



Proposed Change of Use 63-67 The Corso, Manly

Traffic & Parking Assessment



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1.0 Introduction

This report has been prepared to accompany a Development Application to the Northern Beaches Council for the proposed change of use of shopfront and retail space to a fast-food restaurant 63-67 The Corso, Manly (Figure 1).

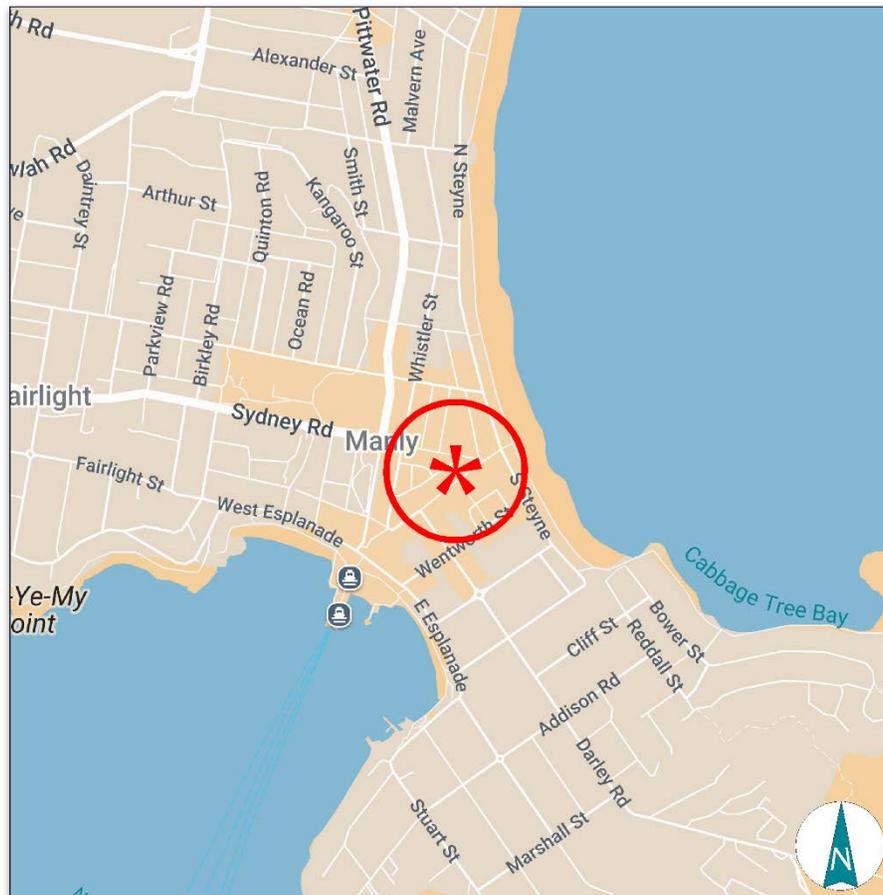


Figure 1 - Site Location

The purpose of this report is to:

- Describe the site, its context and the proposed development scheme.
- Describe the road network serving the site and the prevailing traffic conditions.
- Assess the adequacy of the proposed parking provision.
- Assess the proposed bicycle access arrangements and the potential traffic implications.

2.0 Proposed Development

2.1 Site, Context & Existing Circumstance

The site (Figure 2) consists of SP67337 which occupies a rectangular-shaped area of some 515m² with frontages of some 17m to the northern side of The Corso and 16m to the southern side of Market Lane.



Figure 2 - Site Boundary

The site is adjoined by similar commercial developments and surrounded by:

- The various shops and services in the surrounding area
- Manly Beach located some 135m to the east
- Manly Wharf located some 320m to the south-west
- Balgowlah Village Shopping Centre located some 2.4km to the west

2.2 Proposed Development Scheme

It is proposed to alter the existing site to accommodate the Get Sashimi Takeaway Restaurant. The upgrades to the site include:

- Installation of kitchen areas
- Relocation of a column
- Replacement of the existing double door
- Relocation of the existing sprinkler to the rear of the building

Details of the proposed development are provided on the plans prepared by Liteco Studio, which accompany the Development Application and are reproduced in part in Appendix A.

3.0 Road Network and Traffic Conditions

3.1 Road Network

The road network serving the site (Figure 3) comprises:

- *Pittwater Road* – a Regional Road and sub-arterial route connecting Epping Road to The Boulevard
- *Sydney Road* – a State Road and collector route connecting The Boulevard to Ponsonby Parade
- *Balgowlah Road* – a collector route connecting Pittwater Road to West Street
- *Alexander Street* – a collector route connecting Balgowlah Street to Alexander Street
- *Kenneth Road* – a collector route connecting Alexander Street to A8 Condamine Street

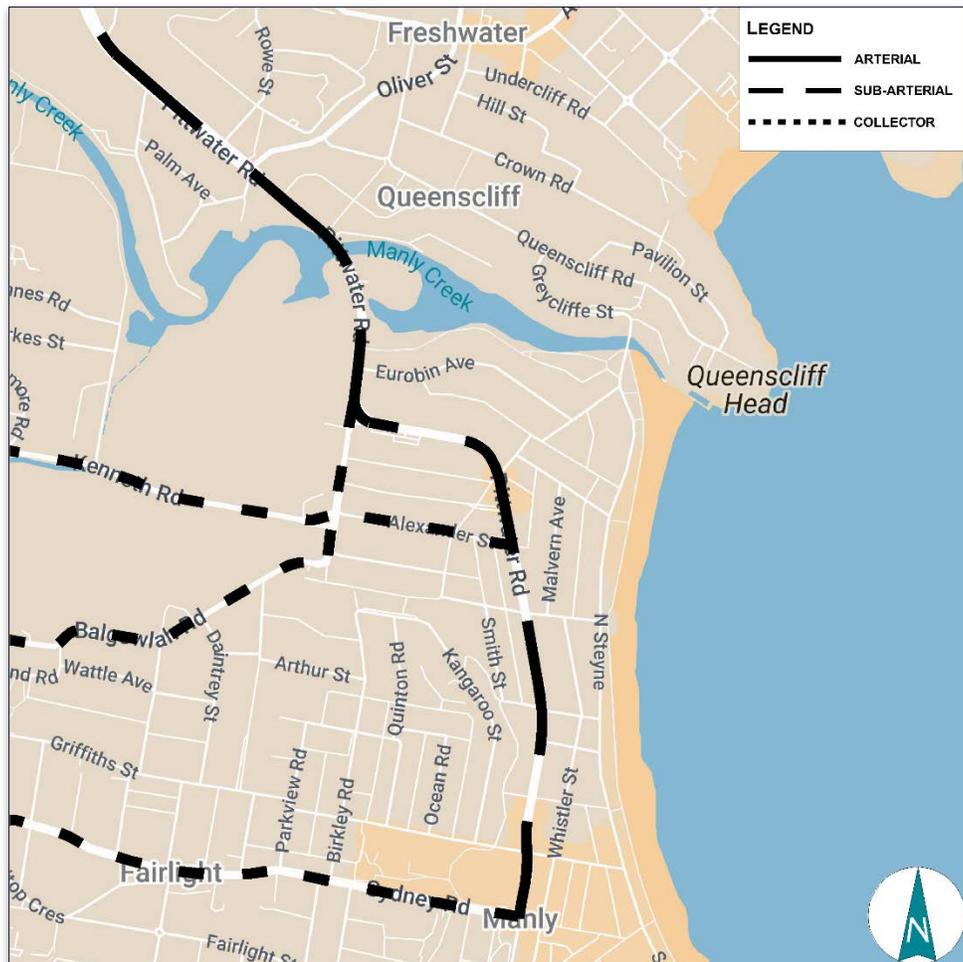


Figure 3 - Road Network

3.2 Traffic Controls

The traffic controls applied to the road system in the vicinity of the site (Figure 4) comprise:

- The traffic control signals along Pittwater Road at the intersections of Eurobin Avenue, Collingwood Street, Pine Street, Raglan Street and Sydney Road
- The traffic control signals at the intersections of Sydney Road and Hilltop Cres
- The roundabout along Pittwater Road and Balgowlah Road



Figure 4 - Traffic Controls

3.3 Traffic Conditions

Observations of the traffic activity along The Corso, Darley Road, Wentworth Street, and South Steyne near the site frontage revealed some queuing during the morning and afternoon peak periods, being largely limited to local access movements.

The traffic conditions at the intersections of Belgrave Street/West Esplanade/East Esplanade and East Esplanade/Wentworth Street during the morning and afternoon peak hours reveal some queuing occurs at times as a consequence of the collector traffic flows along West Esplanade/East Esplanade.

The section of The Corso and Sydney Road which is adjacent to the site has been completely pedestrianised and therefore traffic is made up entirely of foot traffic.

3.4 Transport Services

3.4.1 Ferry

The site is serviced by the following ferry routes via Manly Wharf some 320m to the south:

- F1: Manly to Circular Quay
- CCWM: City to Manly via Watsons Bay
- MFF: Manly to Circular Quay

3.4.2 Bus

The site is serviced by the following bus routes via Victoria Parade some 400m (6-minute walk) from the site:

- 142: Allambie Heights to Manly
- 144: Manly to Chatswood via St Leonards
- 166: Frenchs Forest to Manly via Dee Why Beach
- 167: Manly to Warringah Mall via South Curl Curl
- 199: Palm Beach to Manly via Mona Vale & Dee Why

Details of the available public transport services available are provided in Appendix B.

4.0 Traffic & Parking

4.1 Traffic

It can be seen from the observation that the surrounding traffic movements are negligible as The Corso consists of a pedestrian shopping mall that vehicles are not able to access.

Previously, the site was used as a retail unit with no car parking provisions and it can be seen that the majority of traffic along The Corso is comprised mainly of foot traffic from the available public transport network. There is no proposed change to the visitor/staff car parking provisions and therefore there will not be a change in the traffic generation of the development from the current operational circumstances as all traffic will continue to be pedestrian traffic.

Therefore, it is apparent that the traffic generation of the proposed development will be quite imperceptible and will not require measures to mitigate any traffic impact.

4.2 Parking

4.2.1 Car Parking

4.2.1.1 Existing Parking

The Manly DCP specifies the following parking provision in relation to Commercial Premises (including business, offices and retail premises) as 1 parking space for every 40 m² of gross floor area of serviced area.

Application of the above criteria to the existing development scheme of 515m² indicates a provision of 13 car parking spaces to satisfy the Manly DCP.

The existing development had a car parking provision of 0 spaces for visitors and staff. This car parking provision proved to be satisfactory over the lifetime of the development.

4.2.1.2 Proposed Parking

The Manly DCP specifies the following parking provision in relation to Restaurants or Cafes and Take-Away Food and Drink Premises as 1 parking space for every 40m² of gross floor area of serviced area.

Following this criteria, the restaurant with a 515m² floor area, Manly DCP requires a provision of 13 car parking spaces. It should be noted that this car parking provision is the same for retail premises, the previous use of the site before the change of use.

It is proposed to continue to provide a total of 0 car parking spaces which will remain satisfactory with the existing traffic landscape of The Corso.

5.0 Servicing

It is unlikely that service vehicles will be required to access the site on a common basis, nevertheless, should service vehicles require access to the site, parking can be provided in the empty bus bays or in the dedicated light vehicle parking area as is the existing circumstance.

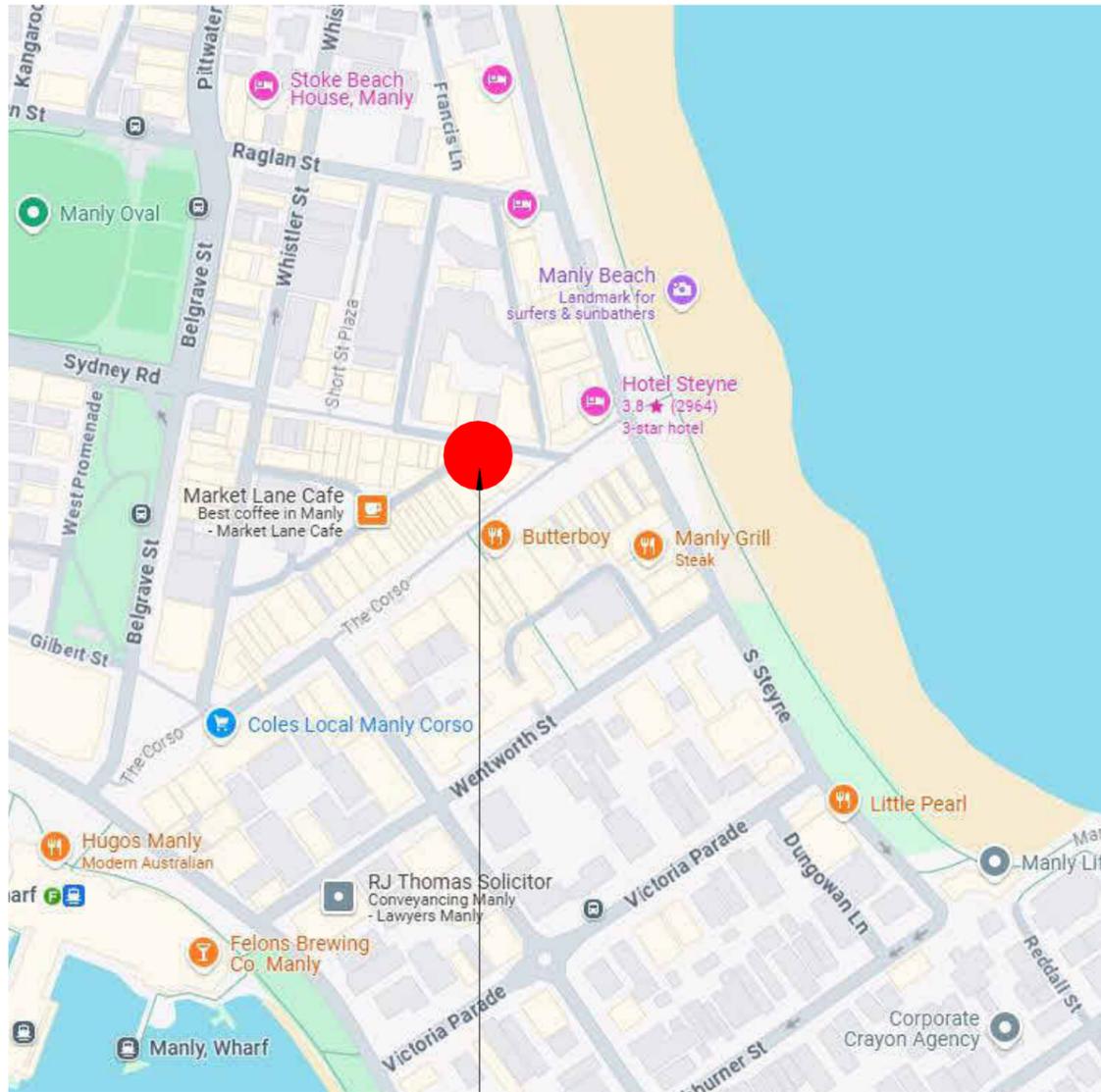
6.0 Conclusion

The traffic and parking assessment undertaken for the proposed change of use to a takeaway restaurant at 63-67 The Corso, Manly, has concluded that:

- The traffic generation of the proposed development will not have any negative traffic implications.
- The proposed parking provisions will be satisfactory
- The proposal will involve servicing arrangements which will be suitable and appropriate

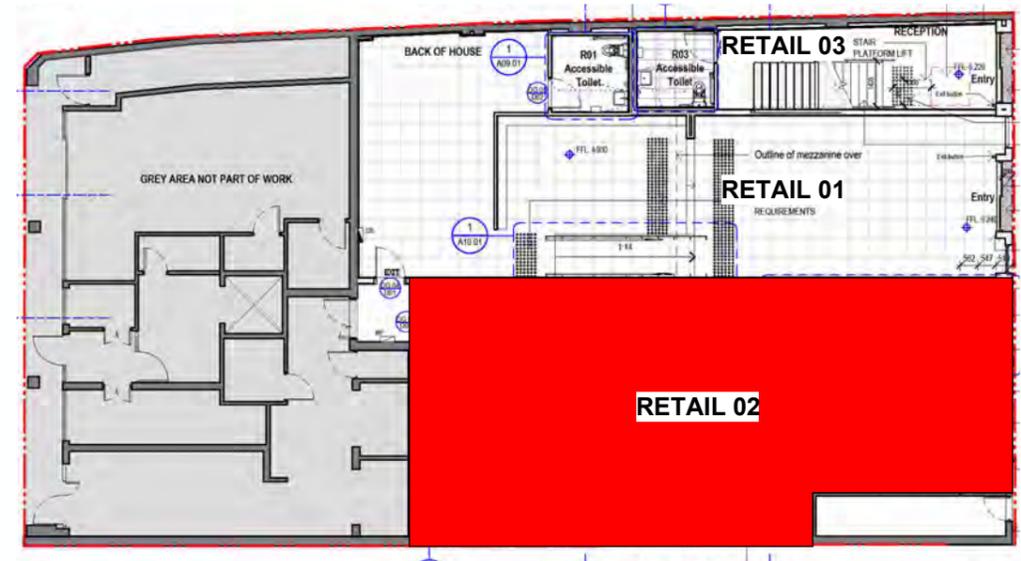
Appendix A

Development Plans



01 Location Map
NTS

Retail 02 63-67 The Corso
Manly NSW 2095



02 Site Location
NTS



Suite 42, Level 7, 591 George St, Sydney
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info@liteco.com.au

CLIENT:
Get Sashimi Pty Ltd

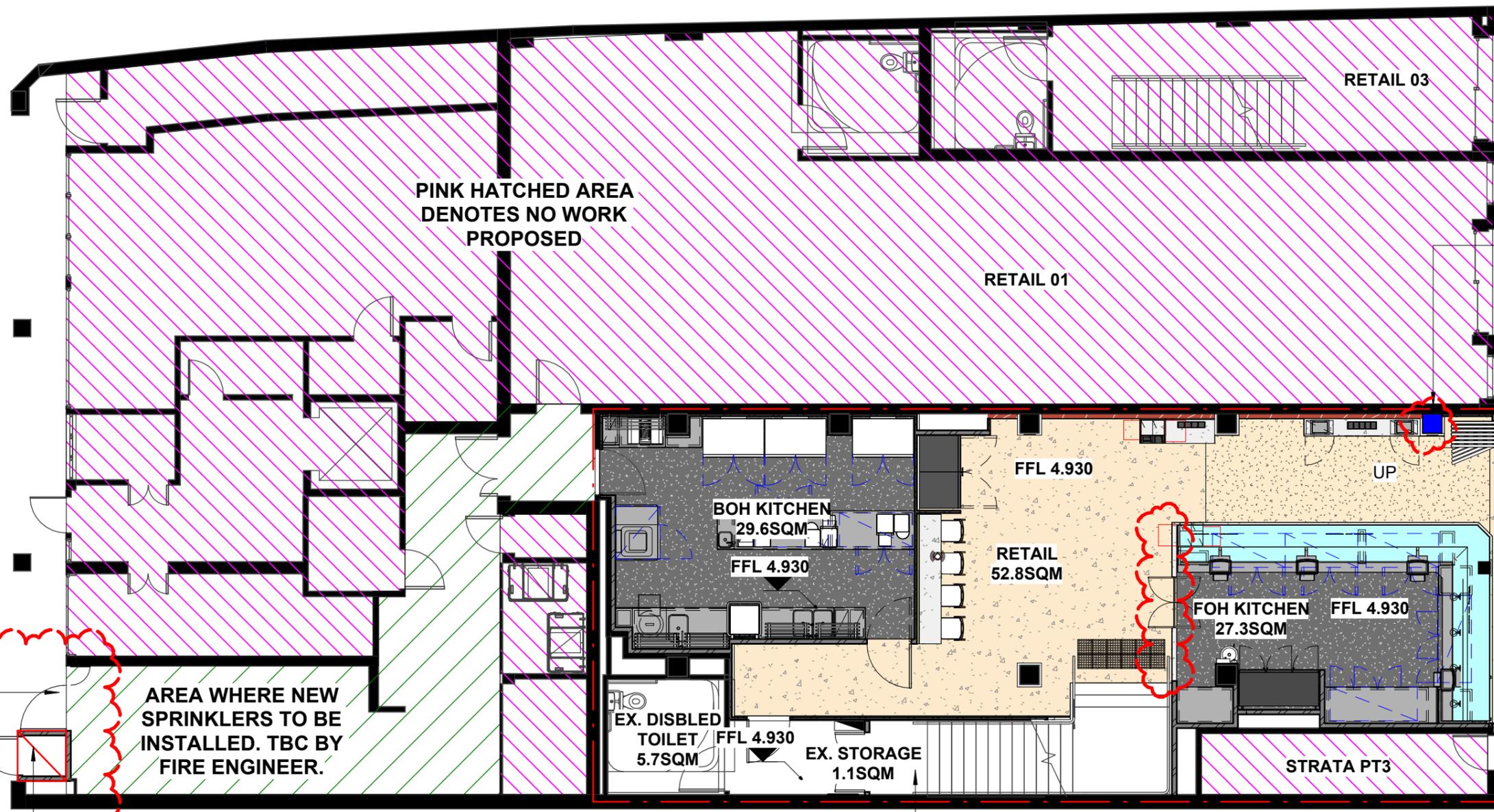
PROJECT: 2435
Get Sashimi Manly
Retail 02 63-67 The Corso
Manly NSW 2095

NOTE:

- All drawings to be read in conjunction with all engineers documentation and specification.
- Contractor to ensure all new building works, new fittings and fixtures are installed to the current BCA, Australian Standards and Work Cover Regulations.
- The Contractor shall use figured dimensions in preference to scaled dimensions. All dimensions shall be verified on site by the Contractors prior to commencing any work or preparing shop drawings.
- All materials are to be used in accordance with manufacturer's specifications and instructions, and to comply with relevant Australian Standards.
- Partition set-out to be approved by Project Manager on-site prior to construction.
- COPYRIGHT These drawings and the designs are the property of Liteco Project and must not be used, retained or copied without written permission of Liteco Project.

No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24

TITLE		DRAWING NO.	
Location Plan		P100	
DRAWN BY TT		SCALE AS SHOWN	
CLIENT APPROVAL		CHECKED AT	
		ISSUE C 21/11/24	



PINK HATCHED AREA DENOTES NO WORK PROPOSED

Blue box denotes relocated column as per structural engineer drawings.

No change to Floor Finish level and remain aligned with existing pedestrian paving.

Existing outdoor public paving remain. No work proposed.

Existing double door opening to be filled with new wall and double panel door.

AREA WHERE NEW SPRINKLERS TO BE INSTALLED. TBC BY FIRE ENGINEER.

Nominated position of sprinkler control valve within storage underneath existing staircase. Base Building Fire Engineer to review and confirm.

Nominated position of relocated sprinkler booster to rear side of building enclosed with solid masonry walls with adequate fire seal. Access door to be fire rated 90/90/90. Base Building Fire Engineer to review and confirm.

1 Proposed Plan - Overall
E102 1 : 100@A3

Wall Legend:

	EXISTING WALL
	METAL STUD
	TIMBER STUD
	SOLID CONSTRUCTION

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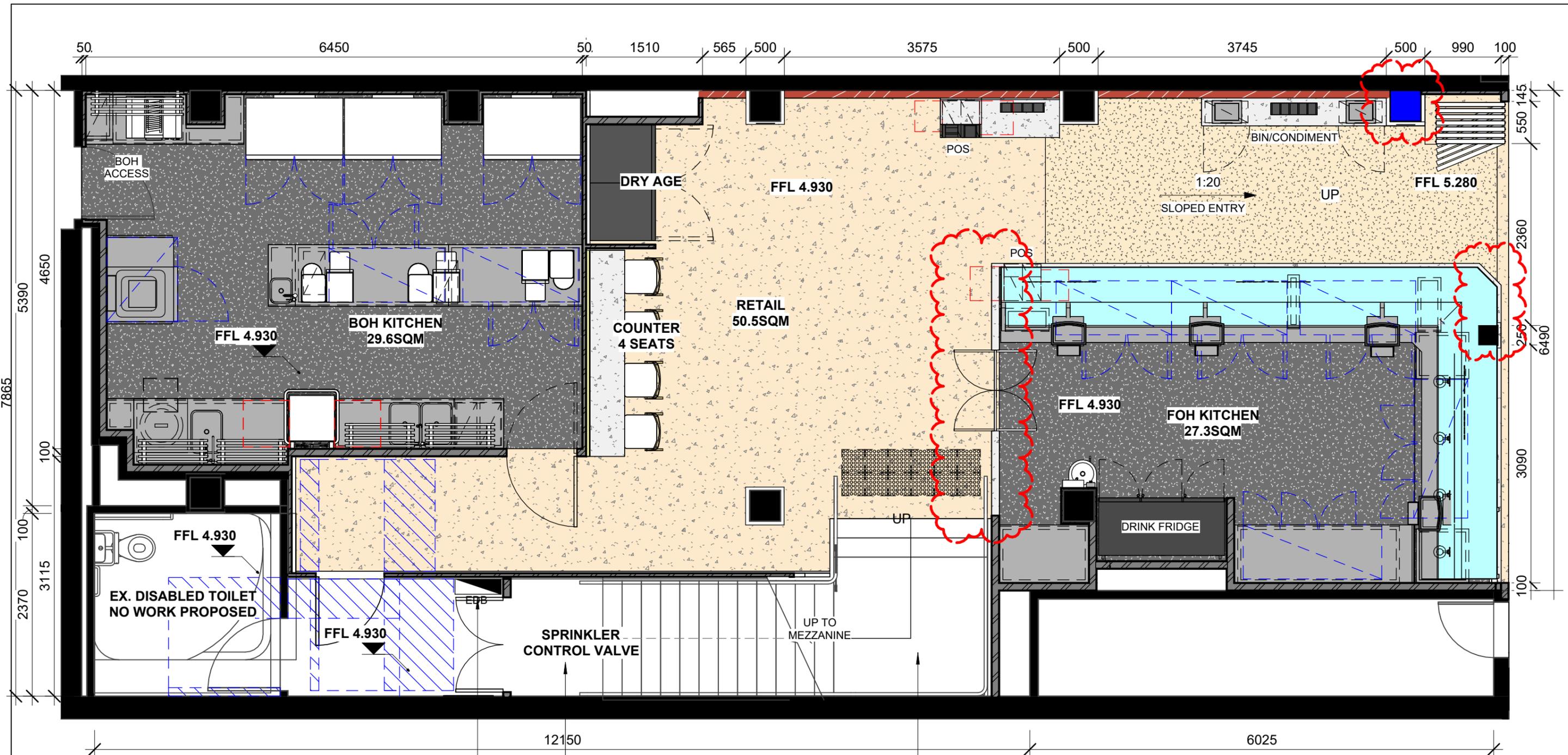
CLIENT: Get Sashimi Pty Ltd
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 Retail 02 63-67 The Corso
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No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24
D	For Strata Approval	28/11/24
E	For Strata Approval/For DA	13/12/24
F	For Strata Approval/For DA	13/01/25

TITLE: Proposed Plan
 DRAWN BY: TT
 CLIENT APPROVAL:

DRAWING NO. P103
 SCALE AS SHOWN
 CHECKED AT
 ISSUE F 13/01/25



1 Layout Plan - Ground
1 : 50@A3

Nominated position of sprinkler control valve within existing storage underneath stair case. Base Building Fire Engineer to review and confirm.

Existing stair case. No work proposed.

Existing EDB. No work proposed.



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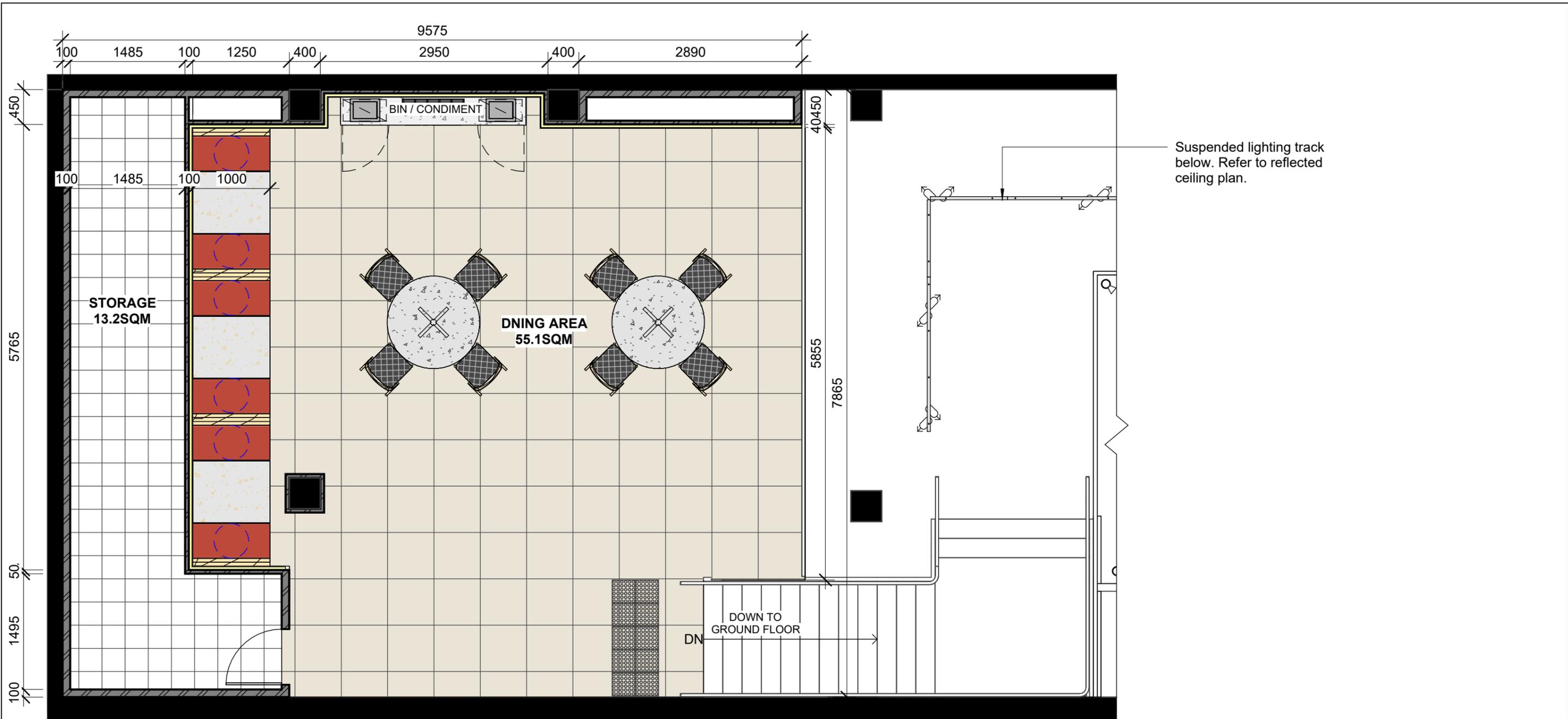
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No.	Description	Date
C	Initial Concept	13/11/24
D	For Owners Consent	18/11/24
E	For DA	21/11/24
F	For Strata Approval	28/11/24
G	For Strata Approval/For DA	13/12/24
H	For Strata Approval/For DA	30/01/25

TITLE	
Layout Plan - Ground Level	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
P103.1	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	H 30/01/25



1 Layout Plan - Mezzanine
1 : 50@A3

No.	Description	Date
A	Preliminary Layout Plan	04/11/24
B	Revised Layout	06/11/24
C	Initial Concept	13/11/24
D	For Owners Consent	18/11/24
E	For DA	21/11/24

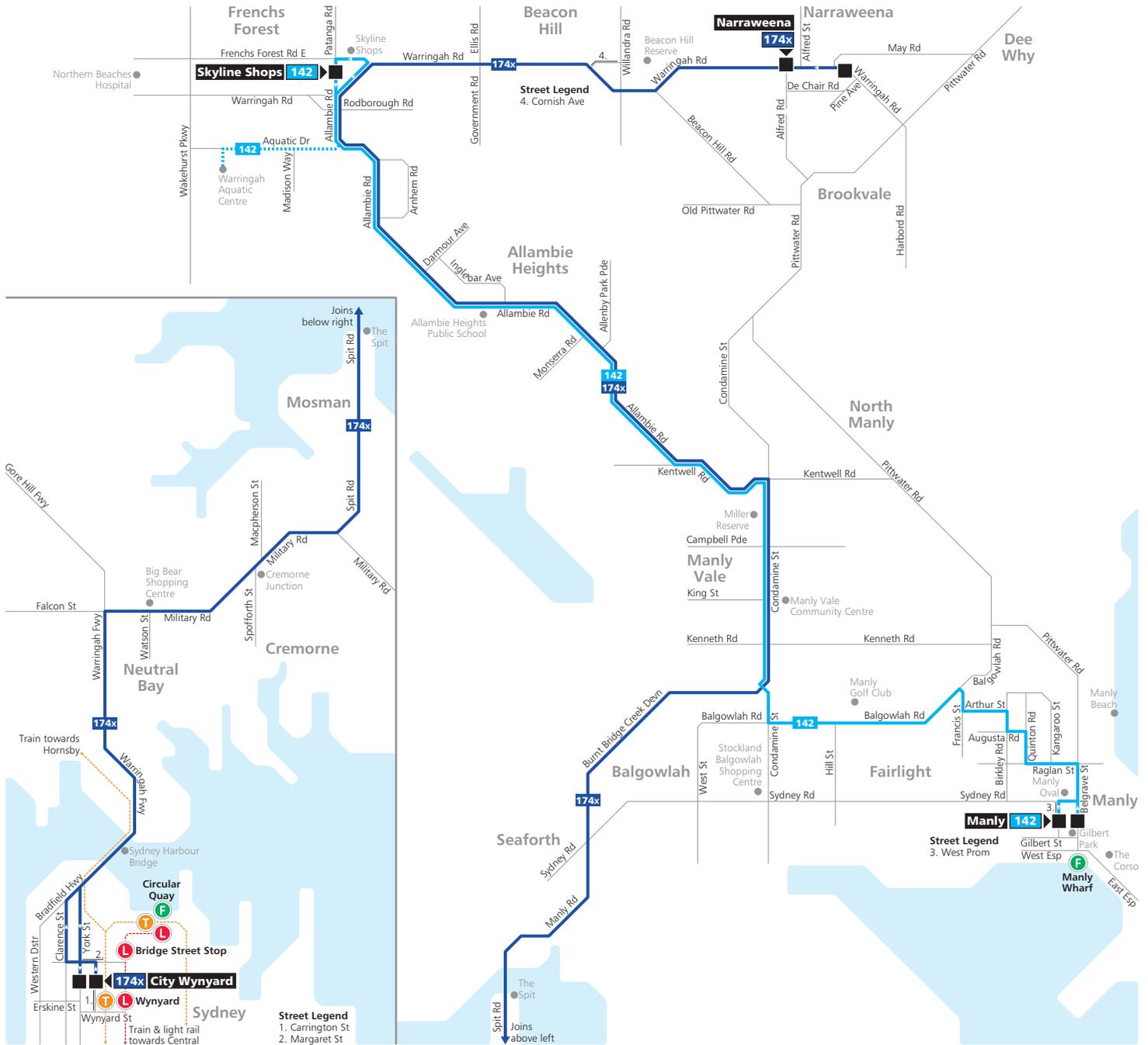
TITLE	
Layout Plan - Mezzanine Level	
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CLIENT APPROVAL	

DRAWING NO.	
P103.2	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	E 21/11/24

Appendix B

Public Transport Services

Routes 142, 174x



- Legend**
- Bus route
 - - - Diversion/extended route
 - 142 Bus route number
 - Bus route start/finish
 - T Train line/station
 - F Ferry wharf
 - L Light rail line/stop

Diagrammatic Map
Not to Scale
North

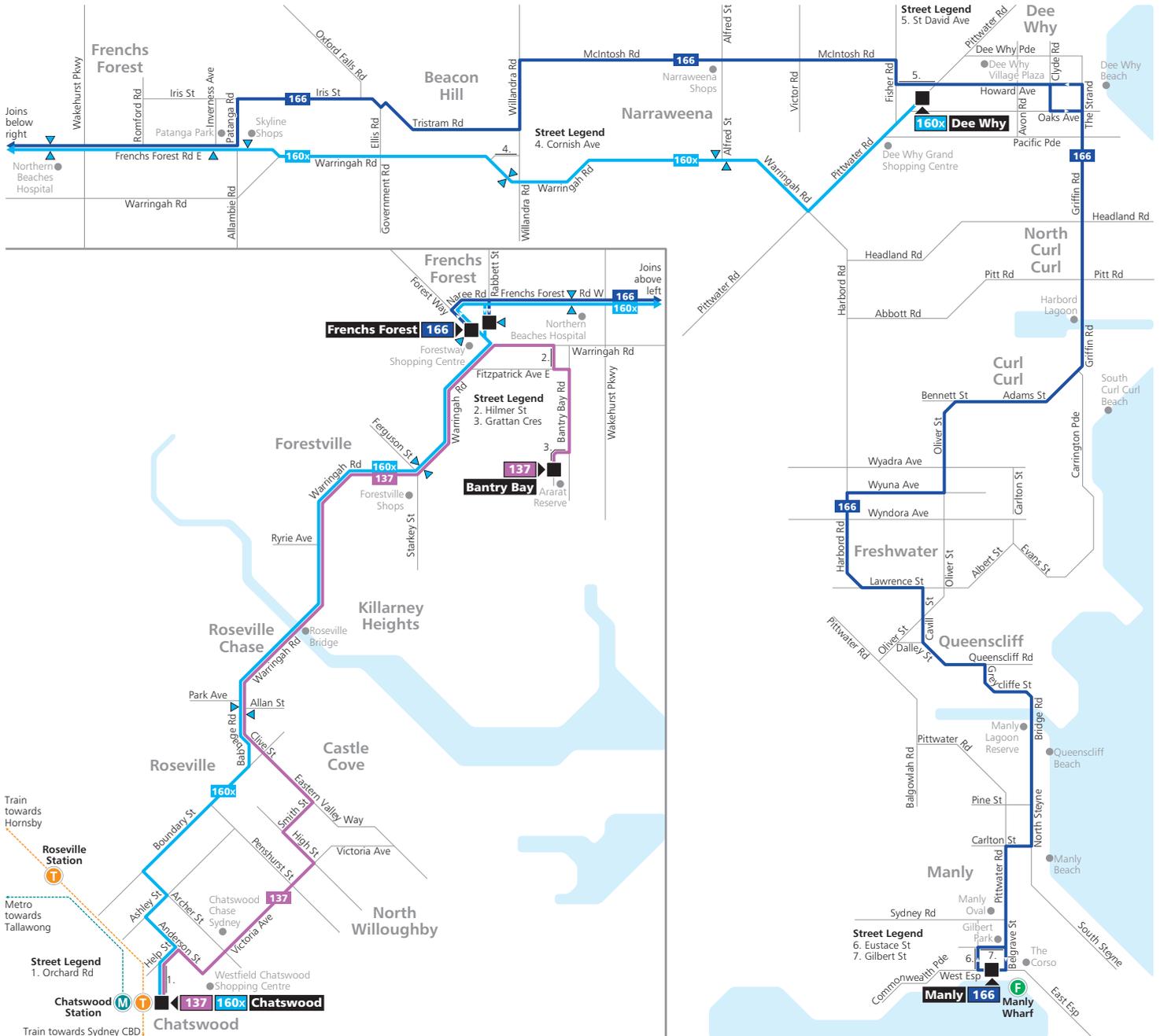
Route 174x to City Wynyard

Picks up and sets down passengers at all stops to Kenneth Road Manly Vale, then Cremorne Junction, Watson Street (Neutral Bay), and Wynyard.

Route 174x to Narraweena

Picks up passengers only at Wynyard, then picks up and sets down passengers at Big Bear (Neutral Bay), Cremorne Junction, Kenneth Road Manly Vale, then all stops.

Routes 137, 160x, 166



- Legend**
- Bus route
 - 160x Bus route number
 - 137 Bus route start/finish
 - ▶ Stops for limited stops services
 - M Metro line/station
 - T Train line/station
 - F Ferry wharf

Diagrammatic Map
Not to Scale

Route 160x to Dee Why

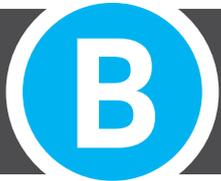
Picks up passengers only at Chatswood Interchange, then picks up and sets down passengers at Park Ave Roseville, Ferguson St Forestville, Forestway Shopping Centre, Northern Beaches Hospital, Skyline Shops, Willandra Rd Beacon Hill, Alfred St Narraweena, and Dee Why B-Line.

Route 160x to Chatswood

Picks up passengers only at Dee Why Shops, then picks up and sets down passengers at Alfred St Narraweena, Willandra Rd Beacon Hill, Skyline Shops, Northern Beaches Hospital, Forestway Shopping Centre, Starkey St Forestville, Allan St Roseville Chase, and Chatswood Interchange.



Routes B1, BN1, 154x, 181x, 190x, 199



Route B1 to City Wynyard

Picks up passengers only at Mona Vale B-Line, then picks up and sets down passengers at Warriewood B-Line, Narrabeen B-Line, Collaroy B-Line, Dee Why B-Line, Warringah Mall, Manly Vale B-Line, Spit Junction, Neutral Bay Junction, and Wynyard.

Route B1 to Mona Vale

Picks up passengers only at Wynyard, then picks up and sets down passengers at Neutral Bay Junction, Spit Junction, Manly Vale B-Line, Warringah Mall, Dee Why B-Line, Collaroy B-Line, Narrabeen B-Line, Warriewood B-Line, and Mona Vale B-Line.

Route BN1 to City QVB

Picks up passengers only at Mona Vale B-Line, then picks up and sets down passengers at Warriewood B-Line, Narrabeen B-Line, Collaroy B-Line, Dee Why B-Line, Warringah Mall, Manly Vale B-Line, Spit Junction, Neutral Bay Junction, Wynyard and Queen Victoria Building.

Route BN1 to Mona Vale

Picks up passengers only at Queen Victoria Building, then picks up and sets down passengers at Wynyard, Neutral Bay Junction, Spit Junction, Manly Vale B-Line, Warringah Mall, Dee Why B-Line, Collaroy B-Line, Narrabeen B-Line, Warriewood B-Line, and Mona Vale B-Line.

Route 154x to Milsons Point

Picks up passengers only at Dee Why Shops, then picks up and sets down passengers at Warringah Mall, Kenneth Road Manly Vale, Spit Junction, Neutral Bay Junction, then all stops.

Route 154x to Dee Why

Picks up passengers only at Milsons Point Wharf, then picks up and sets down passengers at all stops to Neutral Bay Junction, then Spit Junction, Kenneth Road Manly Vale, Warringah Mall, and Dee Why B-Line.

Route 181x to City Wynyard

Picks up and sets down passengers at all stops to Dee Why B-Line, then Warringah Mall, Kenneth Road Manly Vale, Spit Junction, Neutral Bay Junction, and Wynyard.

Route 181x to Narrabeen

Picks up passengers only at Wynyard, then picks up and sets down passengers at Neutral Bay Junction, Spit Junction, Kenneth Road Manly Vale, Warringah Mall, Dee Why B-Line, then all stops.

Route 190x to City Wynyard

Picks up and sets down passengers at all stops to Narrabeen B-Line, then Spit Junction, Neutral Bay Junction, and Wynyard.

Route 190x to Avalon Beach

Picks up passengers only at Wynyard, then picks up and sets down passengers at Neutral Bay Junction, Spit Junction, Narrabeen B-Line, then all stops.



Sydney Ferries Network

