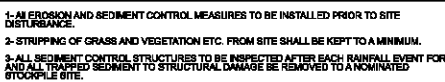


NOT TO SCALE



SITE AREA -	847.0 m ²
ROOF AREA -	116 m ²
CONDITIONED FLOOR AREA -	53.4 m ²
UNCONDITIONED FLOOR AREA -	3.8 m ²
TOTAL AREA OF GARDEN AND LAWN -	90 m ²

FIXTURES

- The applicant must install showerheads with a minimum rating of 3 star ≥ 4.5 but ≤ 6 (L/min) in all showers in the development.
- The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
- The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
- The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

- The applicant must install a rainwater tank of at least 1100 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
- The applicant must configure the rainwater tank to collect rain runoff from at least 105 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
- The applicant must connect the rainwater tank to:
 - all toilets in the development
 - the cold water tap that supplies each clothes washer in the development
 - at least one outdoor tap in the development. (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply).

Thermal Comfort commitments as per Assessor Certificate.

- Floor - concrete slab on ground: Insulation required nil
- External wall - framed (weatherboard, fibre cement, metal clad): Insulation required 2.00 (or 2.40 including construction)
- External wall - other/unclad: Insulation required 2.40 (including construction)
- Internal wall shared with garage – plasterboard: Insulation required nil
- Ceiling and roof - flat ceiling / flat roof, framed ceiling: Insulation required 3.5 (up), roof/flat/other. Other specification framed, dark (solar absorbance > 0.70)

- Gas Instantaneous with a performance of 5 stars

- In at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
- In at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
- The cooling system must provide for day/night zoning between living areas and bedrooms.

- In at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
- In at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5
- The heating system must provide for day/night zoning between living areas and bedrooms.

Exhaust systems must be installed in:

- At least 1 Bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off
- Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off
- Laundry: natural ventilation only, or no laundry; Operation control: n/a

The "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms:

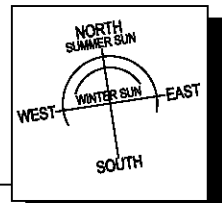
Where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 2 of the bedrooms / study; dedicated
- at least 2 of the living / dining rooms; dedicated
- the kitchen; dedicated
- all bathrooms/toilets; dedicated

- Window and/or skylight in the kitchen of the dwelling for natural lighting.
- Window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting

- The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
- The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
- The applicant must install a fixed outdoor clothes drying line as part of the development.

- Treatment to protect the building from subterranean termites must be carried out in accordance with as 3600.1 'protection of building form subterranean termites' part 1; new buildings
- Builder to connect new downpipes from the proposed addition to existing stormwater line via 100mm dia pvc pipe with min 1:80 grade & 300mm earth cover.
- Existing stormwater line & discharge point to remain as is



HART DESIGN
ARCHITECTURAL
DRAFTERS & DESIGNERS

HARTDESIGN PTY LTD. hartdesign@bigpond.com
ASN 35 053 567 265 PO BOX 978 BROOKVALE NSW 2100
PHONE: (02) 9971 7578 MOBILE: 0414 675 453

PROJECT: [REDACTED]

PHONE: (02) 9971 7576 MOBILE: 0414 675 453

PROPOSED GARAGE & SECONDARY DWELLING

SCALE: AS NOTED	DATE: 09/01/19	DRAWN: AM
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ADDRESS: AS NOTED 09/07/19 AM

37 BLANDFORD STREET,
COLLAROY PLATEAU, NSW, 2097,

LOT 1 D.P.1146799

ISSUE: A

JOB #:

DRAWING: LOT 1 D.P. 1146799 JOB #: A
PROPOSED SITE PLAN & SITE ANALYSIS 1812

18.12
SHEET: 01 OF: 07

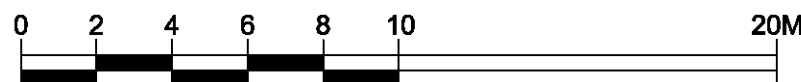
PROPOSED SITE PLAN & SITE ANALYSIS

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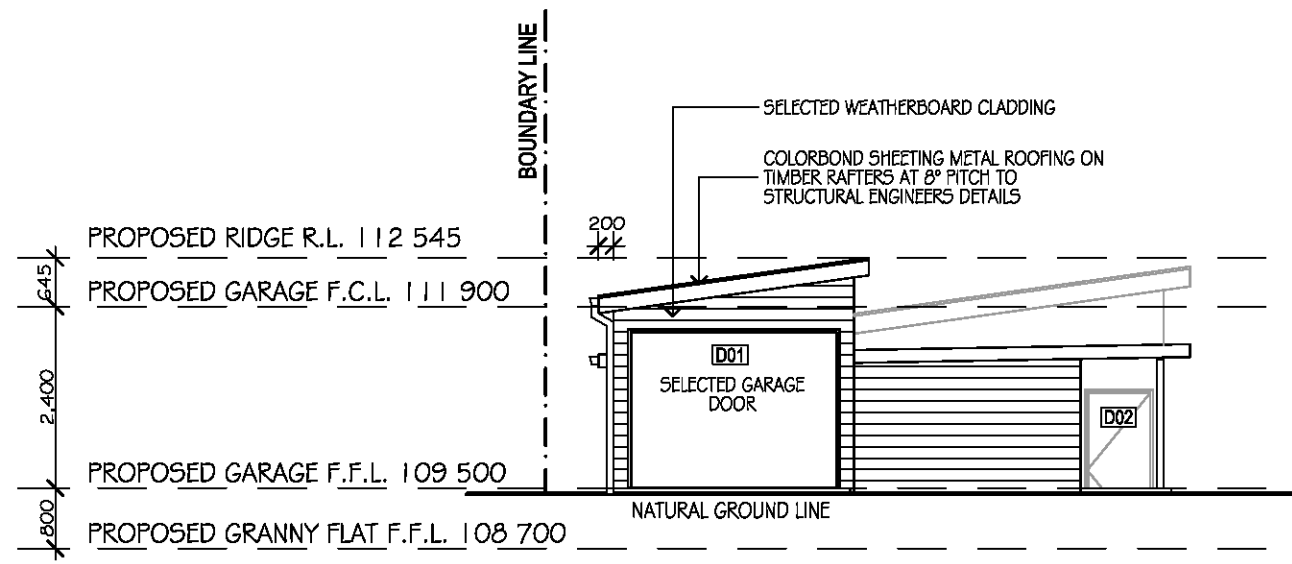
THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/1570

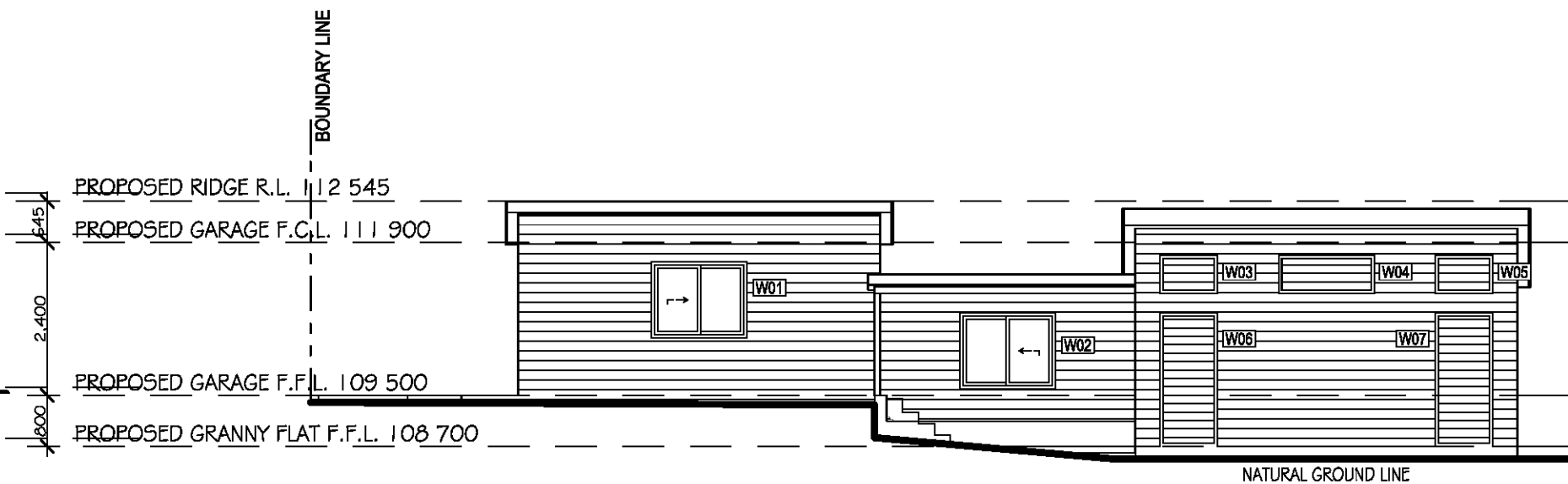
NORTHERN BEACHES COUNCIL



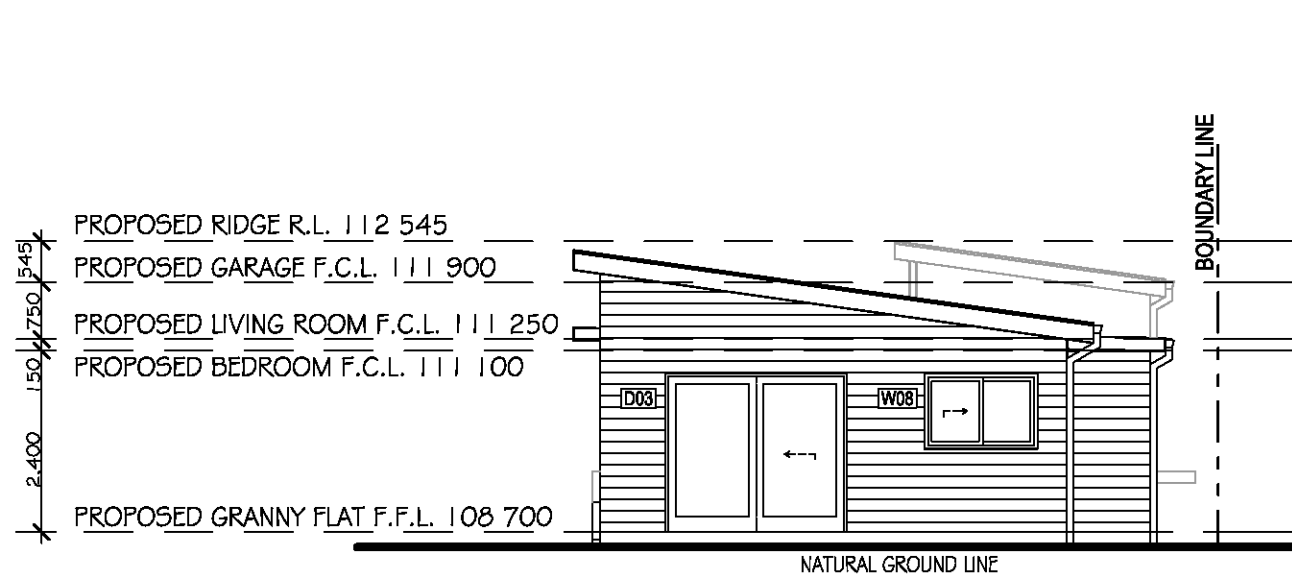
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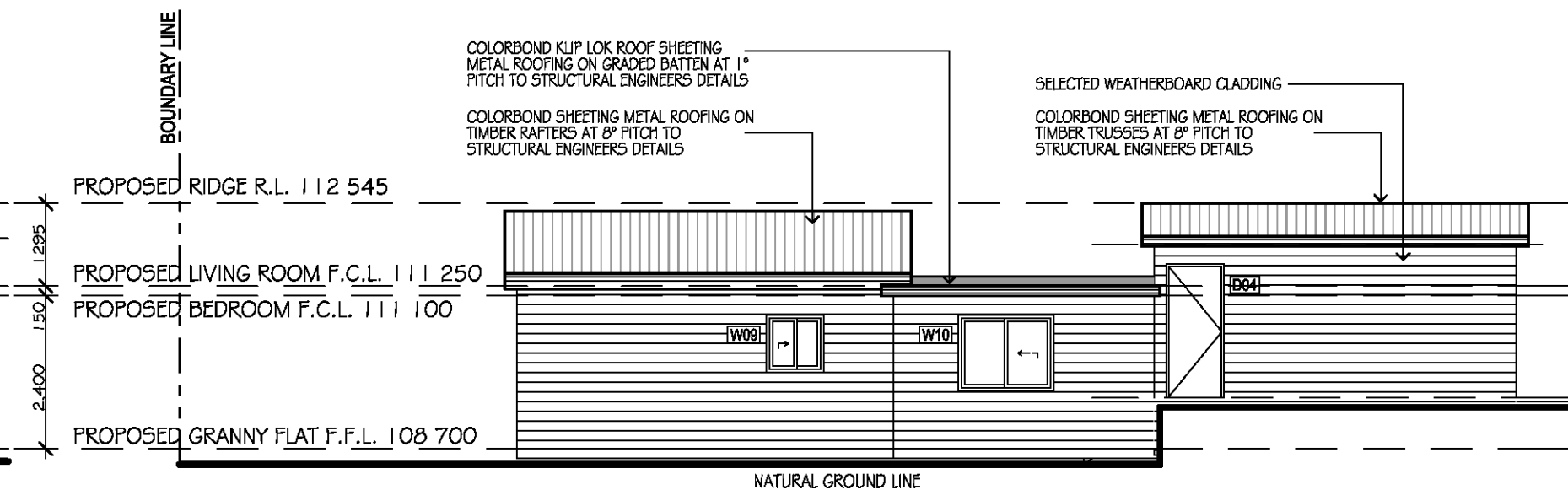
NORTH ELEVATION SCALE 1:100



WEST ELEVATION SCALE 1:100



SOUTH ELEVATION SCALE 1:100



EAST ELEVATION SCALE 1:100

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ARCHITECTURAL
DRAFTERS & DESIGNERS
HARTDESIGN PTY LTD. hartdesign@bigpond.com
ABN 35 053 567 285 PO BOX 978 BROADVALE NSW 2100
PHONE: (02) 9971 7576 MOBILE: 0414 675 455

PROJECT: PROPOSED GARAGE & SECONDARY DWELLING

ADDRESS: 37 BLANDFORD STREET, COLLAROY PLATEAU, NSW, 2097, LOT 1 D.P. 1146799

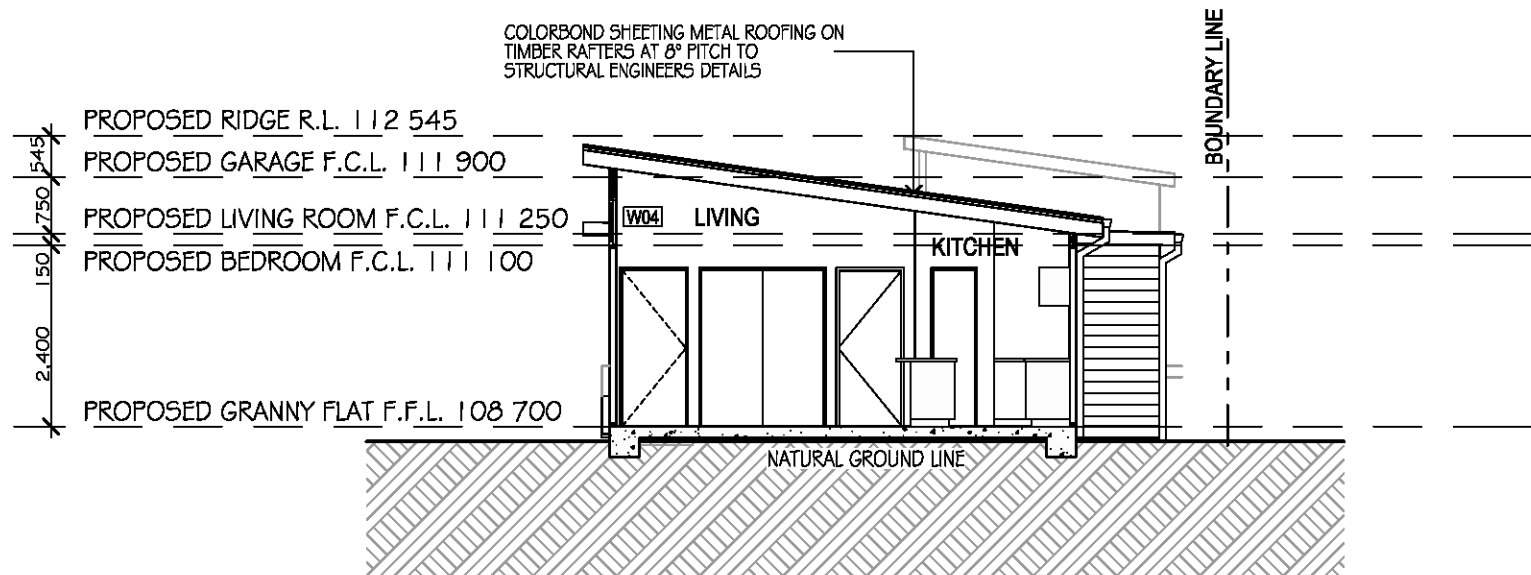
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ISSUE: A

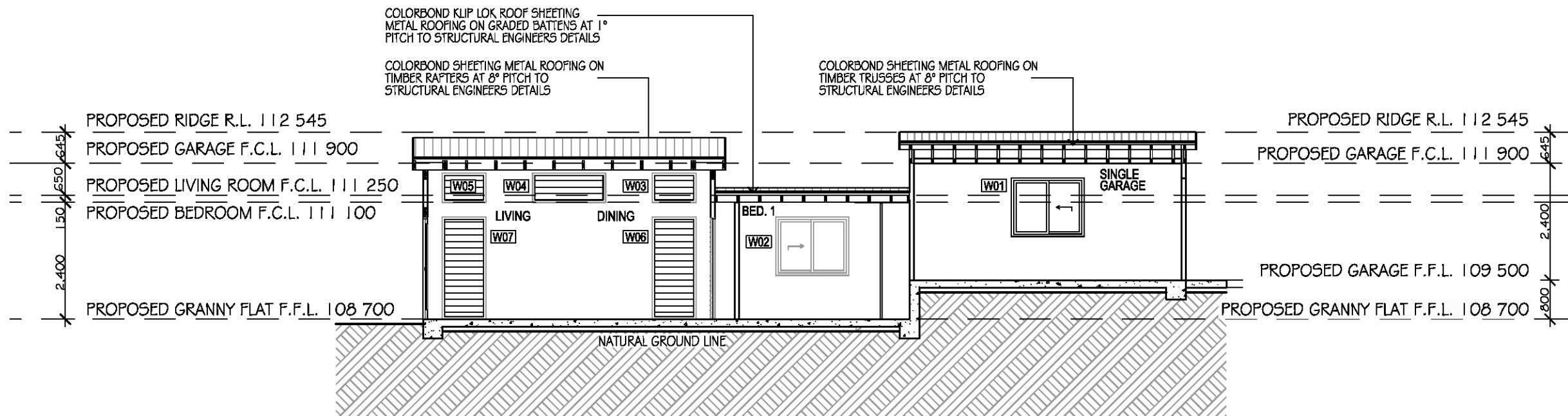
JOB #: 18.12

SHEET: 03 OF: 07

DRAWING: ELEVATIONS



SECTION A.A SCALE 1:100

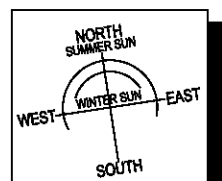


SECTION B.B SCALE 1:100

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CONJUNCTION WITH

DA2018/1570

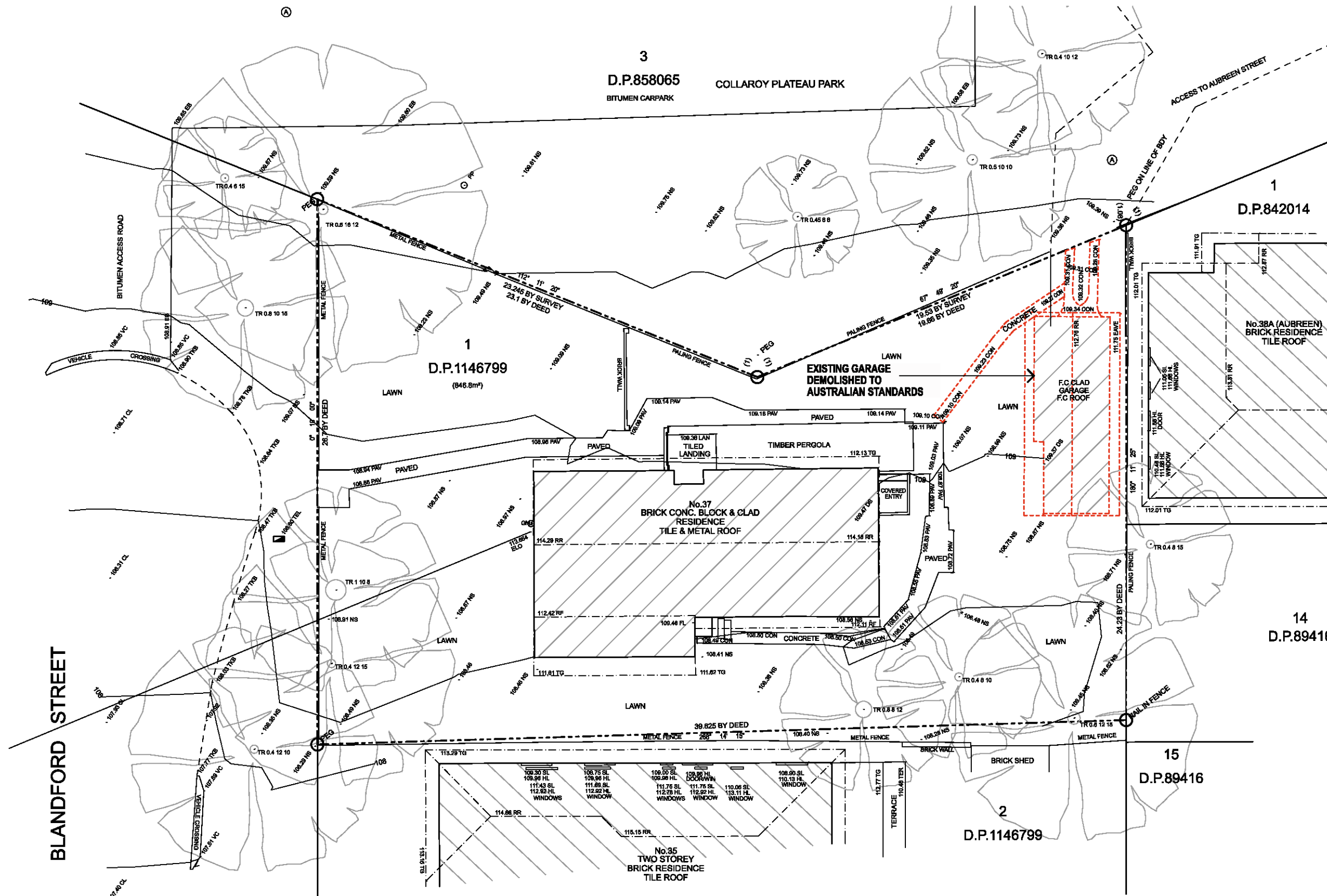
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DRAFTERS & DESIGNERS
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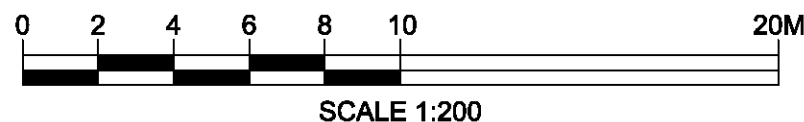
PROJECT: PROPOSED GARAGE & SECONDARY DWELLING
SCALE: AS NOTED DATE: 09/01/19 DRAWN: AM
ADDRESS: 37 BLANDFORD STREET, COLLAROY PLATEAU, NSW, 2097, LOT 1 D.P. 1146799
ISSUE: A
JOB #: 18.12
SHEET: 04 OF 07

DRAWING: SECTIONS

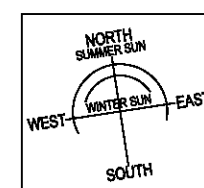


DEMOLITION PLAN

SCALE 1:200



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HART DESIGN
ARCHITECTURAL
DRAFTERS & DESIGNERS
HART DESIGN PTY LTD. hartdesign@bigpond.com
ABN 35 053 567 285 PG BOX 976 BROOKVALE NSW 2100
PHONE: (02) 9971 7576 MOBILE: 0414 675 455

PROJECT:
PROPOSED GARAGE & SECONDARY
DWELLING

SCALE: AS NOTED DATE: 09/01/19 DRAWN: AM

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DRAWING:
DEMOLITION PLAN

ISSUE:
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18.12
SHEET: 07 OF: 07