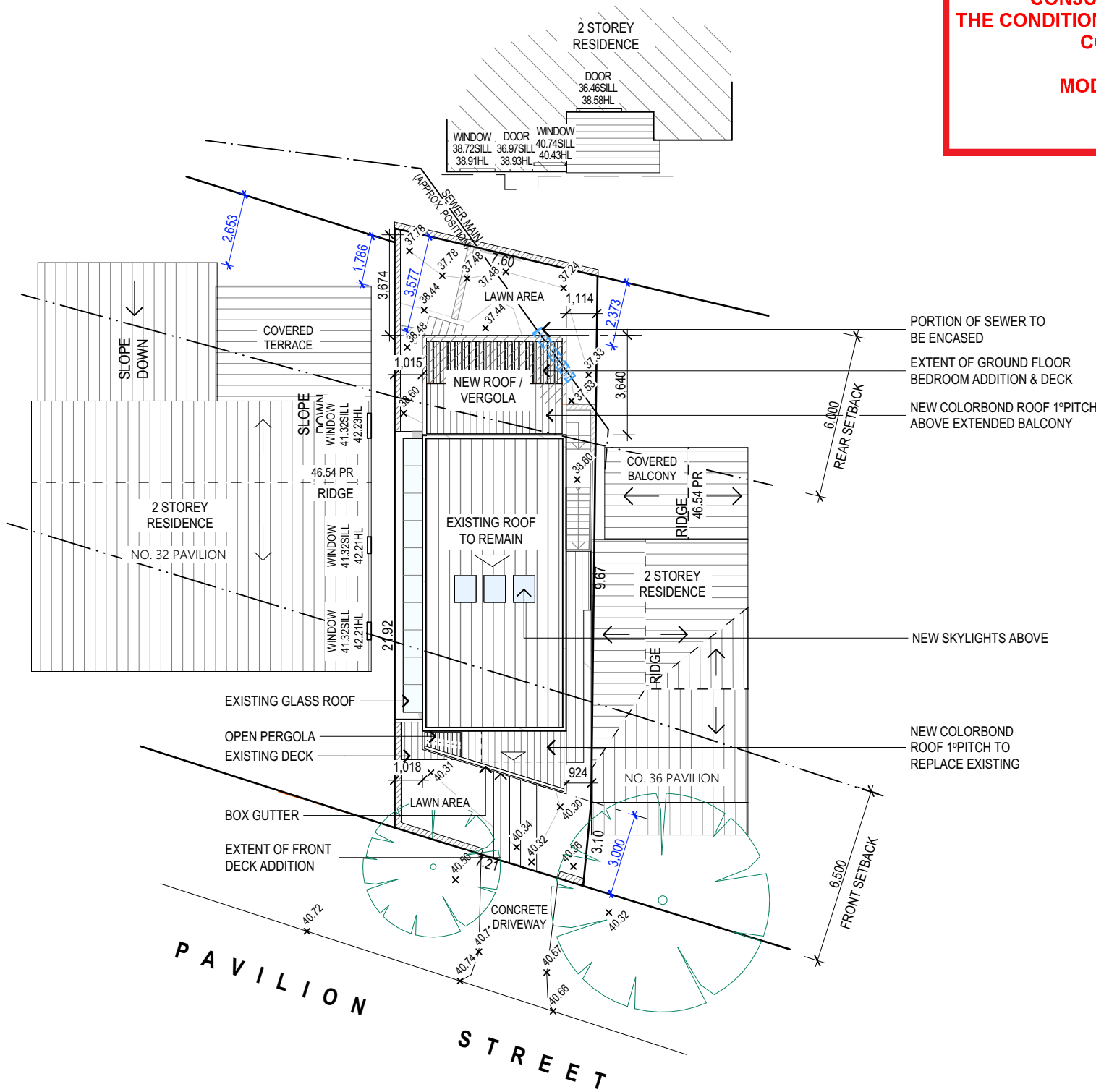


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0220



SITE ANALYSIS PLAN

LOT 2
DP 622394

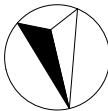
SITE AREA = 159.40 m²

AREA CALCULATIONS

APPROX. EXISTING GROSS FLOOR AREA 114.10m²
APPROVED NEW GROSS FLOOR AREA 27.52m²
PROPOSED NEW GROSS FLOOR AREA 4.30m²
TOTAL GROSS FLOOR AREA 145.92m²

NOTE: CHANGES TO APPROVED
DA SHOWN IN RED

TRUE NORTH:



NOTES (E & OE)

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D	24.03.22	DRAWINGS UPDATED
E	05.05.22	DA DRAWINGS UPDATED
F	07.03.23	MODIFICATION DRAWINGS
G	23.03.23	MODIFICATION DRAWINGS

MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
JANUARY/22

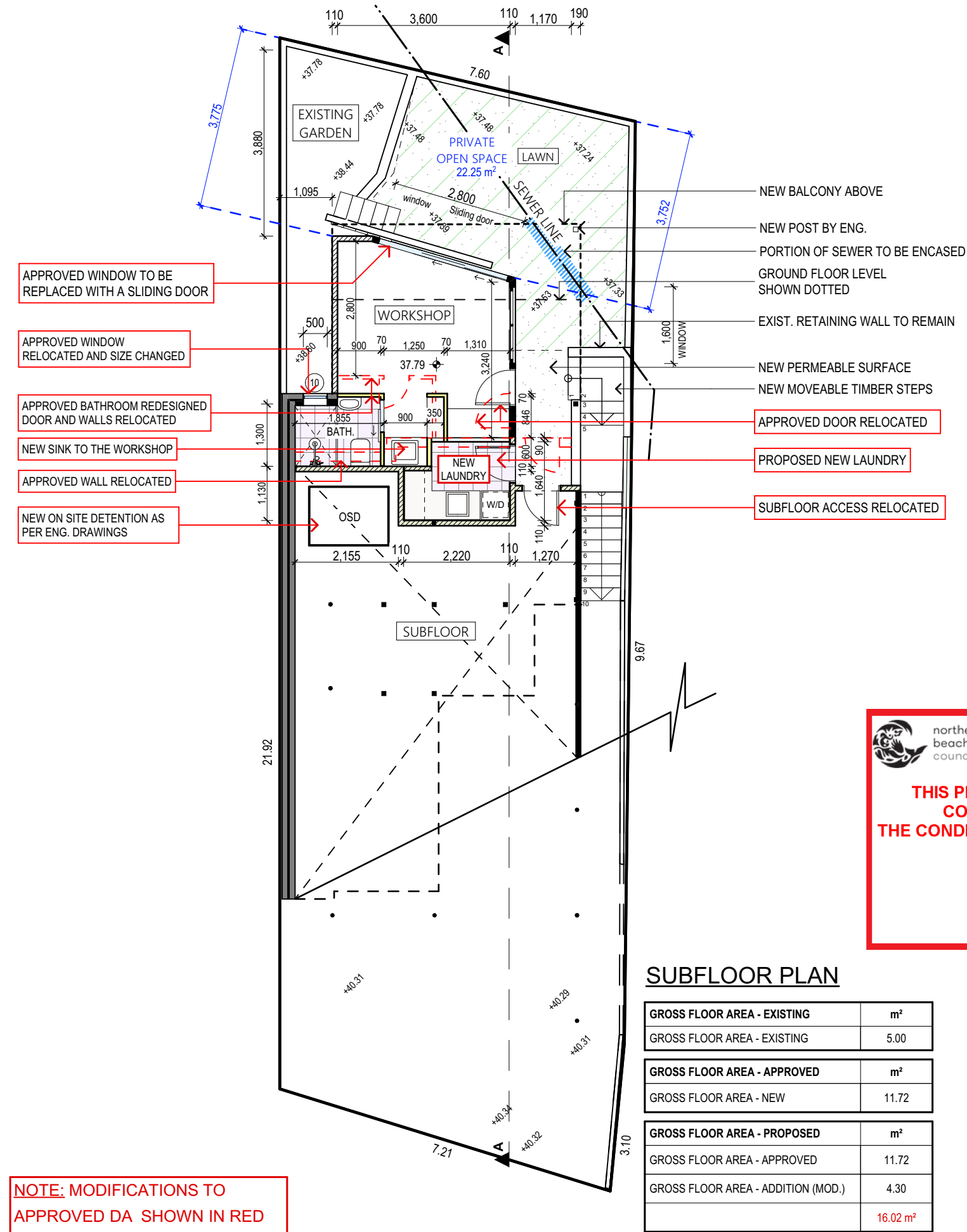
JOB No:
982/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
MOD.01



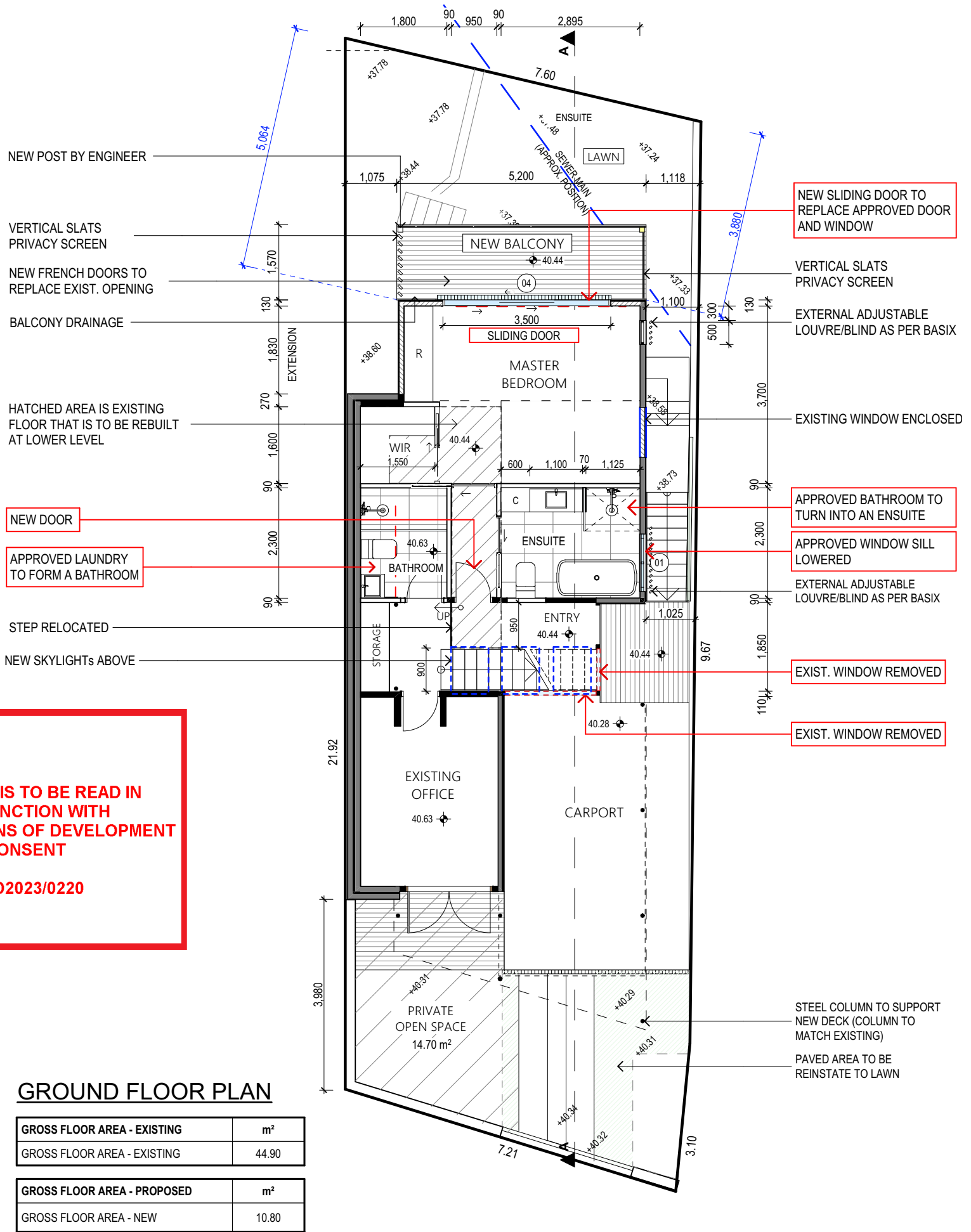
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**THIS PLAN IS TO BE READ IN
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MOD2023/0220

SUBFLOOR PLAN

GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	5.00
GROSS FLOOR AREA - APPROVED	m ²
GROSS FLOOR AREA - NEW	11.72
GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - APPROVED	11.72
GROSS FLOOR AREA - ADDITION (MOD.)	4.30
	16.02 m ²

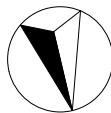


GROUND FLOOR PLAN

GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	44.90
GROSS FLOOR AREA - PROPOSED	m ²
GROSS FLOOR AREA - NEW	10.80

**NOTE: MODIFICATIONS TO
APPROVED DA SHOWN IN RED**

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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
SUBFLOOR AND GROUND FLOOR PLAN

DATE:
JANUARY/22

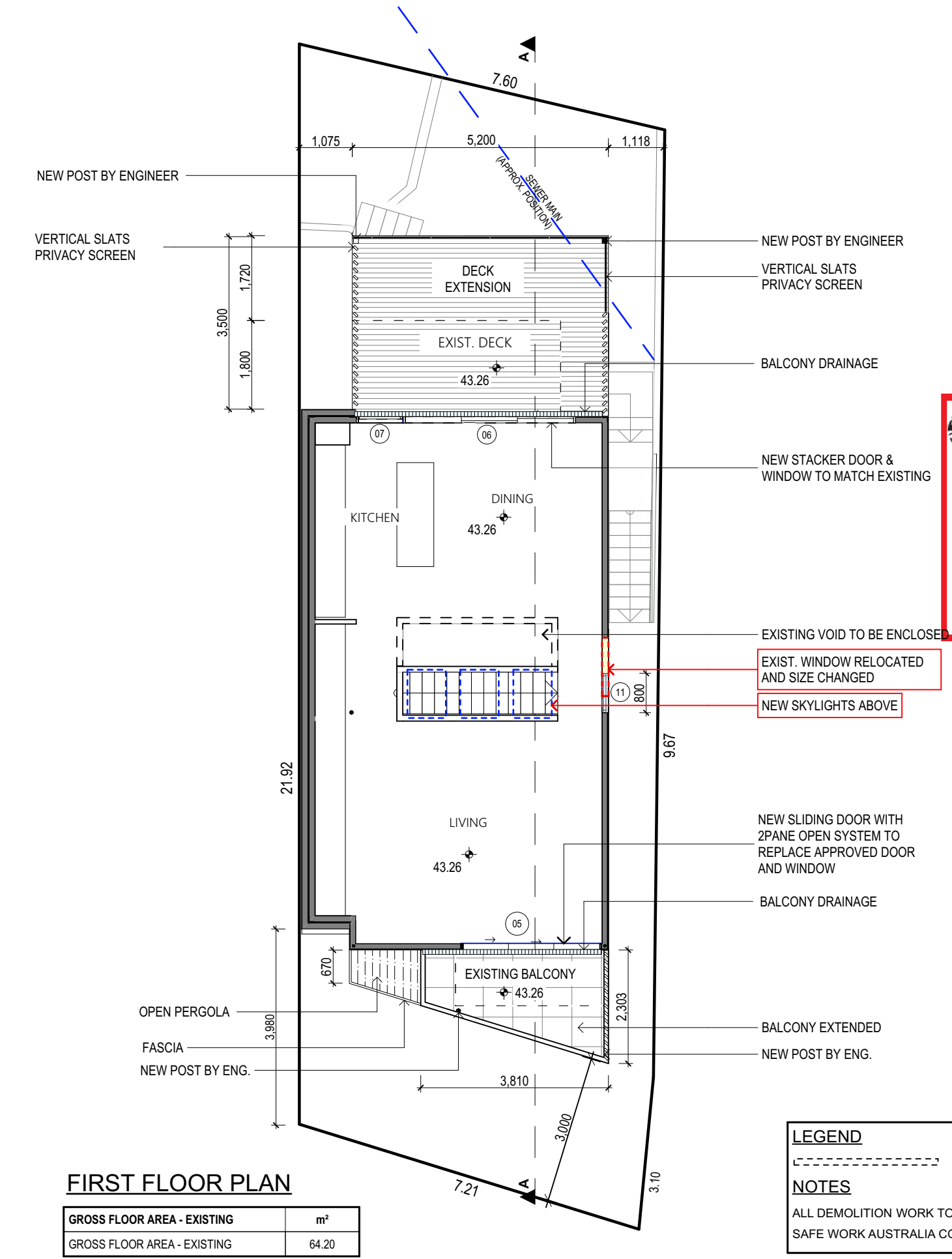
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DRAWN BY:
LB

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JJ

SCALE:
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DRAWING No:
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FIRST FLOOR PLAN

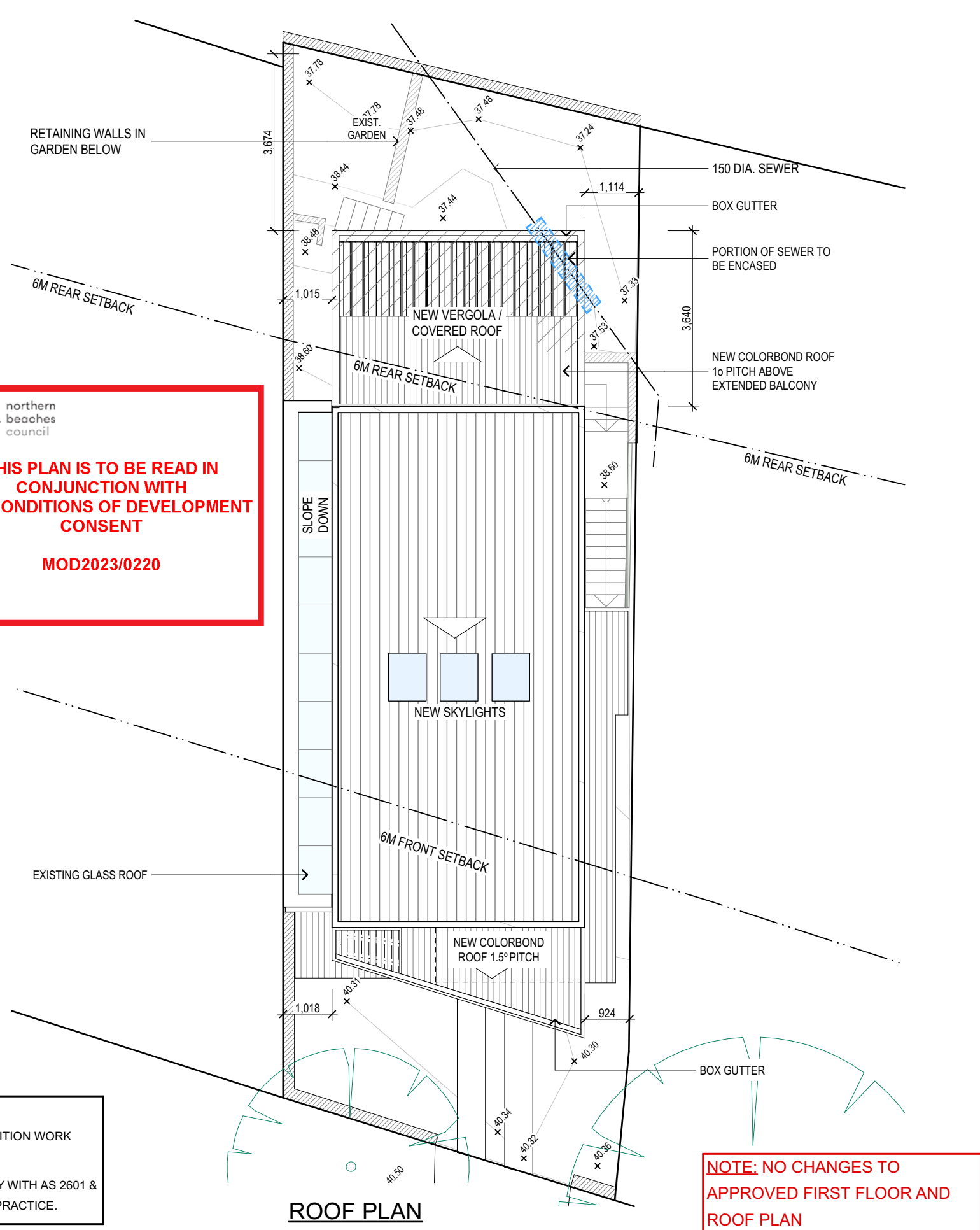
GROSS FLOOR AREA - EXISTING	m ²
GROSS FLOOR AREA - EXISTING	64.20

LEGEND

--- DEMOLITION WORK

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.



ROOF PLAN

NOTE: NO CHANGES TO APPROVED FIRST FLOOR AND ROOF PLAN

TRUE NORTH:

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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS

34 Pavilion Street - Queenscliff NSW 2096

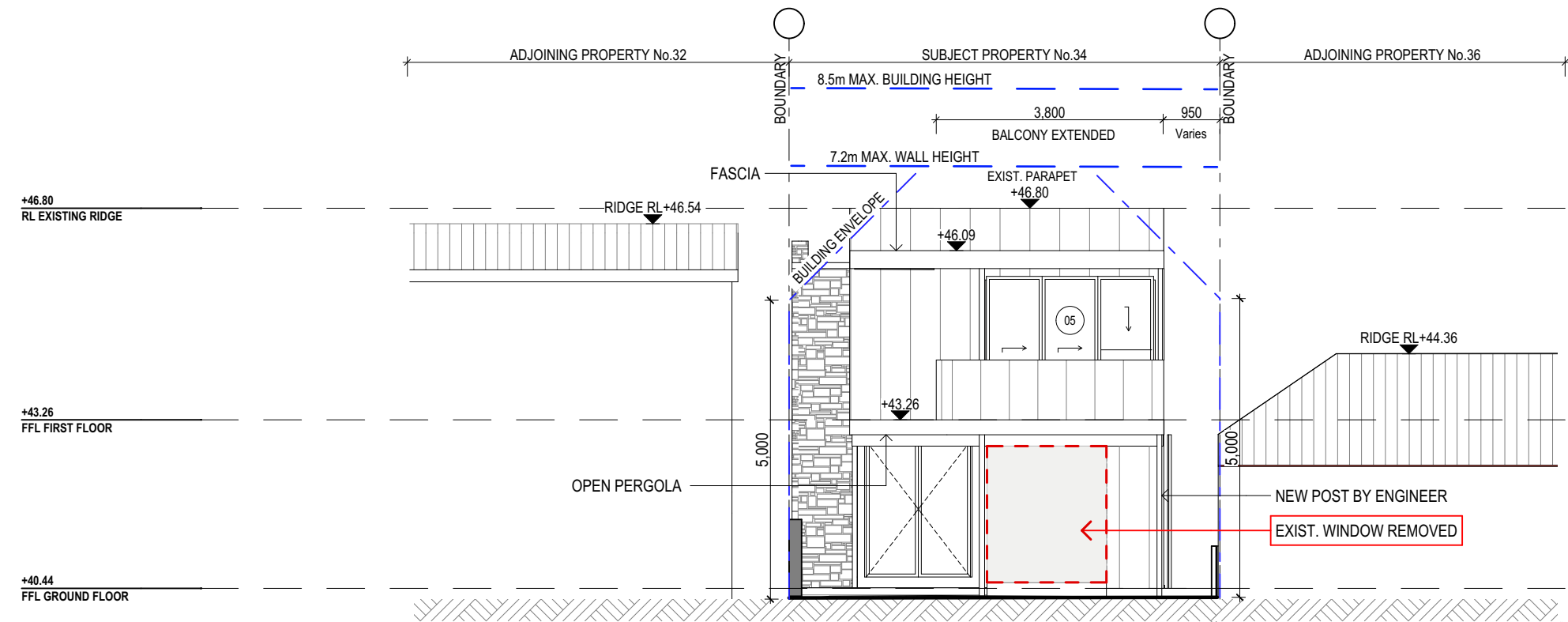
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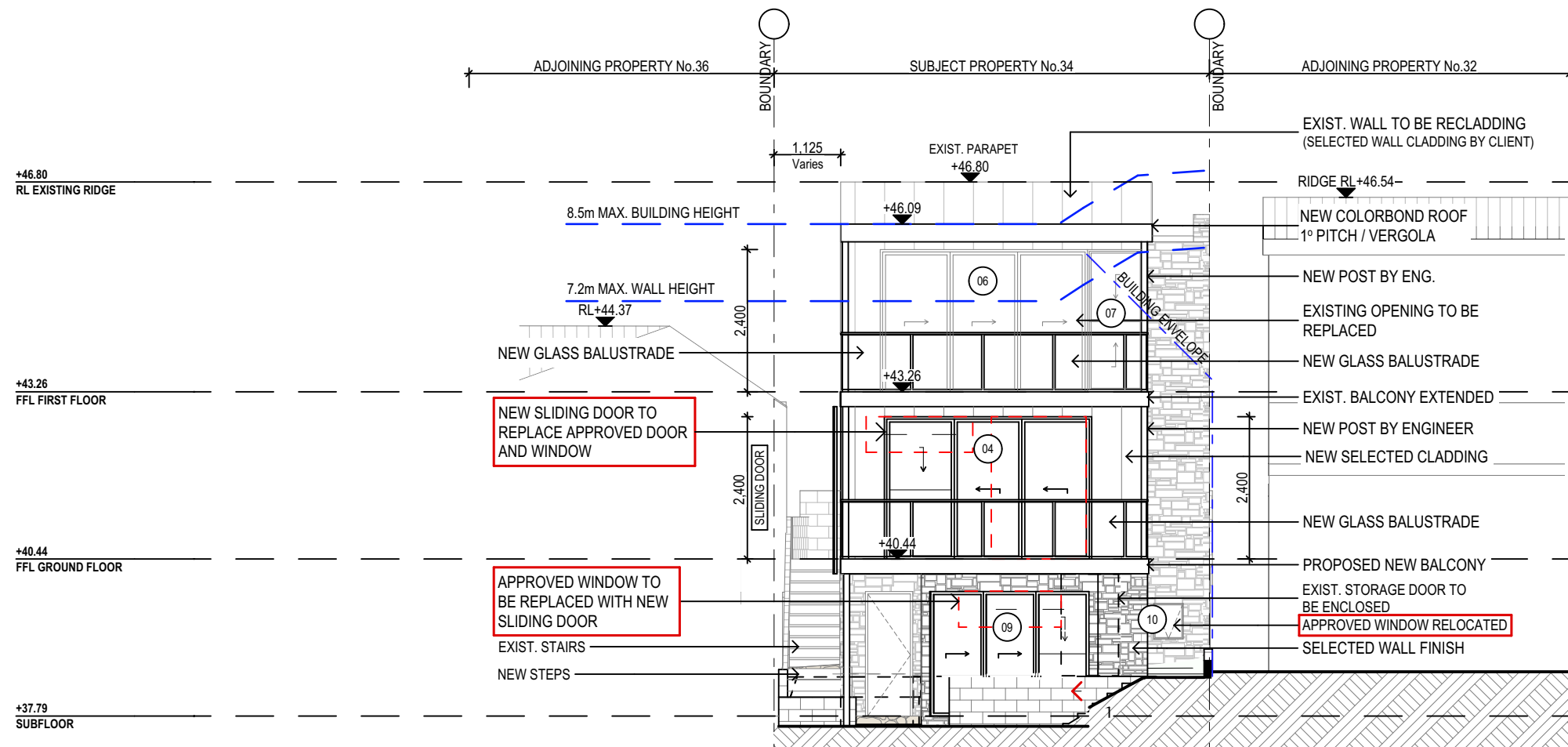
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FIRST FLOOR AND ROOF FLOOR

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JOB No:	CHECKED BY:	DRAWING No:
982/22	JJ	MOD.03



NORTH ELEVATION



SOUTH ELEVATION

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THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2023/0220

**NOTE: MODIFICATIONS TO
APPROVED DA SHOWN IN RED**

LEGEND

----- DEMOLITION WORK

NOTES

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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
NORTH AND SOUTH ELEVATIONS

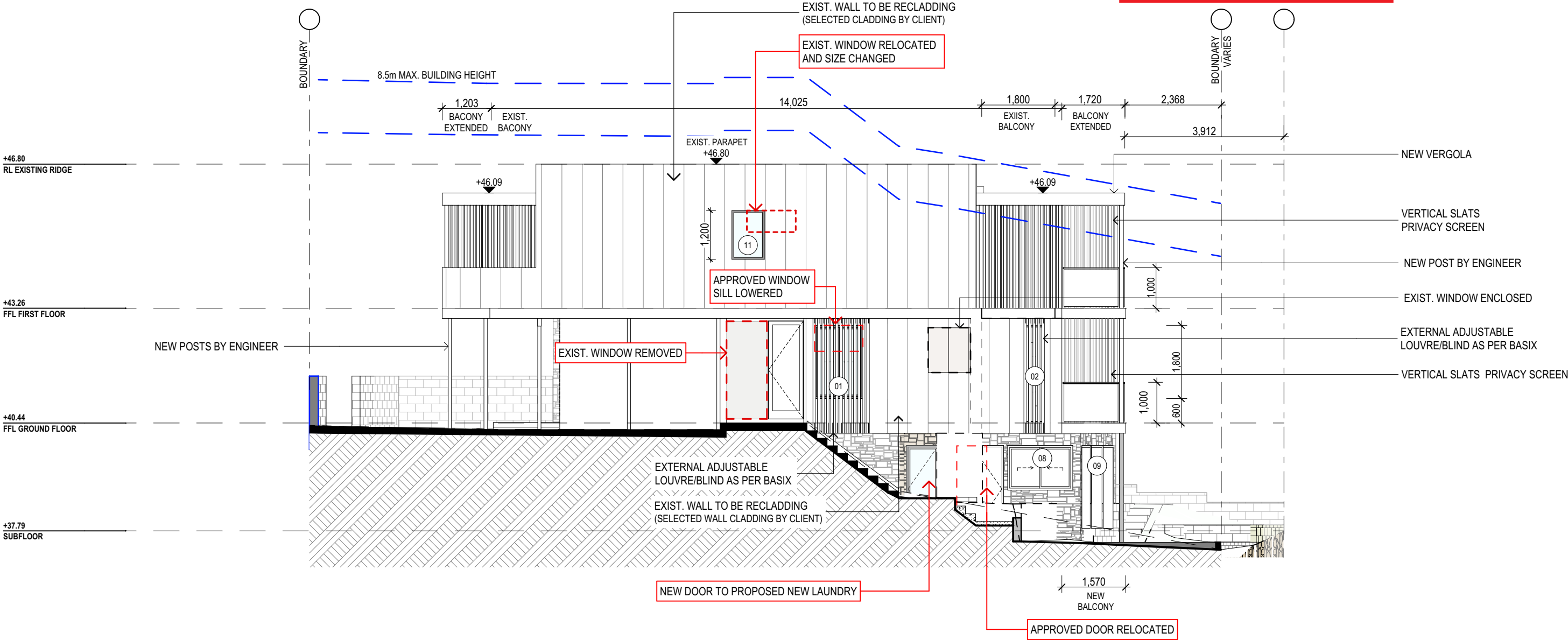
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WEST ELEVATION

NOTE: MODIFICATIONS TO
APPROVED DA SHOWN IN RED

LEGEND

DEMOLITION WORK

NOTES

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MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS
34 Pavilion Street - Queenscliff NSW 2096

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DRAWING TITLE:
WEST ELEVATION

DATE:
JANUARY/22

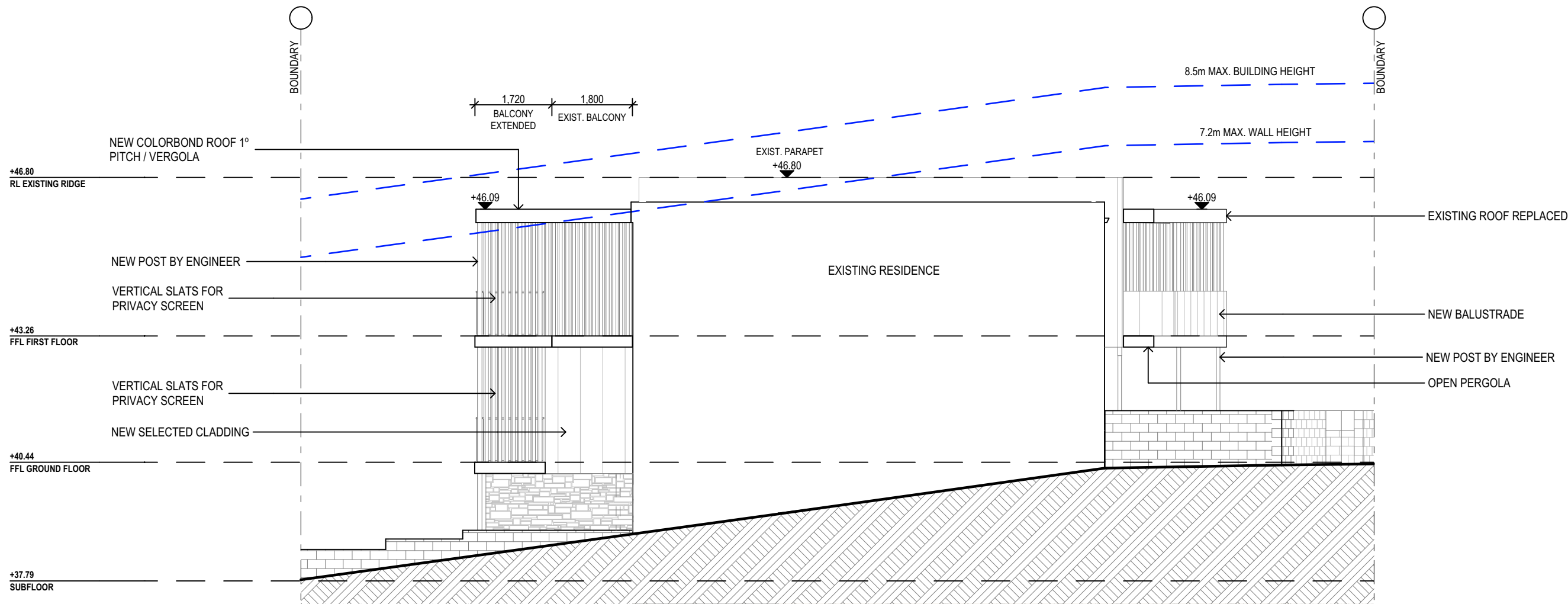
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JOB No:
982/22

CHECKED BY:
JJ

DRAWING No:
MOD.05



EAST ELEVATION



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CONSENT

MOD2023/0220

BASIX REQUIREMENTS	
BASIX INCLUSIONS FOR 34 PAVILION STREET - QUEENSCLIFF	
LIGHTING	
40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.	
WATER	
SHOWER RATING	MIN. 3 STARS
TAP RATING	MIN. 3 STARS
WC RATING	MIN. 3 STARS
INSULATION	
CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)
Concrete slab on ground floor	Nil
External wall: other / undecided	R1.70 (including construction)
GLAZING - DOORS & WINDOWS	
Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W1, W2, W4, D4, D5, D6, W7, W8, W9, W10, W11	
External adjustable louvre / blind	
W1, W2	

NOTE: NO CHANGES TO
APPROVED EAST ELEVATION

	<div>NOTES (E & OE)</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting</div> <div>Division of JJ DRAFTING AUSTRALIA PTY LTD</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541 Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div> <div>ACN 651 693 346</div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>A</td><td>11.02.22</td><td>DRAWINGS UPDATED</td></tr><tr><td>B</td><td>28.02.22</td><td>DRAWINGS UPDATED</td></tr><tr><td>C</td><td>16.03.22</td><td>DRAWINGS UPDATED</td></tr><tr><td>D</td><td>24.03.22</td><td>DRAWINGS UPDATED</td></tr><tr><td>E</td><td>05.05.22</td><td>DA DRAWINGS UPDATED</td></tr><tr><td>F</td><td>07.03.23</td><td>MODIFICATION DRAWINGS</td></tr><tr><td>G</td><td>23.03.23</td><td>MODIFICATION DRAWINGS</td></tr></table>	REV:	DATE:	DESCRIPTION:	A	11.02.22	DRAWINGS UPDATED	B	28.02.22	DRAWINGS UPDATED	C	16.03.22	DRAWINGS UPDATED	D	24.03.22	DRAWINGS UPDATED	E	05.05.22	DA DRAWINGS UPDATED	F	07.03.23	MODIFICATION DRAWINGS	G	23.03.23	MODIFICATION DRAWINGS	<table><tr><td>MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS</td></tr><tr><td>34 Pavilion Street - Queenscliff NSW 2096</td></tr><tr><td>CLIENT: Jan Beach</td></tr></table>	MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS	34 Pavilion Street - Queenscliff NSW 2096	CLIENT: Jan Beach	<table><tr><td>DATE:</td><td>DRAWN BY:</td><td>SCALE:</td></tr><tr><td>JANUARY/22</td><td>LB</td><td>1:100 @ A3</td></tr></table>	DATE:	DRAWN BY:	SCALE:	JANUARY/22	LB	1:100 @ A3
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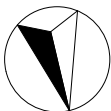
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CONSENT

MOD2023/0220

NOTE: NO CHANGES TO
APPROVED LANDSCAPE PLAN

CALCULATIONS			
SITE AREA			159.40m ²
LANDSCAPE CONTROL		40%	63.76m ²
LANDSCAPED AREA NOT COUNTED			
EXISTING LANDSCAPED AREA		28.60%	45.60m ²
PROPOSED NEW LANDSCAPED AREA			6.50m ²
TOTAL NEW LANDSCAPED AREA	***NO CHANGE***	28.60%	45.60m ²
EXISTING HARD SURFACE AREA			99.77m ²
NEW HARD SURFACE AREA			8.40m ²
TOTAL HARD SURFACE AREA		66.30%	105.70m ²

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EXISTING LANDSCAPE CALCULATION PLAN

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G	23.03.23	MODIFICATION DRAWINGS

MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS

34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE:
JANUARY/22

DRAWN BY:
LB

SCALE:
1:1, 1:100 @ A3

JOB No:
982/22

CHECKED BY:
JJ

DRAWING No:
MOD.08

PROPOSED LANDSCAPE CALCULATION PLAN



NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

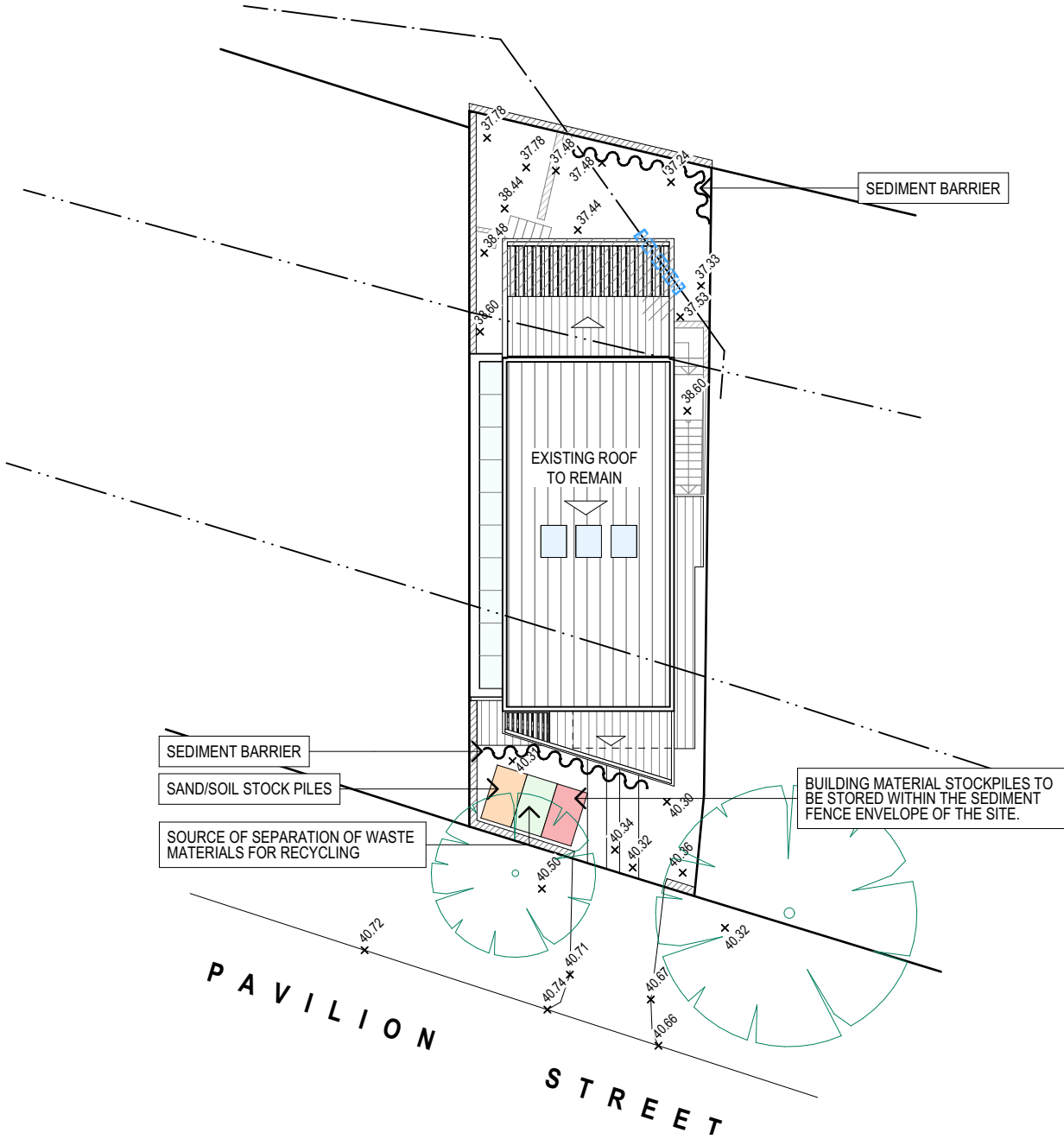
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

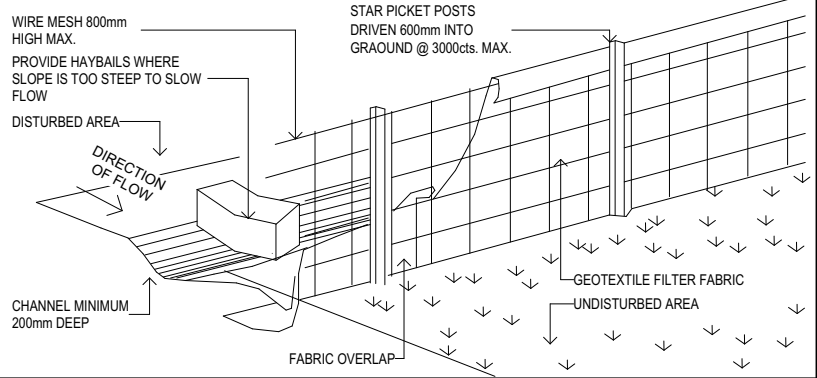
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

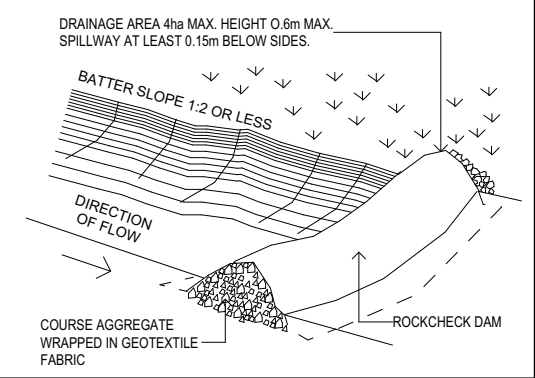


EROSION AND SEDIMENT CONTROL

TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



NOTE: NO CHANGES TO
APPROVED LANDSCAPE PLAN

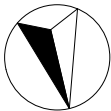


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0220

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

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REV:	DATE:	DESCRIPTION:
A	11.02.22	DRAWINGS UPDATED
B	28.02.22	DRAWINGS UPDATED
C	16.03.22	DRAWINGS UPDATED
D	24.03.22	DRAWINGS UPDATED
E	05.05.22	DA DRAWINGS UPDATED
F	07.03.23	MODIFICATION DRAWINGS
G	23.03.23	MODIFICATION DRAWINGS

MODIFICATION DRAWINGS TO PROPOSED ALTERATIONS AND ADDITIONS

34 Pavilion Street - Queenscliff NSW 2096

CLIENT:
Jan Beach

DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

DATE:
JANUARY/22

JOB No:
982/22

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
MOD.09