

Telephone (02) 9899 2506
Facsimile (02) 9659 1633
PO Box 6160
Baulkham Hills BC NSW 2153



R Moy & Associates Pty Ltd
T/as Essential Certifiers Castle Hill
ACN 100 924 605
ABN 23 100 924 605

Construction Certificate

**CONSTRUCTION
CERTIFICATE NUMBER** CC2003-01755

*Issued in accordance with the Environmental Planning & Assessment Regulation 2000 with
reference to the Environmental Planning & Assessment Act 1979
Sections 109C(1)(b), 81A(2) and 81A(4) and Application under CI 79D. (2)(a)*

COUNCIL: PITTWATER

APPLICANT

Name Domaine Homes (NSW) Pty Ltd
Address Norwest Quay, Unit 1 Ground Floor 21 Solent Street, BAULKHAM HILLS
2153
Contact no (telephone/fax) 8851 6700

OWNER

Name Young, Mr A & Mrs L
Address c/- Domaine

SUBJECT LAND

Address 63 Dickson Place, WARRIEWOOD 2102
Lot No 57
DP - 1035785

Essential Certifiers Castle Hill Certificate No. CC2003-01755

DESCRIPTION OF DEVELOPMENT

Type of Work



Building work



Subdivision work

Description

2 Storey dwelling

COUNCIL'S D/A CONSENT

Development Consent No

NO511/03

D.A Approval Date

16/09/03

BUILDING CODE OF AUSTRALIA**BUILDING CLASSIFICATION**

1a

BUILDER or OWNER/BUILDER

Name

Domaine Homes (NSW) Pty Ltd

Contractor Licence No. or

Owner Builder Permit No.

91387C

\$ VALUE OF WORK

Building/Subdivision

\$254,246.00

DATE C.C. APPLICATION RECEIVED

Date Received

30/06/03

DETERMINATION

Decision

Approved

Date of Decision

30/09/03

ATTACHMENTS

Landscape Diagram & Complying Component Certificate

Council Submission Cheque - \$30.00

Essential Certifiers Castle Hill Certificate No. CC2003-01755

PLANS AND SPECIFICATIONS

APPROVED/REFUSED

List plan no(s) and specifications

Reference: JN: 54783 Sheet Nos. 1/8 - dated 5.6.03
Sheet Nos. 2/8 - 6/8 inclusive - dated 16.6.03

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

ACCREDITATION BODY

PlanningNSW, 20 Lee Street, Sydney 2000.

CERTIFICATION

I certify that the work if completed in accordance with these plans and specifications (with such modifications verified by the Certifying Authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in s81A(5) of the Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority Essential Certifiers Castle Hill
Name of Accredited Certifier Rick Moy
Accreditation No 2081
Contact No (02) 9899 2506
Address PO Box 6160 Baulkham Hills BC 2153.

SIGNED

DATED

30/09/03



Essential Certifiers Castle Hill Certificate No. CC2003-01755

COUNCIL COPY



AUSTRALIAN NATIVE LANDSCAPES Pty Ltd
RL 28-07-03

I hereby advise that the landscape diagram prepared for for A&L Young Version 1.7
complies with clause B45a of the Conditions of Approval for this development.

Levi Rumler
Australian Native Landscapes

A & L Young

Lot 57, DP: 1035785
63 Dickson Place Warrimoo
NSW 2103



AUSTRALIAN NATIVE LANDSCAPES Pty Ltd

RL 28-07-03

PROPOSED LANDSCAPE KEY

Retaining Walls: C and M Wallstone (Sunstone) not to exceed 600mm, bedfill crushed concrete and native soil - to manufacturer's specification

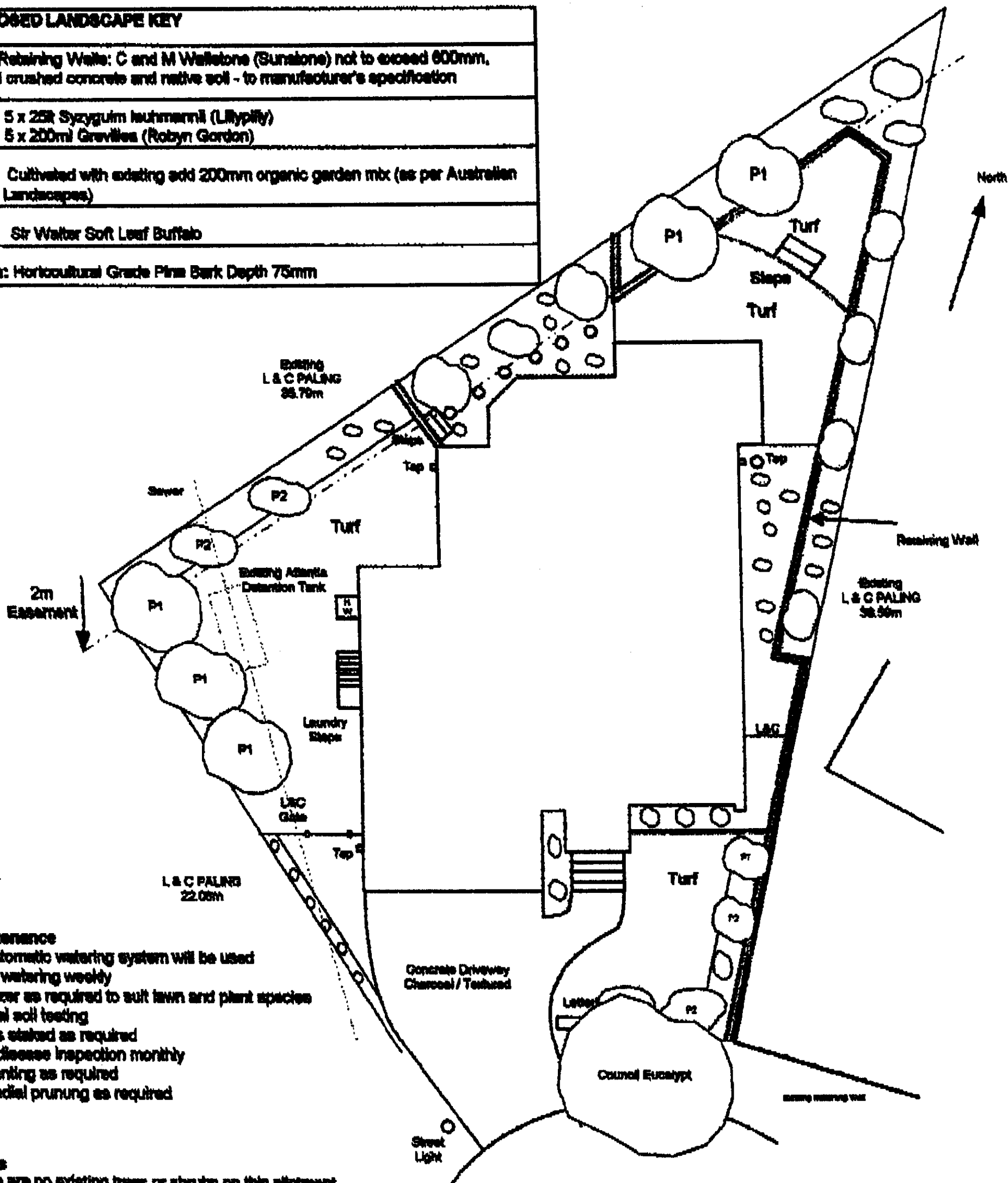
P1: 5 x 25L Syzygium leucomela (Lillypilly)

P2: 5 x 200ml Grevillea (Robyn Gordon)

Soil: Cultivated with existing add 200mm organic garden mix (as per Australian Native Landscapes)

Turf: St Walter Soft Leaf Buffalo

Mulch: Horticultural Grade Pine Bark Depth 75mm



Maintenance

No automatic watering system will be used
Hand watering weekly
Fertilizer as required to suit lawn and plant species
Annual soil testing
Plants staked as required
Pest/disease inspection monthly
Replanting as required
Remedial pruning as required

Notes

There are no existing trees or shrubs on this allotment
Front yard canopy trees are not feasible on this allotment due to narrow frontage and existing council planting.

Five canopy trees situated in rear yard as per council advice (Mayor's Table 24/03) CANCELLED
Retaining wall height to be < 600mm, structural drawings not required

Landscape Diagram... details C.C.No 03/1755

These plans have been certified

by Australian Native Landscapes

& refer to the Complying Component

Certificate No. RL 28-7-03

Levi Rumer
Australian Native Landscapes

A & L Young
Landscape Diagram
Lot 57, DP: 1035785
63 Dickson Place Warriewood
NSW 2103
Scale 1:200
Revision 1.7

Pittwater Council

ABN: 61340837871

COUNCIL COPY

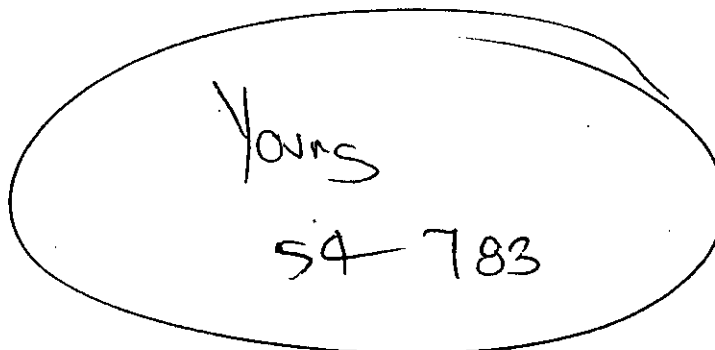
REPRINTED

TAX INVOICE

OFFICIAL RECEIPT

05/08/2003 Receipt No: 120002

To DOMAINE HOMES PTY LIMITED



Qty/ Applic	Reference	Amount
	TEV-DA Fees	\$1,167.94
GL Receipt	63 DICKSON PL	
1	TADV-2/Plan A	\$55.00
GL Receipt	1 X	
	GST	\$5.50
GL Receipt		
	GLSL-Builders	\$508.49
GL Receipt	NO 511/03 63 DICKSON	
	HMER-RR Assur	\$198.00
GL Receipt	63 DICKSON	
1	MODP-Motif De	\$20.00
GL Receipt	1 X	
	GST	\$2.00
GL Receipt		
1	RMIO-Roads Ml	\$50.00
GL Receipt	1 X	
	GST	\$5.00
GL Receipt		
To GL Receipt:		

Total Amount: \$2,011.93
Includes GST of: \$12.50

Amounts Tendered

Cheque	\$2,011.93
Total	\$2,011.93
Rounding	\$0.00
Change	\$0.00
Nett	\$2,011.93

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Cashier: GHill

DOMAINE

HOMES

CHEQUE REQUISITION

Client: Young (\$254,246)

PAYEE: Pittwater Council.

ADDRESS: _____

DATE: 2/7/03

AMOUNT: Two thousand and eleven dollars & 93c.

RETURN CHEQUE: Yes/No **Job No:** 54-783

REQUESTED BY: Ray Marshall

CHEQUE NUMBER: _____

CHEQUE DETAILS	Accounts Payable use Only		
Fees for a new dwelling:	GL	GST	Amount
D.A. (No GST) INCL. 1st FIKST (No GST) \$1169-94		-	2011-93
Advertising (No GST) \$60-50 ✓		-	
Image Scanning (INCL. 10% GST) \$55-00 ✓		\$5-00	
Long Service Levy (No GST) \$508-49		-	
Road Reserve (No GST) \$198-00 ✓		-	2011-93
D.A. Notification Sign (No GST) \$20-00 ✓		-	
Managers Authorisation: _____		Date: _____	

DOMAINE HOMES (NSW) PTY LTD ABN 19 080 788 969

NORWEST QUAY, UNIT 1, GROUND FLOOR, 21 SOLENT CIRCUIT, BAULKHAM HILLS NSW 2153

PO BOX 7145, BAULKHAM HILLS BUSINESS CENTRE NSW 2153
J:/Accounting/Forms/Cheque Requisition

TELEPHONE: (02) 8851 6700 FACSIMILE: (02) 8851 6710

COUNCIL COPY

Pittwater Council

OFFICIAL RECEIPT

25/09/2003 Receipt No 123410

To AC & LT YOUNG

49A VINEYARD ST
MONA VALE

Applic Reference Amount

GL Re ESTR-Eng \$132.00
63 DICKSON PL WARRIEWOOD

Total: \$132.00

Amounts Tendered

\$0.00	Cash
\$132.00	Cheque
\$0.00	Card
\$0.00	Money Order
\$0.00	Agency Rec
\$132.00	Total
\$0.00	Rounding
\$0.00	Change
\$132.00	Nett

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Cashier Nmanass



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39

Ross McWhirter

OFIAust - No. 1394662

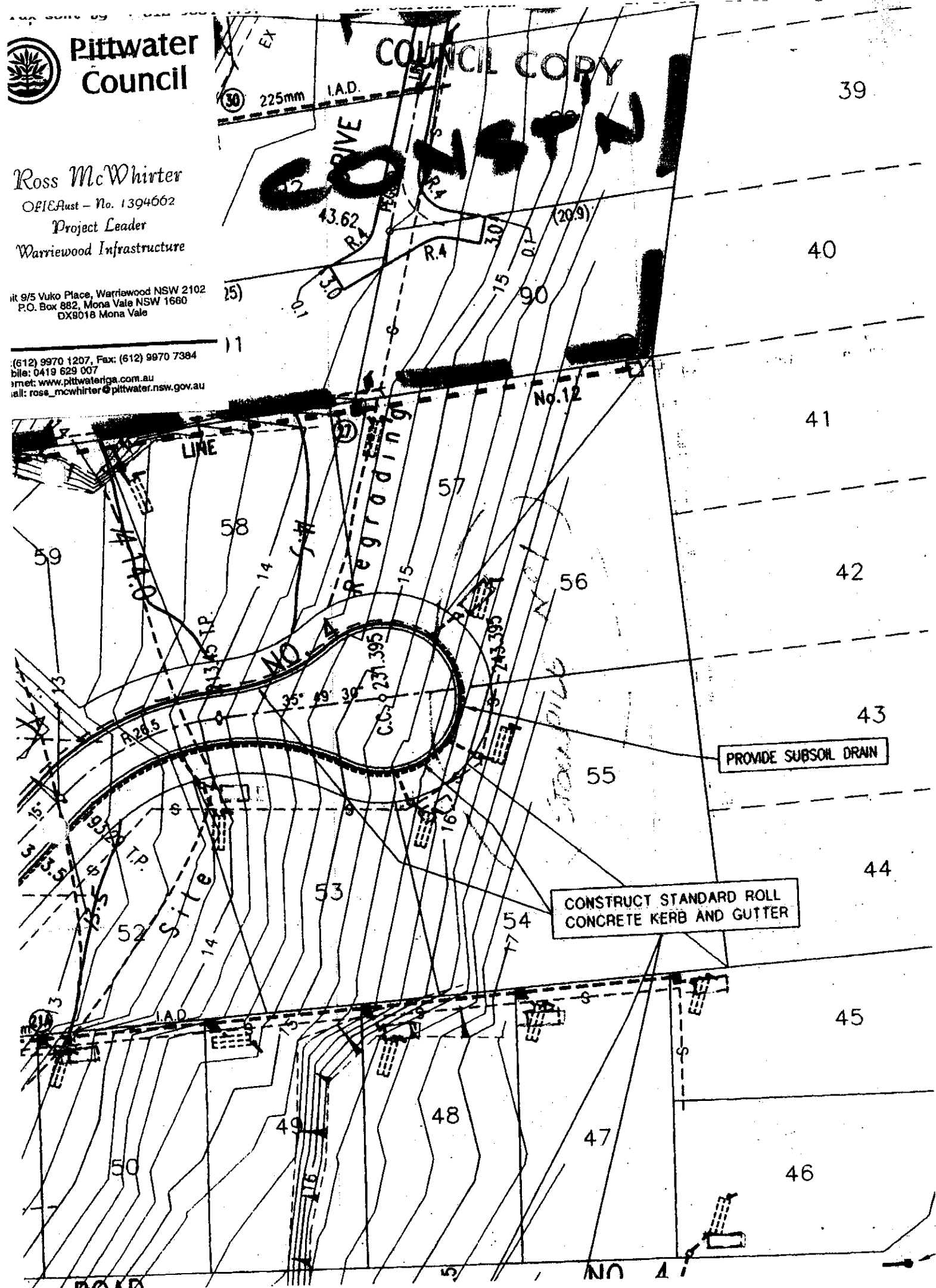
Project Leader

Warriewood Infrastructure

40

it 9/5 Vuko Place, Warriewood NSW 2102
P.O. Box 882, Mona Vale NSW 1660
DX9018 Mona Vale

(612) 9970 1207, Fax: (612) 9970 7384
 bile: 0419 629 007
 ernet: www.pittwater.nsw.gov.au
 all: ross_mcmwhirter@pittwater.nsw.gov.au



COUNCIL COPY

HMB Assessor Certificate V3.0



Single Dwellings Only

Current from April 30th 2002, Previous versions not valid

Assessor Details					
Assessor Name: Amy Geisker			Assessor No: 321		
Phone: 02 47 537759 Mobile 0418 209598			Fax: 02 47 393847		
Date of Assessment: 2/7/03					
Client Details					
Client Name: DOMAINE HOMES			Phone: 02 8851 6700		
Postal Address: UNIT 1, 21 SOLENT CIRCUIT BAULKHAM HILLS 2153					
Dwelling Owner Name (if different): MR & MRS YOUNG					
Address of Dwelling/s: LOT 57 No. 63 DICKSON PLACE, WARRIEWOOD					
Council Submitted to: PITTWATER			Software Climate Zone: 17		
Client Document Reference: 54783					
HOT WATER ASSESSMENT (if Applicable)					
Do any restrictions on the performance of the hot water system exist? Circle all that apply					
Orientation	Pitch	Shading	Heritage	Sizing	Tank Location
Hot Water System Type: GAS - STORAGE			SEDA Greenhouse Rating: 4 STARS		
HOUSE ENERGY RATING ASSESSMENT					
mj/sqm/year: 131.7 MJ			Star Rating: 4 STARS		
Software Package: NatHERS			Version No: V2.32		
Assessment No (HMB): HMB321/PIT/1214			Assessor's Reference (if different): 1214		
Alternative Pathways to Compliance (if Applicable)					
Concession Type:			Amount Deducted:		
Documentation Attached (tick if applicable) ☐			Doc. Reference:		
Area Adjustment		Floor Area:		Amount Deducted:	
Expert Panel Report Number:				Report Attached (tick): ☐	
Adjusted mj/sqm/year:		Assessor Stamp to be placed below ACCREDITED NSW HER ASSESSOR Assessment No <u>1214</u> Name <u>Amy Geisker</u> Signature <u>[Signature]</u> Rating <u>4 stars</u> Date <u>2/7/03</u>			
3.5 star threshold for climate zone					
Final Assessment					
COMPLYING					
4 STARS					

Note to Councils: For more information on Concessions and Small Dwelling Area Adjustment Factors See:

Certificate of Insurance

Domaine Homes (NSW) Pty Ltd
PO Box 7105
BAULKHAM HILLS NEW SOUTH WALES 2153

Royal & Sun Alliance
Insurance Australia Ltd
ABN 48 005 297 807

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Local Authority Copy
Issue Date: 25/07/2003
Certificate No.: RCW71008058

Contract Of Insurance Complies With: Section 92

Of The: Home Building Act 1989

Type Of Insurance: As per the Home Building Act 1989, insurance is
'issued in the name of the Building Owner as
insured'

Issued By: Royal & Sun Alliance Insurance Australia Ltd
ABN 48 005 297 807

Building Contract Details

Contract Date: June 20, 2003

Declared Building Contract Value: \$254,246

(Refer policy for indemnity limit)

Carried Out By: Domaine Homes (NSW) Pty Ltd

ABN: 19080788969

License No.: 91387c

For: Alex & Leanne Young

In Respect Of: Single Dwelling

At:

House No: 63 Dickson Place

WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997, and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this Certificate of Insurance, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This policy is to be read in conjunction with the policy wordings, if you have not received a copy of the policy wording please contact the Insurer Royal & SunAlliance.

N

Signed for and on behalf of the insurer:



Insurer: Royal & SunAlliance Insurance Australia Limited ABN 48 005 297 807

ROYAL &  SUNALLIANCE
CONSTRUCTION & ENGINEERING

COUNCIL COPY

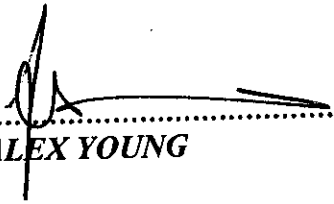
The General Manager
Pittwater City Council
P O Box 882
MONA VALE NSW 1660

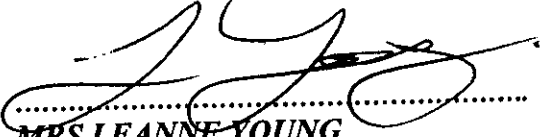
Dear Sir or Madam:

RE: LOT 57 NO. 63 DICKSON PLACE, WARRIEWOOD

We hereby authorise our builder, Domaine Homes to lodge on our behalf, plans for development approval, construction certificate, any associated applications and appointment of the principal certifying authority for the above property.

Yours faithfully


.....
MR ALEX YOUNG


.....
MRS LEANNE YOUNG

COUNCIL CCCH



Essential Certifiers Castle Hill

Construction/Complying Development Certificate Application Form

Issued under the Environmental Planning & Assessment Act 1979

R Moy & Associates Pty Ltd
Trading as Essential Certifiers Castle Hill
ACN 100 924 605
ABN 23 100 924 605

Postal Address: PO Box 6160 Baulkham Hills BC NSW 2153

Telephone (02) 9899 2506
Facsimile (02) 9659 1633

Email HayleySweis@ecch.com.au
Website www.ecch.com.au

Privacy Policy – The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Essential Certifiers Castle Hill if the information you have provided in your application is incorrect or requires modification..

CHECKLIST – DOCUMENTS TO ACCOMPANY THIS APPLICATION

For Construction Certificate Applications:

- ☐ Complete all sections of this application form
- ☒ 1 copy of Council DA approved plans
- ☒ 1 copy of Council development consent
- ☒ 3 copies of architectural plans with amendments satisfying conditions
- ☒ 3 copies of building specifications
- ☒ Completion of Owners Consent Form to be signed by ALL owners
- ☒ Completion of Notice to Commence Building Work & Appointment of PCA form
- ☒ Copy of Home Owners Warranty insurance if using a licensed builder & work is valued over \$12,000 (N/A for commercial or industrial development)
- N/A. ☒ Copy of Owner-Builder permit if not using a licensed builder & work is valued over \$5,000 (N/A for commercial or industrial development)
- ☒ Proof of payment of Long Service Levy if work is valued \$25,000 or over
- N/A. ☒ Cheque made payable to Council for Private Certifier Certificate Archiving/Handling Fee – schedule of Council fees can be provided on request.

For Complying Development Applications:

N/A.

- ☐ Complete all sections of this application form
- ☐ 3 copies of architectural plans
- ☐ 3 copies of building specifications
- ☐ Completion of Owners Consent Form to be signed by ALL owners
- ☐ Completion of Notice to Commence Building Work & Appointment of PCA form
- ☐ Copy of Home Owners Warranty insurance if using a licensed builder & work is valued over \$12,000 (N/A for commercial or industrial development)
- ☐ Copy of Owner-Builder permit if not using a licensed builder & work is valued over \$5,000 (N/A for commercial or industrial development)
- ☐ Long Service Levy will apply if work is valued \$25,000 or over
- ☐ Copy of relevant Water Authority Approval (if applicable)
- ☐ Cheque made payable to Council for Private Certifier Certificate Archiving/Handling Fee – schedule of Council fees can be provided on request.

TYPE OF APPLICATION

It has been determined that this is a:

- ☐ Complying Development Certificate application
Issued under the Environmental Planning & Assessment Act 1979 sections 85 and 85A
- ☒ Construction Certificate Application
Issued under the Environmental Planning & Assessment Act 1979 sections 109C(1)(b), 81A(2) & 81A(4)

Class of building under the Building Code of Australia	1A
Development application no.	511/03
Date which development consent was granted	16/8/03

DETAILS OF THE APPLICANT

Mr/Mrs/Ms/Dr

First Name:	Surname/Company Name:		
Unit/Street no.	Street Name:		
Suburb:	State:	Postcode:	
Phone:	Fax:	Mobile:	

Domaine Homes (NSW) Pty Ltd
 Northwest Quay, Unit 1,
 Ground Floor 21 Solent Circuit
 Bankham Hills NSW 2153
 Phone: 8851-6700 -- Fax: 8851-6710
 AEN 10 030 788 989

BILLING DETAILS (if different from Applicant)

Billing Name:	As above.
Billing Address:	As above.

Note: Applicant will be liable for payment of our fees if funds cannot be recovered from the Billing person above.

DETAILS OF THE OWNER(S)

Mr/Mrs/Ms/Dr

First Name: Alex & Leanne	Surname/Company Name: Young		
Unit/Street no.	Street Name:		
Suburb:	State:	Postcode:	
Phone:	Fax:	Mobile:	

IDENTIFY THE LAND YOU PROPOSE TO DEVELOP

Unit/Street no: 63	Street Name: Dickson Place		
Suburb: Warriewood	State: NSW	Postcode: 2102	
Lot no. 57	DP/MPS no. 103 5785		
Council Area: Pittwater.			

DETAILS OF THE DEVELOPMENT

Description of the work to be carried out	Erection of 1 No. residential dwelling.
Estimated cost of development including GST	\$ 254,246

DETAILS OF THE BUILDER

If you are using a licensed builder please complete this table

Builder Name	
Builder License Number	91387C
Builder Telephone Number	
Builder Address	

Domaine Homes (NSW) Pty Ltd
 Northwest Quay, Unit 1,
 Ground Floor 21 Solent Circuit
 Bankham Hills NSW 2153
 Phone: 8851-6700 -- Fax: 8851-6710
 AEN 10 030 788 989

If you are not using a licensed builder please complete next 3 questions where applicable

- Are you an Owner-builder? (Please circle) Y N
- If Yes to 1. please provide Owner-Builder Permit Number _____
- If No to 1. Please sign the following declaration:

I/we declare that the reasonable market cost of the labour and materials to be used is less than \$5,000.

Signed by all Owners _____

N/A.

PLANS & SPECIFICATIONS

List plan numbers & specification reference details included in this application:	54783 1-8/8
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AUSTRALIAN BUREAU OF STATISTICS SCHEDULE – compulsory

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

• Number of storeys (incl underground floors)	2
• Gross floor area of new building (m ²)	275.07 m ²
• Gross site area (m ²)	551.6 m ²

Residential buildings only

• No. of dwellings to be constructed	1 No.
• No. of pre-existing dwellings on site	0
• No. of dwellings to be demolished	0
• Will the new dwelling(s) be attached to other new buildings?	No.
• Will the new building(s) be attached to existing buildings?	No.
• Does the site contain a dual occupancy?	No.

Materials – Residential Buildings

WALLS	ROOF	FRAME	FLOOR
Brick Veneer ✓	Aluminium	Timber ✓	Concrete ✓
Full Brick	Concrete	Steel	Timber
Single Brick	Concrete Tiles ✓	Aluminium	Other (describe)
Concrete Block	Fibrous Cement	Other (describe)	
Concrete Masonry	Fibreglass		
Concrete	Masonry Shingle		
Steel	Terracotta Shingle		
Fibrous Cement	Tiles – other		
Hardiplank	Slate		
Timber/Weatherboard	Steel		
Cladding/Aluminium	Terracotta Tiles		
Curtain Class	Other (describe)		
Other (describe below)			

CC/DC No. 03/1755

DA No. 511/03

SIGNATURES

The applicant must sign the application.

Applicant Signature

Ray Marshall

Date

26/6/03

Domaine Homes (NSW) Pty Ltd
Northwest Quay, Unit 1,
Ground Floor 21 Solent Circuit
Baulkham Hills NSW 2153
Phone: 8851-6700 – Fax: 8851-6710
A/N. 19 080 733 969

The owner(s) of the land must sign this application or an owners' consent form if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since signing the development application:

As the owner(s) of the above property, I/we consent to this application:

Owner Signature

Please see attached.

Date

Owner Signature

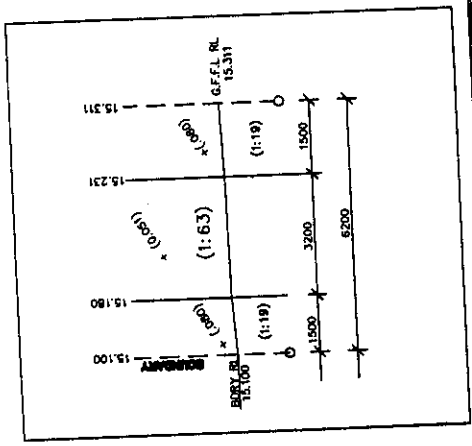
Please see attached.

Date

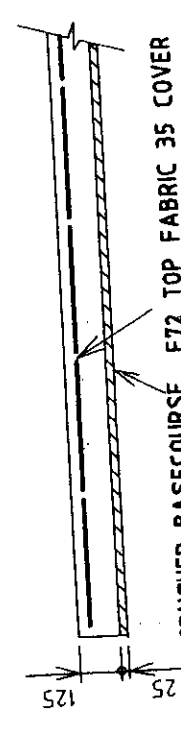
COUNCIL COPY

LOT 57²
551.6

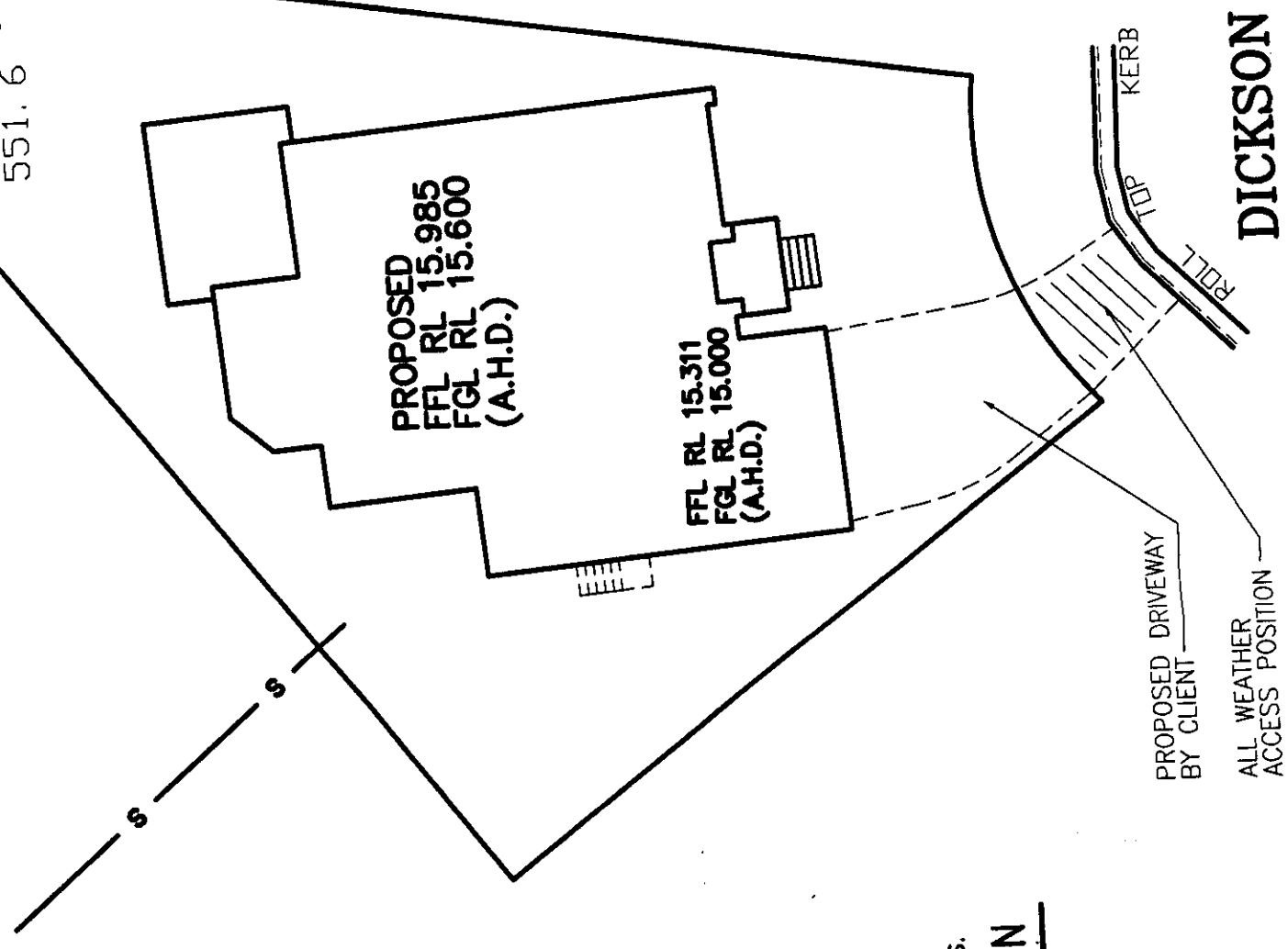
95 107



LONG SECTION DRIVEWAY GRADIENT
FOR LOT 57 No.63 DICKSON PLACE, WARREWOOD
TO COMPLY WITH AS 2890.1-1983.



CRUSHED BASECOURSE F72 TOP FABRIC 35 COVER
NOTE: CONCRETE TO BE 20 MPa, EXPANSION JOINTS AT 6m CENTERS.



**DICKSON
PLACE**

DRIVEWAY SECTION AND DETAIL SITE PLAN

DOMAINE

[illegible]

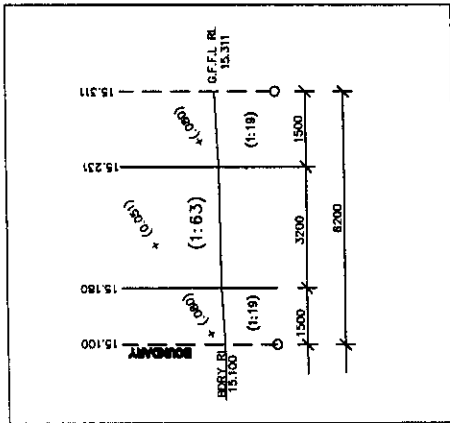
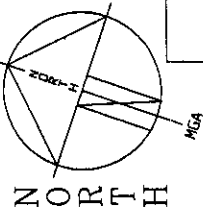
ISSUE	CLIENT
	MIR & MRS YOUNG
	SITE
	LOT 57 No.63 DICKSON PLACE
	WARRIEWOOD

AREAS	PITTWATER	HOUSE TYPE	MORNINGTON	LH	SHEET NO.	1b/8
		FAÇADE	KINGSTON			
OP: 1035785						
DRAWN: A.M.	DATE : 05.06.03					
SCALE 1: 200	JOB NO. 54783					

Owners Initials.....Contractors Initials.....
 POT 15/9/2003 - 15:48 - Drawing: K: Quantifying Contracts 04 - CONTRACTS\575704.dwg
 11AND

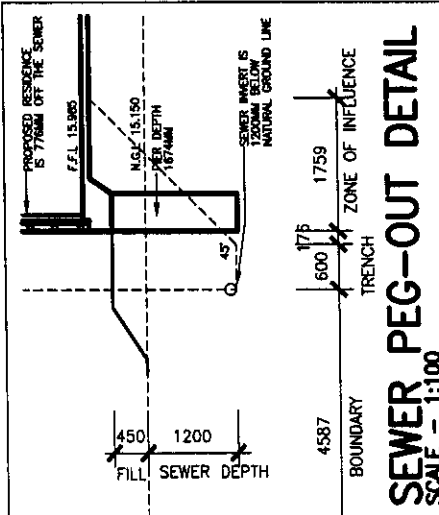
LOCALITY SKETCH

UBD AREA: SYDREVISION: 39
MAP: 138 REF: D6



LONG SECTION DRIVEWAY GRADIENT
FOR LOT 57 NO.63 DICKSON PLACE, WARREWOOD
TO COMPLY WITH AS 2890.1-1983.

B.A.S.



SEWER PEG-OUT DETAIL
SCALE - 1:100

APPROXIMATE POSITION OF
SEWER MAIN. REFER TO
SEWER DIAGRAM FOR DETAILS

- (B) EXISTING EASEMENT FOR DRAINAGE OF WATER 1 WIDE VIDE DP 1013199
- (C) EXISTING EASEMENT FOR DRAINAGE OF WATER 2 WIDE VIDE DP 1013199
- (M) EASEMENT FOR DRAINAGE OF WATER 2 WIDE
- (P) EASEMENT FOR DRAINAGE OF WATER VARIABLE WIDTH

GENERAL NOTES
A) THIS SURVEY IS SPECIFICALLY FOR CONDUIT PURPOSES ONLY.
B) THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED.
C) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPEARING AT THE TIME OF THE SURVEY.
D) APPLICANTS MUST OBTAIN NECESSARY PERMISSIONS FROM THE APPROPRIATE AUTHORITY PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
E) CONDUITS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

SITE PLAN

DOMAINE
HOMES PTY LTD

Unit 1, Ground floor, 21 Solent Cir,
Baulkham Hills, NSW 2153
Telephone: (02) 8851 6700
Facsimile: (02) 8851 6710
COPYRIGHT IN THIS DOCUMENT IS OWNED BY
THE DOMAINE HOMES PTY LTD. UNDER THE
PROVISIONS OF THE COPYRIGHT ACT 1968 AND
IS INTENDED FOR USE ONLY AS AUTHORISED
BY THE DOMAINE HOMES PTY LTD.

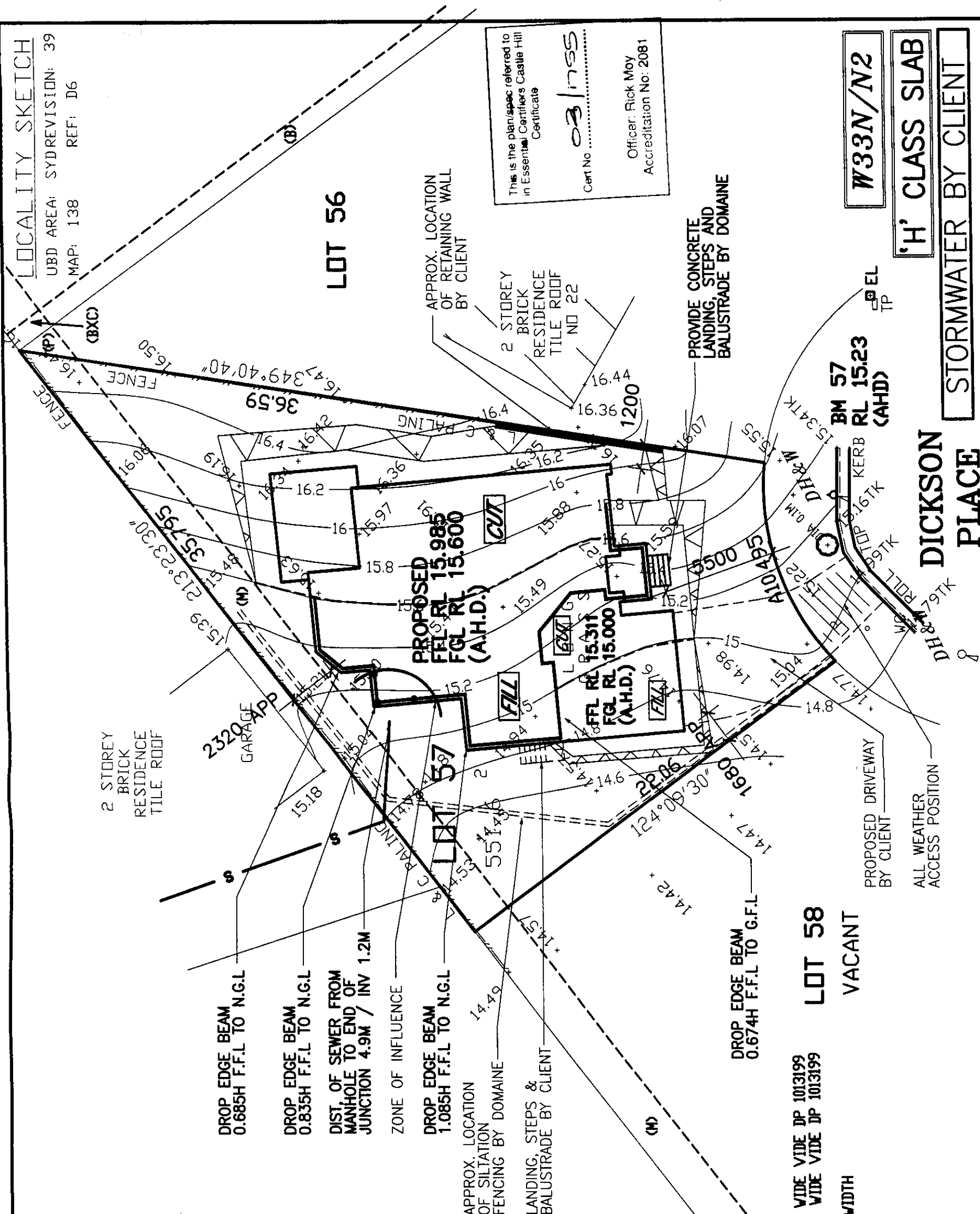
DATE	REVISION	ISSUE	CLIENT	AREAS	HOUSE TYPE	HAND
			MR & MRS YOUNG	PITTWATER	MORNINGTON	LH
			SITE		FACADE	
			LOT 57 No.63 DICKSON PLACE WARREWOOD		KINGSTON	
				DP: 1035785		SHEET NO.
				DRAWN: A.M.		1/8
				DATE: 05.06.03		
				SCALE: 1:200		JOB NO. 54783

Owners Initials..... Contractors Initials.....

Plot 15/6/2003 - 15:46 - Drawing: K:\Drawing\Contract\54 CONTRACTS\4783.dwg

This is the plan/spec referred to
in Essential Certifiers Castle Hill
Certificate
Cert No. 03/1755
Officer: Rick Moy
Accreditation No: 2081

W33N/N2
'H' CLASS SLAB
STORMWATER BY CLIENT

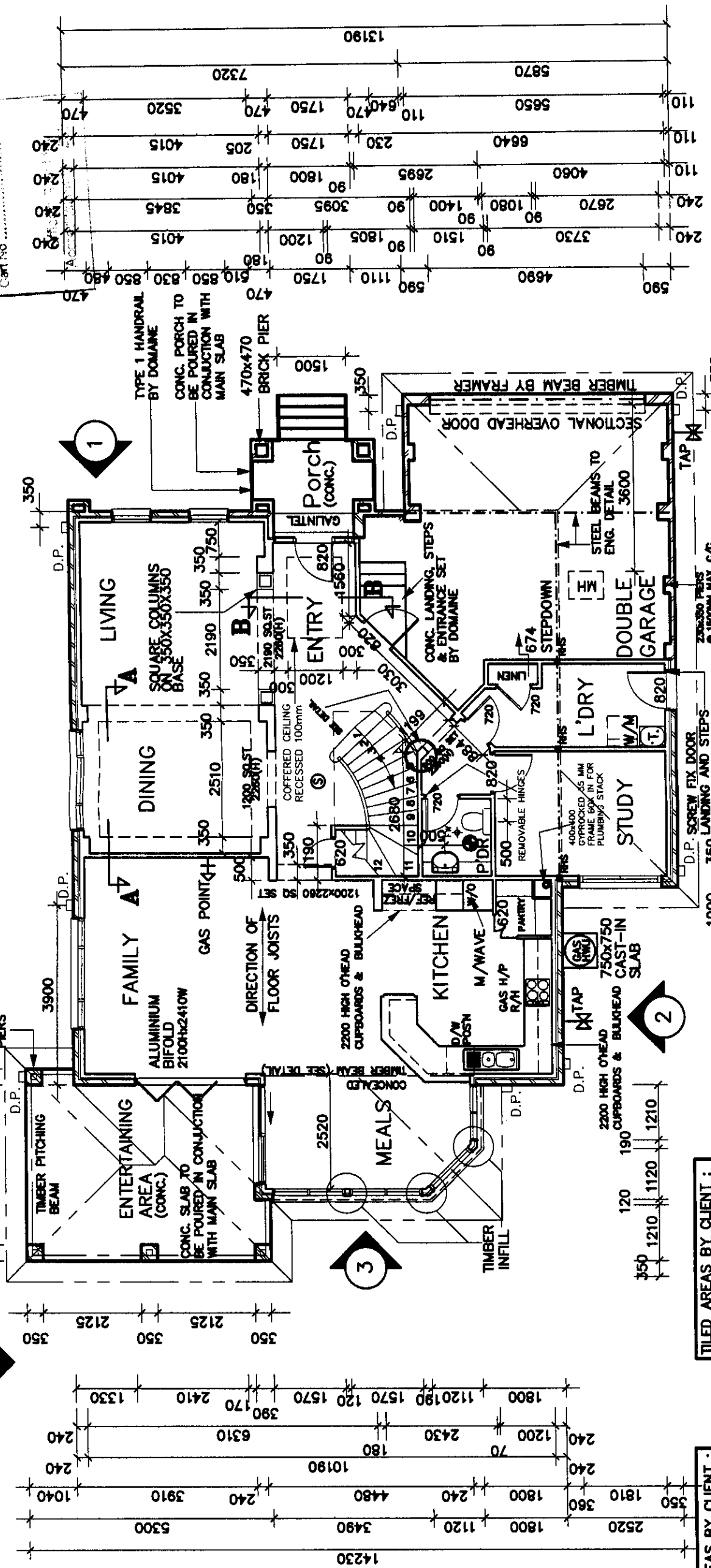


COUNCIL COPY

'H' CLASS SLAB

This is a copy of the original drawing
as submitted to the Council
for approval.

Cart No. 001785



NOTE:
- PROVIDE 140mm FEATURE SKIRTINGS
AND 67mm FEATURE ARCHITRAVES
THROUGHOUT.
- PROVIDE PAINTED CUSTOMWOOD
BULKHEADS TO KITCHEN OVERHEAD
CUPBOARDS.
- PROVIDE AND INSTALL ALUMINIUM
FLYSCREENS TO ALL OPENING SASHES
(25 NO. TOTAL)

TILED AREAS BY CLIENT:
- ENTRY - STUDY
- HALLWAY
- KITCHEN
- FAMILY
- MEALS
- RUMPUS

CARPETED AREAS BY CLIENT:
- LIVING
- DINING
- GAS STORAGE HWU
WEATHER STRIP ACROSS ENTRY
AND LAUNDRY DOOR BY OWNER

GROUND
FLOOR
PLAN

Unit 1, Ground floor, 21 Solent Cir,
Baulkham Hills, NSW 2153
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DOMAINE
HOMES PTY LTD

DRAWN	DATE	REVISION	ISSUE	CLIENT	AREAS
S.B.	26.08.03	VO-001.002	A	MR & MRS YOUNG	GROUND FLOOR : 142.39 sq.m
F.R.	19.03.03	RELOCATE LANDING, STAIRS, MEAS. GARAGE	B	SITE	FIRST FLOOR : 132.68 sq.m
				LOT 57 NO. 63 DICKSON PLACE	GARAGE : 37.46 sq.m
				WARREWOOD	PATIO : 28.19 sq.m
					TOTAL : 340.72 sq.m

DRAWN: SRP(SC) DATE 16/6/03
SCALE 1:100 JOB NO. 54783

HOUSE TYPE	HOUSE NO.	HAND
MORNINGTON GAR. IN STUDY	KINGSTON	LH
FACADE	SHEET NO.	2/8

Technical drawing of a rectangular plate. The drawing shows three views: a top view (500 by 250), a side view (250 by 35), and a front view (500 by 35). The dimensions are indicated by arrows and numbers.

'D' – AIR CONDITIONING DUCTS

22'0" 22'0" 22'0" 22'0" 22'0"

73'10" 27'20" 33'15" 7'0" 5'50" 7'0" 3'435" 22'0"

15'20" 7'0" 11'30" 7'0" 15'95" 7'0" 9'00" 28'50" 25'0" 35'0" 12'10" 35'0" 16'70" 21'70" 9'00" 13'80" 21'70" 4'70" 22'0"

TO BOTTOM REVEAL TO WINDOW.
WINDOW 515mm ABOVE FLOOR.
TUD OPENING 500mm ABOVE FLOOR.

—PROVIDE 140mm FEATURE SKIRTINGS
AND 67mm FEATURE ARCHITRAVES
THROUGHOUT.
—PROVIDE AND INSTALL ALUMINIUM
FLYSCREENS TO ALL OPENING SASHES
(25 NO. TOTAL)

Updated: 11/6/2003 - 14:17 -- Drawing: K:\Drafting\MASTERS\MORNINGTON\JON_UH_GAR_IN_STUDY.DWG

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DRAWN	DATE	REVISION

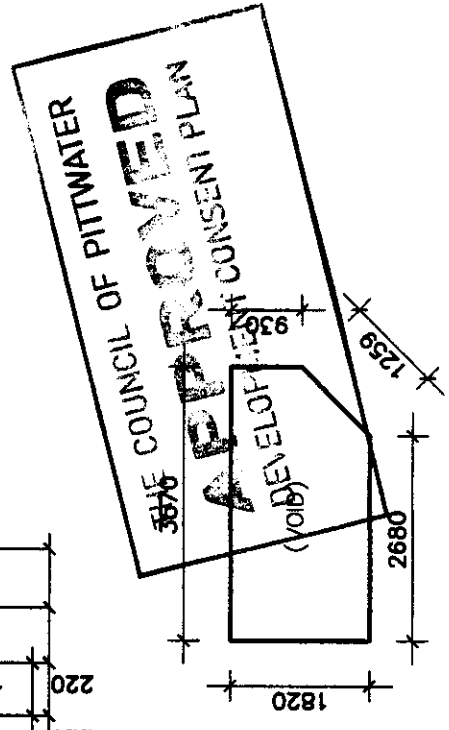
ISSUE				

CLIENT
MR & MRS YOUNG

SITE
LOT 57 NO. 63 DIC
WARRIEWOOD

Owners Initials.....Contractors Initials.....		HOUSE TYPE	HAND
		MORNINGTON GAR. IN STUDY	LH
		FACADE KINGSTON	SHEET NO.
		DRAWN: SRP(SC)	DATE 16/6/03
		SCALE 1:100	JOB NO. 54783
		3/8	

Owners Initials.....Contractors Initials....



This is the plan/spec referred to
in Essential Carriers Castle Hill
Certificate

Cert No. 03/1755

Officer: Rick Moy
Accreditation No: 2081

Officer: Rick Moy
Accreditation No: 2081

APPROVED
THE COUNCIL OF PITTSBURGH
JAN 20 1958

2 STOREY /GROUND FLOOR (2590 MM CEILING HEIGHT):

- SET WINDOW 54 MM (FROM SLAB TO UNDERSIDE OF FULL HEIGHT WINDOW REVEAL)
- SET OTHER WINDOWS 438 MM (FROM TOP OF TOP PLATE TO TOP OF TIMBER REVEAL)

- SET WINDOW 324 MM (FROM TOP OF TOP PLATE TO TOP OF TIMBER REVEAL)

- EXCEPTIONS:**
- WINDOW UNDER 450 EAVES: SET WINDOW HEAD TO EAVE SOFFIT LEVEL.
 - WINDOW OVER BATH HOB: SET WINDOW (NO REVEAL) 515 MM ABOVE FLOOR
 - WINDOW WITH BRICK CORBEL AROUND: SET WINDOW 410 MM (FROM TOP PLATE TO TOP OF TIMBER REVEAL)
 - OTHER NON-STANDARD HEAD HEIGHTS: AS NOTED ON ELEVATION PLAN

ELEVATIONS

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DRAWN	DATE	REVISION	ISSUE	CLIENT
				MR &
				SITE
				LOT 5
				WARRIOR

MRS YOUNG	7 NO. 63 DICKSON PLACE NEWWOOD	DRAWN: SRP/SC	DATE 16/6/03
		SCALE 1:100	JOB NO: 54783

HOUSE TYPE MORNINGTON GAR. IN STUDY	HAND LH
FACADE KINGSTON	SHEET NO. 4/8

Owners Initials.....Contractors Initials.....

11/18/2003 - 18:17 - Download K:\DentBld\MASTERS\MORNINGTON_KIM_LH_GAR_IN_STUDY.DWG

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ELEVATION 1 (NORTHERN ELEVATION)

ALUMINUM WINDOWS THROUGHOUT

-	LIGHT	EXTERNAL	WALL	COLOUR
-	DARK	EXTERNAL	ROOF	COLOUR

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5521/88

Officer: Rick May
Accreditation Number:

WORK

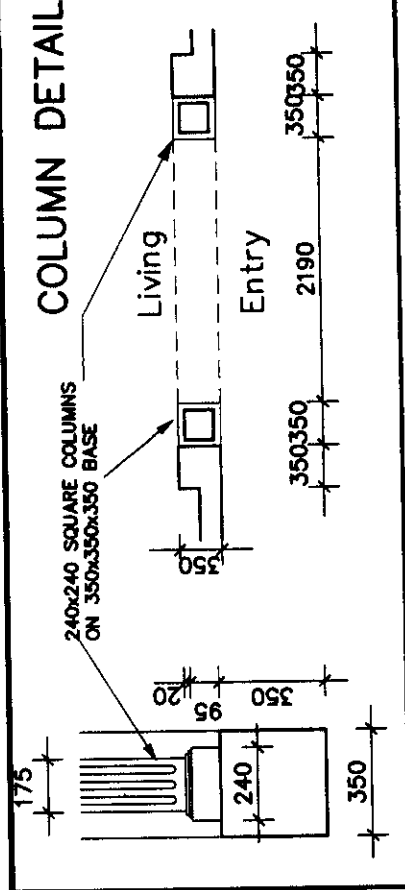
Accreditation No. 202

THE COUNCIL OF FURNITURE

APPROVED

DEVELOPMENT CONSULTING FIRM

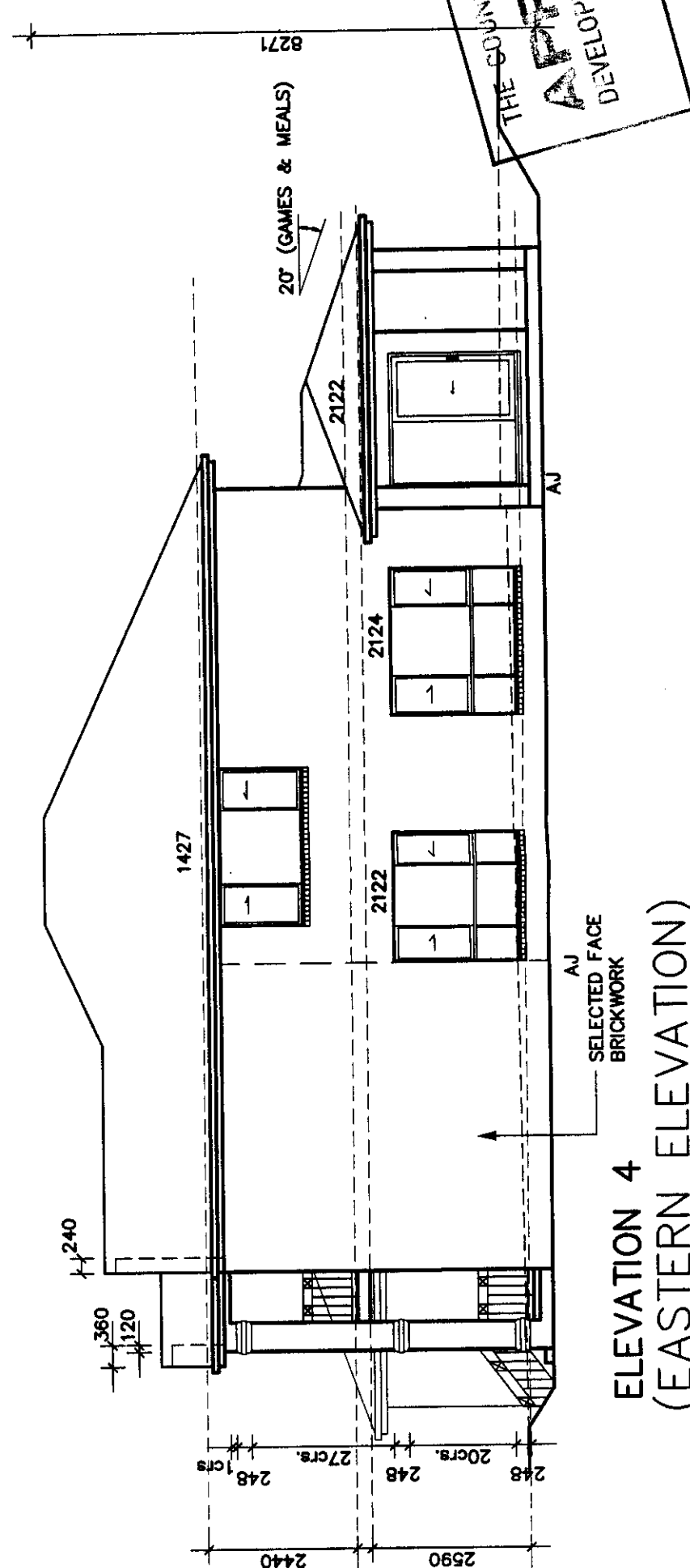
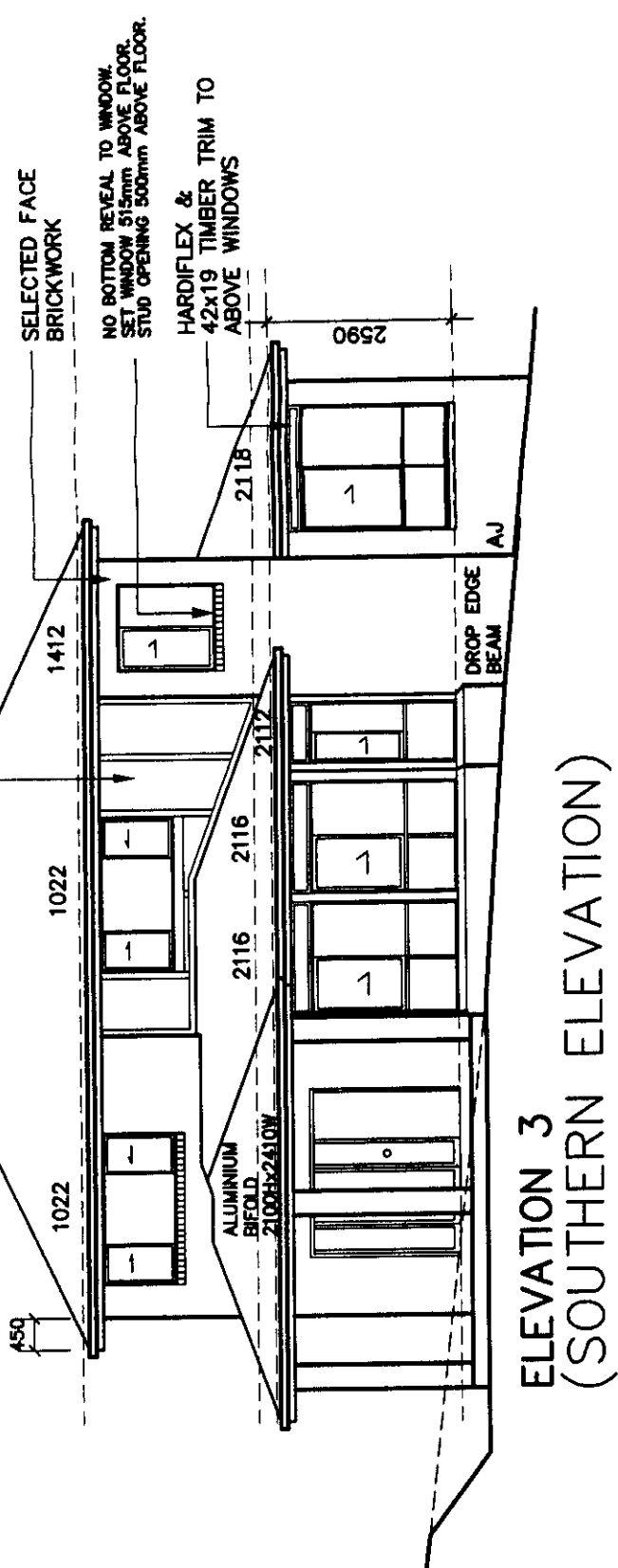
COLUMN DETAIL



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Certificate

Cert No. 03/17935

Officer: Rick May
Accreditation No. 2081



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APPROVED
DEVELOPMENT CONSENT PLAN

ELEVATIONS

Owners Initials.....	Contractors Initials.....
----------------------	---------------------------

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Updated: 11/9/2003 - Drawing: K:\Drawing\MASTERS\MORNINGTON\LH_GAR_IN_STUDY.DWG

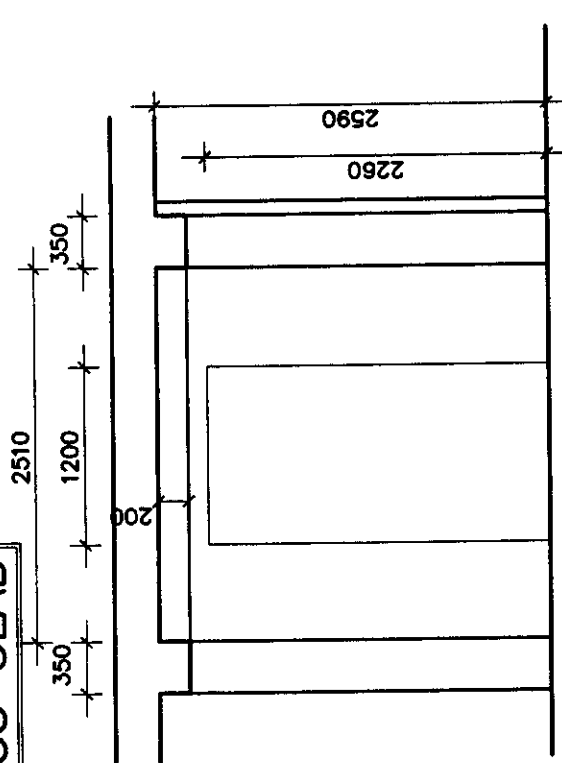
DRAWN	DATE	REVISION	ISSUE	CLIENT	HOUSE TYPE	HAND
				MR & MRS YOUNG	MORNINGTON GAR. IN STUDY	LH
				SITE	FACADE	SHEET NO.
				LOT 57 NO. 63 DICKSON PLACE WARRIEWOOD	KINGSTON	5/8

DRAWN: SRP(SC) DATE 16/6/03

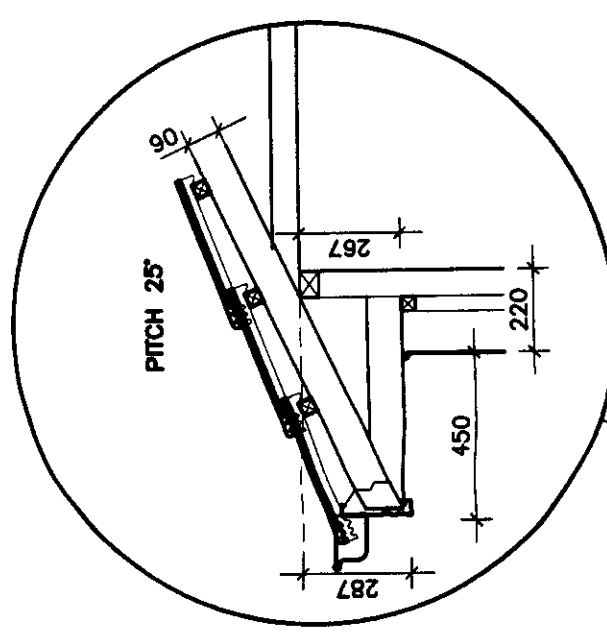
SCALE 1:100 JOB NO. 54783

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Technical drawing of a roof structure. The roof pitch is labeled as **PITCH 25°**. Dimensions shown include a horizontal distance of 287, a vertical distance of 450, a horizontal distance of 267, a vertical distance of 220, and a horizontal distance of 90. The drawing is enclosed in a circle.



DINING BULKHEAD DETAIL (A-A)



DETAIL A

This is the present condition
of the castle.

03/1755

PROVIDE R2.5 INSULATION BATTS TO
ROOF AREA OF HOUSE (EXCLUDING GARAGE)
BY DOMAINE

25° ROOF PITCH

ROOF TRUSSES TO
MANUFACTURERS SPEC.
STRENGTHENED FOR AC UNIT

**PROVIDE FIRE RETARDANT SARKING
TO ROOF (GARAGE INCLUDED)**

SELECTED ROOF TILES

METAL FASCIA AND GUTTER

CEILING LEVEL RL: 21.265

**ENGINEERED FLOOR
JOIST SYSTEM**

TIMBER BEAM DETAIL

NOTE:
SET BEAM UNDER 90 MM STUD WORK.
REDUCE STUD WALL HEIGHT TO ~~SUIT~~

FIRST FLOOR LEVEL RL: 18.825

CEILING LEVEL RL: 18.575
200x45 NOGGING BLOCKS

PROVIDE R1.5 INSULATION BATTS TO EXTERNAL WALLS OF HOUSE ONLY BY DOMAIN

GROUND FLOOR LEVEL RL: 15.985

**WAFFLE POD CONCRETE
SLAB TO ENGINEER'S DETAILS**

TYPICAL SECTION

SECTION

Indicate: 11/8/2003 -- 16:17 -- Drawings: K:\Drafting\MASTERS\MORNINGTON_ACH_UH_GAR_MH_STUDY.DWG

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DOMAINE

HOMES PTY LTD

**PROVIDE RETICULATED
PEST PERIMETER SYSTEM
IN LIEU OF STANDARD**

Owners Initials.....Contractors Initials.....

1

DATE	REVISION
------	----------

Unit 1 Ground floor 21 Solent Cir.

Amount of cash received

CLIENT
MR & MRS YOUNG

SITE
LOT 57 NO. 63 DICKSON PLACE
WARRIEWOOD

HOUSE TYPE	HAND
MORNINGTON	I H

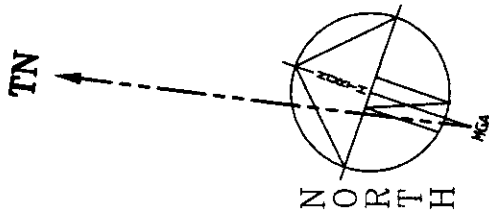
FAÇADE
KINGSTON

DRAWN: SRP(SC)	DATE 16/6/03
SCALE 1:100	JOB NO. 54783

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APPROVED
DEVELOPMENT CONSENT PLAN

LOCALITY SKETCH

UBD AREA: SYDREVISION: 39
MAP: 138 REF: D6

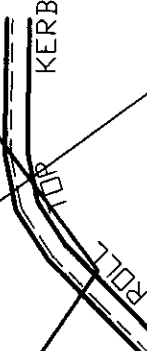


LOT 56

LOT 57
551.6

LOT 58
VACANT

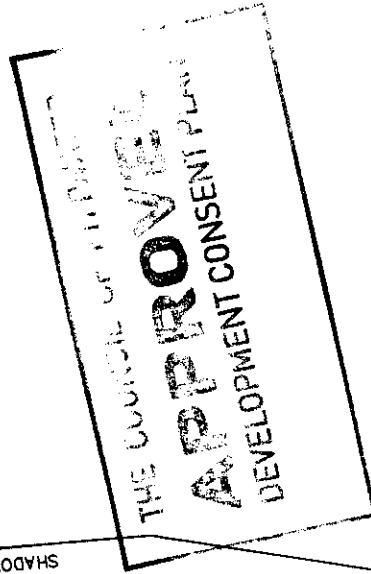
DICKSON
PLACE



SHADOW CAST AT 3.00PM ON 22ND JUNE

SHADOW CAST AT 12PM ON 22ND JUNE

SHADOW CAST AT 9.00AM ON 22ND JUNE



SITE PLAN

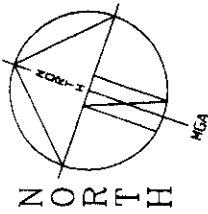
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DRAWN	DATE	REVISION	ISSUE	CLIENT
				MR & MRS YOUNG
				SITE
				LOT 57 No.63 DICKSON PLACE
				WARRIEWOOD

AREAS	HOUSE TYPE	HAND
PITTWATER	MORNINGTON	LH
DP: 1035785	FACADE	SHEET NO.
DRAWN: S.B.	KINGSTON	1a/8
DATE: 26.06.03		
SCALE 1:200		
JOB NO. 54783		

Owners Initials.....Contractors Initials.....



LOT 57
551.6²

LOT 56

PROPOSED
FFL RL 15.985
FGL RL 15.600
(A.H.D.)

FFL RL 15.311
FGL RL 15.000
(A.H.D.)

LOT 58
VACANT

APPROX. LOCATION
OF SILTATION
FENCING BY DOMAINE

BUILDERS
STORAGE AREA

PROPOSED DRIVEWAY
BY CLIENT

ALL WEATHER
ACCESS POSITION

DICKSON
PLACE

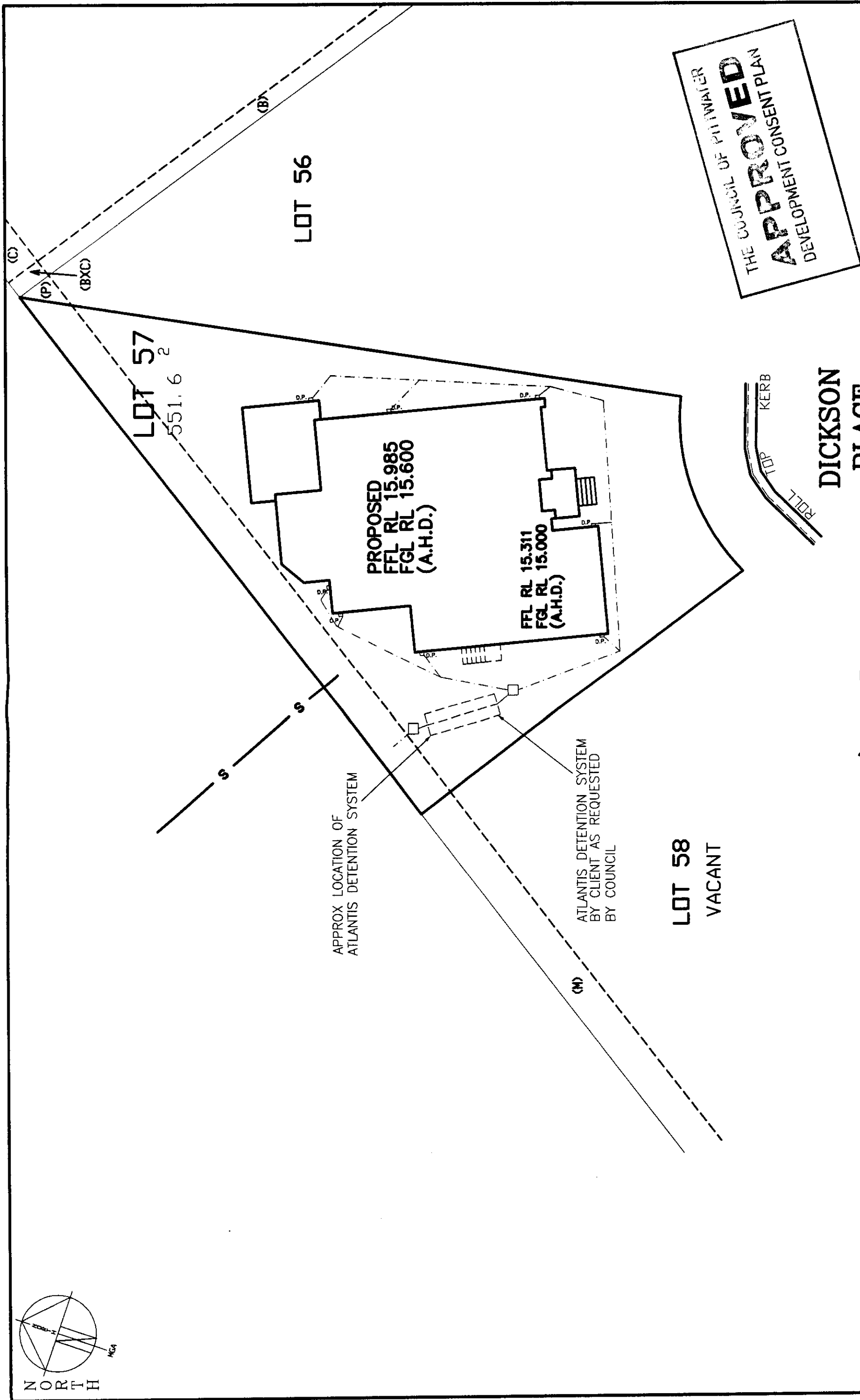
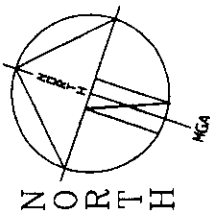
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APPROVED
DEVELOPMENT CONSENT PLAN

SITE CONSTRUCTION MANAGEMENT PLAN SITE PLAN

Owners Initials..... Contractors Initials.....
Ref: 1/7/2003 - 11:09 - Drawing: K:\Drawing\Contract\54_CONTRACTS\54783.DWG

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									MR & MRS YOUNG	PITTSBURGH	MORNINGTON	LH
									SITE		FACADE	
									LOT 57 No.63 DICKSON PLACE WARRIEWOOD		KINGSTON	SHEET NO. 1b/8

DP: 1035785
DRAWN: A.M.
SCALE: 1:200
DATE: 05.06.03
JOB NO. 54783



SITE PLAN (STORMWATER CONCEPT PLAN) AS3500

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DRAWN	DATE	REVISION	ISSUE	CLIENT	AREAS	HOUSE TYPE	HAND
				MR & MRS YOUNG	PITWATER	MORNINGTON	LH
				SITE		FACADE	
				LOT 57 No.63 DICKSON PLACE WARRIEWOOD		KINGSTON	
					DP: 1035785		SHEET NO.
					DRAWN: A.M.		1c/8
					DATE : 05.06.03		
					SCALE 1:200		
					JOB NO. 54783		

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Plot 1/7/2003 - 11:08 - Drawing: K:\Drawing\Contract\AS3500\AS3500.DWG

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Certificate
Cert No. 03/1755
Officer: Rick May
Accreditation No: 2081



**Housing Industry
Association**

Domaine Homes (NSW) Pty Ltd
Norwest Quay, Unit 1,
Ground Floor 21 Solent Circuit
Baulkham Hills NSW 2153
Phone: 8851-6700 — Fax: 8851-6710
ABN: 19 080 788 939

CONTRACTOR

CONTRACTOR LICENCE NO: _____

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Housing Industry Association (NSW) Division.

ADDRESS OF PROPERTY: Lot 57 (No. 63)
Dickson Place,
Warriewood.

GENERAL HOUSING SPECIFICATIONS

between

Young.
OWNER

and

INDEX
GENERAL HOUSING SPECIFICATIONS
(Revised November 2000)

PART NO.	PART HEADINGS	PAGE NO.
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3.0	Owner's Obligations	2
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5.0	Excavations	4
6.0	Foundations and Footings	4
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8.0	Effluent Disposal/Drainage	5
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10.0	Steel Framing Generally	7
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12.0	Masonry, Damp Proofing	8
13.0	Cladding, Linings	9
14.0	Joinery and Cupboards	10
15.0	Services	10
16.0	Tiling	11
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1.0 INTRODUCTIONS

1.1 General

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

1.2 Preliminary Use

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

1.3 Prevailing Documents

Where there is a difference between Plan and Specification the Plan will take precedence. The Contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

1.4 Size and Dimensions

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

1.5 Prime Cost Items

Prime cost items listed in this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract's final progress claim.

1.6 Definitions

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

2.0 STATUTORY REQUIREMENTS

2.1 The Works

The Works shall be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

2.2 Regulations, Notices and Fees

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities.

Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

2.3 Insurance

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct and complete the Building to the stage, as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

2.5 Electricity

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

2.6 Sanitary Accommodation

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

3.0 OWNER'S OBLIGATIONS

3.1 Surveyor's Certificate

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

4.3 Setting Out

The Contractor shall accurately set out the Works in accordance with the Site Plan and within the boundaries of the Site.

5.0 EXCAVATIONS

- 5.1 Subject to Clause 3.7 the Site covered by the Building and an area at least 1,000mm wide around the Building or to boundaries of the Site - whichever is the lesser, shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA 96 Housing Provisions.

6.0 FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA 96 Housing Provisions.

6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA 96 Housing Provisions or AS 3660.1.

6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA 96 Housing Provisions.

6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on Site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pouding of water on the surface, or as directed by the Engineer.

6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's recommendations.

6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

6.11 Curing

All slabs shall be cured in accordance with AS 3600.

7.0 RETAINING WALLS

7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewered and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drains to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building. If the Authority's requirements give rise to a variation, any additional cost plus Builder's margin is to be borne by the Owner.

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

9.3 Wall Framing

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturer's requirements.

11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA 96 Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

11.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 96 Housing Provisions.

12.0 MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733. Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA 96 Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or Clause 3.3.4.3 of the BCA 96 Housing Provisions.

12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA 96 Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA 96 Housing provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 CLADDING AND LININGS

13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

13.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA 96 Housing Provisions.

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door Frames

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets shall be manufactured in accordance with AS 2688 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions.

All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances

Kitchen and Vanity Cupboards (kitchen sink included)		\$.....
Stove/Wall Oven/Hot Plates		\$.....
Bath per item	per item	\$.....
W.C. Suites	per item	\$.....
Laundry Tub		\$.....
Entry Door		\$.....
Door Furniture		\$.....
Garage Door		\$.....
Hot Water System		\$.....
Shower Screen		\$.....
Wall and Floor Tiles supply only		\$...../m
Bricks		\$...../ ,000

19.0 SIGNATURES

This is the specification referred to in the Building Agreement No. Date:

Signed by the said

Owner in the

Presence of

.....

Witness

.....

Owner's Signature

...../...../.....

Date

.....

Witness

.....

Owner's Signature

...../...../.....

Date

Signed by the said

Contractor in the

Presence of

.....

Witness

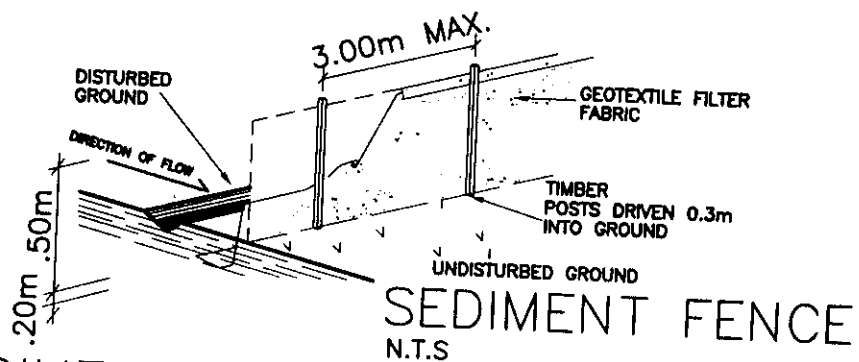
.....

Contractor's Signature

...../...../.....

Date

COUNCIL COPY



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

COUNCIL COPY

CONSTRUCTION NOTES

GENERAL

- G1 THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
- G2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. REFER TO ARCHITECT'S FINAL DRAWINGS.
- G3 BUILDER TO CHECK ALL RELEVANT DIMENSIONS ON SITE.
- G4 ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY.
- G5 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER STRESSED. THE BUILDER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE WORKS DURING CONSTRUCTION.

CONCRETE

C1 CONCRETE SPECIFICATION IF C28 DAYS TO BE AS FOLLOWS:

LOCATION	CEMENT	F _c	MAX. AGG. SIZE	SLUMP
PIERS	TYPE 'A'	15 MPa	20	80
SLAB	TYPE 'A'	20 MPa	20	80

C2 CLEAR COVER TO REINFORCEMENT, UNLESS NOTED OTHERWISE, TO BE AS FOLLOWS:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—

C3 REINFORCEMENT SYMBOLS ARE AS FOLLOWS:

- R STRUCTURAL GRADE ROUND BARS (250 RI)
- Y HOT ROLLED DEFORMED BARS (400 Y)
- F HARD-DRAWN WIRE REINFORCING FABRIC (450 F)
- S STRUCTURAL GRADE DEFORMED BARS
- C4 NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- C6 BEAM DEPTHS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.
- C7 ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE.
- C8 PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C9 ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK.
- C10 ALL CONCRETE SHALL BE CURED BY MOIST CURING BY CONTINUAL WETTING FOR AT LEAST 7 DAYS OR THE USE OF AN APPROVED CURING COMPOUND.

FOUNDATIONS

- F1 FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100 kPa
- F2 PIER HOLES ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 300 kPa
- F3 FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION

ADDITIONAL

- A1 SITE TO BE STRIPPED OF ALL ORGANIC MATTER AND ASSOCIATED TOPSOIL.
- A2 ALL SITE FILLING PLACED BENEATH EDGE BEAMS TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.12.0F AS 2870.1 - 1996.
- A3 A 1 METRE WIDE APRON WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB.
- A4 RAFT SLAB TO BE LAID ON MIN 50 THICKNESS OF CONSOLIDATED SAND COVERED WITH 0.2 mm THICK POLYTHENE VAPOUR BARRIER WITH ALL JOINTS PROPERLY LAPPED AND TAPED AT PENETRATIONS.

DESIGNED TO AS 2870

STRUCTURAL SLAB DETAIL PLAN

CLIENT MR AND MRS YOUNG

LOCATION LOT 57 NO. 63 DICKSON PLACE, WARRIEWOOD

DRAWN BY : P.R. SCALE 1:100 SHEET No. 1

ISSUE DATE 11/07/03 JOB No. D 10508

DOMAINE
PROPERTY GROUP

MORNINGTON

B.E. M.I.E. AUST.



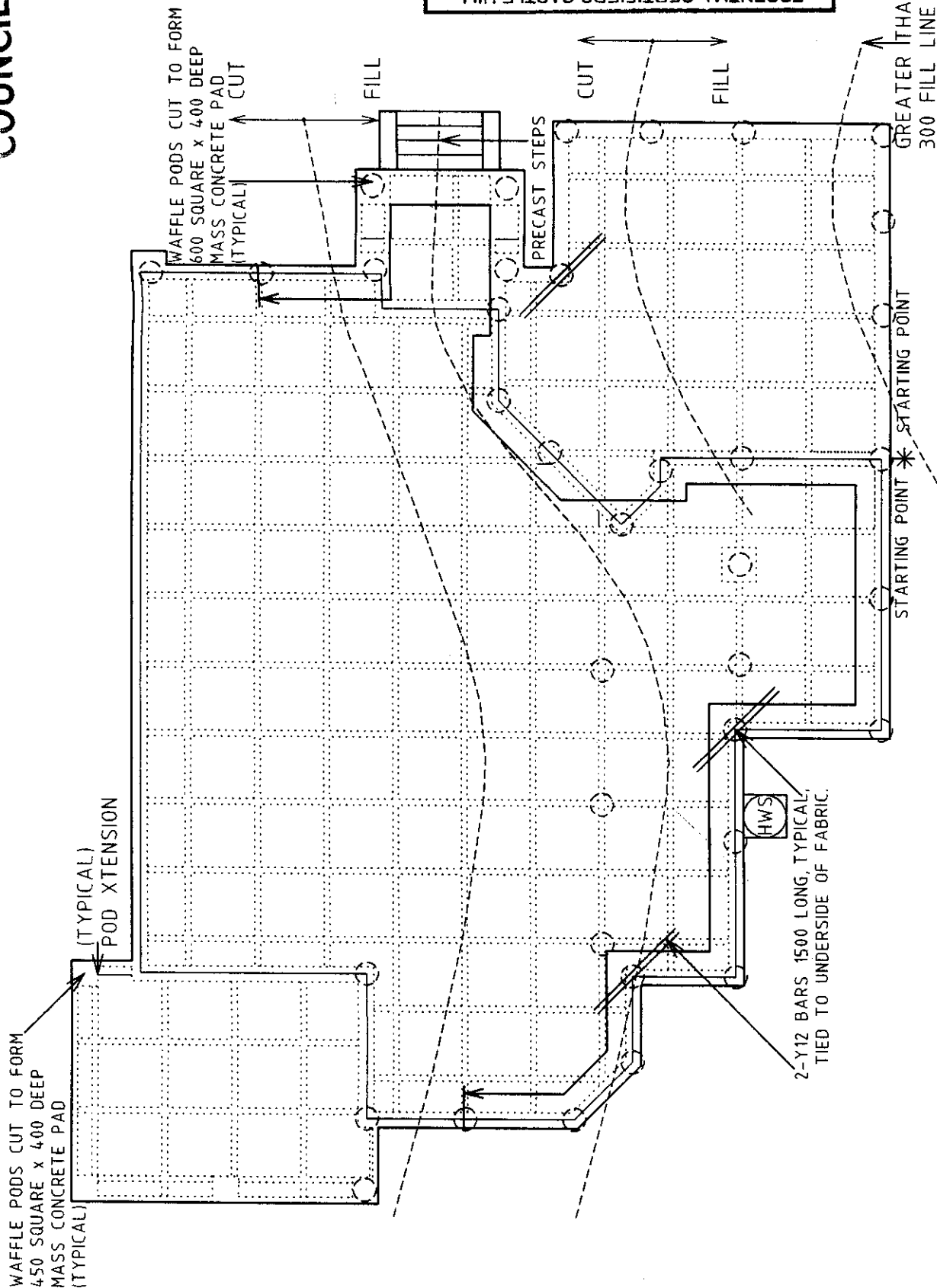
RAFELETOS

ACN 079047466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

ZANUTTINI
Pty Ltd

TELEPHONE : (02) 9554 9311
FACSIMILE : (02) 9554 9764
DX 11392 HURSTVILLE NSW

WAFFLE POD PLAN

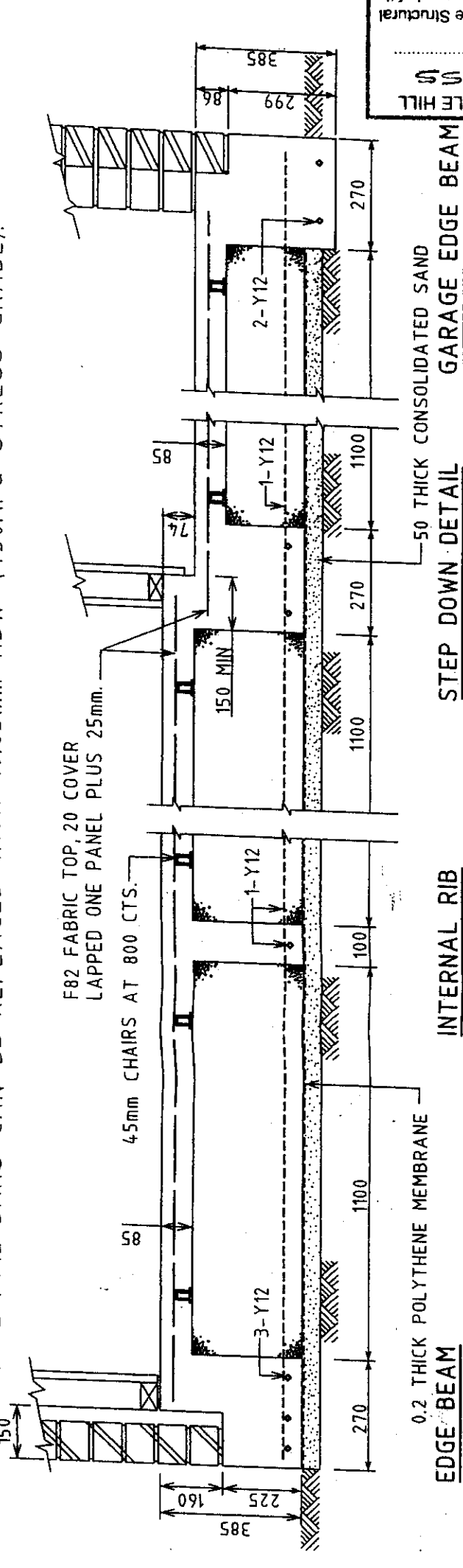


- NOTES
- ALL ORGANIC LOAM MATERIAL IS TO BE STRIPPED PRIOR TO EXCAVATION
 - 270 RIBS UNDER LOAD BEARING WALL
 - REFER TO ARCHITECTURAL PLANS FOR AJ LOCATIONS
 - ADDITIONAL PIERS TO EVEN BEARING MAY BE REQUIRED
 - OVERALL SLAB DIMENSIONS TO BE CHECKED AGAINST ARCHITECTURAL'S PRIOR TO COMMENCEMENT OF WORK

NOTE: Y12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE).

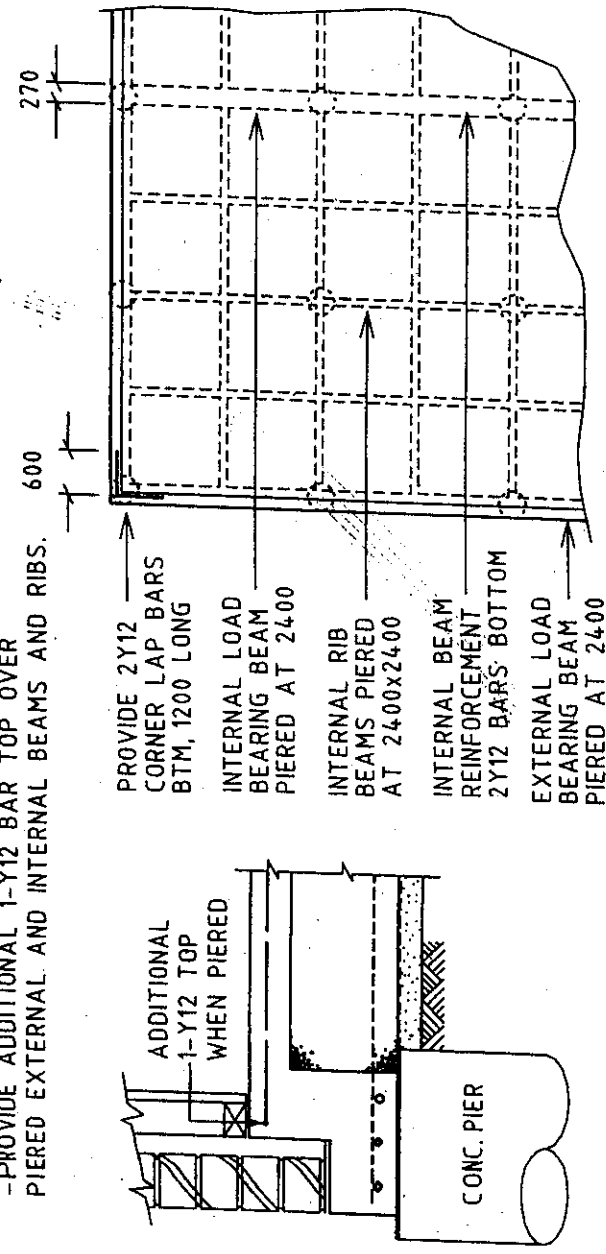
PIERING NOTES:

- NO PIERS ARE NECESSARY WHEN BEAMS ARE BEARING ON NATURAL OR CONTROLLED FILL, EXCEPT WHEN WITHIN THE ZONE OF INFLUENCE OF SEWER OR STORMWATER LINES.
- BEAMS TO BE FOUNDED OR PIERED TO AN EVEN BEARING.
- SPACE PIERS AT 2400 CTS UNDER ALL EXTERNAL & INTERNAL LOAD BEARING BEAMS AND PADS WHEN CONSTRUCTED ON UNCONTROLLED/ NON COMPACTED MATERIAL 400 DIA TO CLAY AND SAND OR 300 DIA TO ROCK AND SHALE
- PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON COMPACTED MATERIAL. INTERNAL PIER SPACING 2400 x 2400 CENTRES.
- PROVIDE ADDITIONAL 1-Y12 BAR TOP OVER PIERED EXTERNAL AND INTERNAL BEAMS AND RIBS.



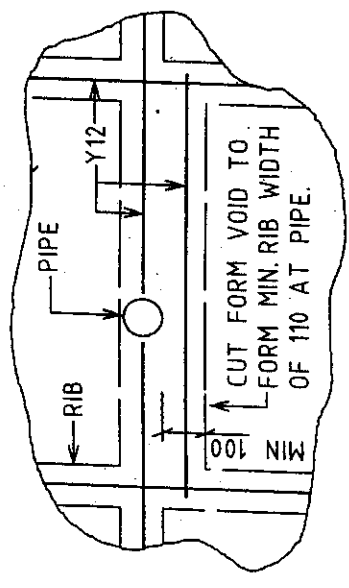
INTERNAL RIB

EDGE BEAM

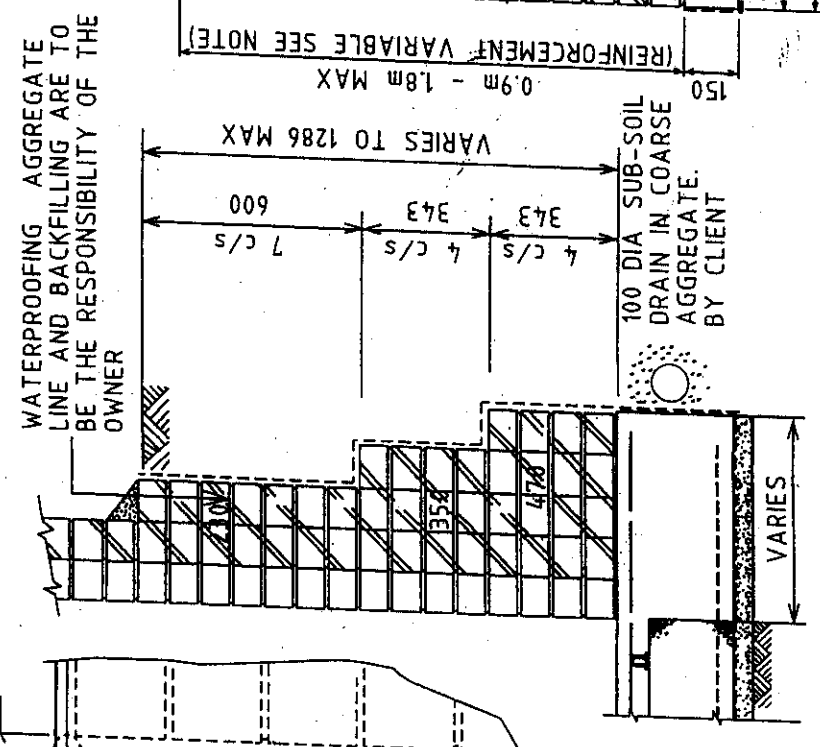


TYPICAL PIERING DETAIL

REINFORCEMENT FOR RIBS AND BEAMS	
WIDTH	TOP STEEL BTM STEEL
111-270	2-Y12
271-330	1-Y12
331-440	2-Y12
441-550	3-Y12
551-660	4-Y12

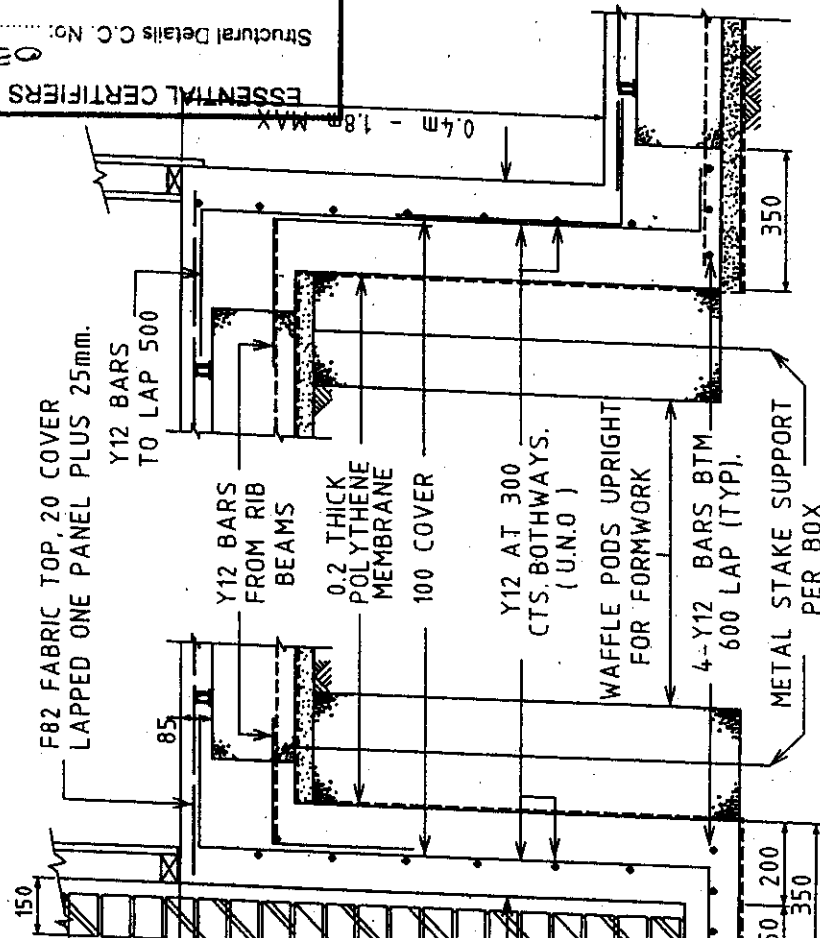


PIPE PENETRATION THROUGH RIB



INTERGRADED RETAINING WALL

NOTE: BEAM WIDTH VARIES TO SUIT BRICKWORK BEAM REINFORCEMENT TO SUIT WIDTH



INTERNAL DEEP BEAM

NOTE: WHERE DEEP BEAM IS LESS THAN 400mm DEEP PROVIDE Y12 BARS AT 1200 CENTRES AND 1-Y12 HORIZONTAL FOR DEEP BEAM 0.4-0.9m Y12 BARS AT 400 CTS + 1Y12 CENTRALLY FOR DEEP BEAM 0.9-1.5m Y12 BARS AT 300 CTS BOTH WAYS FOR DEEP BEAM 1.5-1.8m Y12 BARS AT 200 CTS BOTH WAYS

Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers Castle Hill does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

STRUCTURAL DETAIL PLAN

CLIENT	MR AND MRS YOUNG
LOCATION	COT 57 10.63 PICTON PL, WARRIEWOOD
CLASSIFICATION	H SCALE 1:20 SHEET No. 2
ISSUE	A DATE 11/7/03 JOB No. 210508

DOMAINE PROPERTY GROUP

ZANUTTINI PTY LTD

RAFFLETTOS CONSULTING ENGINEERS

ACN 97947446
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

TELEPHONE: (02) 9554 9311
FACSIMILE: (02) 9554 9744
DX 11932 HURSTVILLE NSW

STEEL BEAM PLAN

NOTES

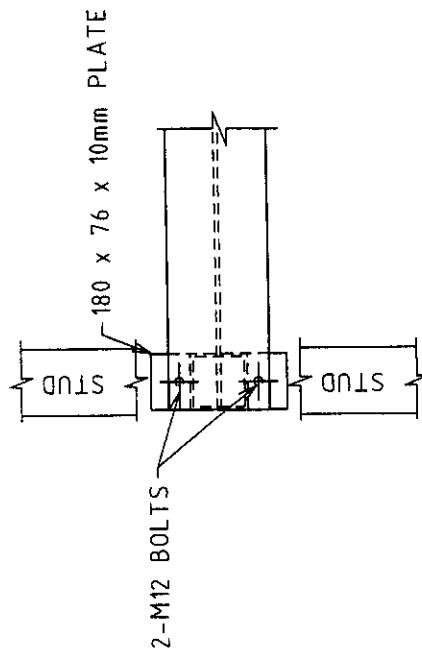
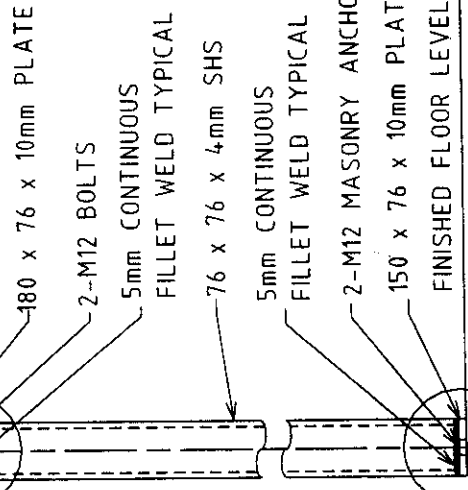
ALL STEELWORK TO BE PAINTED WITH AN APPROVED CORROSIVE RESISTANT PRIMER

DYNA BOLT COLUMNS TO SLAB WITH 2M12 MASONRY ANCHORS TYPICAL.

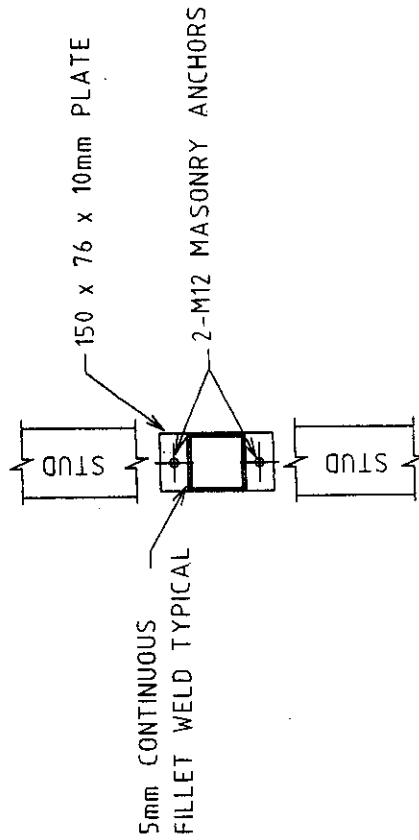
ALL POSTS TO BE 76 x 76 x 4.0 SHS, BUILD POSTS INTO STUD FRAMEWORK.

SEE DETAIL A-A

SEE DETAIL B-B

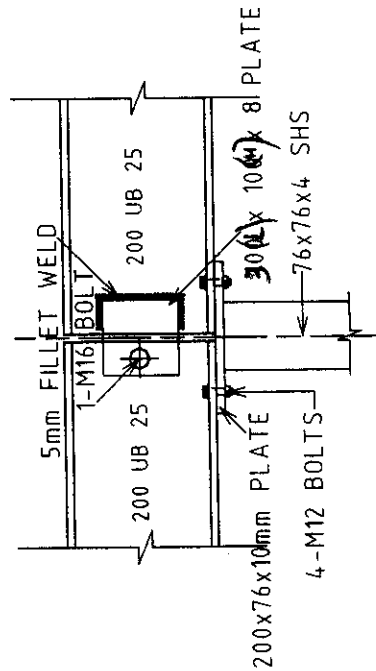
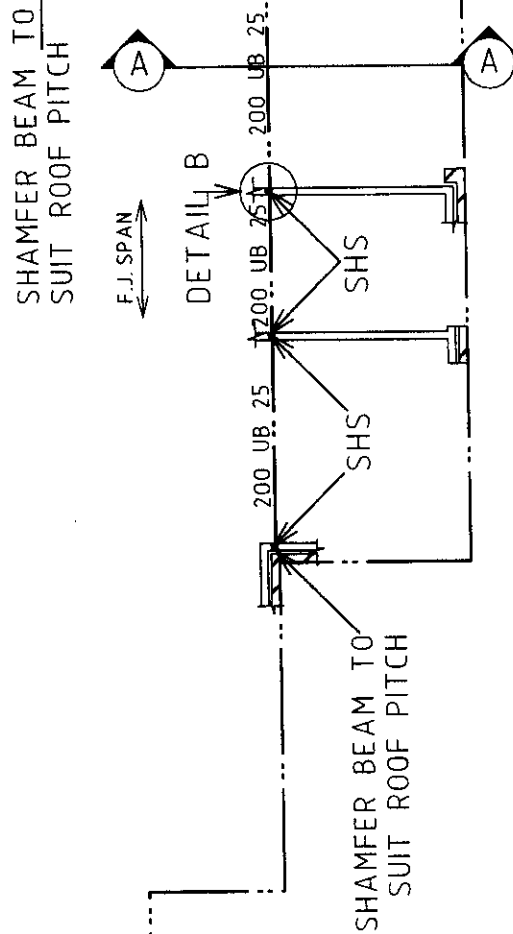


DETAIL A-A



DETAIL B-B

ESSENTIAL CERTIFIERS CASTLE HILL
Structural Details C.C. No. 03/1753
Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers Castle Hill does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.



DETAIL B

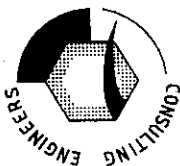
STRUCTURAL STEEL DETAIL PLAN

DOMAINE
PROPERTY GROUP

MORNINGTON

8 E.M.I.E. AUST.

ZANUTTINI
pty Ltd
TELEPHONE : (02) 9554 9311
FAX : (02) 9554 9764
DX 1192 HURSTVILLE NSW



RAFELETOS
ACN 079047666
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

CLIENT MR AND MRS YOUNG

LOCATION LOT 57 NO. 63 DICKSON PLACE, WARRIEWOOD

DRAWN BY : P.R

SCALE 1:10

DATE

11/07/03

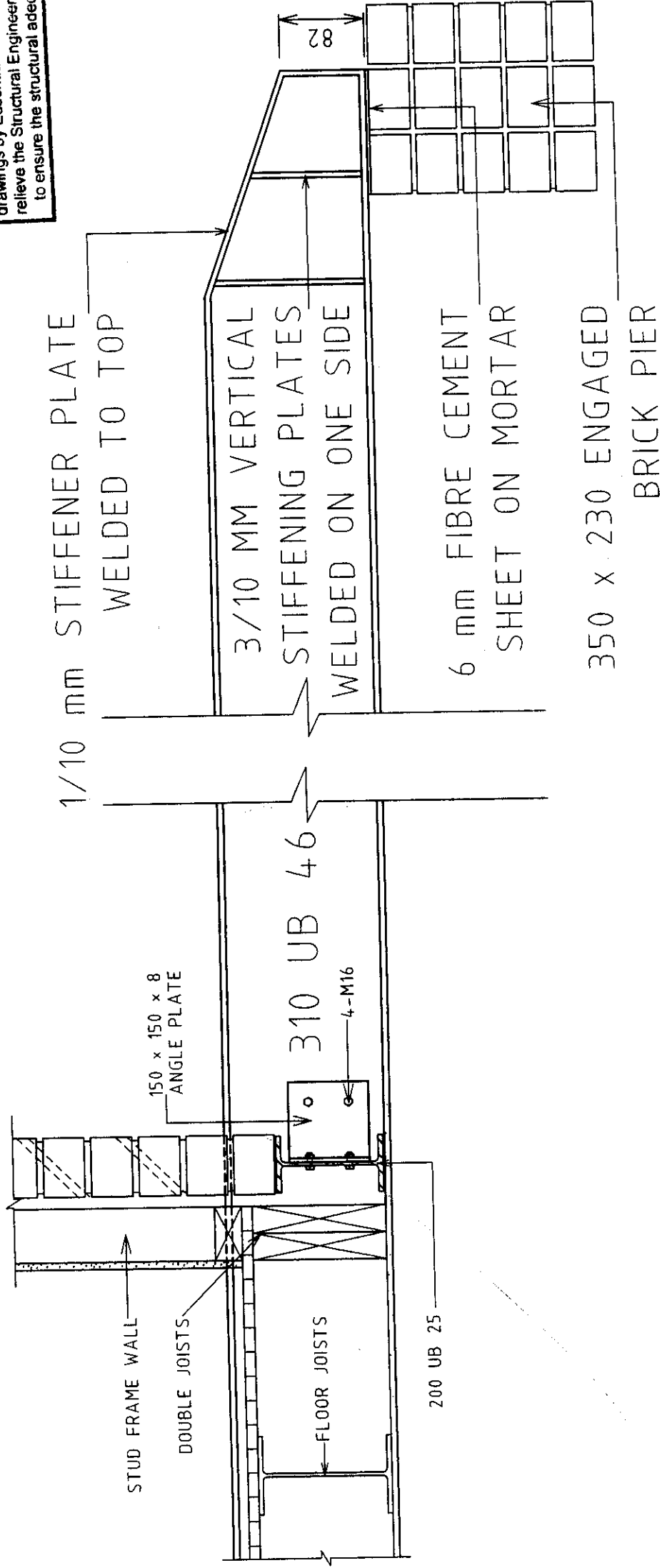
SHEET No.

3

JOB No.

D 10508

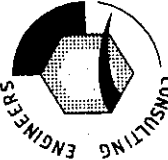
ESSENTIAL CERTIFIERS CASTLE HILL
Structural Details C.C. No: 08/1785
Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers Castle Hill does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.



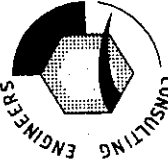
SECTION A-A

• SCALE 1:10

DOMAINE PROPERTY GROUP MORNINGTON		STRUCTURAL STEEL DETAIL PLAN	
CLIENT	MR AND MRS YOUNG		
LOCATION	LOT 57 NO. 63 DICKSON PLACE, WARRIEWOOD		
DRAWN BY :	P.R.	SCALE	1:10 1:100
ISSUE	A	DATE	11/07/03
		SHEET No.	4
		JOB No.	D 10508



ZANUTTINI
Pty Ltd
TELEPHONE : (02) 9554 9371
FACSIMILE : (02) 9554 9164
DX 11392 HURSTVILLE NSW



RAFELETOS
ACN 079047466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 161 KINGSGROVE NSW 2208

Pittwater Council

ABN: 61340817571

TAX INVOICE **OFFICIAL RECEIPT**

07/10/2003 Receipt No 11671

To: E MOY & ASSOCIATES PTY LTD

1749 ESSENTIAL LERTIE (BR)
CASTLE HILL
PO BOX 6160

Qty/ Applic	Reference	Amount
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63	YMC-Board	577.37
61	Rec 00511/03, 63 DICKSON PL, WARRIEWOOD	
	(ST)	52.72

PL Rec
To: GL Receipts

Total Amount:	100.00
Includes GST of:	52.72

Amounts Tendered

Cheque	50.00
Total	50.00
Rounding	40.00
Change	40.00
Debit	50.00

Printed 07/10/2003 11:56:21 PM
ashley @pittwa