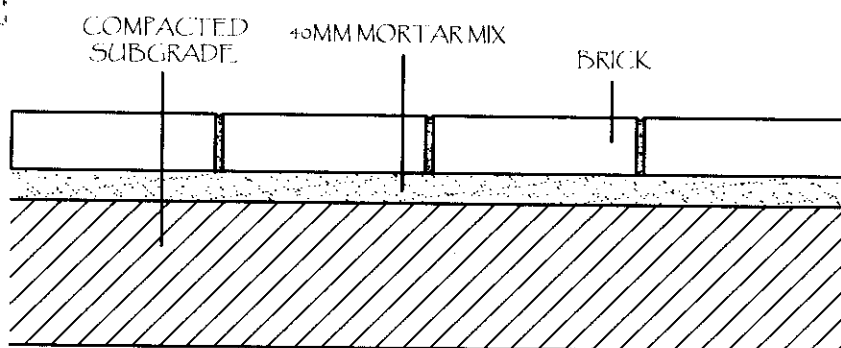
& refer to the Certifying Component

Certified No: *16.5.05*



TURF DETAIL

SCALE 1:10

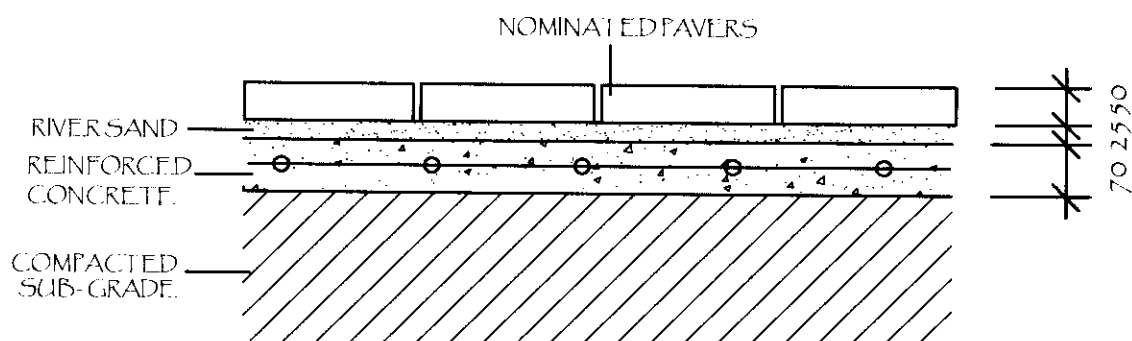


BRICK GARDEN EDGE

SCALE 1:10

TIMBER EDGE/TURF/GARDEN BED DETAIL

SCALE 1:10



DRIVEWAY/PAVING DETAIL

SCALE 1:10

Prepared By **exterior**

A division of Landscape Solutions

ABN: 44 101 872 842  
P.O. BOX 289, GALSTON, N.S.W. 2159  
Ph: (02) 9653 2499 Fax: (02) 9653 3300

Landscape Plan

Client: MR & MRS Site: LOT 58  
CHRISAFIS DICKSON PLACE  
WARRIEWOOD

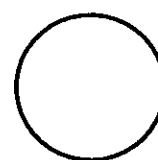
Scale  
1:50

Date  
25/1/05

North

Job No.  
XD163

Drawn By  
WW



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GREENFIELD ACCREDITED CERTIFICATE

2005-5617

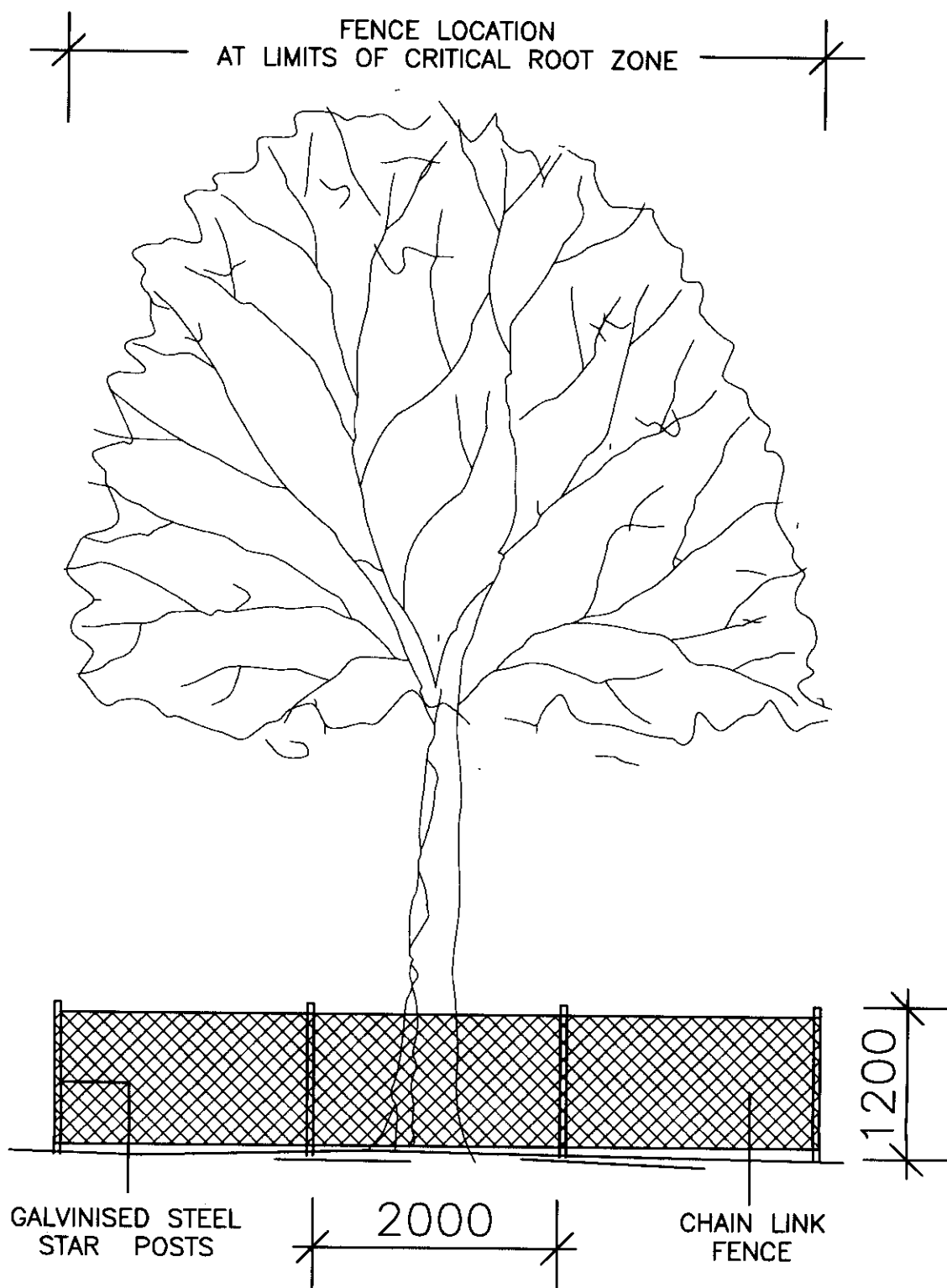
Landscaper Details C.C. No. ....

These Plans have been certified

by *Exterior*

& refer to the Complying Component

dated *16.5.05*



FOR ADDED PROTECTION : -

- ADD 100MM DEEP WOOD CHIP MULCH OVER ANY UNPROTECTED ROOT ZONE
- MAKE CLEAN CUTS ON ROOTS EXPOSED BY GRADING AND BACKFILL IMMEDIATELY
- PROVIDE TEMPORARY IRRIGATION WHERE PRACTICAL AND FEASIBLE

### TREE PROTECTION DETAIL

SCALE 1:50

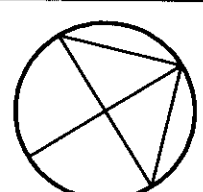
Prepared By **exterior**

A division of Landscape Solutions

ABN: 44 101 872 842  
P.O. BOX 269, GALSTON, N.S.W. 2159  
Ph:(02)9653 2499 Fax:(02) 9653 3300

Landscape Plan

Client: MR & MRS Site: LOT 58  
CHRISAFIS DICKSON PLACE  
WARRIEWOOD

|                  |                 |                                                                                             |
|------------------|-----------------|---------------------------------------------------------------------------------------------|
| Scale<br>1:50    | Date<br>25/1/05 | North  |
| Job No.<br>XD163 | Drawn By<br>WW  |                                                                                             |

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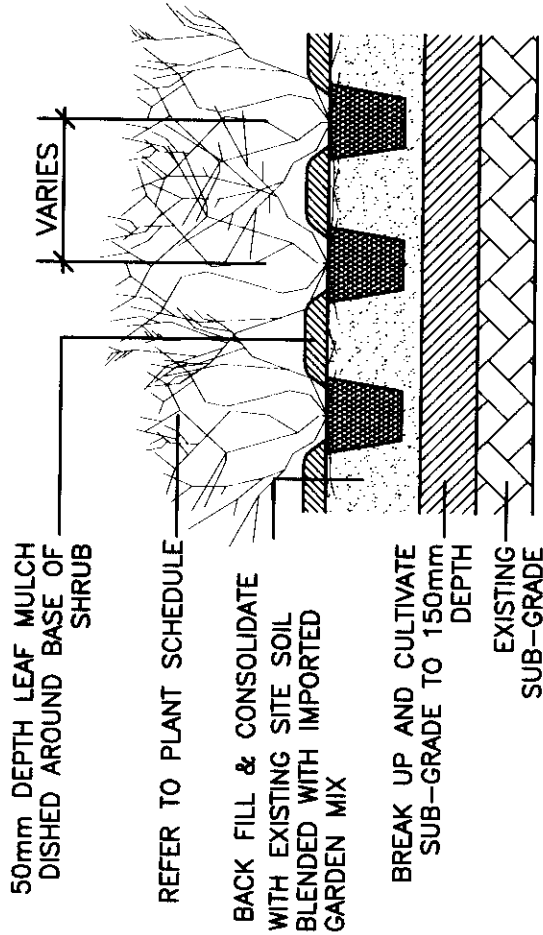
# GREENFIELD ACCREDITED CERTIFICATE

Details C.C. No. 2005-5617

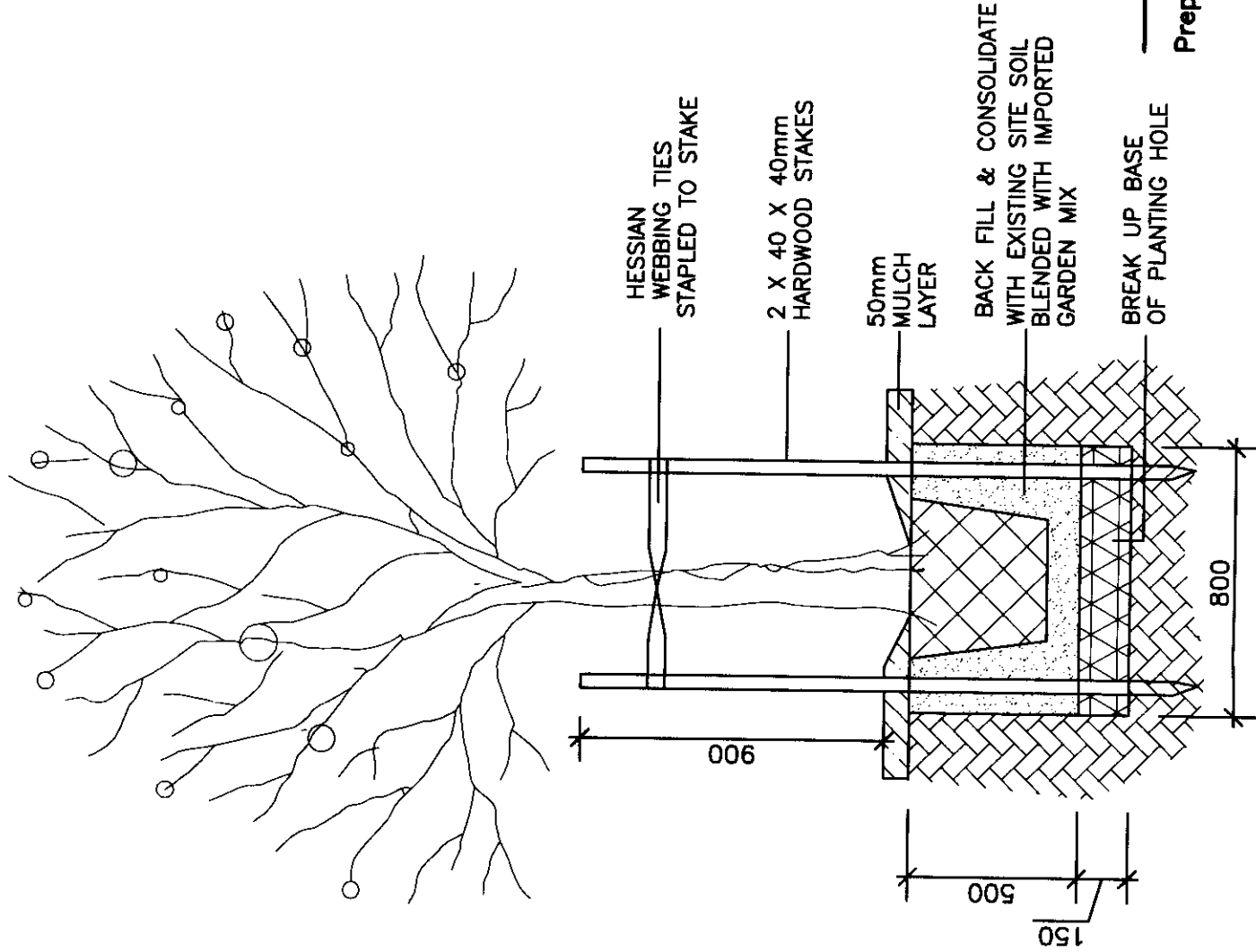
These Plans have been certified  
by *Exterior*

& refer to the Complying Component

Confirmed by *dated 16.5.05*



SHRUB PLANTING DETAIL  
1:20



TREE PLANTING DETAIL  
1:20

Prepared By **exterior**  
A division of Landscape Solutions  
P.O. BOX 269 GALSTON, N.S.W. 2159  
Ph:(02)9653 2499 Fax:(02) 9653 3300  
ABN: 44 101 872 842

Client: MR & MRS CHRISAFIS  
Site: LOT 58 DICKSON PLACE WARRIEWOOD

|                  |                 |       |
|------------------|-----------------|-------|
| Scale<br>1:20    | Date<br>25/1/05 | North |
| Job No.<br>XD163 | Drawn By<br>WW  |       |

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PLANT SCHEDULE

| PLANT COMMON            | COMMON NAME         | QTY | SIZE  |
|-------------------------|---------------------|-----|-------|
| EUCALYPTUS HAEMESTOMA   | SCRIBBLY GUM        | 3   | 45L   |
| TRISTANIOPSIS LAURINA   | WATER GUM           | 1   | 45L   |
| SYZYGIUM LEUMANHII      | CASCADE LILLY PILLY | 14  | 200mm |
| WESTRINGIA FRUITICOSA   | COASTAL ROSEMARY    | 2   | 200mm |
| CALLISTEMON VIMINALIS   | WEEPING BOTTLEBRUSH | 2   | 200mm |
| ERIOSTEMON MYOPOROIDES  | WAX FLOWER          | 3   | 200mm |
| GREVILLEA BUXIFOLIA     | GREY SPIDER FLOWER  | 2   | 200mm |
| DORYANTHES EXCELSA      | GYMEA LILLY         | 11  | 200mm |
| ELAEOCARPUS RETICULATUS | BLUEBERRY ASH       | 10  | 200mm |
| LOMANDRA "TANIKA"       | LOMANDRA            | 30  | 150mm |

| AREA CALCULATIONS   |           |
|---------------------|-----------|
| TOTAL AREA (sqm)    | 560       |
| HARD SURFACES (sqm) | 192       |
| RESIDENCE PAVING    | 74        |
| ST. STONES          | 4         |
| SOFT SURFACES (sqm) | TOTAL 270 |
| TURF                | 135       |
| PEBBLES             | 12        |
| GARDEN BED          | 143       |
|                     | TOTAL 290 |

GREENFIELD ACCREDITED CERTIFIERS

Landscape 2005-5617  
Details C.C. No: 2005-5617

These Plans have been certified by Exterior

& refer to the Complying Component

Certified No: dated 16.5.05

Prepared By exterior  
A division of Landscape Solutions

ABN: 44 101 872 842  
P.O. BOX 269, GALSTON, N.S.W. 2159  
Ph:(02)9653 2499 Fax:(02) 9653 3300

Landscape Plan

Client: MR & MRS Site: LOT 58  
CHRISAFIS DICKSON PLACE  
WARRIEWOOD

North

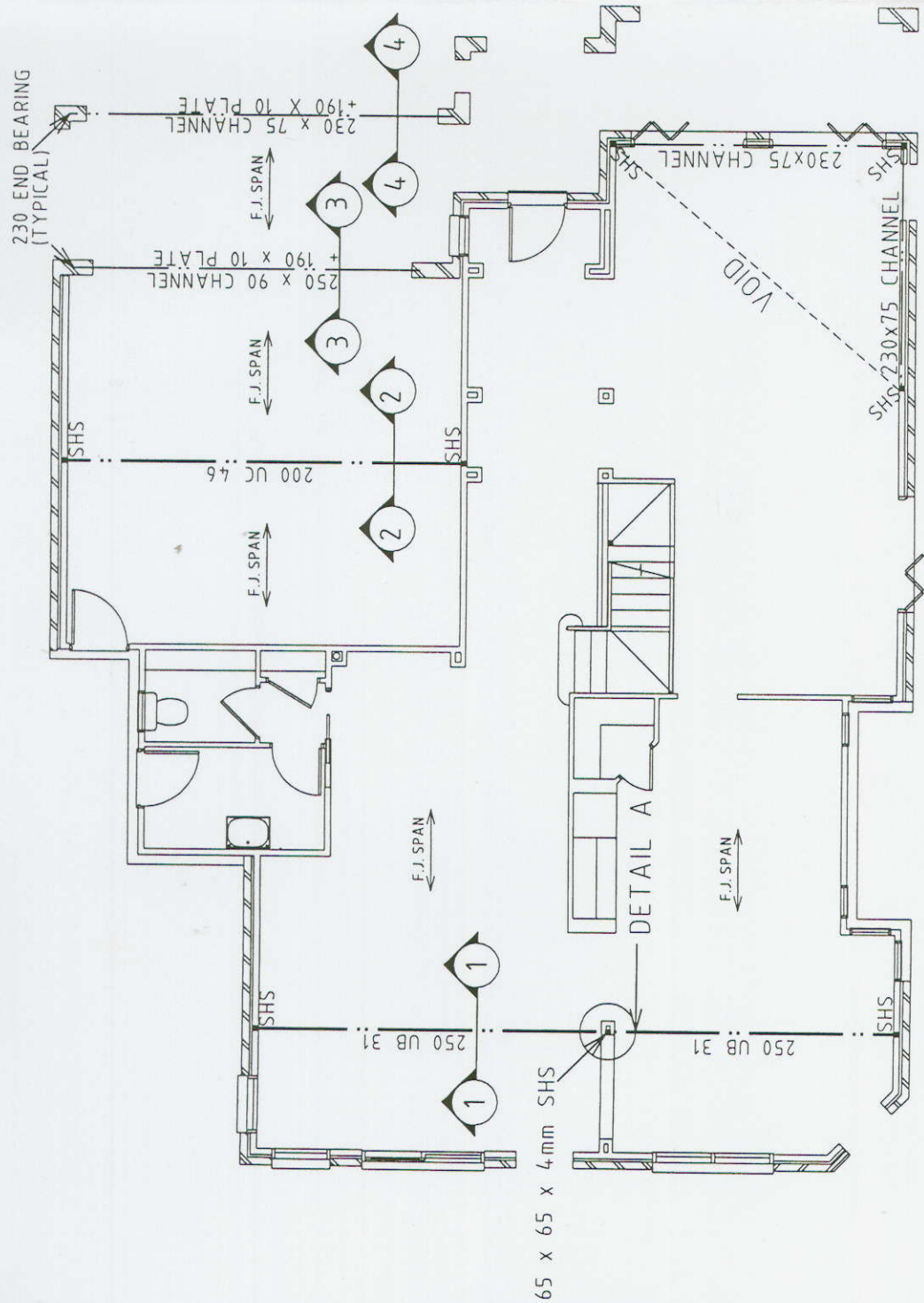
Scale 1:200 Date 16/5/05

Job No. DWG: 1B Drawn By WW



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COUNCIL COPY



## STEEL BEAM PLAN

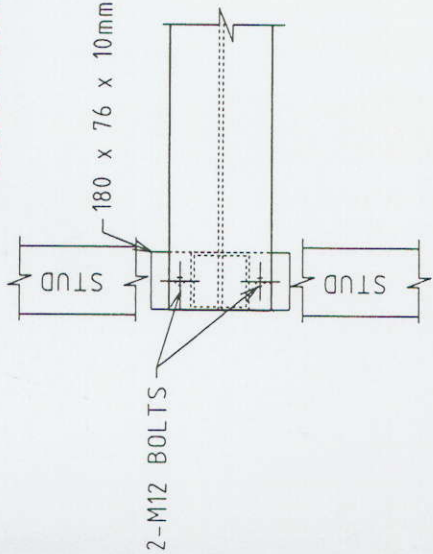
### NOTES

ALL STEELWORK TO BE PAINTED WITH AN APPROVED CORROSIVE RESISTANT PRIMER

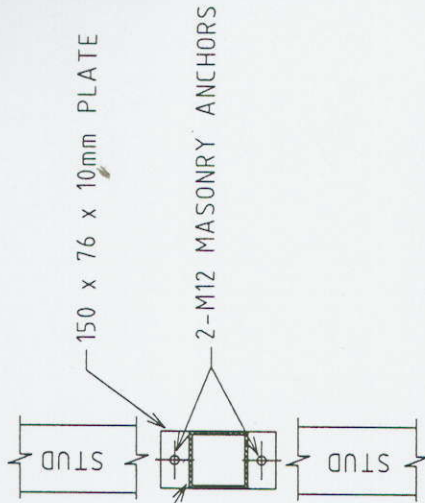
DYNA BOLT COLUMNS TO SLAB WITH 2M12 MASONRY ANCHORS TYPICAL

ALL POSTS TO BE 76 x 76 x 4.0 SHS, (U.N.O.) BUILD POSTS INTO STUD FRAMEWORK.

DETAIL A-A



DETAIL B-B

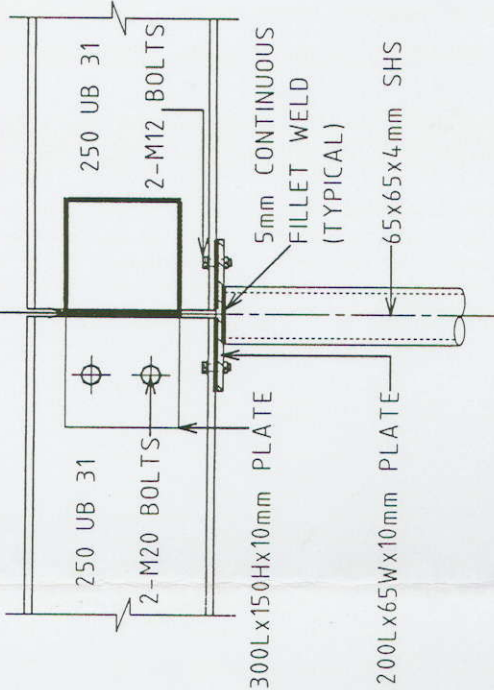


### GREENFIELD ACCREDITED CERTIFIERS

Structural Details C.C. 700-05-4966

Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Greenfield Accredited Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

5mm FILLET WELD BETWEEN BEAMS



SEE DETAIL A-A

SEE DETAIL B-B

## BEAM CONNECTION DETAIL A

SCALE 1:10

**RAFFLETOS**  
ACN 079047466  
LEVEL 2, 103 VANESSA STREET  
KINGSGROVE NSW 2208  
PO BOX 161 KINGSGROVE NSW 2208



**ZANUTTINI**  
Pty Ltd  
TELEPHONE : (02) 9554 9311  
FACSIMILE : (02) 9554 9764  
DX 11392 HURSTVILLE NSW

**DOMAINE**  
PROPERTY GROUP

KENSINGTON

## STRUCTURAL STEEL DETAIL PLAN

CLIENT MRS M. CRISAFIS

LOCATION LOT 58 NO.61 DICKSON PL, WARRIEWOOD

DRAWN BY : P.R.

SCALE 1:10

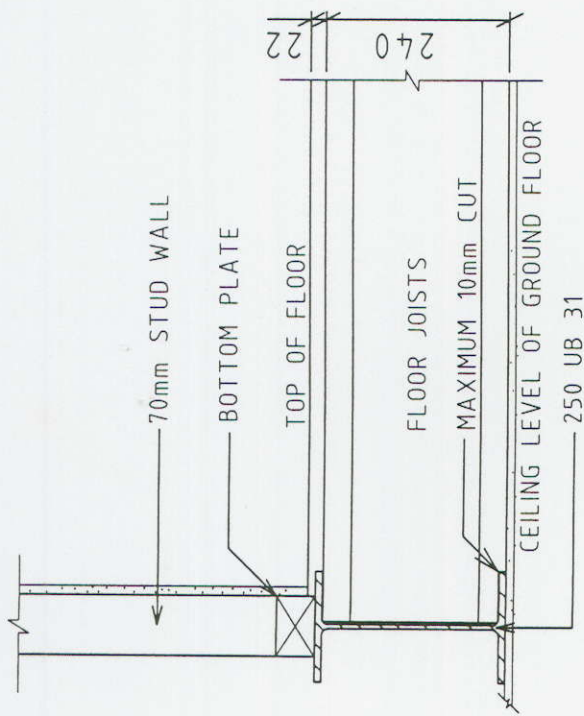
SHEET No. 3

ISSUE B

DATE 1/3/05

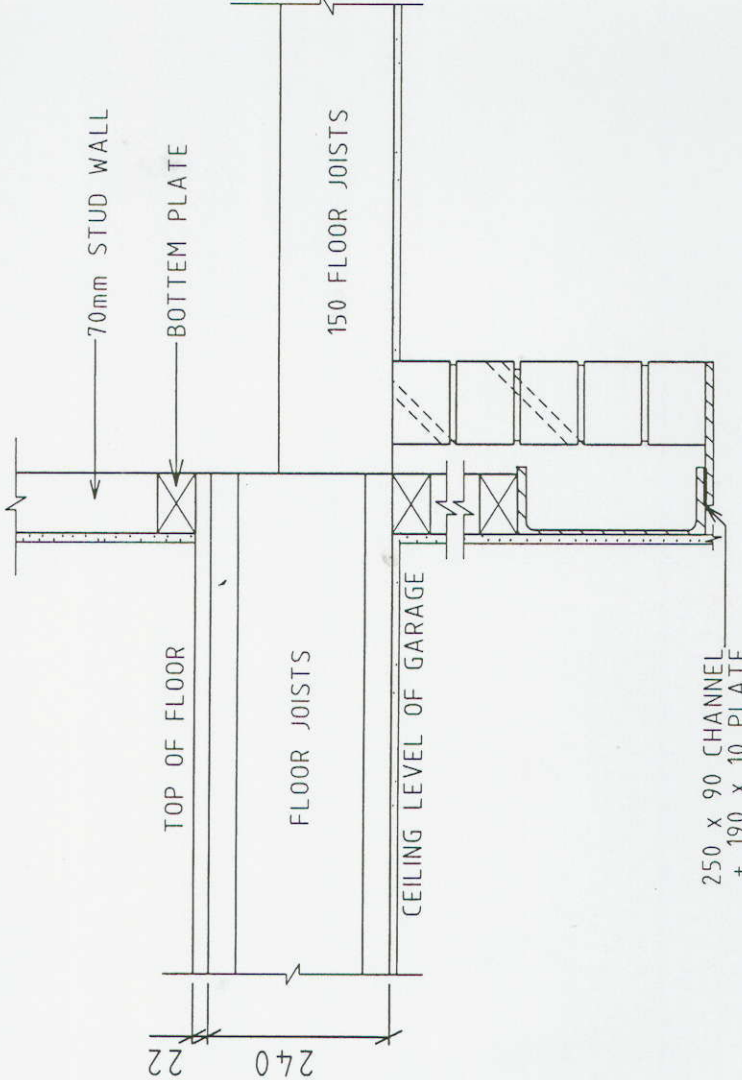
JOB No. D 12453

55 678



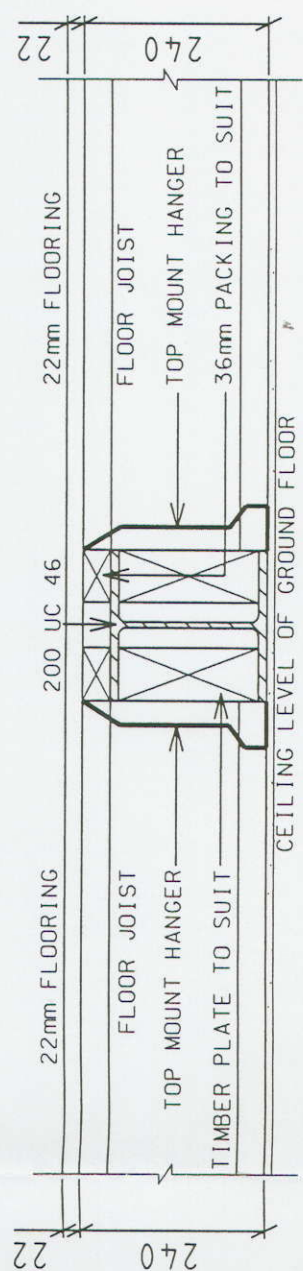
**SECTION 1-1**

• SCALE 1:10



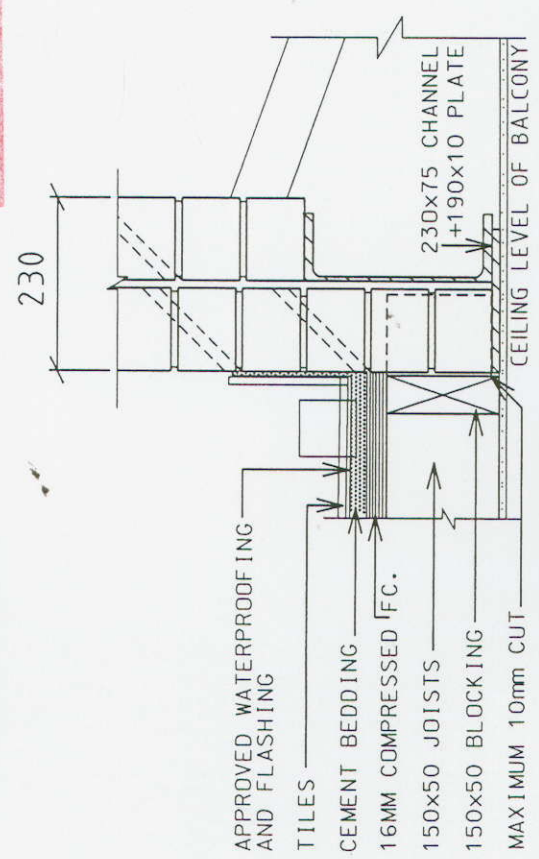
**SECTION 3-3**

SCALE 1:10



**SECTION 2-2**

• SCALE 1:10



**SECTION 4-4**

SCALE 1:10

**GREENFIELD ACCREDITED CERTIFIERS**  
Structural Details C.C. 05-4-9-6-6  
Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Greenfield Accredited Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

**RAFELETOS**  
ACN 079047466  
LEVEL 2, 103 VANESSA STREET  
KINGSGROVE NSW 2208  
PO BOX 161 KINGSGROVE NSW 2208



**ZANUTTINI** Pty Ltd  
TELEPHONE : (02) 9554 9311  
FASCILMILE : (02) 9554 9764  
DX 11392 HURSTVILLE NSW

**DOMAINE**  
PROPERTY GROUP  
KENSINGTON

**STRUCTURAL STEEL DETAIL PLAN**

|            |                                     |
|------------|-------------------------------------|
| CLIENT     | MRS M. CRISAFIS                     |
| LOCATION   | LOT 58 NO.61 DICKSON PL, WARRIEWOOD |
| DRAWN BY : | P.R.                                |
| ISSUE      | B                                   |
| SCALE      | 1:10                                |
| DATE       | 1/3/05                              |
| SHEET No.  | 4                                   |
| JOB No.    | D 12453                             |

B.E. M.I.E. AUST.

# COUNCIL COPY exterior

---

Residential Landscape Construction

16/05/05

Pittwater Council  
1 Park Street  
Mona Vale 2103

**RE: CERTIFICATE OF DESIGN - LANDSCAPING PLAN**

**SUBJECT PREMISES:** Lot 58 Dickson Place, Warriewood

**DOMAINE HOMES JOB NO:** 55678

Dear Sir/Madam,

I hereby certify that the landscape design is compliant with Pittwater Council's Landscape Policy and is in accordance with the Framework and General Layout depicted in the Sector 1 Masterplan, DCP 68 and condition B10 of the DA consent. It is also in accordance with industry best practice.

I am an appropriately qualified in this area as such can certify that the landscape design complies with the above.

Full Name of Designer: Gwilym Griffiths  
Qualifications: Diploma of Horticulture Landscape Design (Ryde)  
Address of Designer: 215 Walters Road Arndelle Park NSW 2148  
Business Telephone No.: 98316655 Fax No.: 98316677

Yours faithfully,



Gwilym Griffiths  
Landscape Design Manager

2000

```

FORMATTER LINES
TO DA SUBS LINES
DOWNPIPE LOCATION
INVERT LEVEL (IN / FT)
IN-PIPE SURFACE LEVEL
TOP OF CURB
FINISHED FLOOR LEVEL
APPROX SEWER LOCATION
205 W x 103 D IN. DRAIN
GRADED BOX DRAIN
CONCRETE SEWENT AND
FLOOR CONTROL BARBER
1/2 D.A. GRADED FLOOR DRAIN
OR SUMP YARD
NON RETURN REFLEX VALVE
MAINTENANCE INSPECTION PIPE

```

**RAFELETOS**  
NEW YORK, NY  
LEVEL 7, 300 ZANUSSI ST., E.  
TEL. 212-693-0300  
FAX 212-693-0300

**ZANUTTINI**  
NEW YORK, NY  
LEVEL 7, 300 ZANUSSI ST., E.  
TEL. 212-693-0300  
FAX 212-693-0300

**ENGINEERING**  
LEVEL 7, 300 ZANUSSI ST., E.  
TEL. 212-693-0300  
FAX 212-693-0300

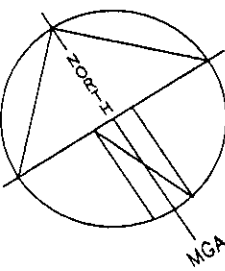
| CHAINAGE | DESIGN LEVELS |
|----------|---------------|
| 4.50     | 14.626        |
| 0.0      | 14.640        |
| -1.40    | 14.645        |
| -2.40    | 14.815        |
| -3.40    | 14.795        |
| -4.35    | 14.765        |
| -4.80    | 14.605        |

1950

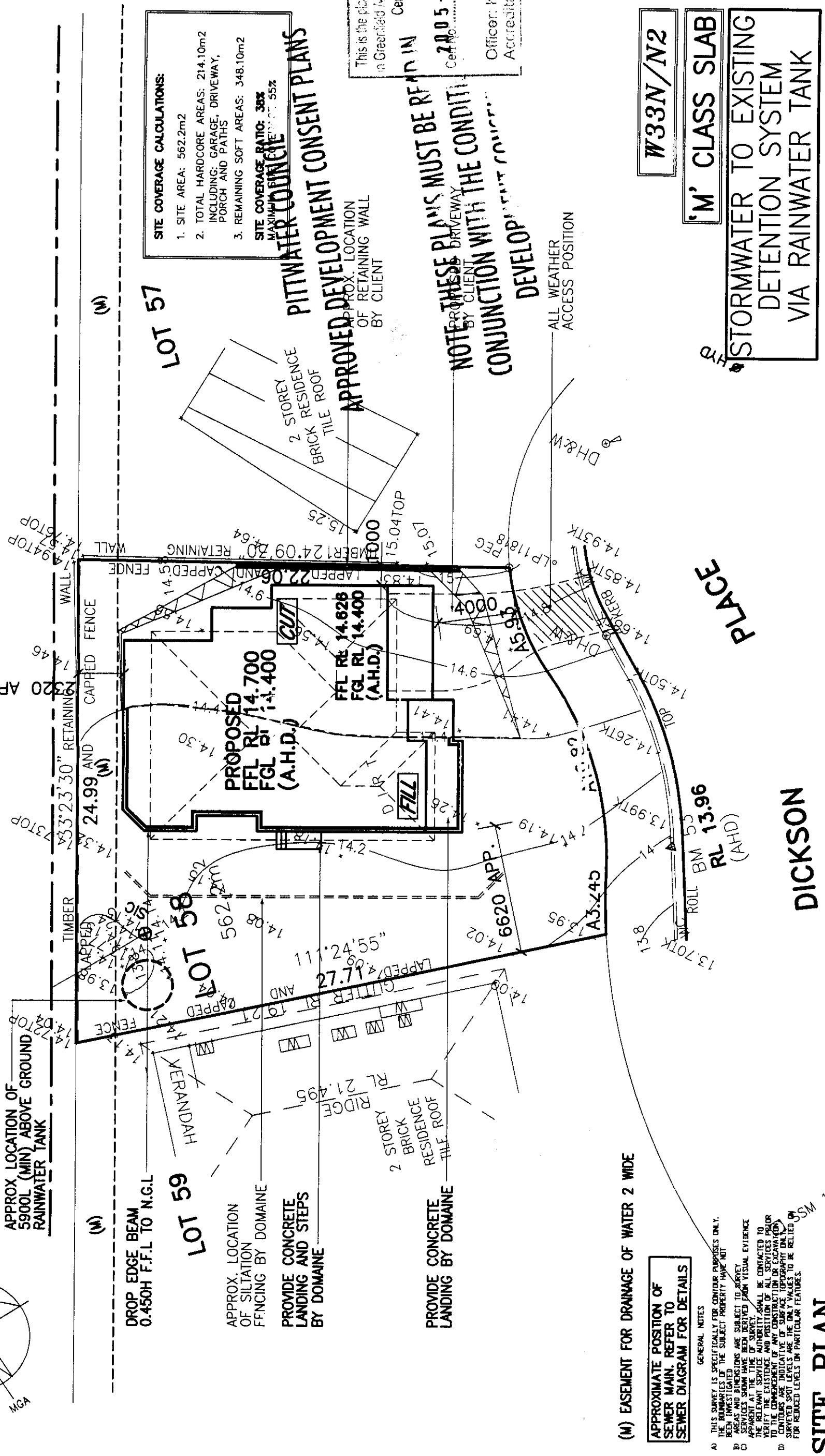


COUNCIL COPY

NOTE: 8.5M HEIGHT RESTRICTION.  
FFL MUST BE ACCURATE.  
ANY CHANGE IN LEVELS WILL  
NOT COMPLY WITH COUNCIL.



LOCALITY SKETCH  
UBD AREA: SYD REVISION: 40  
MAP: 138 REF: D6



**SITE COVERAGE CALCULATIONS:**  
1. SITE AREA: 562.2m<sup>2</sup>  
2. TOTAL HARDCORE AREAS: 214.10m<sup>2</sup>  
INCLUDING: GARAGE, DRIVEWAY,  
PORCH AND PATHS  
3. REMAINING SOFT AREAS: 348.10m<sup>2</sup>  
**SITE COVERAGE RATIO: 38%**  
MAXIMUM PERMITTED: 55%

**PITTSWATER COUNCIL**  
**APPROVED DEVELOPMENT CONSENT PLANS**

This is the plan as referred to in Greenfield Assessment Certificate  
Certificate No. 2005-5617  
Officer: Kieran Tobin  
Accreditation No: 44

**NOTE: THESE PLANS MUST BE REFERRED TO IN CONJUNCTION WITH THE CONDITIONS BY CLIENT DEVELOPMENT CONSENT**

**W33N/N2**

**'M' CLASS SLAB**

**STORMWATER TO EXISTING  
DETENTION SYSTEM  
VIA RAINWATER TANK**

(M) EASEMENT FOR DRAINAGE OF WATER 2 WIDE

APPROXIMATE POSITION OF  
SEWER MAIN. REFER TO  
SEWER DIAGRAM FOR DETAILS

**GENERAL NOTES**  
A) THIS SURVEY IS SPECIFICALLY FOR COUNCIL PURPOSES ONLY.  
B) THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED.  
C) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.  
D) SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.  
E) THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.  
F) COUNTEURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY.  
G) SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

**SITE PLAN**

|                                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                         |          |                                   |   |                       |                 |             |               |  |  |       |      |          |       |        |       |            |      |
|---------------------------------------------|--|--|--|--|--|--|--|--|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|-----------------------------------|---|-----------------------|-----------------|-------------|---------------|--|--|-------|------|----------|-------|--------|-------|------------|------|
| <div>DOMAINE</div> <div>HOMES PTY LTD</div> |  |  |  |  |  |  |  |  |  | Unit 1, Ground floor, 21 Solent Cir,<br>Baulkham Hills, NSW 2153<br>Telephone: (02) 8851 6700<br>Facsimile: (02) 8851 6710<br><br>COPYRIGHT IN THIS DOCUMENT IS OWNED BY<br>THE DOMAINE HOMES PTY LTD. UNDER THE<br>PROVISIONS OF THE COPYRIGHT ACT 1968 AND<br>IS INTENDED FOR USE ONLY AS AUTHORISED<br>BY THE DOMAINE HOMES PTY LTD. |          |                                   |   |                       |                 |             |               |  |  | DRAWN | DATE | REVISION | ISSUE | CLIENT | AREAS | HOUSE TYPE | HAND |
|                                             |  |  |  |  |  |  |  |  |  | B.G.                                                                                                                                                                                                                                                                                                                                    | 02.11.04 | PROVIDE BALCONY TO FRONT OF BED 1 | A | MRS M. CHRISAFIS      | PITTSWATER      | KENSINGTON  | RH            |  |  |       |      |          |       |        |       |            |      |
|                                             |  |  |  |  |  |  |  |  |  | MRI                                                                                                                                                                                                                                                                                                                                     | 30.11.04 | VARIATION 1                       | B | SITE                  |                 | FACADE      |               |  |  |       |      |          |       |        |       |            |      |
|                                             |  |  |  |  |  |  |  |  |  | R.M.S                                                                                                                                                                                                                                                                                                                                   | 03.12.04 | BASED REVISIONS                   | C | LOT 58 DICKSON PLACE, | DP: 1035785     | DRAWN: B.G. | SHEET NO.     |  |  |       |      |          |       |        |       |            |      |
|                                             |  |  |  |  |  |  |  |  |  | R.M.S                                                                                                                                                                                                                                                                                                                                   | 4.01.05  | RAINWATER TANK RELOCATED          | D | WARRIEWOOD            | DATE : 27.10.04 | SCALE 1:200 | JOB NO. 55678 |  |  |       |      |          |       |        |       |            |      |
|                                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                         |          |                                   |   |                       |                 |             | 1/8           |  |  |       |      |          |       |        |       |            |      |



**HOMES PTY LTD**

| DRAWN | DATE     | REVISION                           |
|-------|----------|------------------------------------|
| RI    | 1.11.04  | CONTRACT DRAWING                   |
| RI    | 30.11.04 | VARIATION 1                        |
| M.S.  | 3.12.04  | BASIC REVISIONS                    |
| M.S.  | 4.01.05  | R/WATER TANK CONNECTION UNIT ADDED |

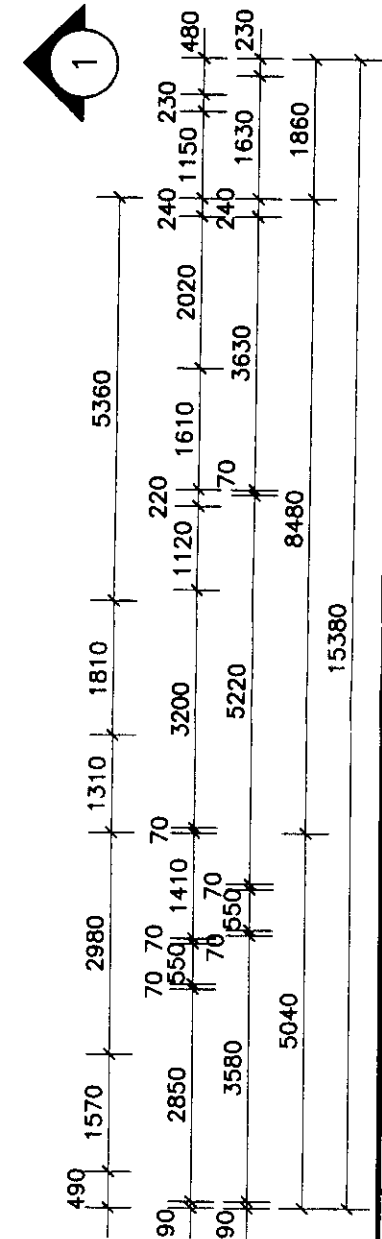
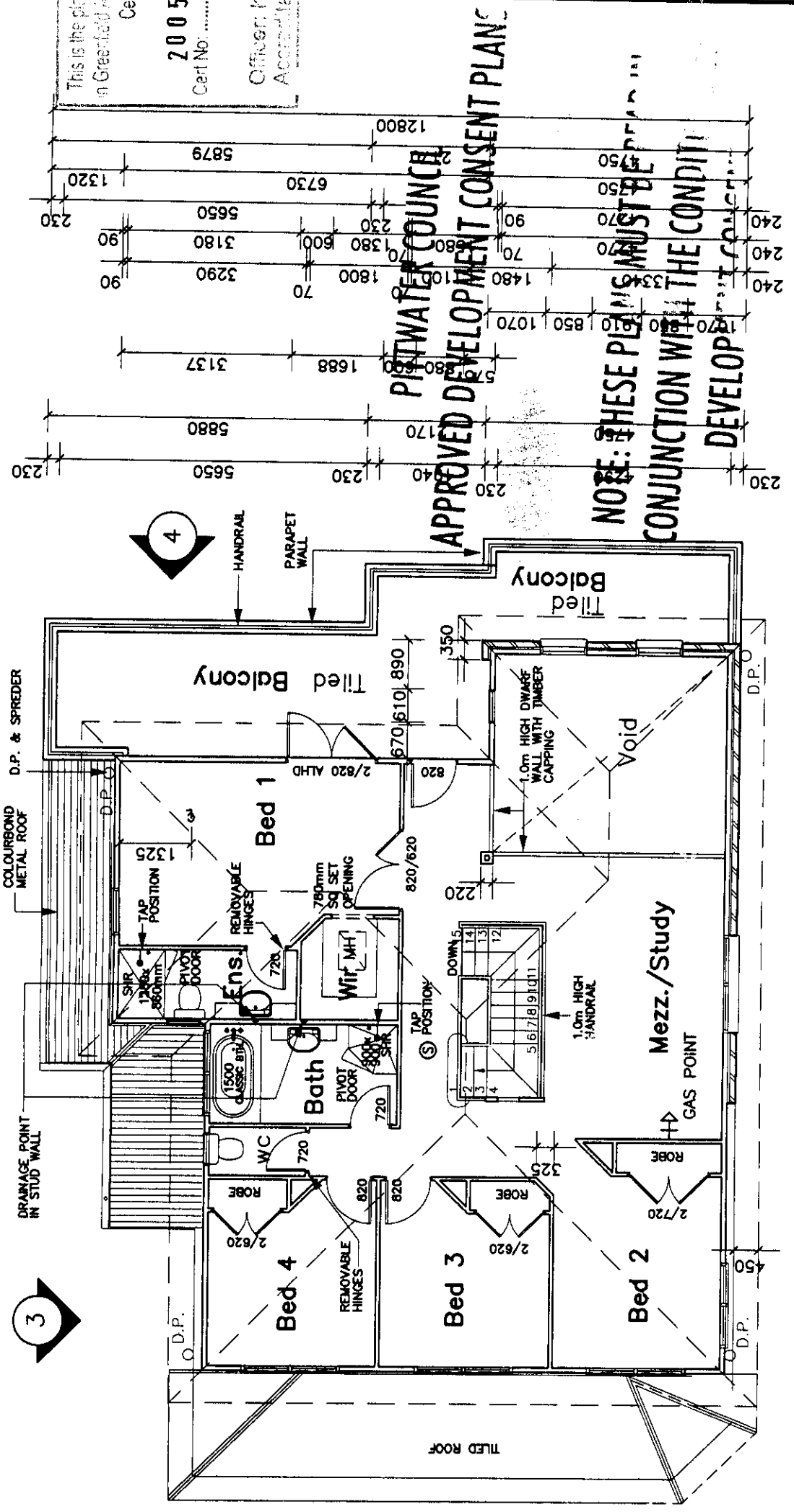
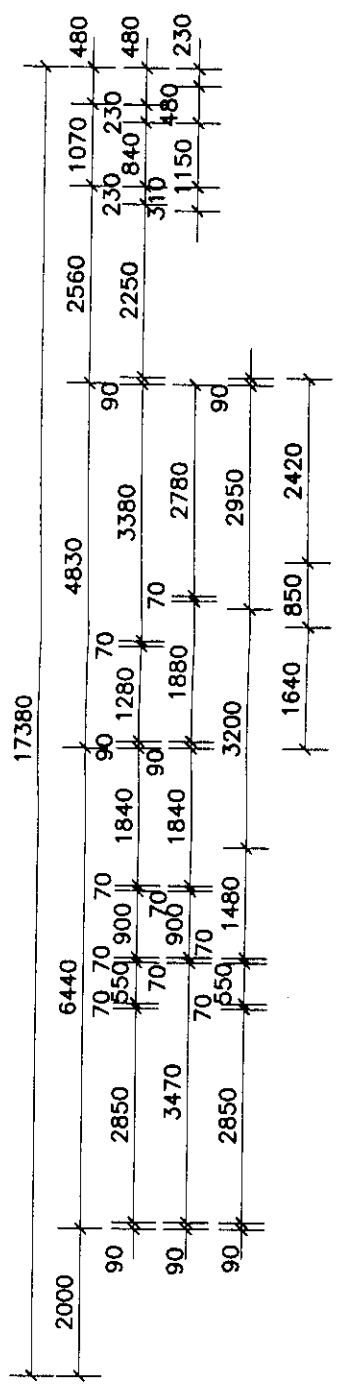
|                  |                                           |
|------------------|-------------------------------------------|
| CLIENT           | SITE                                      |
| MRS M. CHRISAFIS | LOT 58 No.61 DICKSON PLACE,<br>WARRIEWOOD |

|                       |                      |
|-----------------------|----------------------|
| <b>AREAS</b>          |                      |
| GROUND FLOOR :        | 130.38 sq.m          |
| FIRST FLOOR :         | 128.56 sq.m          |
| GARAGE :              | 34.71 sq.m           |
| PATIO :               | 45.39 sq.m           |
| <b>TOTAL :</b>        | <b>339.04 sq.m</b>   |
| <b>DRAWN: CADRAFT</b> | <b>DATE 09.11.04</b> |
| <b>SCALE 1:100</b>    | <b>JOB NO: 55678</b> |

|            |           |
|------------|-----------|
| HOUSE TYPE | HAND      |
| KENSINGTON | RH        |
| FACADE     | SHEET NO. |
| SURREY     | 2/8       |

NOTE:

- PROVIDE 3A RATED SHOWERHEADS
- PROVIDE 3A RATED TOILET FLUSHING SYSTEM
- PROVIDE KITCHEN & BATHROOM TAPS WITH MINIMUM 3A FLOW RATE



FIRST FLOOR PLAN

Unit 1, Ground floor, 21 Solent Cir,  
Baulkham Hills, NSW 2153  
Telephone: (02) 8851 6700  
Facsimile: (02) 8851 6710

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CLIENT  
**MRS M. CHRISAFIS**

SITE  
**LOT 58 No.61 DICKSON PLACE,  
WARRIEWOOD**

HOUSE TYPE  
**KENSINGTON**

HAND  
**RH**

FAÇADE  
**SURREY**

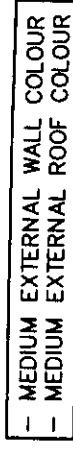
SHEET NO.  
**3/8**

DRAWN: CADRAFT DATE 09.11.04  
SCALE 1:100 JOB NO. 55678

This is the plan as submitted for approval in Greenfield Approval No. 64  
Certificate  
**2005-5617**  
Cert No.  
Officer: Keran Tobin  
Accreditation No. 64

PITWATER COUNCIL  
APPROVED DEVELOPMENT CONSENT PLAN

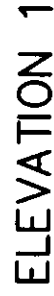
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



2005-5617

**PITTSWATER COUNCIL**  
**APPROVED DEVELOPMENT**  
**TYPICAL VERANDAH RAILING DETAIL**  
**SCALE 1/50**  
**CONSENT PLAN**

NOTE: THESE PLANS MUST BE REVISIONED IN CONJUNCTION WITH THE CONSTRUCTION DEVELOPMENT CONCEPT



Updated: 22/9/2004 - 15:04 - Drawing: K:\Drafting\Wilson's Ridge\Masters\Kensington\SURREY\_RH.dwg

DOMINANCE

**HOMES PTY LTD**

|       |          |                         |       |                                                           |                                 |                   |                         |
|-------|----------|-------------------------|-------|-----------------------------------------------------------|---------------------------------|-------------------|-------------------------|
| DRAWN | DATE     | REVISION                | ISSUE | CLIENT<br><b>MRS M. CHRISAFIS</b>                         | HOUSE TYPE<br><b>KENSINGTON</b> | HAND<br><b>RH</b> | SHEET NO.<br><b>4/8</b> |
| MRI   | 1.11.04  | <b>CONTRACT DRAWING</b> | A     |                                                           |                                 |                   |                         |
| MRI   | 30.11.04 | <b>VARIATION 1</b>      | B     |                                                           |                                 |                   |                         |
| R.M.S | 3.12.04  | <b>BASIC REVISIONS</b>  | C     |                                                           |                                 |                   |                         |
|       |          |                         |       | SITE<br><b>LOT 58 No.61 DICKSON PLACE,<br/>WARRIEWOOD</b> | FACADE<br><b>SURREY</b>         |                   |                         |
|       |          |                         |       |                                                           |                                 |                   |                         |
|       |          |                         |       |                                                           |                                 |                   |                         |
|       |          |                         |       | DRAWN: CADDRAFT                                           | DATE 09.11.04                   | JOB NO. 55678     |                         |
|       |          |                         |       | SCALE 1:100                                               |                                 |                   |                         |

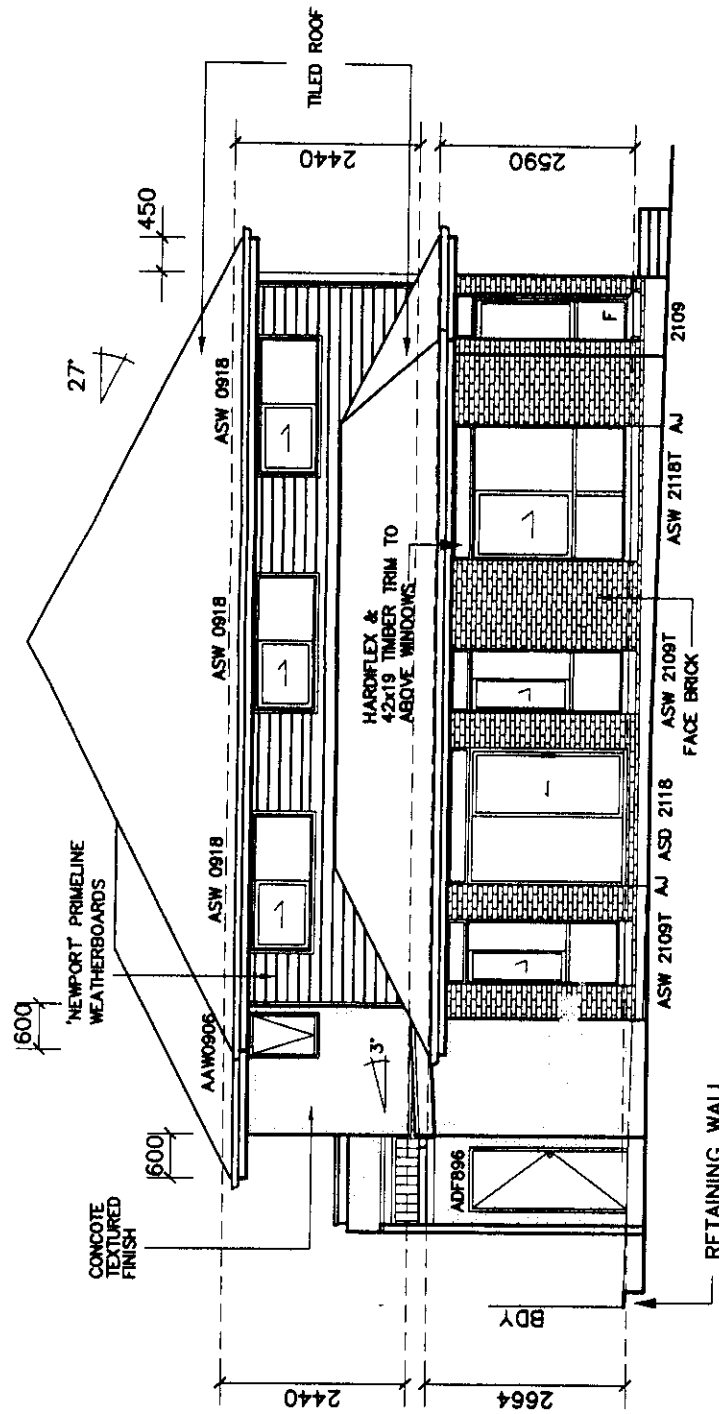
**FACADE  
SURREY**

- MEDIUM EXTERNAL WALL COLOUR  
- MEDIUM EXTERNAL ROOF COLOUR

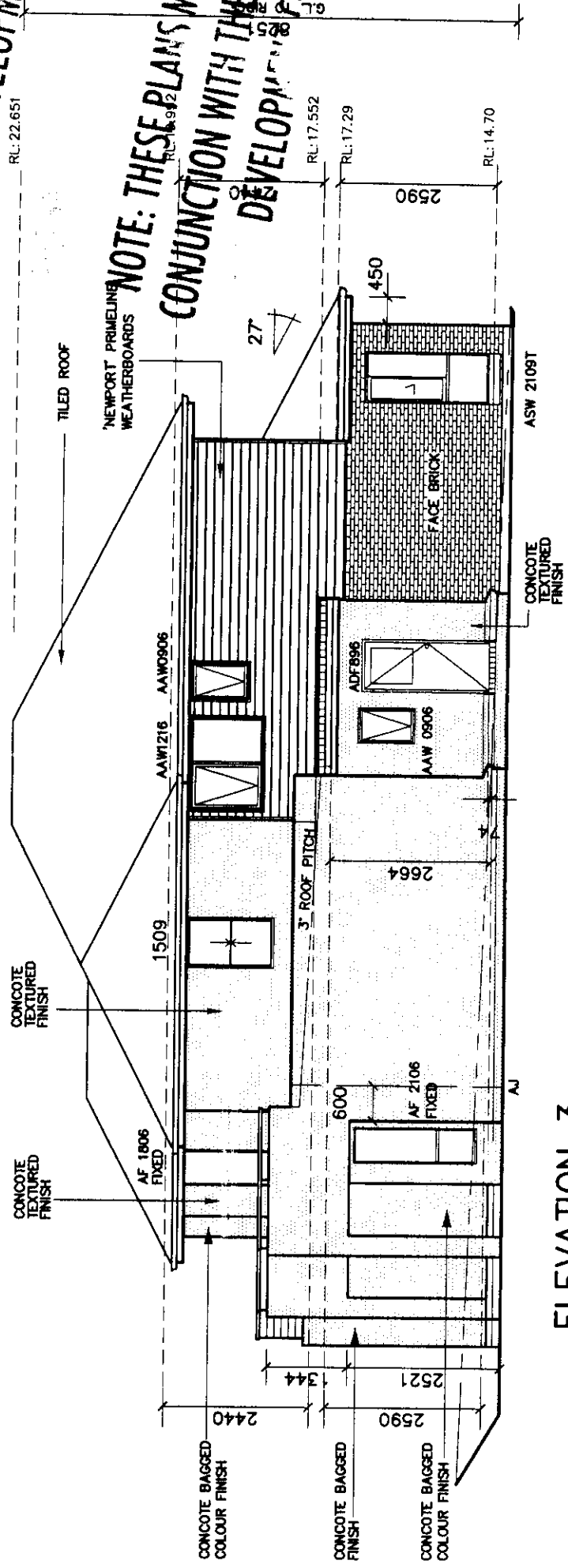
This is the plan as referred to in  
the Greenfield Development Certificate  
Certificate  
2005-5617  
Officer: Kieran Tobin  
Accreditation No: 44

PITTWATER COUNCIL  
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN  
CONJUNCTION WITH THE CONDITIONS OF  
DEVELOPMENT



ELEVATION 2



ELEVATION 3

ELEVATIONS

**DOMAINE**  
HOMES PTY LTD

Unit 1, Ground floor, 21 Solent Cir,  
Baulkham Hills, NSW 2153  
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| DRAWN | DATE     | REVISION         |
|-------|----------|------------------|
| MRI   | 1.11.04  | CONTRACT DRAWING |
| MRI   | 30.11.04 | VARIATION 1      |
| R.M.S | 9.12.04  | BASIC REVISIONS  |

CLIENT  
**MRS M. CHRISAFIS**  
SITE  
**LOT 58 No.61 DICKSON PLACE,  
WARRIEWOOD**

| HOUSE TYPE        | HAND          |
|-------------------|---------------|
| <b>KENSINGTON</b> | <b>RH</b>     |
| DATE 09.11.04     | SHEET NO. 5/8 |
| SCALE 1:100       | JOB NO. 55678 |

DRAWN: CADRAFT  
DATE 09.11.04  
SCALE 1:100  
JOB NO. 55678



**NOTES:**

- PROVIDE WATER SAVING SHOWER ROSES
- PROVIDE WATER SAVING FLICKMIXER KITCHEN TAP
- PROVIDE AAA WATER SAVING TAPS
- PROVIDE ENERGY SAVING LIGHT GLOBES TO THE KITCHEN, WET AREAS, LAUNDRY & GARAGE.
- PROVIDE AAA RATED WATER EFFICIENT SHOWER HEADS.
- PROVIDE FLOW REGULATORS TO ALL VANITY BASINS AND KITCHEN TAP.

---PROVIDE R2.5 INSULATION BATTS TO ROOF AREA OF HOUSE (EXCLUDING BY DOMAIN)

**PITTSWATER COUNCIL  
APPROVED DEVELOPMENT CONSENT PLANS**

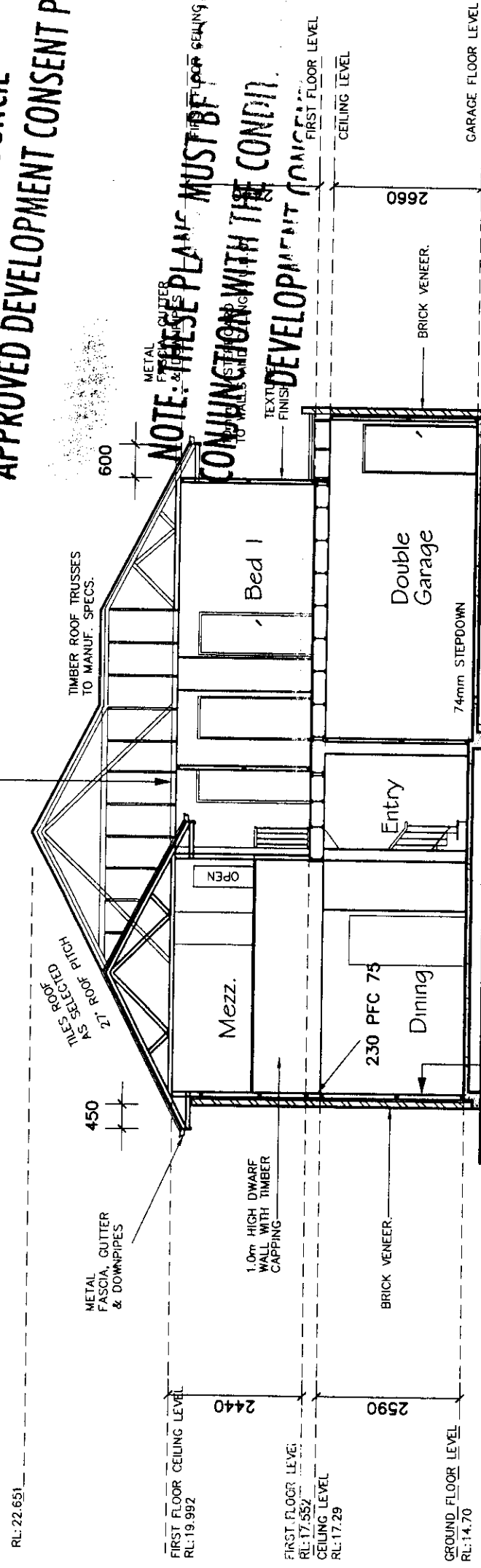
**NOTE: THESE PLANS MUST BE FOR CEILING LEVEL**

METAL  
FRONT CUTTER  
& TOP CUTTER

**CONJUNCTION WITH THE COND.**

TO WALLS & JOINTING

**DEVELOPMENT CONJECTURE FIRST FLOOR LEVEL**



PROVIDE R1.5 INSULATION BATTS TO EXTERNAL WALLS OF HOUSE ONLY BY DOMAINE.

SCALE 1:100

# SECTION

Updated: 2/2/2004 - 15:04 - Drawing: K:\Drafting\Nelson's Ridge\Masters\Kensington\Kensington.dwg

Unit 1, Ground floor, 21 Solent Cir,  
Baulkham Hills, NSW 2153  
Telephone: (02) 8851 6700  
Facsimile: (02) 8851 6710

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# DOMAIN

**HOMES PTY LTD**

**CLIENT**  
**MRS M. CHRISAFIS**

**SITE**  
**LOT 58 No.61 DICKSON PLACE,**  
**WARRIEWOOD**

HOUSE TYPE  
**KENSINGTON**

**FACADE**  
**SURREY**

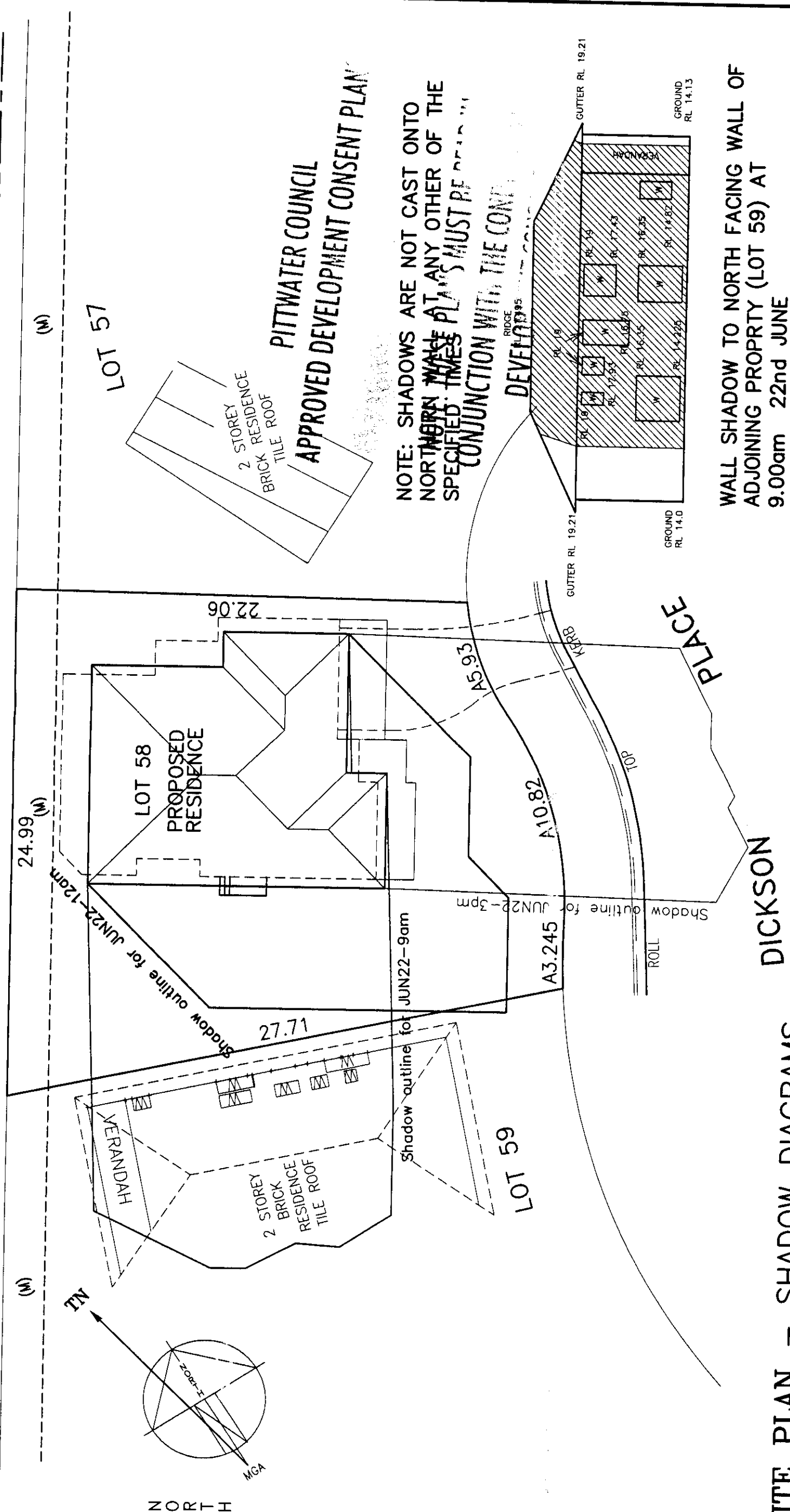
|                 |               |
|-----------------|---------------|
| DRAWN: CADDRAFT | DATE 09.11.04 |
| SCALE 1:100     | JOB NO. 55678 |

HAND RH

SHEET NO. 6/8

UBD AREA: SYD REVISION: 40  
MAP: 138 REF: D6

(M) EASEMENT FOR DRAINAGE OF WATER 2 WIDE



## SITE PLAN – SHADOW DIAGRAMS

**DOMAINE**

**HOMES PTY LTD**

Unit 1, Ground floor, 21 Solent Cir,  
Baulkham Hills, NSW 2153  
Telephone: (02) 8851 6700  
Facsimile: (02) 8851 6710

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| DRAWN | DATE | REVISION | ISSUE | CLIENT                       |
|-------|------|----------|-------|------------------------------|
|       |      |          |       | <b>MRS M. CHRISAFIS</b>      |
|       |      |          |       | <b>SITE</b>                  |
|       |      |          |       | <b>LOT 58 DICKSON PLACE,</b> |
|       |      |          |       | <b>WARRIEWOOD</b>            |

|             |                 |            |  |           |
|-------------|-----------------|------------|--|-----------|
| AREAS       |                 | HOUSE TYPE |  | HAND      |
| PITTWATER   |                 | KENSINGTON |  | RH        |
| DP: 1035785 |                 | FACADE     |  | SHEET NO. |
| DRAWN: B.G. | DATE : 27.10.04 | SURREY     |  | 1A/8      |
| SCALE 1:200 | JOB NO. 55678   |            |  |           |

Owners Initials..... Contractors Initials.....  
Plot: 1/12/2004 - 14:38 - Drawing: K:\Dressing\Contracts\55\_CONTRACTS\55678.dwg

Certificate number: 21699

Schedule of BASIX Commitments

These commitments regulate how the proposed development is to be carried out. It is a condition of any development consent granted or complying development certificate issued for the proposed development that BASIX commitments be complied with.

| Commitments                                                                                                                                                                                                                                            |  | DA plans | CDC/CC plans & specifications | Certifier check |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------|-------------------------------|-----------------|
| LANDSCAPE                                                                                                                                                                                                                                              |  |          |                               |                 |
| Landscaping                                                                                                                                                                                                                                            |  |          |                               |                 |
| The applicant must plant at least 30 square metres of indigenous vegetation on the site. Vegetation is indigenous if it is listed in the BASIX Specification as indigenous to the local government area in which the development is to be constructed. |  | ✓        | ✓                             | ✓               |
| STORMWATER                                                                                                                                                                                                                                             |  |          |                               |                 |
| Collection of rainwater and stormwater                                                                                                                                                                                                                 |  |          |                               |                 |
| The applicant must install a rainwater tank on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.                                                                |  | ✓        | ✓                             | ✓               |
| Rainwater tank                                                                                                                                                                                                                                         |  |          |                               |                 |
| The applicant must configure the rainwater tank to collect rain runoff from at least 181 square metres of the roof area of the dwelling.                                                                                                               |  |          | ✓                             | ✓               |
| The applicant must connect the rainwater tank to all the toilets in the development, so that rainwater can be used for toilet flushing.                                                                                                                |  |          | ✓                             | ✓               |
| The applicant must connect the rainwater tank to at least one outdoor tap in the development so that rainwater can be used to irrigate vegetated areas of the site.                                                                                    |  |          | ✓                             | ✓               |
| The rainwater tank must have a capacity of at least 5900 litres.                                                                                                                                                                                       |  |          | ✓                             | ✓               |
| WATER                                                                                                                                                                                                                                                  |  |          |                               |                 |
| Showerheads                                                                                                                                                                                                                                            |  |          |                               |                 |
| The applicant must install showerheads with a minimum rating of 3A in all showers in the development.                                                                                                                                                  |  | ✓        | ✓                             | ✓               |
| Toilets                                                                                                                                                                                                                                                |  |          |                               |                 |
| The applicant must install a toilet flushing system with a minimum rating of 3A in each toilet in the development.                                                                                                                                     |  |          | ✓                             | ✓               |
| Tap fittings                                                                                                                                                                                                                                           |  |          |                               |                 |
| The applicant must install taps with a minimum flow rate of 3A in the kitchen in the development.                                                                                                                                                      |  |          | ✓                             | ✓               |
| The applicant must install bathroom taps (other than showerheads) with a minimum flow rate of 3A in each bathroom in the development.                                                                                                                  |  |          | ✓                             | ✓               |

Certificate number: 21699

Commitments

| General                                                                                                                                                                                                                                                                                                                    | Commitments | DA plans | CDC/CC plans & specifications | Certifier check |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|----------|-------------------------------|-----------------|
| THERMAL COMFORT - Simulation Method                                                                                                                                                                                                                                                                                        |             |          |                               |                 |
| The applicant must attach certificate no. 31329098 (the 'Assessor certificate') to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, then to that application).    |             |          |                               |                 |
| The Assessor certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details on the Assessor certificate must be consistent with the details shown in this BASIX certificate. The applicant must attach the Assessor certificate to this BASIX certificate.       |             |          |                               |                 |
| The applicant must construct the development in accordance with the requirements set out in the Assessor certificate and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate the values shown in the Assessor certificate. |             |          | ✓                             | ✓               |
| For the purposes of complying with this commitment, terms used in the Assessor certificate have the meanings given to those terms in the BASIX Specification.)                                                                                                                                                             |             |          |                               |                 |
| Energy                                                                                                                                                                                                                                                                                                                     |             |          |                               |                 |
| Active cooling                                                                                                                                                                                                                                                                                                             |             |          |                               |                 |
| The applicant must install a three phase a/c system - (EER between 2.5 - 3.0), or one with a higher EER, for living areas of the dwelling.                                                                                                                                                                                 |             |          | ✓                             | ✓               |
| The applicant must install a three phase a/c system - (EER between 2.5 - 3.0), or one with a higher EER, for the bedrooms of the dwelling.                                                                                                                                                                                 |             |          | ✓                             | ✓               |
| Active heating                                                                                                                                                                                                                                                                                                             |             |          |                               |                 |
| The applicant must install a three phase a/c system - (EER between 2.5 - 3.0), or one with a higher EER, for living areas of the dwelling.                                                                                                                                                                                 |             |          | ✓                             | ✓               |
| The applicant must install a three phase a/c system - (EER between 2.5 - 3.0), or one with a higher EER, for the bedrooms of the dwelling.                                                                                                                                                                                 |             |          | ✓                             | ✓               |
| Hot water                                                                                                                                                                                                                                                                                                                  |             |          |                               |                 |
| The applicant must install the following hot water system in the development: gas instantaneous - 3 Star (or one with a higher Star rating).                                                                                                                                                                               |             | ✓        | ✓                             | ✓               |
| Lighting                                                                                                                                                                                                                                                                                                                   |             |          |                               |                 |
| The applicant must install a window in the kitchen of the dwelling for natural lighting.                                                                                                                                                                                                                                   |             | ✓        | ✓                             | ✓               |
| The applicant must install a window in each bathroom and toilet in the development for natural lighting.                                                                                                                                                                                                                   |             | ✓        | ✓                             | ✓               |
| Cooking                                                                                                                                                                                                                                                                                                                    |             |          |                               |                 |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.                                                                                                                                                                                                                                   |             |          | ✓                             |                 |
| Design enhancements                                                                                                                                                                                                                                                                                                        |             |          |                               |                 |
| The applicant must construct each refrigerator space in the development so that it is well ventilated, as defined in the BASIX Specification.                                                                                                                                                                              |             |          | ✓                             |                 |
| The applicant must install a fixed outdoor clothes drying line as part of the development.                                                                                                                                                                                                                                 |             |          | ✓                             |                 |
| END BASIX COMMITMENTS                                                                                                                                                                                                                                                                                                      |             |          |                               |                 |

This is the plan/s referred to in Greenfield Accredited Certifiers Certificate  
Cert No: 2005 - 5617  
Officer: Kieran Tobin  
Accreditation No: 44

1. In these commitments, "applicant" means the person carrying out the development
2. Commitments identified with a ✓ in the "DA plans" column must be shown on the plans accompanying the development application for the proposed development.
3. Commitments identified with a ✓ in the "CDC/CC plans and specifications" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
4. Commitments identified with a ✓ in the "QC" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

BASIX COMMITMENTS SCHEDULE

DOMAINE

HOMES PTY LTD

Unit 1, Ground floor, 21 Solent Cir,  
Baulkham Hills, NSW 2153  
Telephone: (02) 8851 6700  
Facsimile: (02) 8851 6710  
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BY THE DOMAINE HOMES PTY LTD.

| DRAWN | DATE | REVISION |
|-------|------|----------|
|       |      |          |
|       |      |          |
|       |      |          |
|       |      |          |

| ISSUE |  |
|-------|--|
|       |  |
|       |  |
|       |  |
|       |  |

CLIENT  
MRS M. CHRISAFIS  
SITE  
LOT 58 No.61 DICKSON PLACE,  
WARRIEWOOD

|                 |  |               |
|-----------------|--|---------------|
| DRAWN: CADDRAFT |  | DATE 09.11.04 |
| SCALE 1:100     |  | JOB NO. 55678 |

|                          |                  |
|--------------------------|------------------|
| HOUSE TYPE<br>KENSINGTON | HAND<br>RH       |
| FACADE<br>SURREY         | SHEET NO.<br>9/9 |

Kellie.

# LOCALITY SKETCH

UBD AREA: SYD REVISION: 40

MAP: 138 REF: D6

NOTE: 8.5M HEIGHT RESTRICTION.  
FFL MUST BE ACCURATE.  
ANY CHANGE IN LEVELS WILL  
NOT COMPLY WITH COUNCIL.

APPROX. LOCATION OF  
5900L (MIN) ABOVE GROUND  
RAINWATER TANK

DROP EDGE BEAM  
0.450H F.F.L TO N.G.L.

LOT 59

APPROX. LOCATION  
OF SILTATION  
FENCING BY DOMAINE

PROVIDE CONCRETE  
LANDING AND STEPS  
BY DOMAINE

PROVIDE CONCRETE  
LANDING BY DOMAINE

(M) EASEMENT FOR DRAINAGE OF WATER 2 WIDE

APPROXIMATE POSITION OF  
SEWER MAIN. REFER TO  
SEWER DIAGRAM FOR DETAILS

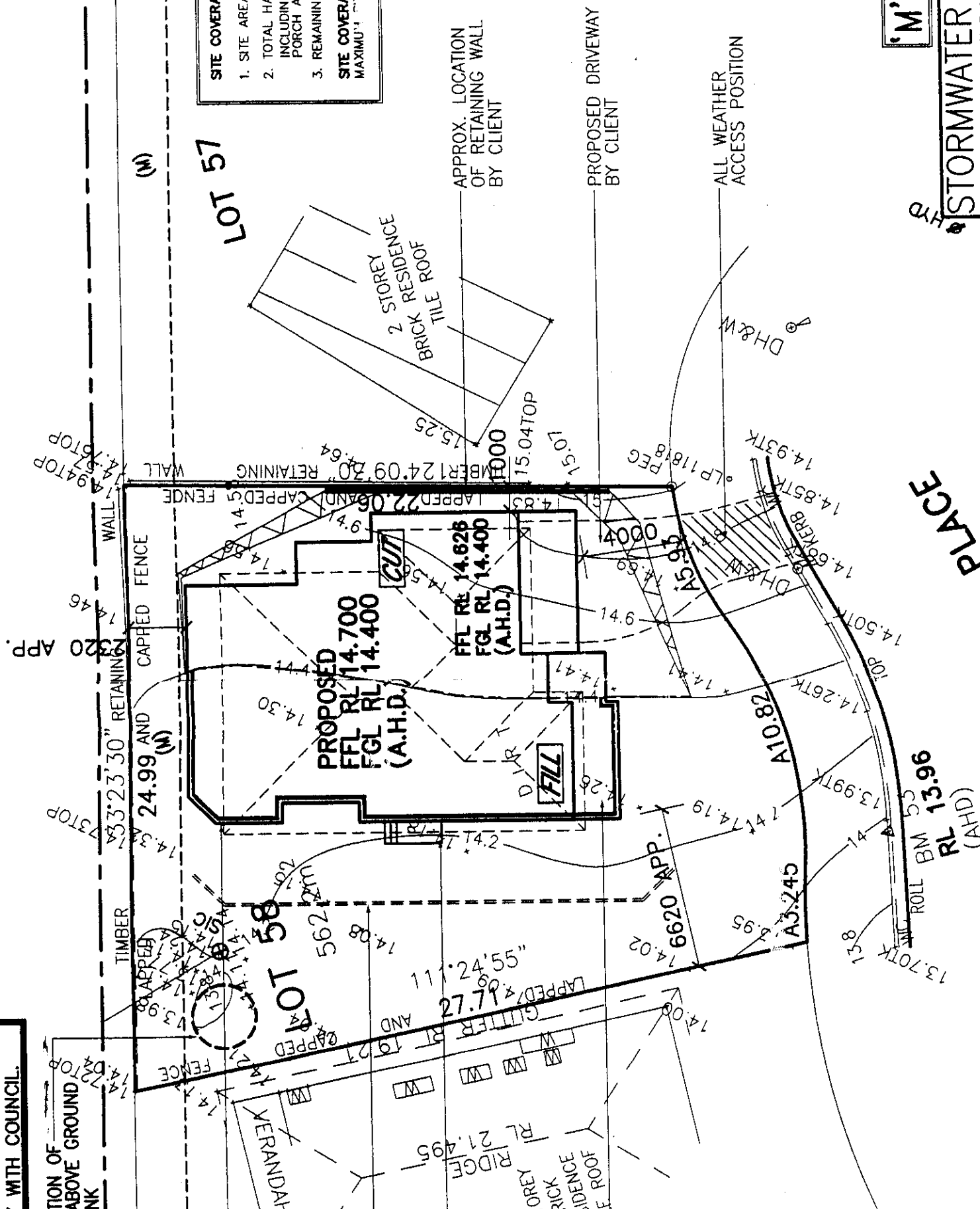
GENERAL NOTES  
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY.  
B) THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT  
BEEN INVESTIGATED.  
C) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY  
SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE  
APPARENT AT THE TIME OF THE SURVEY. THE CLIENT SHALL BE CONTACTED TO  
THE SURVEYOR TO OBTAIN THE SURVEY REPORT AND TO ALL SERVICES PRIOR  
TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.  
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY.  
E) SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED  
FOR REDUCED LEVELS IN PARTICULAR FEATURES.

## SITE PLAN

DOMAINE

HOMES PTY LTD

Unit 1, Ground floor, 21 Solent Cir,  
Baulkham Hills, NSW 2153  
Telephone: (02) 8851 6700  
Facsimile: (02) 8851 6710  
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SITE COVERAGE CALCULATIONS:  
1. SITE AREA: 562.2m<sup>2</sup>  
2. TOTAL HARDCORE AREAS: 214.10m<sup>2</sup>  
INCLUDING: GARAGE, DRIVEWAY,  
PORCH AND PATHS  
3. REMAINING SOFT AREAS: 348.10m<sup>2</sup>  
SITE COVERAGE RATIO: 38%  
MAXIMUM SITE COVERAGE 55%

APPROX. LOCATION  
OF RETAINING WALL  
BY CLIENT

PROPOSED DRIVEWAY  
BY CLIENT

ALL WEATHER  
ACCESS POSITION

W33N/N2

'M' CLASS SLAB

STORMWATER TO EXISTING  
DETENTION SYSTEM  
VIA RAINWATER TANK

DICKSON PLACE

|                                   |  |  |                           |  |  |                                                                    |  |  |
|-----------------------------------|--|--|---------------------------|--|--|--------------------------------------------------------------------|--|--|
| Owners Initials.....              |  |  | Contractors Initials..... |  |  | Ref: 14/7/2005 - 14/44 - Drawing: K:\Drawing\Contractors\55678.dwg |  |  |
| AREAS                             |  |  | HOUSE TYPE                |  |  | HAND                                                               |  |  |
| PITWATER                          |  |  | KENSINGTON                |  |  | RH                                                                 |  |  |
| ISSUE                             |  |  | CLIENT                    |  |  | SHEET NO.                                                          |  |  |
| A                                 |  |  | MRS M. CHRISAFIS          |  |  | 1/8                                                                |  |  |
| B                                 |  |  | SITE                      |  |  | FACADE                                                             |  |  |
| C                                 |  |  | LOT 58 DICKSON PLACE,     |  |  | SURREY                                                             |  |  |
| D                                 |  |  | WARRIWOOD                 |  |  | DATE: 27.10.04                                                     |  |  |
| PROVIDE BALCONY TO FRONT OF BED 1 |  |  | DRAWN: B.G.               |  |  | JOB NO. 55678                                                      |  |  |
| VARIATION 1                       |  |  | SCALE 1:200               |  |  |                                                                    |  |  |
| BACK REVISIONS                    |  |  |                           |  |  |                                                                    |  |  |
| RAINWATER TANK RELOCATED          |  |  |                           |  |  |                                                                    |  |  |

16457.

**COUNCIL COPY**

|                                  |                                                                                                                                                                     |
|----------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>SYDNEY WATER<br/>APPROVED</b> |                                                                                                                                                                     |
| 1                                |                                                                                                                                                                     |
| 2.                               | Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.                                   |
| 3.                               | Position of structure in relation to Sydney Water's assets is satisfactory.                                                                                         |
| 4.                               | Any Plumbing and/or Drainage Work to be carried out in accordance with the Water Board (Corporation) Act 1994 AS 3500 and the NSW Code of Practice.                 |
| 5.                               | Gullies, Inspection Shafts and Boundry Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water. |
| 6. Prop. No.                     | 5127455                                                                                                                                                             |
|                                  | BLACKTOWN CUSTOMER CENTRE                                                                                                                                           |
|                                  | 05/04/05                                                                                                                                                            |
| SYDNEY WATER CORPORATION         |                                                                                                                                                                     |

**NO SPECIAL PRECAUTIONS REQUIRED**

# DOMAINE

## HOMES

COUNCIL COPY

10 May 2005

Greenfield Accredited Certifiers  
PO Box 6160  
**BAULKHAM HILLS BC 2153**

**RE:        LOT 58, Dickson Place, Warriwood**

A Deed of Agreement as per Condition C1 (c) of the DA Consent will not be required as the finish to the access driveway across the public road verge will be plain concrete.

  
Joy Johansen  
DESIGN SERVICES  
**DOMAINE HOMES**



## Greenfield Accredited Certifiers

---

### **Construction/Complying Development Certificate Application Form** *Issued under the Environmental Planning & Assessment Act 1979*

---

**R Moy & Associates Pty Ltd**

Trading as Greenfield Accredited Certifiers

ACN 100 924 605

ABN 23 100 924 605

Postal Address: PO Box 6160 Baulkham Hills BC NSW 2153

**Telephone**                **1300 663 215**

**Facsimile**                **9659 1633**

Email enquiries@greenfieldcertifiers.com.au

Website www.greenfieldcertifiers.com.au

*Privacy Policy – The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Greenfield Accredited Certifiers if the information you have provided in your application is incorrect or requires modification..*

## CHECKLIST - DOCUMENTS TO ACCOMPANY THIS APPLICATION

### For Construction Certificate Applications:

- ☒ Complete & sign this Application form – builder can sign
- ☒ Completion of Land Owners Form to be signed by ALL owners
- ☒ 1 copy of Council DA approved plans
- ☒ 1 copy of Council development consent
- ☒ 3 copies of architectural plans with amendments satisfying conditions
- ☒ 3 copies of building specifications
- ☒ If using a licensed builder - copy of Home Owners Warranty insurance if work is valued over \$12,000 (N/A for commercial or industrial development)
- N/A ☒ If not using a licensed builder - copy of Owner-Builder permit if work is valued over \$5,000 (N/A for commercial or industrial development)
- ☒ Proof of payment of Long Service Levy if work is valued \$25,000 or over
- N/A ☒ Cheque made payable to Council for Certificate Registration Fee – schedule of Council fees can be provided on request.

### For Complying Development Applications:

N/A.

- ☐ Complete & sign this Application form – builder can sign
- ☐ Completion of Land Owners Form to be signed by ALL owners
- ☐ 3 copies of architectural plans
- ☐ 3 copies of building specifications
- ☐ If using a licensed builder - copy of Home Owners Warranty insurance if work is valued over \$12,000 (N/A for commercial or industrial development)
- ☐ If not using a licensed builder - copy of Owner-Builder permit if work is valued over \$5,000 (N/A for commercial or industrial development)
- ☐ Long Service Levy will apply if work is valued \$25,000 or over
- ☐ Copy of relevant Water Authority Approval (if applicable)
- ☐ Cheque made payable to Council for Certificate Registration Fee – schedule of Council fees can be provided on request.

## 1. TYPE OF APPLICATION

I wish to make an application for a:

- ☐ Complying Development Certificate  
*Issued under the Environmental Planning & Assessment Act 1979 sections 85 and 85A*

- ☒ Construction Certificate  
*Issued under the Environmental Planning & Assessment Act 1979 sections 109C(1)(b), 81A(2) & 81A(4)*

|                                                        |           |
|--------------------------------------------------------|-----------|
| Class of building under the Building Code of Australia | 1A.       |
| Development application no.                            | 40077/05  |
| Date which development consent was granted             | 30. 3. 05 |

## 2. DETAILS OF THE APPLICANT

|                   |                                                        |                     |                     |
|-------------------|--------------------------------------------------------|---------------------|---------------------|
| Applicant Name    | Domaine Homes (NSW) Pty Ltd                            |                     |                     |
| Or Company        | Norwest Quay Unit 1                                    |                     |                     |
| Applicant Address | Ground Floor Solent Circuit<br>Baulkham Hills NSW 2153 |                     |                     |
| Phone:            | Fax:                                                   | Phone: 8851-6700    | Postcode: 8851-6710 |
|                   |                                                        | ABN: 19 080 788 969 | Email:              |

## 3. BILLING DETAILS (if different from Applicant)

|                  |           |
|------------------|-----------|
| Bill To:         | As Above. |
| Billing Address: | As Above. |

Note: Applicant will be liable for payment of our fees if funds cannot be recovered from the above

## 4. DETAILS OF THE OWNER(S)

|                |           |          |  |
|----------------|-----------|----------|--|
| Owner Name     | Chrisafis |          |  |
| Or Company     |           |          |  |
| Owners Address |           |          |  |
|                |           | Postcode |  |
| Phone:         | Fax:      | Email:   |  |

## 5. IDENTIFY THE LAND YOU PROPOSE TO DEVELOP

|              |               |           |         |
|--------------|---------------|-----------|---------|
| Site Address | Dickson Place |           |         |
|              | Warriewood.   | Postcode  | 2102    |
| Lot no.      | 58            | DP/SP no. | 1035785 |
| Council Area | Pittwater.    |           |         |

## 6. DETAILS OF THE PROPOSED DEVELOPMENT

|                                             |                                         |  |
|---------------------------------------------|-----------------------------------------|--|
| Description of work to be carried out       | Erection of 1 No. Residential Dwelling. |  |
| Estimated cost of development including GST | \$ 268,350                              |  |

## 7. DETAILS OF THE BUILDER

|                                                 |                                                                               |                     |                     |
|-------------------------------------------------|-------------------------------------------------------------------------------|---------------------|---------------------|
| Licensed Builder Name, or Owner Builder Name    | Domaine Homes (NSW) Pty Ltd                                                   |                     |                     |
| Builder License No. or Owner Builder Permit No. | 91387C                                                                        |                     |                     |
| Builders Address                                | Norwest Quay Unit 1<br>Ground Floor Solent Circuit<br>Baulkham Hills NSW 2153 |                     |                     |
| Phone:                                          | Fax:                                                                          | Phone: 8851-6700    | Postcode: 8851-6710 |
|                                                 |                                                                               | ABN: 19 080 788 969 | Email:              |

## 8. PLANS & SPECIFICATIONS

|                                                                                   |                                 |
|-----------------------------------------------------------------------------------|---------------------------------|
| List plan numbers & specification reference details included in this application: | JNC . 55678<br>Sheets: 18 - 6/8 |
|-----------------------------------------------------------------------------------|---------------------------------|

Please continue to next page for signing

# **AUSTRALIAN BUREAU OF STATISTICS SCHEDULE – compulsory**

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

## **All new buildings**

|                                                      |                       |
|------------------------------------------------------|-----------------------|
| • Number of storeys (incl underground floors)        | 2                     |
| • Gross floor area of new building (m <sup>2</sup> ) | 258.94 m <sup>2</sup> |
| • Gross site area (m <sup>2</sup> )                  | 562.2 m <sup>2</sup>  |

## **Residential buildings only**

|                                                                |       |
|----------------------------------------------------------------|-------|
| • No. of dwellings to be constructed                           | 1 No. |
| • No. of pre-existing dwellings on site                        | 0     |
| • No. of dwellings to be demolished                            | 0     |
| • Will the new dwelling/s be attached to other new buildings ? | No.   |
| • Will the new building(s) be attached to existing buildings ? | No.   |
| • Does the site contain a dual occupancy ?                     | No.   |

## **Materials – Residential Buildings**

| WALLS                  |   | ROOF               |   | FRAME            |   | FLOOR            |   |
|------------------------|---|--------------------|---|------------------|---|------------------|---|
| Brick Veneer           | ✓ | Aluminium          |   | Timber           | ✓ | Concrete         | ✓ |
| Full Brick             |   | Concrete           |   | Steel            |   | Timber           |   |
| Single Brick           |   | Concrete Tiles     | ✓ | Aluminium        |   | Other (describe) |   |
| Concrete Block         |   | Fibrous Cement     |   | Other (describe) |   |                  |   |
| Concrete Masonry       |   | Fibreglass         |   |                  |   |                  |   |
| Concrete               |   | Masonry Shingle    |   |                  |   |                  |   |
| Steel                  |   | Terracotta Shingle |   |                  |   |                  |   |
| Fibrous Cement         |   | Tiles – other      |   |                  |   |                  |   |
| Hardiplank             |   | Slate              |   |                  |   |                  |   |
| Timber/Weatherboard    |   | Steel              |   |                  |   |                  |   |
| Cladding/Aluminium     |   | Terracotta Tiles   |   |                  |   |                  |   |
| Curtain Glass          |   | Other (describe)   |   |                  |   |                  |   |
| Other (describe below) |   |                    |   |                  |   |                  |   |

CC/CDC No. 05/5617 DA No. N0077/05

## **SIGNATURES**

The applicant must sign the application.

Applicant Signature

X *Ray Marshall*

Date

31/1/05.

Domaine Homes (NSW) Pty Ltd  
 Norwest Quay, Unit 1  
 Ground Floor, Sydney Circuit  
 Baulkham Hills NSW 2153  
 Phone: 8851 6700 – Fax: 8851 6710  
 ABN: 19 080 788 969

# COUNCIL COPY

The General Manager  
Pittwater Council  
PO Box 882  
**MONA VALE NSW 1660**

Dear Sir/Madam

**RE: LOT 58, NO 61 DICKSON PLACE WARRIEWOOD**

We hereby authorise our builder, Domaine Homes to lodge on our behalf, plans for development approval, construction certificate, any associated applications and appointment of the principal certifying authority for the above property.

Yours faithfully

.....  
MRS MERCINA CHRISAFIS

DA 05/557

Chris Adams  
55 678

Pittwater Council

ABN: 61340837871

# TAX INVOICE OFFICIAL RECEIPT

07/02/2005 Receipt No 161210

To DOMAINE HOMES P/L

DA N0077/05

Qty/  
Applic Reference

Amount

|                |                   |            |
|----------------|-------------------|------------|
| GL Rec         | TDEV-DA F         | \$1,202.94 |
| 1              | LOT 58 DICKSON PL |            |
| GL Rec         | TADV-T/P1         | \$59.09    |
| 1 X            |                   |            |
| GL Rec         | GST               | \$5.91     |
| 1              | RMIC-Rord         | \$50.00    |
| GL Rec         | 1 X               |            |
| GL Rec         | GST               | \$5.00     |
| 1              | DLGL-Buil         | \$536.70   |
| GL Rec         | HKER-RR A         | \$180.00   |
| 1 X            |                   |            |
| GL Rec         | GST               | \$18.00    |
| 1              | NODP-Noti         | \$20.00    |
| GL Rec         | 1 X               |            |
| GL Rec         | GST               | \$2.00     |
| To GL Receipt: |                   |            |

Total Amount: \$2,079.64  
Includes GST of: \$30.91

## Amounts Tendered

|          |            |
|----------|------------|
| Cheque   | \$2,079.64 |
| Total    | \$2,079.64 |
| Rounding | \$0.00     |
| Change   | \$0.00     |
| Nett     | \$2,079.64 |

Printed 07/02/2005 12:38:02 PM  
Cashier SWalker-Le

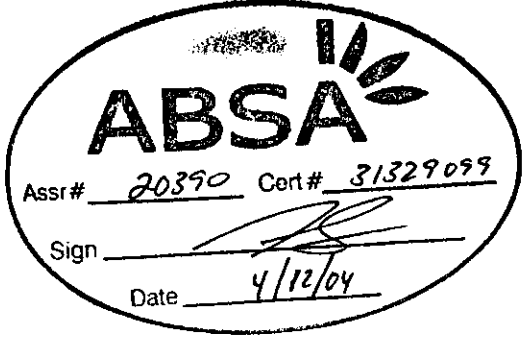
# Assessor Certificate

## Single Dwelling (BCA Class 1)

Certificate Version 5.0. Prior versions not valid after 19 July 2004

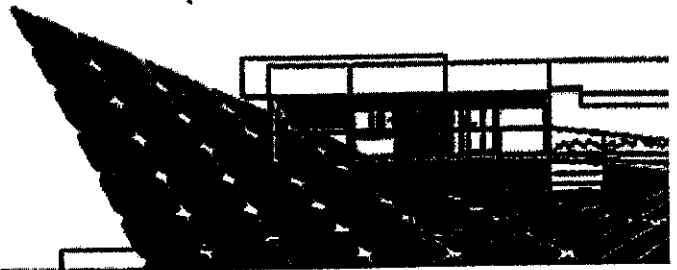
Issued in accordance with the requirements of BASIX  
THERMAL COMFORT - Simulation Method



|                                                                                                                                                                                                  |                                       |                                                                                      |                                          |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|--------------------------------------------------------------------------------------|------------------------------------------|
| <b>Assessor:</b>                                                                                                                                                                                 |                                       | <b>Assr #:</b> 20390                                                                 |                                          |
| <b>Name:</b> Fadi Sweis                                                                                                                                                                          | <b>Company:</b> ERA services          |                                                                                      |                                          |
| <b>Address:</b> PO Box 7446, BAULKHAM HILLS BC 2153                                                                                                                                              |                                       |                                                                                      |                                          |
| <b>Phone:</b> (02) 9659 4931                                                                                                                                                                     | <b>Fax:</b> (02) 9659 4631            | <b>Email:</b> fsweis@eraservices.com.au                                              |                                          |
| <b>Declaration of Interest:</b> None                                                                                                                                                             |                                       |                                                                                      |                                          |
| <b>Client:</b>                                                                                                                                                                                   |                                       |                                                                                      |                                          |
| <b>Name:</b> Domaine Homes                                                                                                                                                                       | <b>Company:</b> Domaine Homes Pty Ltd |                                                                                      |                                          |
| <b>Address:</b> Unit 1, Ground Floor, 21 Solent Circuit BAULKHAM HILLS NSW 2153                                                                                                                  |                                       |                                                                                      |                                          |
| <b>Phone:</b> 02 8851 6700                                                                                                                                                                       | <b>Fax:</b> 02 8851 6710              | <b>Email:</b>                                                                        |                                          |
| <b>Project:</b>                                                                                                                                                                                  |                                       |                                                                                      |                                          |
| <b>Address:</b> N/A N/A Dickson Place WARRIEWOOD NSW 2102                                                                                                                                        |                                       |                                                                                      |                                          |
| <b>Applicant:</b> Mrs M. Chrisafis                                                                                                                                                               |                                       | <b>LGA:</b> Pittwater Council                                                        |                                          |
| <b>Assessment:</b>                                                                                                                                                                               |                                       |                                                                                      |                                          |
| <b>Date:</b> 4/12/2004                                                                                                                                                                           | <b>Job ID:</b> 05-1193                | <b>Filename:</b> 20390PIT1076                                                        | <b>Run #:</b> 1                          |
| <b>Software:</b> NatHERS                                                                                                                                                                         | <b>Version:</b> 2.32a                 | <b>Climate Zone:</b> 17                                                              |                                          |
| <b>Proxies for materials:</b>                                                                                                                                                                    |                                       |                                                                                      | <b>Proxy ref #:</b>                      |
| <b>Referenced documents:</b>                                                                                                                                                                     |                                       |                                                                                      |                                          |
| All details, upon which this Assessment has been based, are included in the project documentation which has been stamped and signed by the Assessor issuing this Certificate, as detailed below: |                                       |                                                                                      |                                          |
| Thermal Performance Specification / Commitments attached and affixed to drawings, page: Page 1                                                                                                   |                                       |                                                                                      |                                          |
| <b>Drawings:</b> Job No: 55678                                                                                                                                                                   |                                       |                                                                                      |                                          |
| <b>Specifications:</b> Only specifications, detailed on Drawings identified above, have been referenced                                                                                          |                                       |                                                                                      |                                          |
| ABSA Assessor Certificate                                                                                                                                                                        |                                       | Assessor # 20390                                                                     | Certificate # 31329099 Issued: 04-Dec-04 |
| THERMAL COMFORT - Simulation Method                                                                                                                                                              |                                       |                                                                                      |                                          |
| The details must be entered into your BASIX Assessment                                                                                                                                           |                                       |                                                                                      |                                          |
| <b>Area calculations (m<sup>2</sup>):</b>                                                                                                                                                        |                                       |                                                                                      |                                          |
| <b>External walls, windows and doors</b>                                                                                                                                                         | 228                                   |                                                                                      |                                          |
| <b>Net Conditioned Floor Area:</b>                                                                                                                                                               | 224                                   |                                                                                      |                                          |
| <b>Generous concessions:</b>                                                                                                                                                                     |                                       |                                                                                      |                                          |
| <b>Eligible Concessions:</b> None                                                                                                                                                                |                                       |                                                                                      |                                          |
| <b>Predicted annual energy loads (MJ/m<sup>2</sup>/year)</b>                                                                                                                                     |                                       |                                                                                      |                                          |
| <b>Heating:</b> 74                                                                                                                                                                               |                                       |  |                                          |
| <b>Cooling:</b> 40<br>(sensible + latent)                                                                                                                                                        |                                       |                                                                                      |                                          |
| <b>Total:</b> 114                                                                                                                                                                                |                                       |                                                                                      |                                          |
|                                                                                                                                                                                                  |                                       |                                                                                      |                                          |

# BASIX

## Certificate



Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Certificate number: 12842

### Description of project

#### Project address and type

|                       |                                     |
|-----------------------|-------------------------------------|
| Project name          | Dickson Pl Lot 58 Warriewood        |
| Street number         |                                     |
| Street name           | Dickson Place                       |
| Suburb                | Warriewood                          |
| Post code             | 2102                                |
| Local Government Area | Pittwater Council                   |
| Deposited Plan number | 1035785                             |
| Strata Plan number    |                                     |
| Lot number            | 58                                  |
| Section               |                                     |
| Project type          | Detached dwelling                   |
| Nature of project     | Erecting a new residential building |

#### Project details

|                                            |                |                         |
|--------------------------------------------|----------------|-------------------------|
| Site area                                  | 562            | m <sup>2</sup>          |
| Gross floor area                           | 259            | m <sup>2</sup>          |
| Roof area                                  | 181            | m <sup>2</sup>          |
| Number of bedrooms                         | 4              |                         |
| Total area of vegetation (garden and lawn) | 348            | m <sup>2</sup>          |
| ABSA Certificate Number (if applicable)    | 31329099       |                         |
| Net conditioned floor area                 | 224            | m <sup>2</sup>          |
| Concession claimed                         | not applicable |                         |
| Cooling load                               | 40.0           | MJ/m <sup>2</sup> /year |
| Heating load                               | 74.0           | MJ/m <sup>2</sup> /year |
| Total cooling and heating load             | 114.0          | MJ/m <sup>2</sup> /year |

This certificate confirms that the proposed development will meet the NSW Government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 25 June 2004, published by DIPNR. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au).

Director-General

Date of issue: Tue Dec 07 19:10:59 EST 2004



# Certificate of Insurance

Domaine Homes (NSW) Pty Ltd  
PO Box 7105  
BAULKHAM HILLS NEW SOUTH WALES 2153

DA 05/557

Form 1  
Section 92  
Home Building Act 1989

## CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92

Of The: Home Building Act 1989

Issued By: Vero Insurance Limited

ABN 48 005 297 807

### Building Contract Details

Contract Date: November 25, 2004

Declared Building Contract Value: \$268,350.00

(Refer policy for indemnity limit)

Carried Out By: Domaine Homes (NSW) Pty Ltd

ABN: 19080788969

Licence No: 91387C

For: Mercina Chrisafis

In Respect Of: Single Dwelling

At: Lot No. 58

Dixon Place

WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N Y21XEVOQB5EP

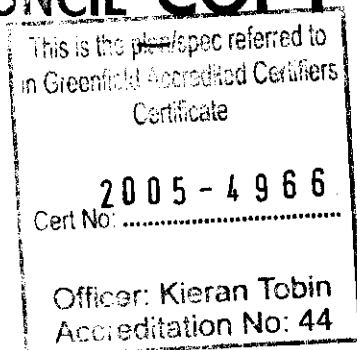
Printed 10/12/2004

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

"D"

**COUNCIL COPY**



**Housing Industry  
Association**

Domaina Homes (NSW) Pty Ltd  
Norwest Quay, Unit 1,  
Ground Floor 21 Solent Circuit  
Baulkham Hills NSW 2153  
Phone: 8851-6700 — Fax: 8851-6710  
ABN: 19 080 788 939

CONTRACTOR

ADDRESS OF PROPERTY: Lot 58

Dickson Place

Warriewood.

# GENERAL HOUSING SPECIFICATIONS

**between**

Chrisafis.

OWNER

**and**

CONTRACTOR LICENCE NO: \_\_\_\_\_

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Housing Industry Association (NSW) Division.

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**GENERAL HOUSING SPECIFICATIONS**  
**(Revised November 2000)**

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## **1.0 INTRODUCTIONS**

### **1.1 General**

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

### **1.2 Preliminary Use**

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

### **1.3 Prevailing Documents**

Where there is a difference between Plan and Specification the Plan will take precedence. The Contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

### **1.4 Size and Dimensions**

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

### **1.5 Prime Cost Items**

Prime cost items listed in this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract's final progress claim.

### **1.6 Definitions**

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

## **2.0 STATUTORY REQUIREMENTS**

### **2.1 The Works**

The Works shall be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

### **2.2 Regulations, Notices and Fees**

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities.

Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

### **2.3 Insurance**

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

### **2.4 Labour and Materials**

The Contractor is to provide all labour and materials to construct and complete the Building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

### **2.5 Electricity**

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

### **2.6 Sanitary Accommodation**

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

## **3.0 OWNER'S OBLIGATIONS**

### **3.1 Surveyor's Certificate**

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

### 3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

### 3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

### 3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

### 3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

### 3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

### 3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

## 4.0 PLANS, PERMITS AND APPLICATION FEES

### 4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

### 4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

#### 4.3 Setting Out

The Contractor shall accurately set out the Works in accordance with the Site Plan and within the boundaries of the Site.

### 5.0 EXCAVATIONS

- 5.1 Subject to Clause 3.7 the Site covered by the Building and an area at least 1,000mm wide around the Building or to boundaries of the Site - whichever is the lesser, shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA 96 Housing Provisions.

### 6.0 FOUNDATIONS AND FOOTINGS

#### 6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA 96 Housing Provisions.

#### 6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA 96 Housing Provisions or AS 3660.1.

#### 6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA 96 Housing Provisions.

#### 6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

#### 6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on Site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pouding of water on the surface, or as directed by the Engineer.

#### 6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

#### 6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's recommendations.

#### 6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

#### 6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

#### 6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

#### 6.11 Curing

All slabs shall be cured in accordance with AS 3600.

### 7.0 RETAINING WALLS

#### 7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

### 8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewered and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

#### 8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

#### 8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drains to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building. If the Authority's requirements give rise to a variation, any additional cost plus Builder's margin is to be borne by the Owner.

## **9.0 TIMBER FRAMING GENERALLY**

### **9.1 Timber Framing**

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

### **9.2 Floor Framing**

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

### **9.3 Wall Framing**

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

### **9.4 Heads Over Opening (Lintels)**

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

### **9.5 Roof Trusses**

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

### **9.6 Bracing**

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

### **9.7 Flooring**

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

## 9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

## 9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

## 9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

## 9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

# 10.0 STEEL FRAMING GENERALLY

## 10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

# 11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturer's requirements.

## 11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

### 11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

### 11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA 96 Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

### 11.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

### 11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

### 11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 96 Housing Provisions.

## 12.0 MASONRY

### 12.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

### 12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733. Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

### 12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA 96 Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

#### 12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or Clause 3.3.4.3 of the BCA 96 Housing Provisions.

#### 12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

#### 12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA 96 Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

#### 12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA 96 Housing provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

#### 12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

### 13.0 CLADDING AND LININGS

#### 13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

#### 13.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

#### 13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA 96 Housing Provisions.

## **14.0 JOINERY**

### **14.1 General**

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

### **14.2 Door Frames**

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

### **14.3 Door and Doorsets**

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets and shall be manufactured in accordance with AS 2688 and AS 2689.

### **14.4 Window and Sliding Doors**

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions. All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

### **14.5 Architraves and Skirting**

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

### **14.6 Cupboards/Kitchens/Bathroom**

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

### **14.7 Stairs, Balustrades and other Barriers**

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

## **15.0 SERVICES**

### **15.1 Plumbing**

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

## 15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

## 15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

## 15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

# 16.0 TILING

## 16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

## 16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

## 16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

## 16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

# 17.0 PAINTING

## 17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

## 18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances

|                                                      |          |               |
|------------------------------------------------------|----------|---------------|
| Kitchen and Vanity Cupboards (kitchen sink included) |          | \$.....       |
| Stove/Wall Oven/Hot Plates                           |          | \$.....       |
| Bath per item                                        | per item | \$.....       |
| W.C. Suites                                          | per item | \$.....       |
| Laundry Tub                                          |          | \$.....       |
| Entry Door                                           |          | \$.....       |
| Door Furniture                                       |          | \$.....       |
| Garage Door                                          |          | \$.....       |
| Hot Water System                                     |          | \$.....       |
| Shower Screen                                        |          | \$.....       |
| Wall and Floor Tiles supply only                     |          | \$...../m     |
| Bricks                                               |          | \$...../ ,000 |

## 19.0 SIGNATURES

This is the specification referred to in the Building Agreement No. .... Date: .....

Signed by the said

Owner in the

Presence of

|                |                          |                   |
|----------------|--------------------------|-------------------|
| .....          | .....                    | ...../...../..... |
| <i>Witness</i> | <i>Owner's Signature</i> | <i>Date</i>       |

|                |                          |                   |
|----------------|--------------------------|-------------------|
| .....          | .....                    | ...../...../..... |
| <i>Witness</i> | <i>Owner's Signature</i> | <i>Date</i>       |

Signed by the said

Contractor in the

Presence of

|                |                               |                   |
|----------------|-------------------------------|-------------------|
| .....          | .....                         | ...../...../..... |
| <i>Witness</i> | <i>Contractor's Signature</i> | <i>Date</i>       |