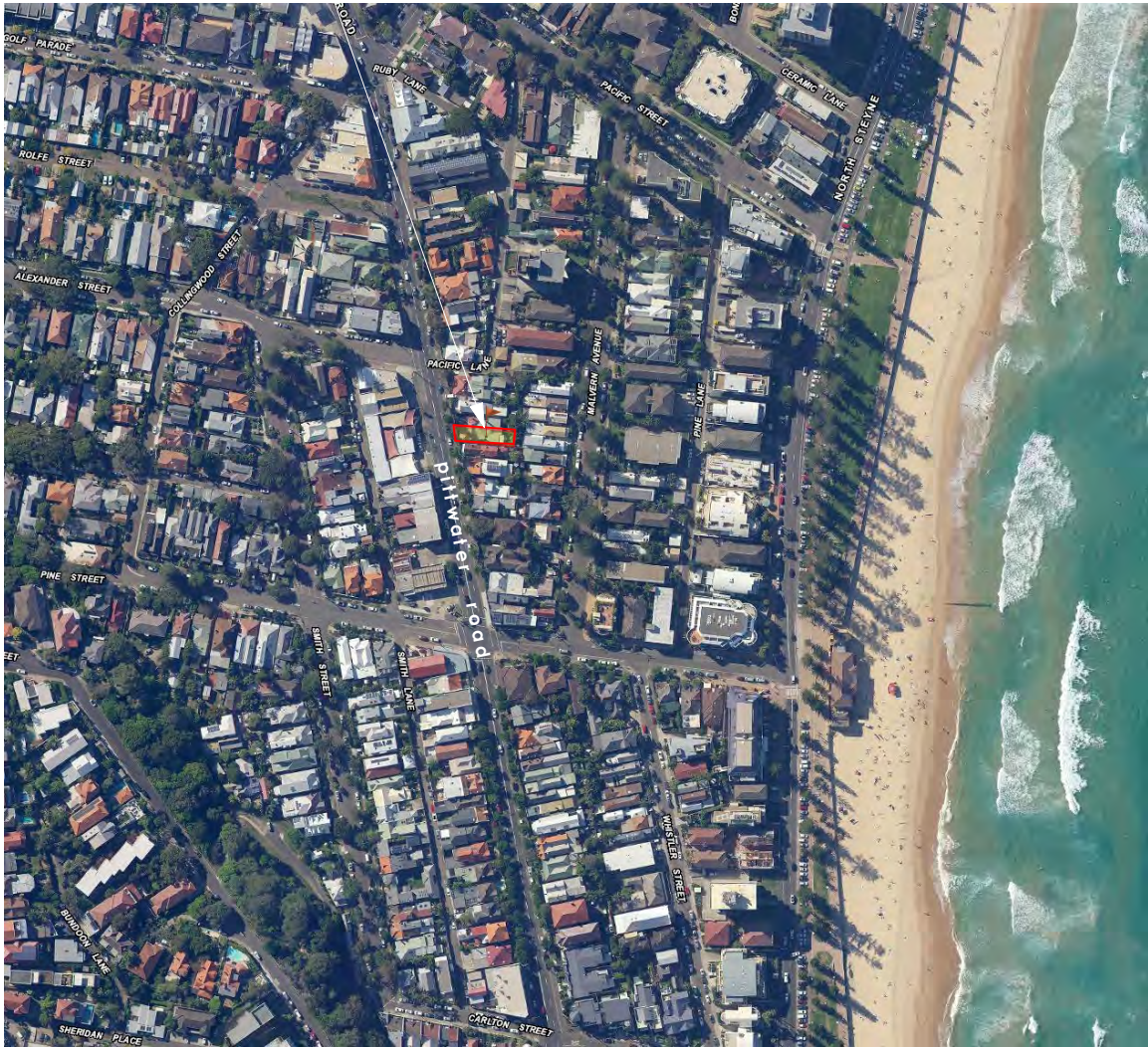


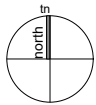
166 Pittwater Road, Manly



source: NSW Six Maps

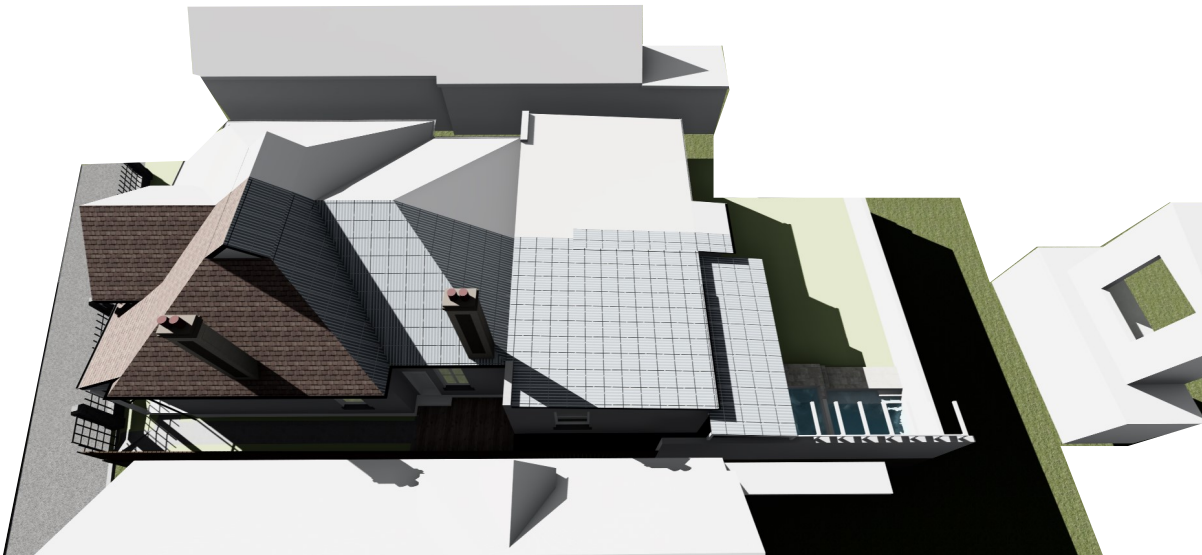
site location plan

nts



existing dwelling birdseye view

nts



drawing register

		Day	Month	Year	Issue Date:
(DA)MOD//00	Site Location & Drawing Register				22
(DA)MOD//01	Roof Plan // Approved				3
(DA)MOD//02	Roof Plan // (DA) Subject of (DA) Modification App.				25
(DA)MOD//03	Section AA // Approved & Prop Modification				E
(DA)MOD//04	Section BB // Approved & Prop Modification				E
(DA)MOD//05	Elevations W // Prop Modification				E
(DA)MOD//06	Elevations S // Approved & Prop Modification				E
(DA)MOD//07	Elevations N // Approved & Prop Modification				E
(DA)MOD//08	Elevations N&S // Exg Record Drawings				E
DA//00	Site Location & Drawing Register				E

amendments shown thus:

(DA2022/2270) MODIFICATION APP.

DA2022/2270 MODIFICATION APP

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address:
166 Pittwater Rd, Manly, NSW 2095.
LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:
Site Location & Drawing Register

drawn by:

JOB

scale:

© VIEW//THRU

date:
22/03/2025

dwg. no.:

(DA)MOD//00

Rev. no.:

E

issue:

(DA)MOD

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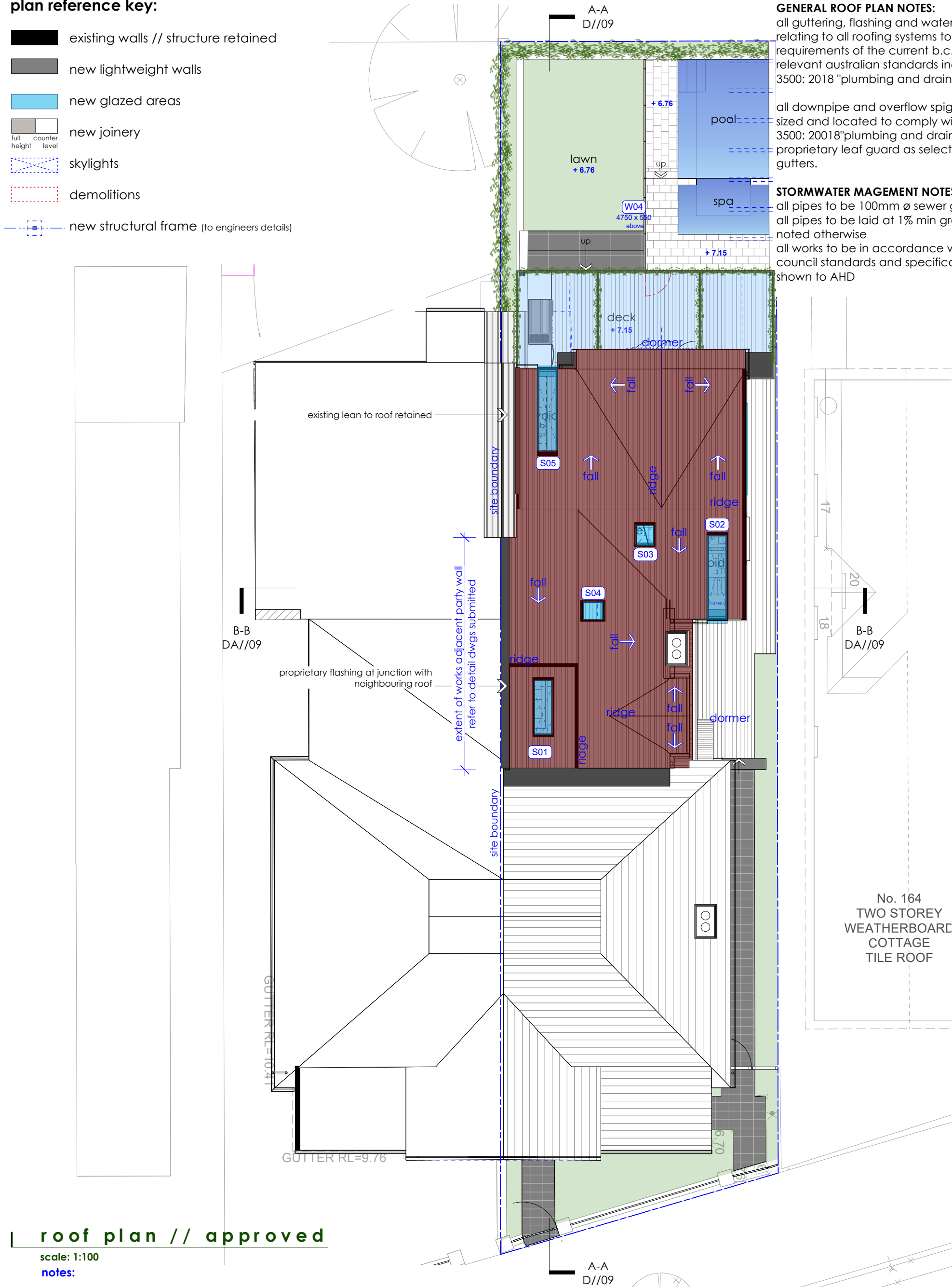
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plan reference key:

- existing walls // structure retained
- new lightweight walls
- new glazed areas
- new joinery
- skylights
- demolitions
- new structural frame (to engineers details)

- GENERAL ROOF PLAN NOTES:**
- all guttering, flashing and waterproofing relating to all roofing systems to comply with requirements of the current b.c.a. and relevant Australian standards including as/nzs 3500: 2018 "plumbing and drainage".
 - all downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2018 "plumbing and drainage". provide proprietary leaf guard as selected to all gutters.
- STORMWATER MAGEMENT NOTES:**
- all pipes to be 100mm ø sewer grade upvc
 - all pipes to be laid at 1% min grade unless noted otherwise
 - all works to be in accordance with local council standards and specification all levels shown to AHD



roof plan // approved

scale: 1:100

notes:

- all windows as numbered to read in conjunction with BASIX Certificate

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DA2022/2270 MODIFICATION APP

address:
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LOT 107 IN DP1176623

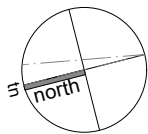
client: B. & C. Laws

project: Alterations & additions

title:
Roof Plan // Approved

drawn by:
JOB

scale:
1 : 100 @ a3



date:
22/03/2025

dwg. no.:

(DA)MOD//01

Rev. no.:

E

issue:

(DA)MOD

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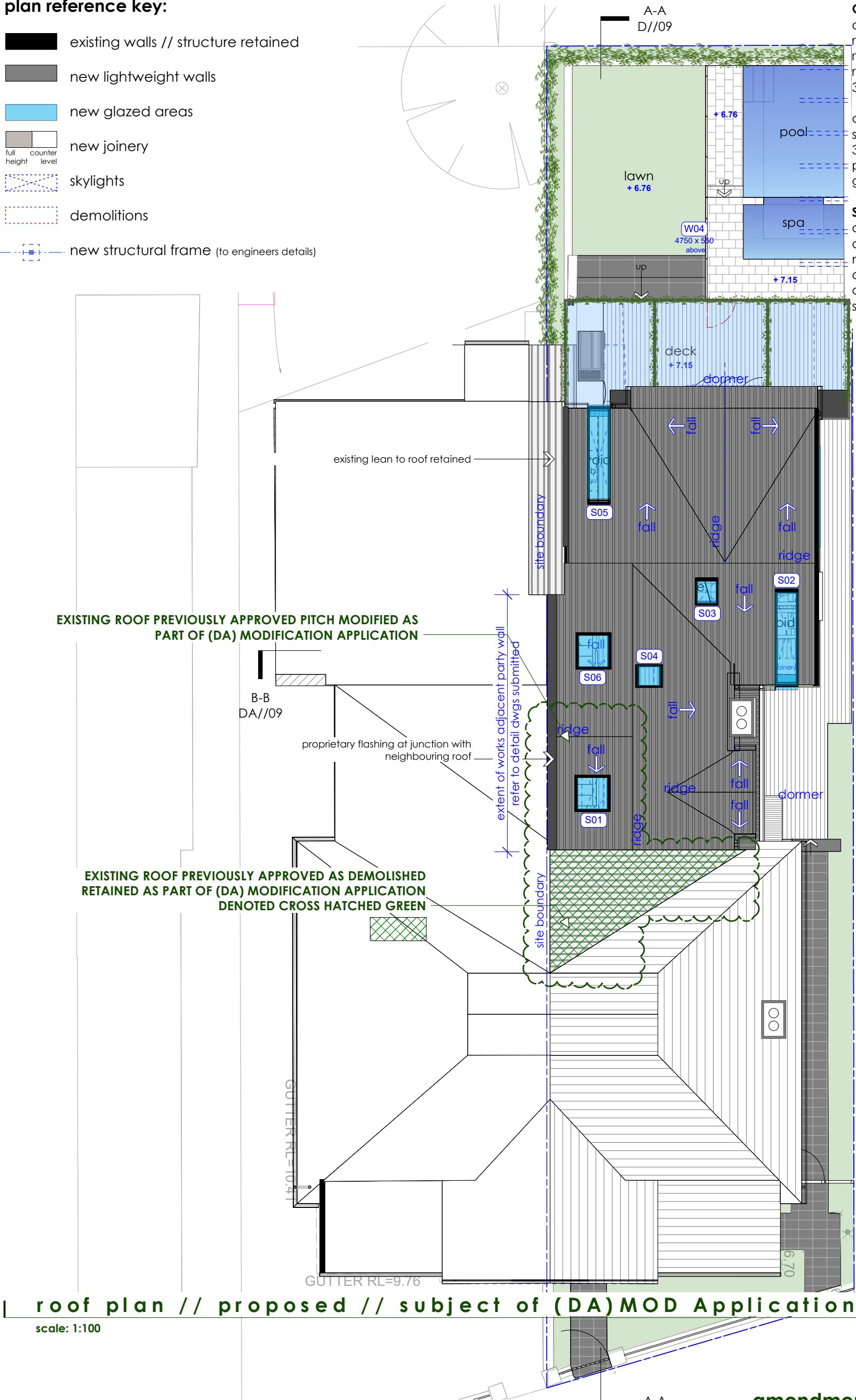
plan reference key:

- demolitions
- extent of approved additions

plan reference key:

- existing walls // structure retained
- new lightweight walls
- new glazed areas
- new joinery
- skylights
- demolitions
- new structural frame (to engineers details)

- GENERAL ROOF PLAN NOTES:**
- all guttering, flashing and waterproofing relating to all roofing systems to comply with requirements of the current b.c.a. and relevant australian standards including as/nzs 3500: 2018 "plumbing and drainage".
 - all downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2018"plumbing and drainage". provide proprietary leaf guard as selected to all gutters.
- STORMWATER MAGEMENT NOTES:**
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 - all pipes to be laid at 1% min grade unless noted otherwise
 - all works to be in accordance with local council standards and specification all levels shown to AHD



roof plan // proposed // subject of (DA)MOD Application
scale: 1:100

notes:
- all windows as numbered to read in conjunction with BASIX Certificate

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DA2022/2270 MODIFICATION APP

address: 166 Pittwater Rd, Manly, NSW 2095. LOT 107 IN DP1176623	title: Roof Plan // (DA) Subject of (DA) Modification App.	date: 22/03/2025	Rev. no.: E	RIAI Architectural Technologist 2022 Jim O'Brien Principal Designer // Director (RIAI Arch. Tech.) (Affiliate RIAI) t: 043 7222 389 info@viewthru.com.au BALGOWLAH, NSW 2093. VIEWTHRU PTY. LTD, T/A VIEWTHRU ACN 620 084 531	VIEWTHRU MAKE IT YOURS WWW.VIEWTHRU.COM.AU
client: B. & C. Laws	drawn by: JOB	dwg. no.: (DA)MOD//02	issue: (DA)MOD		
project: Alterations & additions	scale: 1 : 100 @ a3				

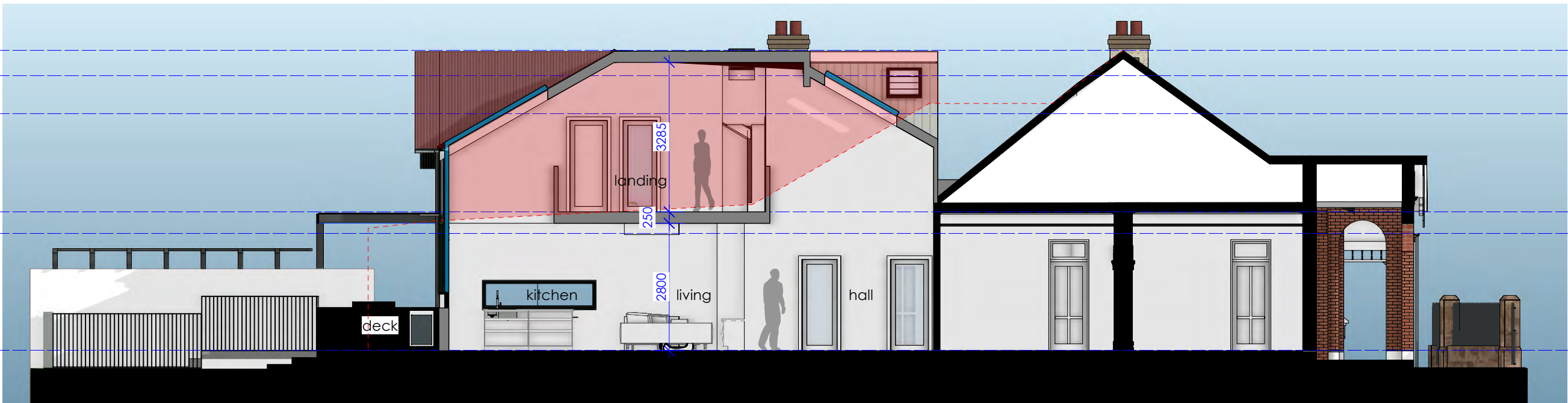
ex. ridge RL 13.74 (unchanged)
prop. ridge RL 13.74
prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



section A-A // as approved

scale: 1:100

plan reference key:

demolitions

extent of approved additions

NEW WINDOW SUBJECT OF (DA) MODIFICATION APPLICATION

PROPOSED MODIFIED ROOFLINE

EXISTING ROOFLINE PREVIOUSLY APPROVED SUBJECT OF (DA) MODIFICATION DENOTED DASHED GREEN

EXISTING ROOF PREVIOUSLY APPROVED AS DEMOLISHED RETAINED AS PART OF (DA) MODIFICATION APPLICATION DENOTED CROSS HATCHED GREEN

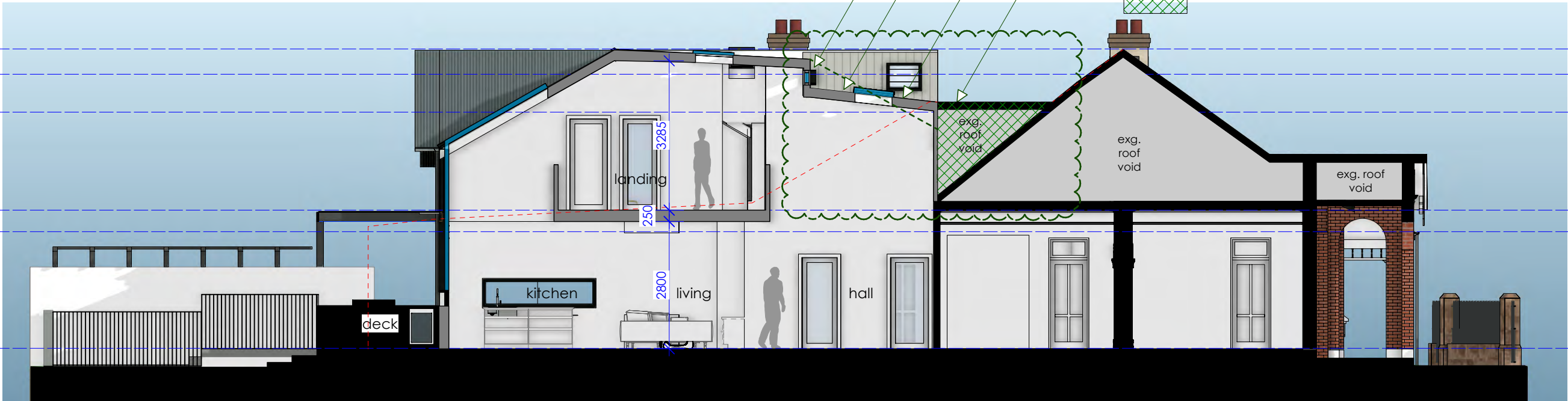
ex. ridge RL 13.74 (unchanged)
prop. ridge RL 13.74
prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



section A-A // proposed // subject of (DA)MOD Application

scale: 1:100

amendments shown thus:

(DA2022/2270) MODIFICATION APP.

DA2022/2270 MODIFICATION APP

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address:
166 Pittwater Rd, Manly, NSW 2095.
LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:
Section AA // Approved & Prop
Modification

drawn by:

JOB

scale:
1 : 100 @ a3

date:
22/03/2025

dwg. no.:

(DA)MOD//03

Rev. no.:

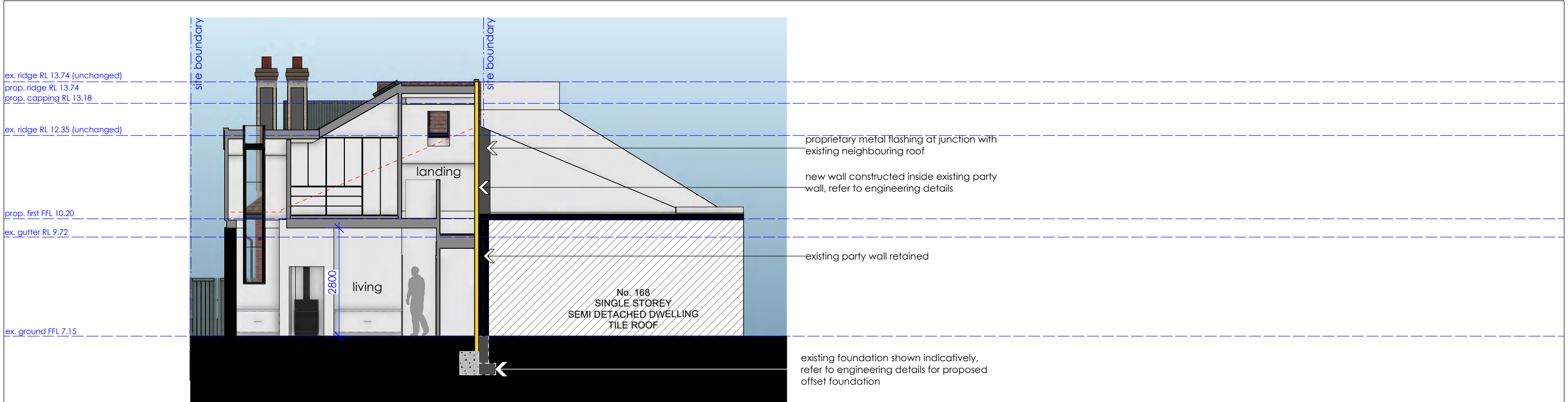
E

issue:

(DA)MOD

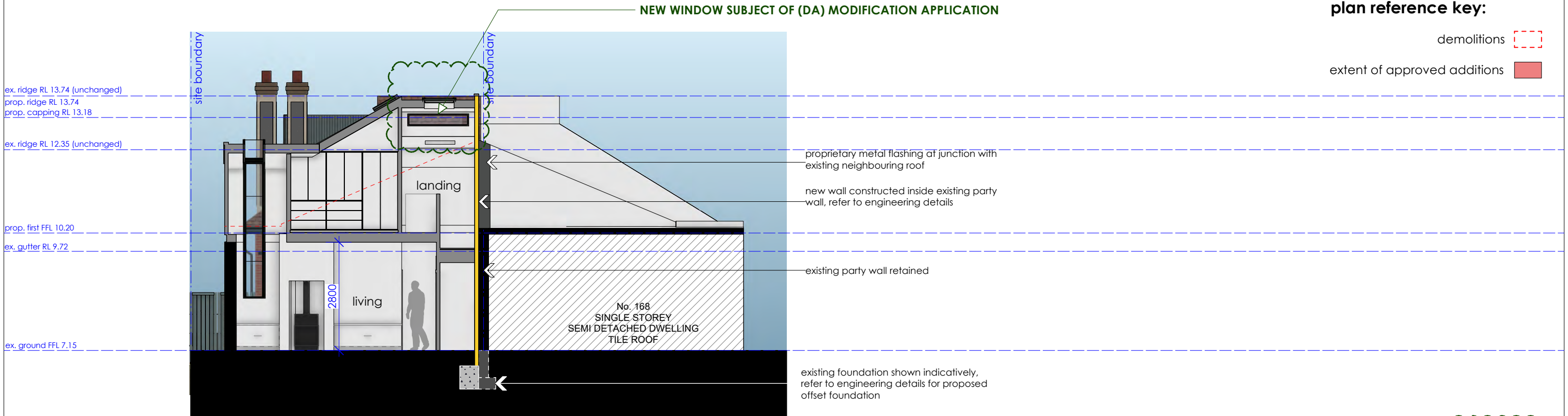
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Technologist
2022
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section B - B // as approved

scale: 1:100



section B - B // proposed // subject of (DA)MOD Application

scale: 1:100

plan reference key:

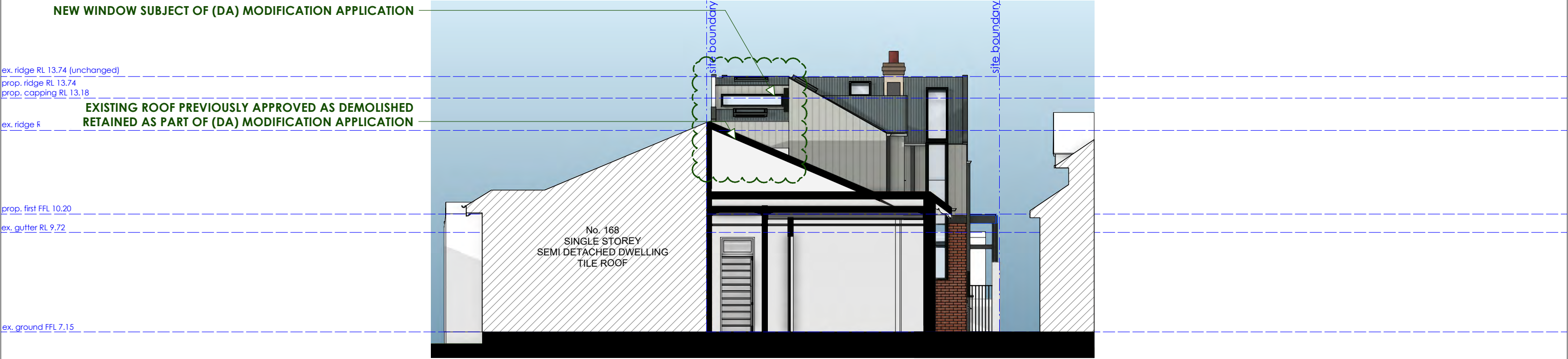
demolitions

extent of approved additions

amendments shown thus:

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	client: B. & C. Laws	drawn by: JOB	scale: 1 : 100 @ a3	dwg. no.: (DA)MOD//04	issue: (DA)MOD			
	project: Alterations & additions							



part west elevation // proposed // subject of (DA)MOD Application
scale: 1:100



west elevation // street// as approved // unchanged
scale: 1:100

plan reference key:

demolitions

extent of approved additions

amendments shown thus:

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LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:
Elevations W // Prop Modification

drawn by:

JOB

scale:

1 : 100 @ a3

date:
22/03/2025

dwg. no.:

(DA)MOD//05

Rev. no.:

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issue:

(DA)MOD

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south elevation // as approved

scale: 1:100

plan reference key:

demolitions

extent of approved additions

EXISTING ROOF PREVIOUSLY APPROVED AS DEMOLISHED
RETAINED AS PART OF (DA) MODIFICATION APPLICATION
DENOTED CROSS HATCHED GREEN



south elevation // proposed // subject of (DA)MOD Application

scale: 1:100

amendments shown thus:

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LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:
Elevations S // Approved & Prop
Modification

drawn by:

JOB

scale:
1 : 100 @ a3

date:
22/03/2025

dwg. no.:

(DA)MOD//06

Rev. no.:

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issue:

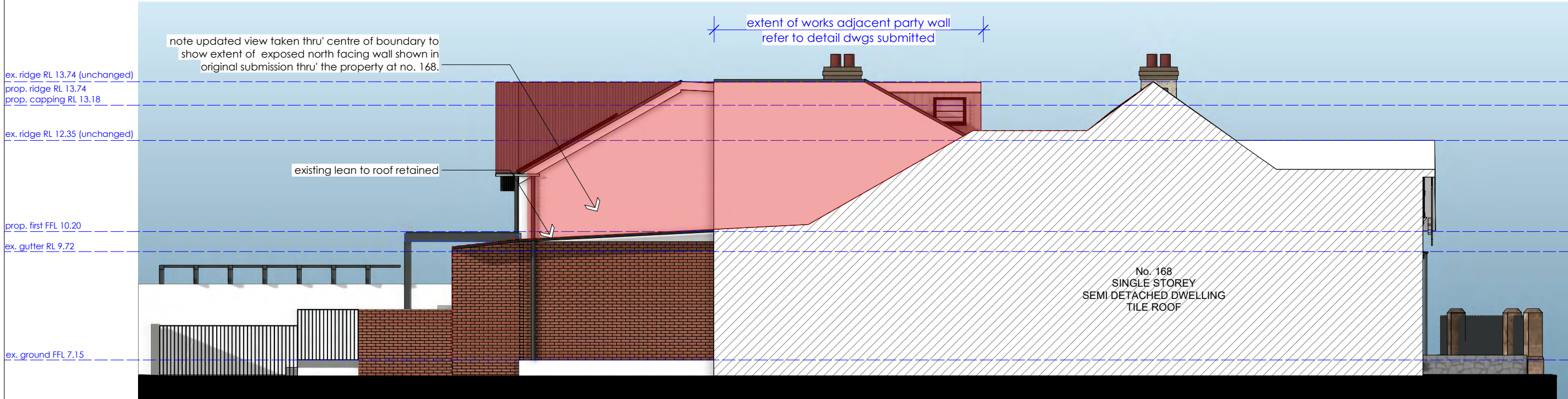
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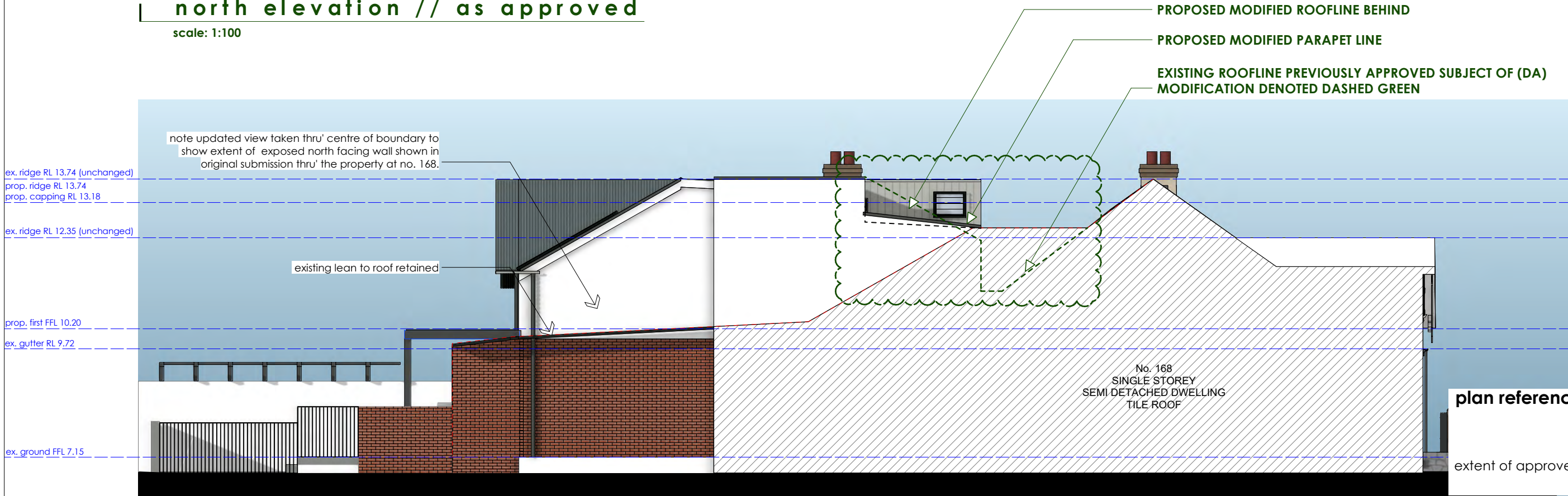
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Principal Designer //
Director
(RIAI Arch. Tech.)
(Affiliate RIAI)

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north elevation // as approved

scale: 1:100



north elevation // proposed // subject of (DA)MOD Application

scale: 1:100

plan reference key:

demolitions

extent of approved additions

amendments shown thus:

(DA2022/2270) MODIFICATION APP.

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address:
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LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:
Elevations N // Approved & Prop
Modification

drawn by:

JOB

scale:

1 : 100 @ a3

date:
22/03/2025

dwg. no.:

(DA)MOD//07

Rev. no.:

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issue:

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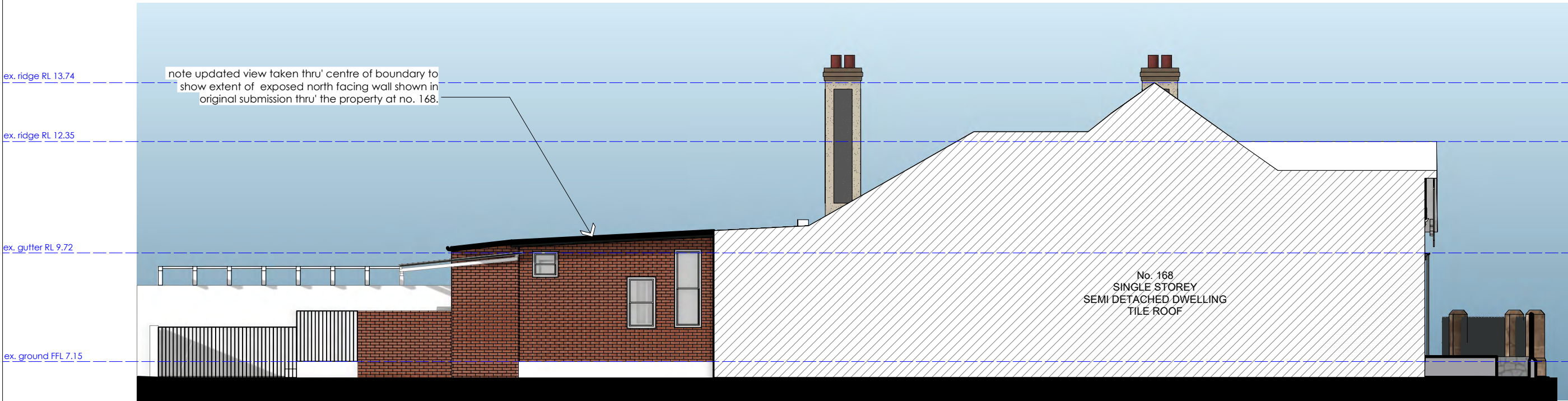
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south elevation // existing // record drawing

scale: 1:100



north elevation // existing // record drawing

scale: 1:100

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LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:
Elevations N&S // Exg Record
Drawings

drawn by:

JOB

scale:

1 : 100 @ a3

date:
22/03/2025

dwg. no.:

(DA)MOD//08 (DA)MOD

Rev. no.:

E

issue:

(DA)MOD

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