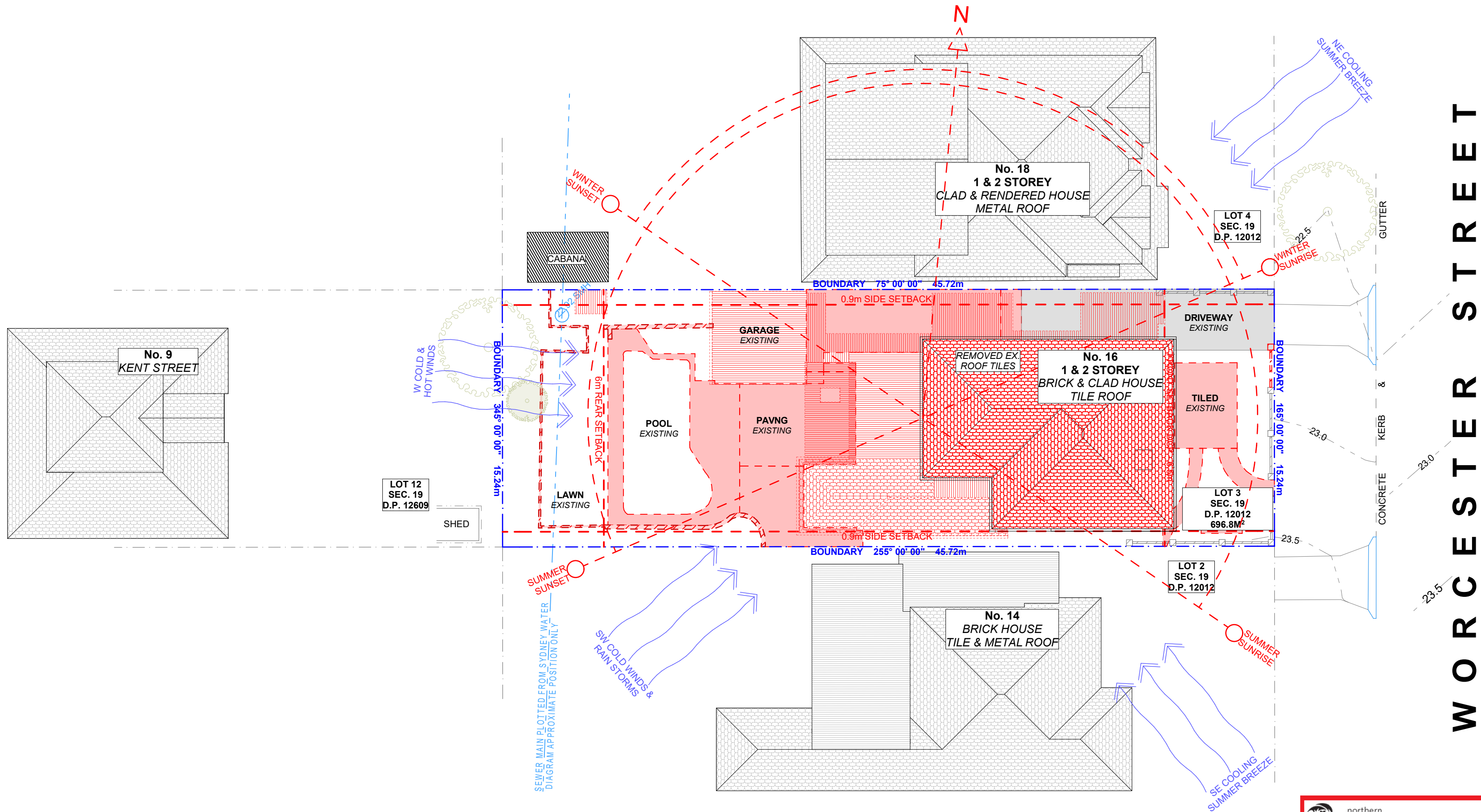
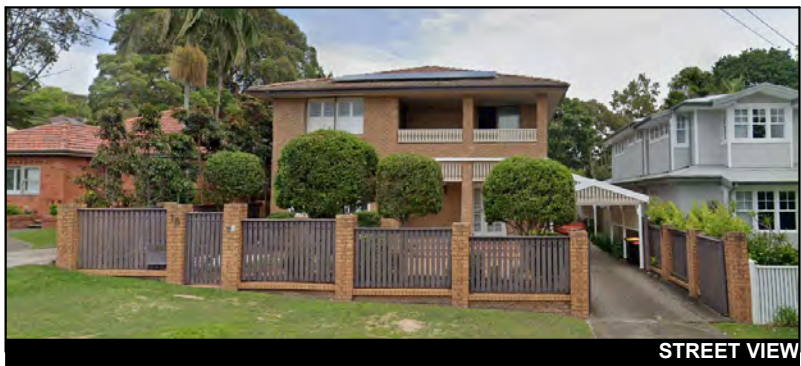




W O R C E S T E R S T R E E T

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0921



REV.	DATE	COMMENTS	DRWN	NOTES
A	30/05/2023	DA - SUBMISSION	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
B	01/09/2023	REV - B	AP	Do not scale measure from drawings. Figured dimensions are to be used only.
				The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
				The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
				All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

	EXISTING		TILED FLOOR
	DEMOLISHED		TIMBER FLOOR
	METAL ROOFING		BRICKWORK
	TILED ROOFING		
	TIMBER STUD		

CLIENT
ALEXIS AND DEAN HOUDEN

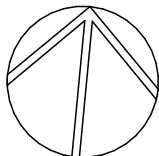
PROJECT ADDRESS
16 WORCESTER ST,
COLLAROY NSW, 2097

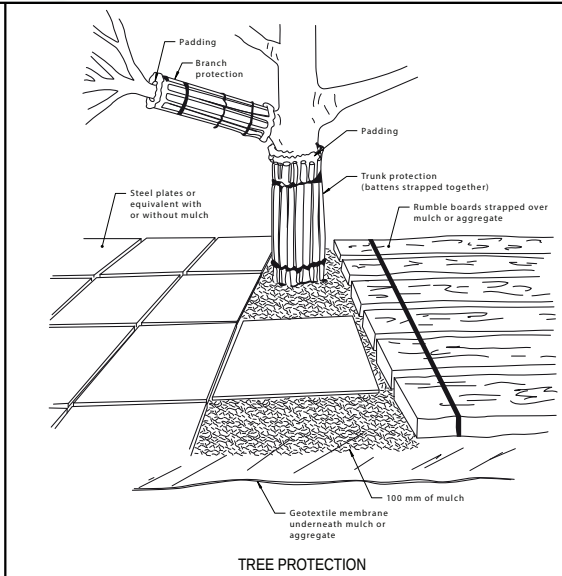
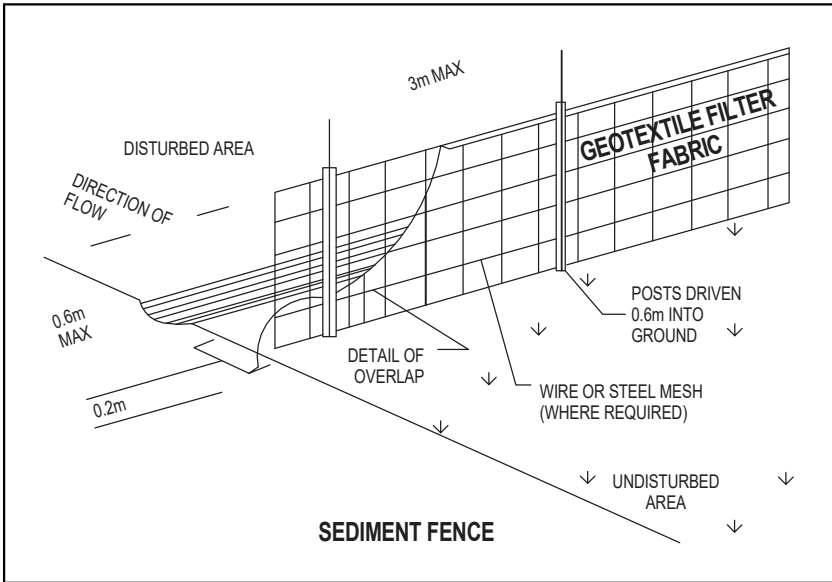
DRAWING NO.
DA02

DATE
Friday, 1 September 2023

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A2





NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

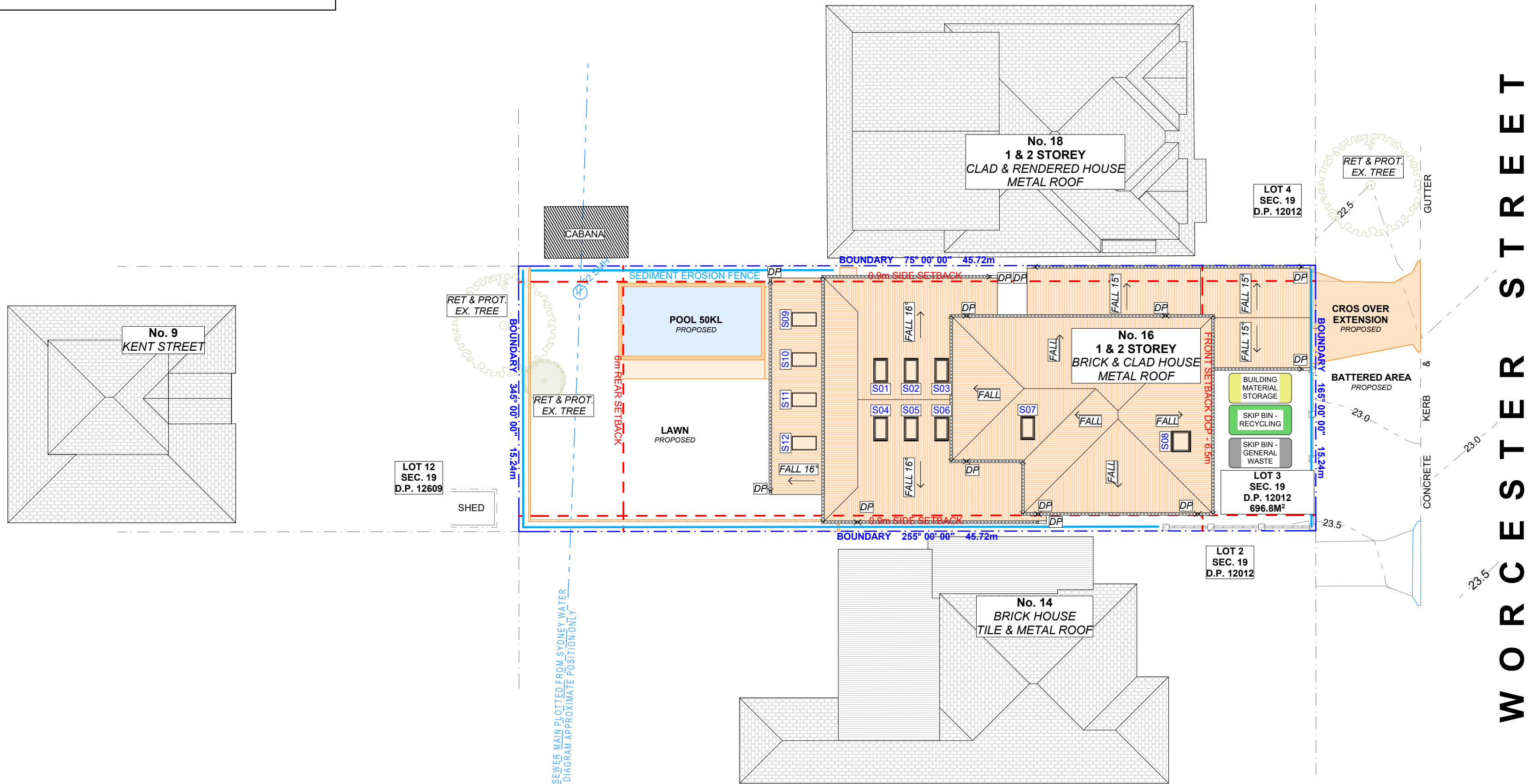
SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: SITE BOUNDARY IS TO BE IDENTIFIED BY A REGISTERED SURVEYOR AND CLEARLY MARKED ON SITE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2023/0921

1

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

1:200



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	30/05/2023	DA - SUBMISSION	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
B	01.09.2023	REV - B	AP	Do not scale measure from drawings. Figured dimensions are to be used only.
				The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
				The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
				All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

EXISTING	TILED FLOOR
DEMOLISHED	TIMBER FLOOR
METAL ROOFING	BRICKWORK
TILED ROOFING	
TIMBER STUD	

CLIENT

ALEXIS AND DEAN HOUDEN

PROJECT ADDRESS

16 WORCESTER ST,
COLLAROY NSW, 2097

DRAWING NO.

DA03

DATE

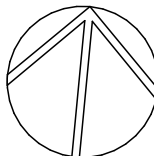
Friday, 1 September 2023

DRAWING NAME

SITE / ROOF / SEDIMENT EROSION /
WASTE MANAGEMENT /
STORMWATER CONCEPT PLAN

SCALE

1:1.30, 1:3.75, 1:200 @A2





ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	30/05/2023	DA - SUBMISSION	DLR
B	01.09.2023	REV - B	AP

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

	EXISTING		TILED FLOOR
	DEMOLISHED		TIMBER FLOOR
	METAL ROOFING		BRICKWORK
	TILED ROOFING		
	TIMBER STUD		

CLIENT
ALEXIS AND DEAN HOUDEN

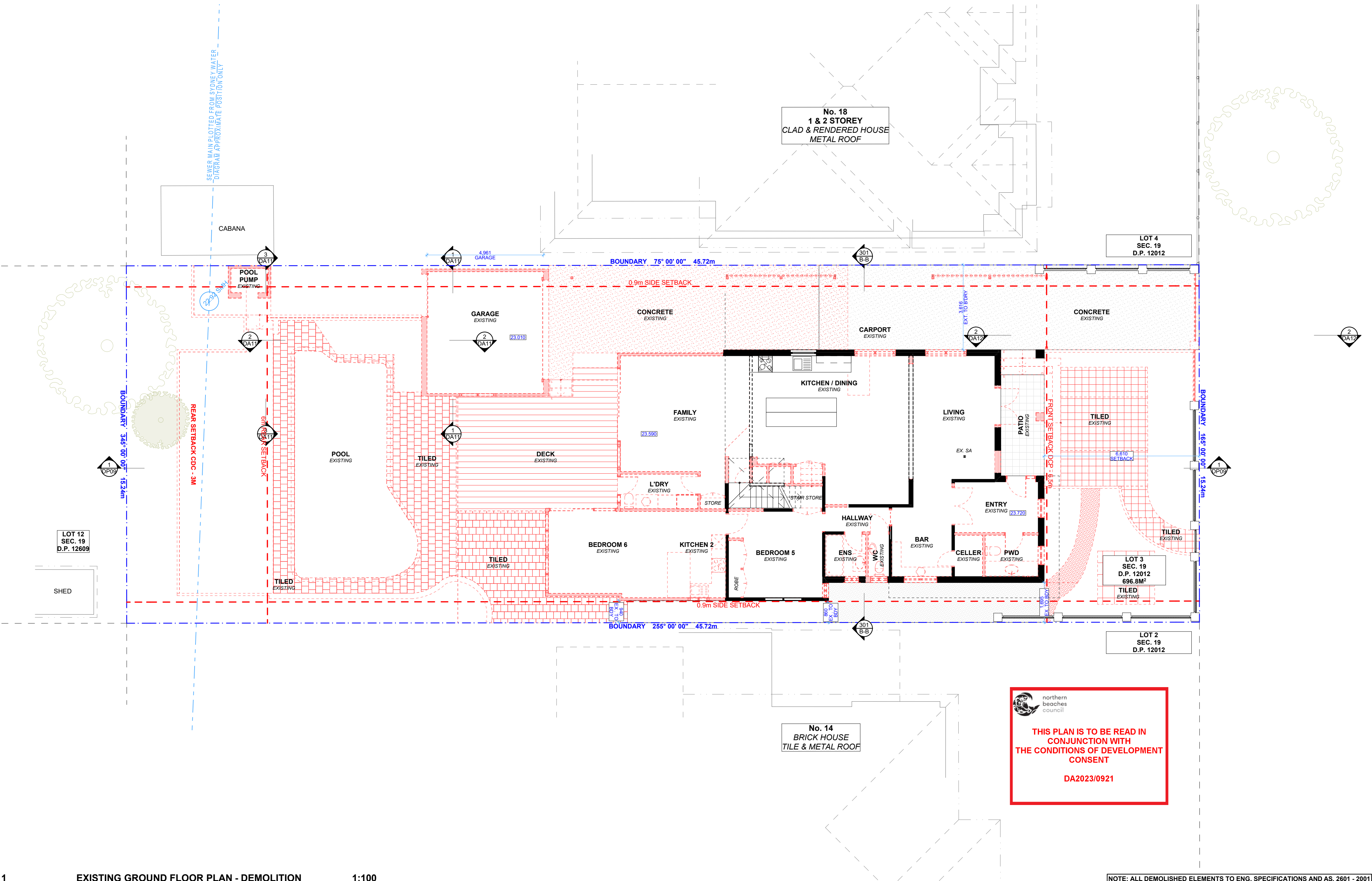
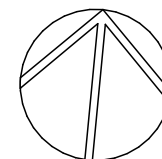
PROJECT ADDRESS
16 WORCESTER ST,
COLLAROY NSW, 2097

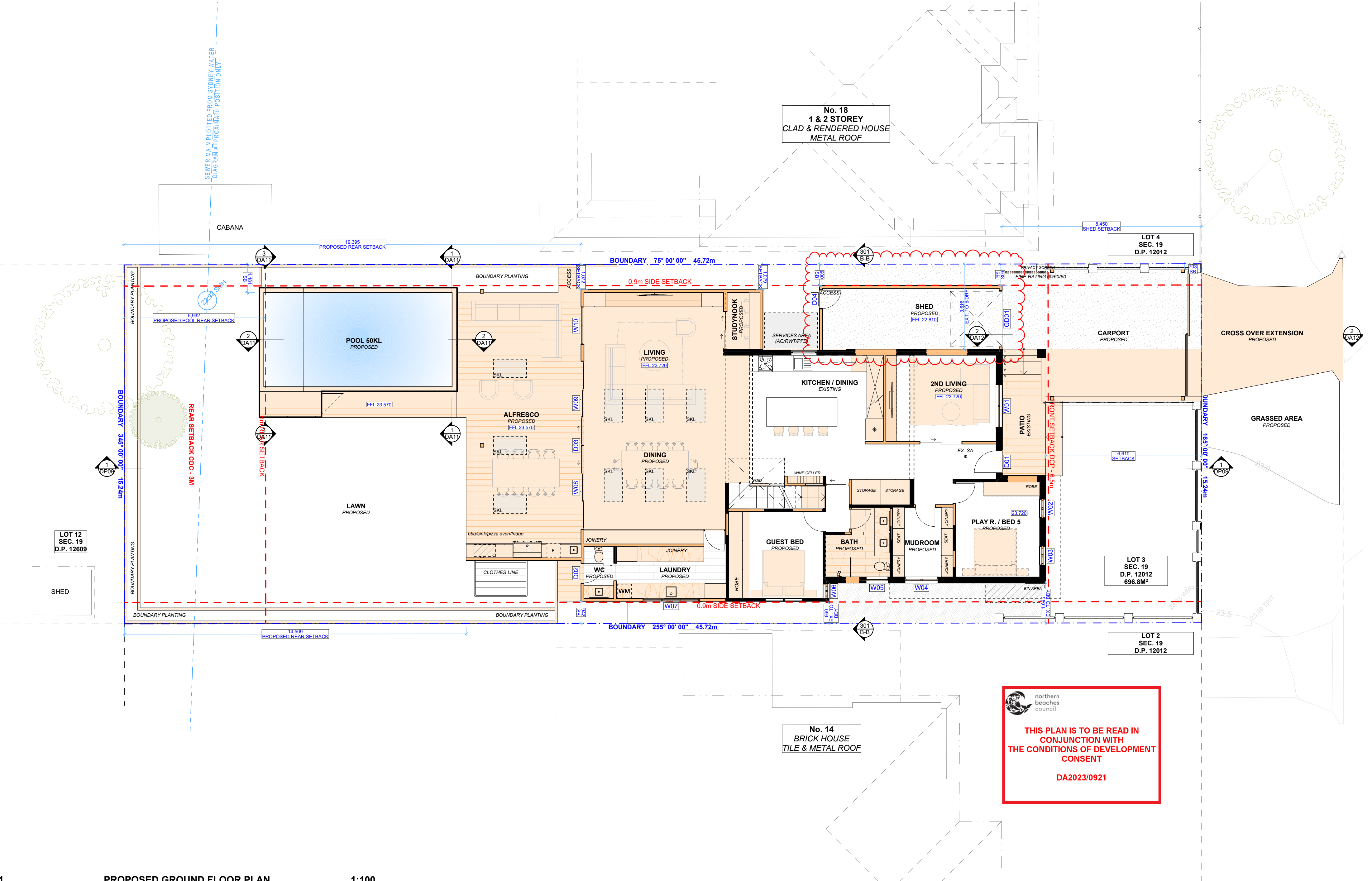
DRAWING NO.
DA04

DATE
Friday, 1 September 2023

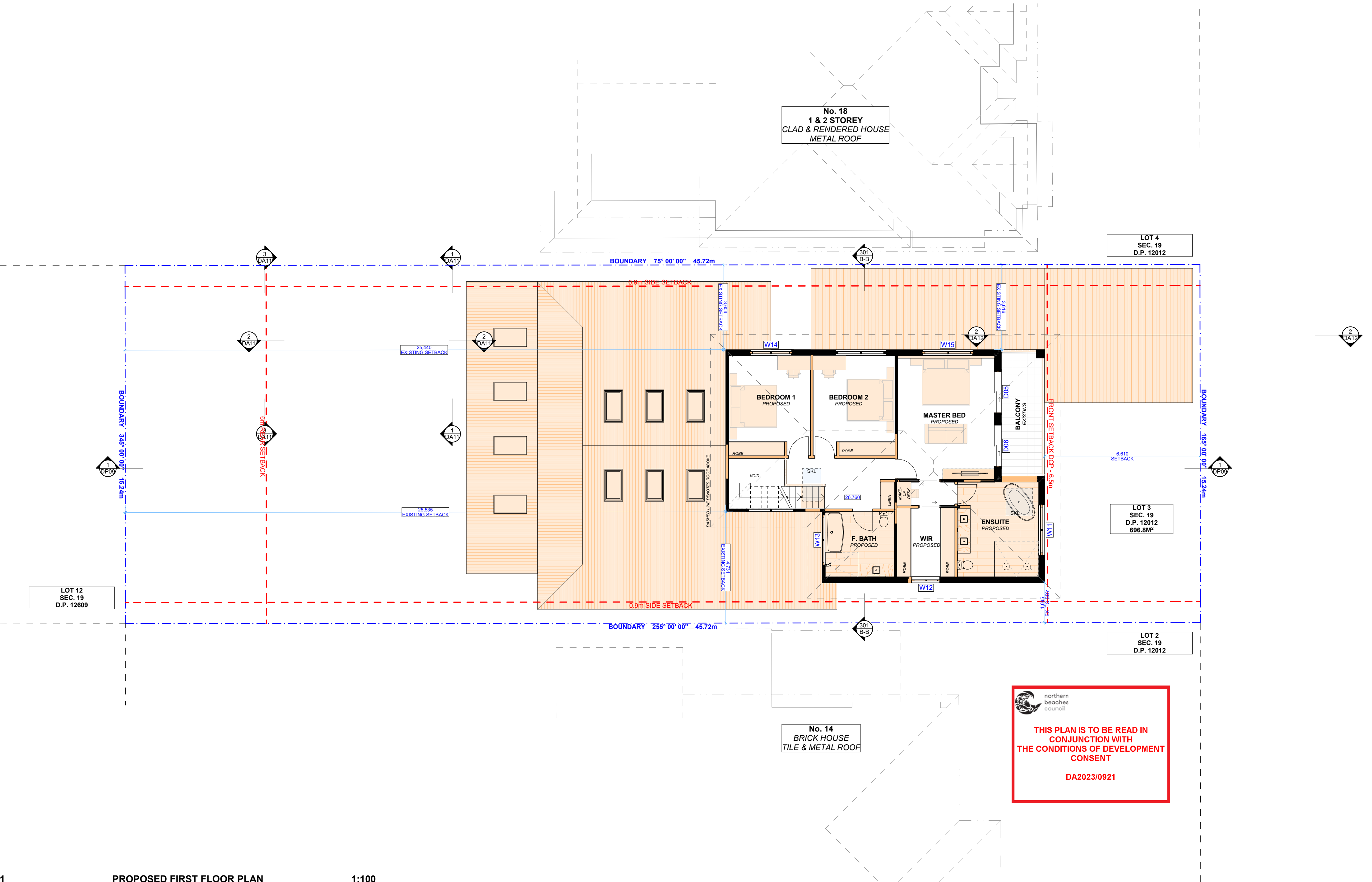
DRAWING NAME
EXISTING GROUND FLOOR PLAN -
DEMOLITION

SCALE
1:100 @A2





1 PROPOSED GROUND FLOOR PLAN 1:100



1

PROPOSED FIRST FLOOR PLAN

1:100

REV.	DATE	COMMENTS	DRWN
A	30/05/2023	DA - SUBMISSION	DLR
B	01/09/2023	REV - B	AP

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

-  EXISTING

 DEMOLISHED

 METAL ROOFING

 TILED ROOFING

 TIMBER STUD
-  TILED FLOOR

 TIMBER FLOOR

 BRICKWORK

CLIENT
ALEXIS AND DEAN HOUDEN

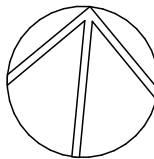
PROJECT ADDRESS
16 WORCESTER ST,
COLLARROY NSW, 2097

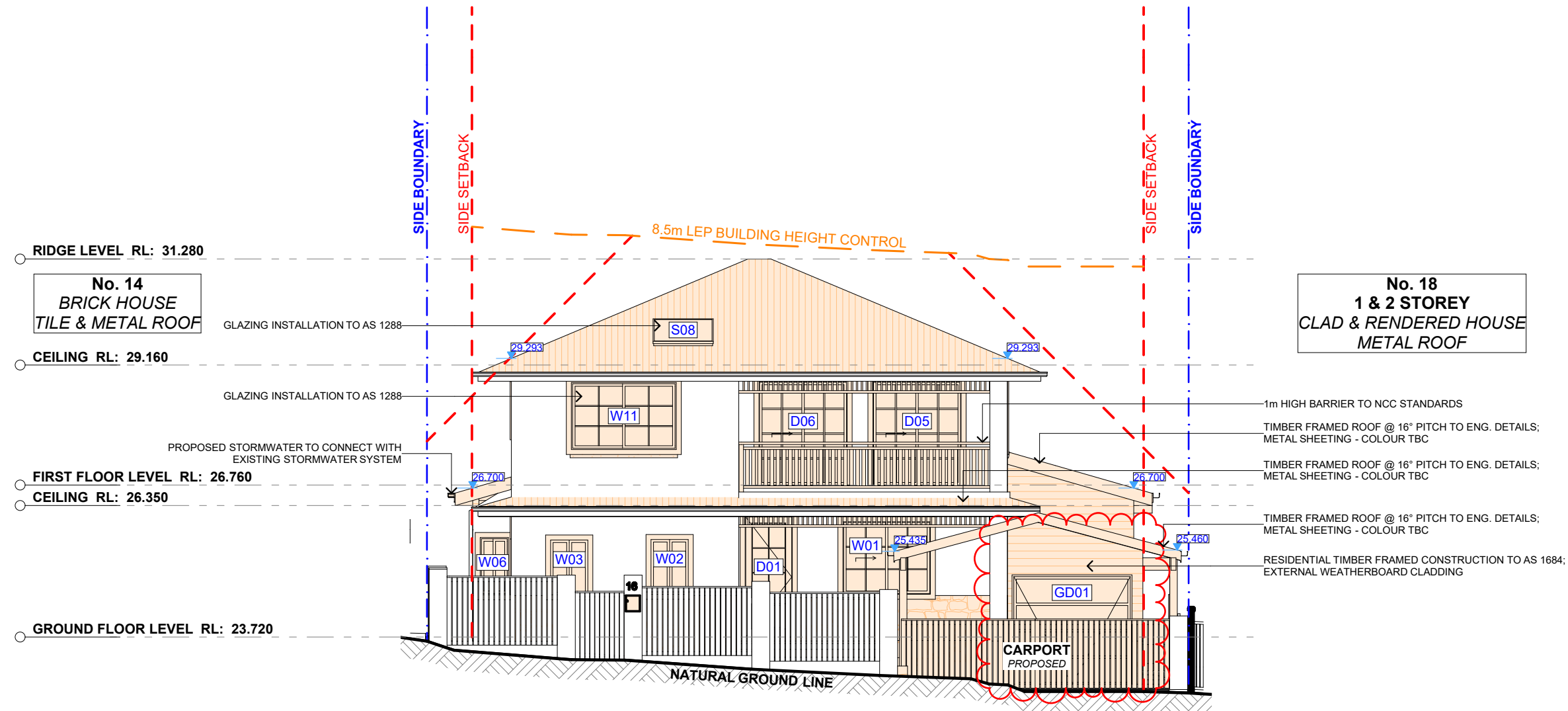
DRAWING NO.
DA07

DATE
Friday, 1 September 2023

DRAWING NAME
PROPOSED FIRST FLOOR PLAN

SCALE
1:100 @A2

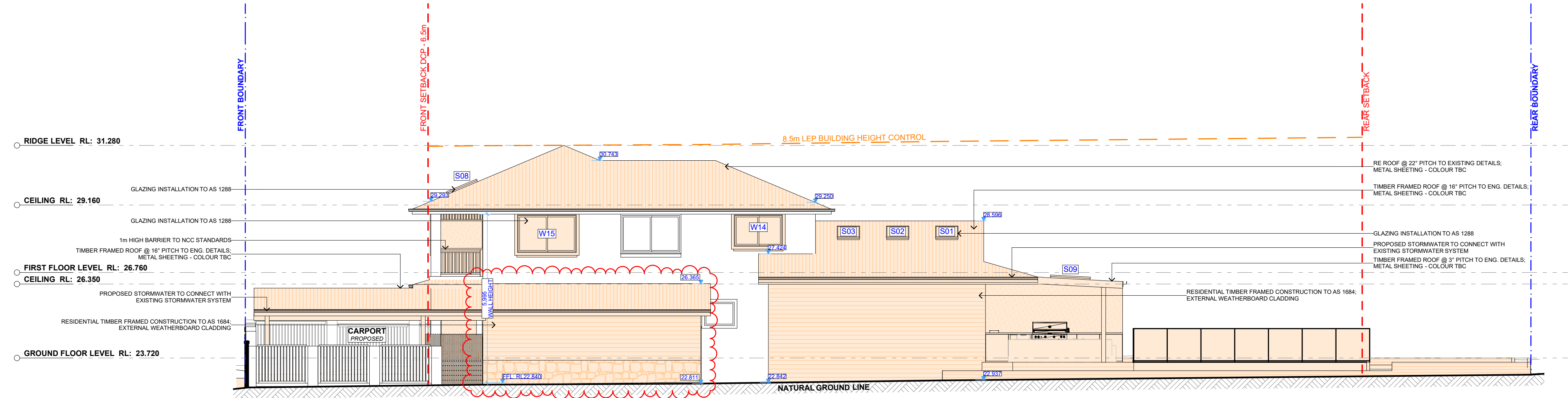




THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0921

2 EAST ELEVATION - PRIMARY ROAD 1:100



1 NORTH ELEVATION - SIDE 1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	30/05/2023	DA - SUBMISSION	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
B	01.09.2023	REV - B	AP	Do not scale measure from drawings. Figured dimensions are to be used only.
				The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
				The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
				All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

- METAL ROOFING
- TILED ROOFING
- TIMBER CLAD
- BRICKWORK
- CONCRETE
- EXISTING

CLIENT
ALEXIS AND DEAN HOUDEN

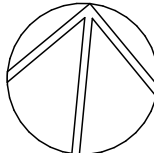
PROJECT ADDRESS
16 WORCESTER ST,
COLLAROY NSW, 2097

DRAWING NO.
DA08

DATE
Friday, 1 September 2023

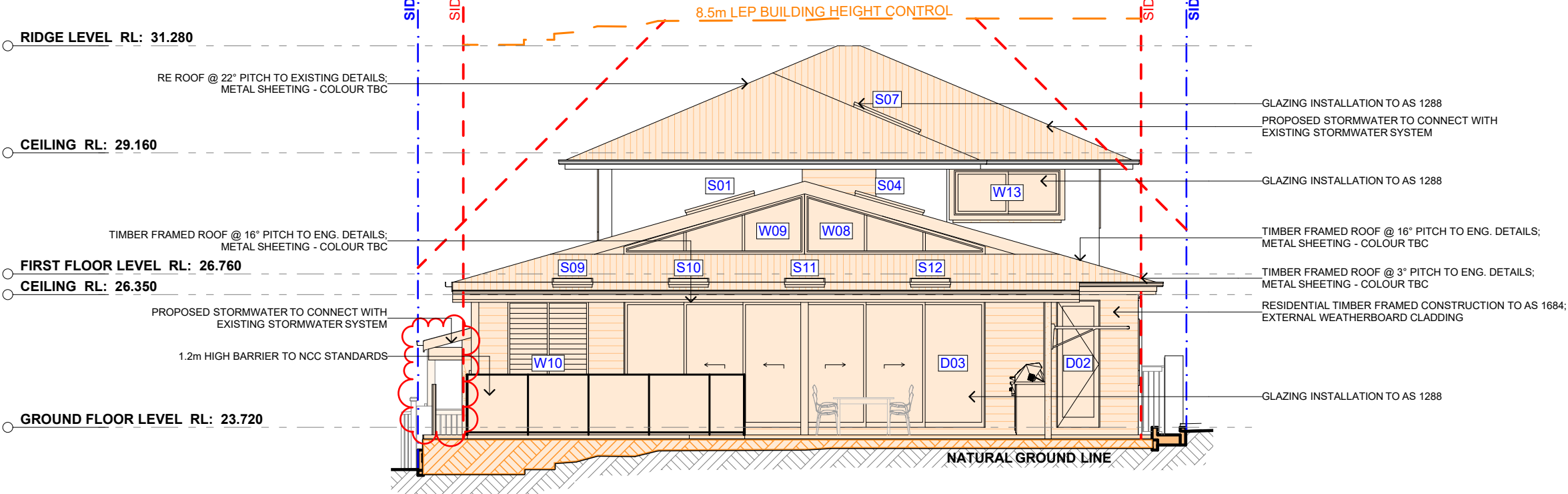
DRAWING NAME
NORTH / EAST ELEVATION

SCALE
1:100 @A2



No. 18
1 & 2 STOREY
CLAD & RENDERED HOUSE
METAL ROOF

No. 14
BRICK HOUSE
TILE & METAL ROOF

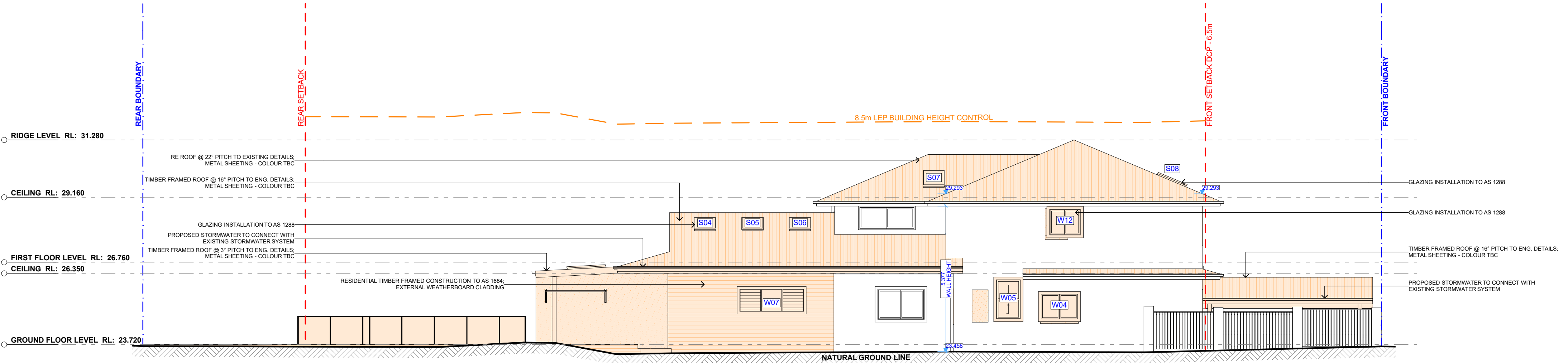


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0921

1 WEST ELEVATION - REAR 1:100



1 SOUTH ELEVATION - SIDE 1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	30/05/2023	DA - SUBMISSION	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
B	01.09.2023	REV - B	AP	Do not scale measure from drawings. Figured dimensions are to be used only.
				The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
				The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
				All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

	METAL ROOFING		EXISTING
	TILED ROOFING		
	TIMBER CLAD		
	BRICKWORK		
	CONCRETE		

CLIENT

ALEXIS AND DEAN
HOUDEN

PROJECT ADDRESS

16 WORCESTER ST,
COLLAROY NSW, 2097

DRAWING NO.

DA09

DATE

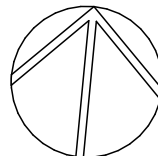
Friday, 1 September 2023

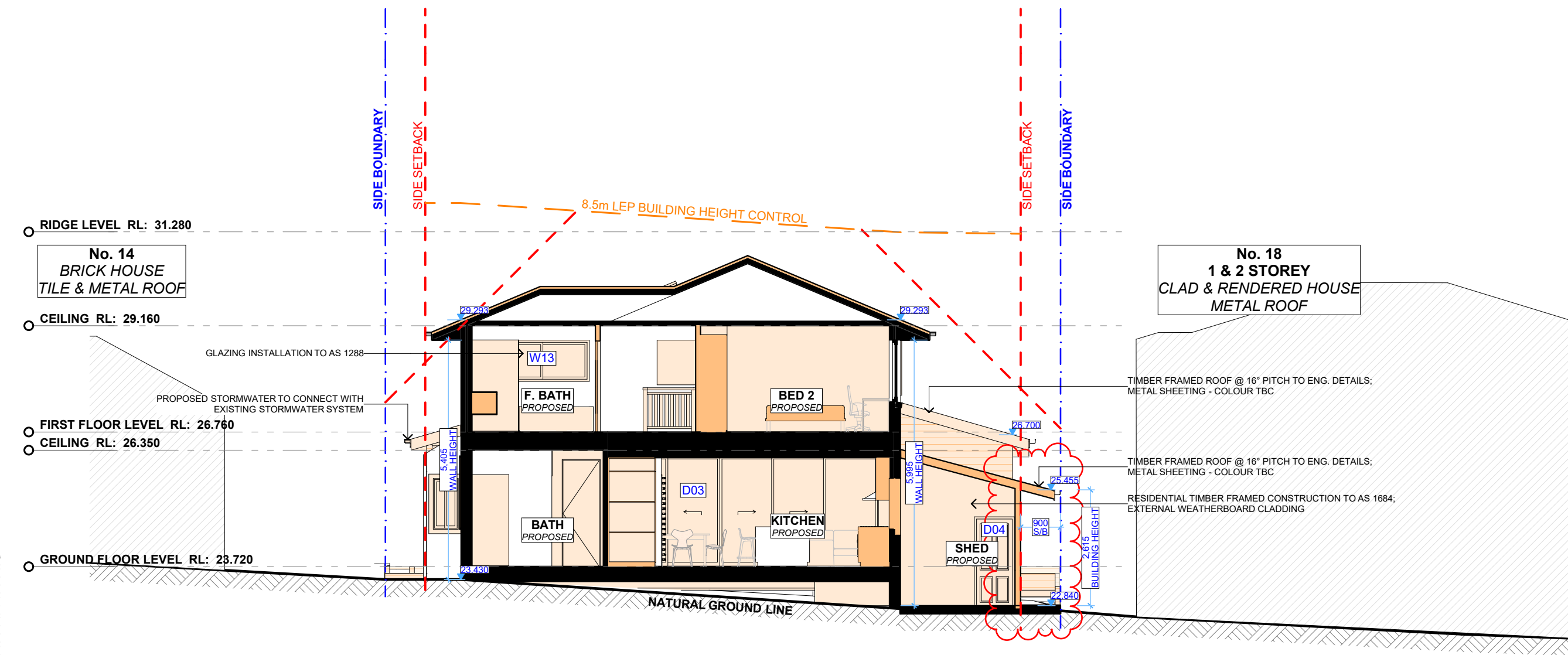
DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

1:100 @A2



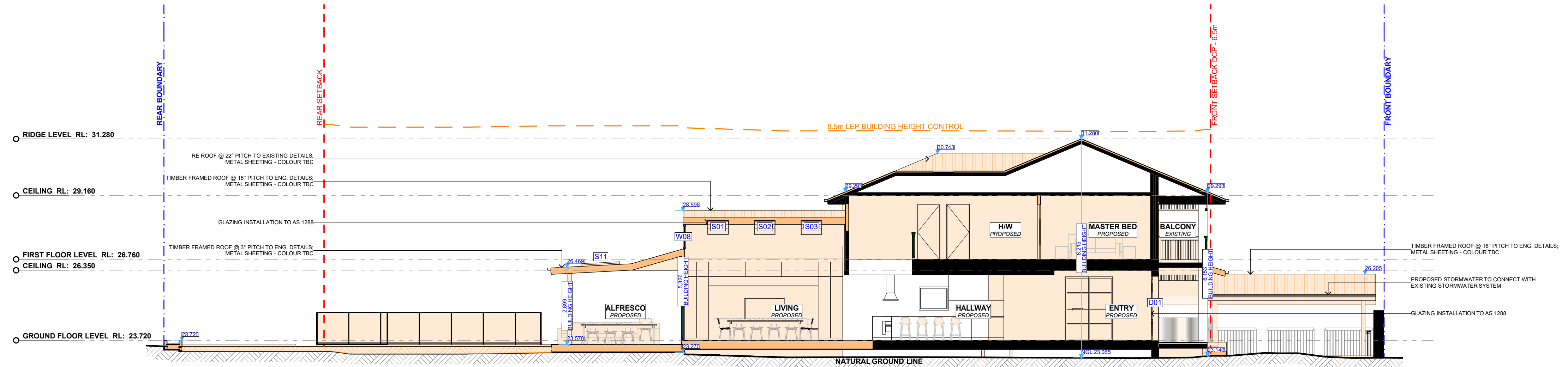


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0921

1 PROPOSED CROSS SECTION 1:100



1 PROPOSED LONG SECTION 1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	30/05/2023	DA - SUBMISSION	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
B	01.09.2023	REV - B	AP	Do not scale measure from drawings. Figured dimensions are to be used only.
				The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions.
				The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
				All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

LEGEND

	METAL ROOFING		EXISTING
	TILED ROOFING		
	TIMBER CLAD		
	BRICKWORK		
	CONCRETE		

CLIENT

ALEXIS AND DEAN
HOUDEN

PROJECT ADDRESS

16 WORCESTER ST,
COLLAROY NSW, 2097

DRAWING NO.

DA10

DATE

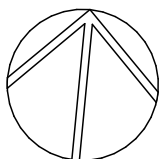
Friday, 1 September 2023

DRAWING NAME

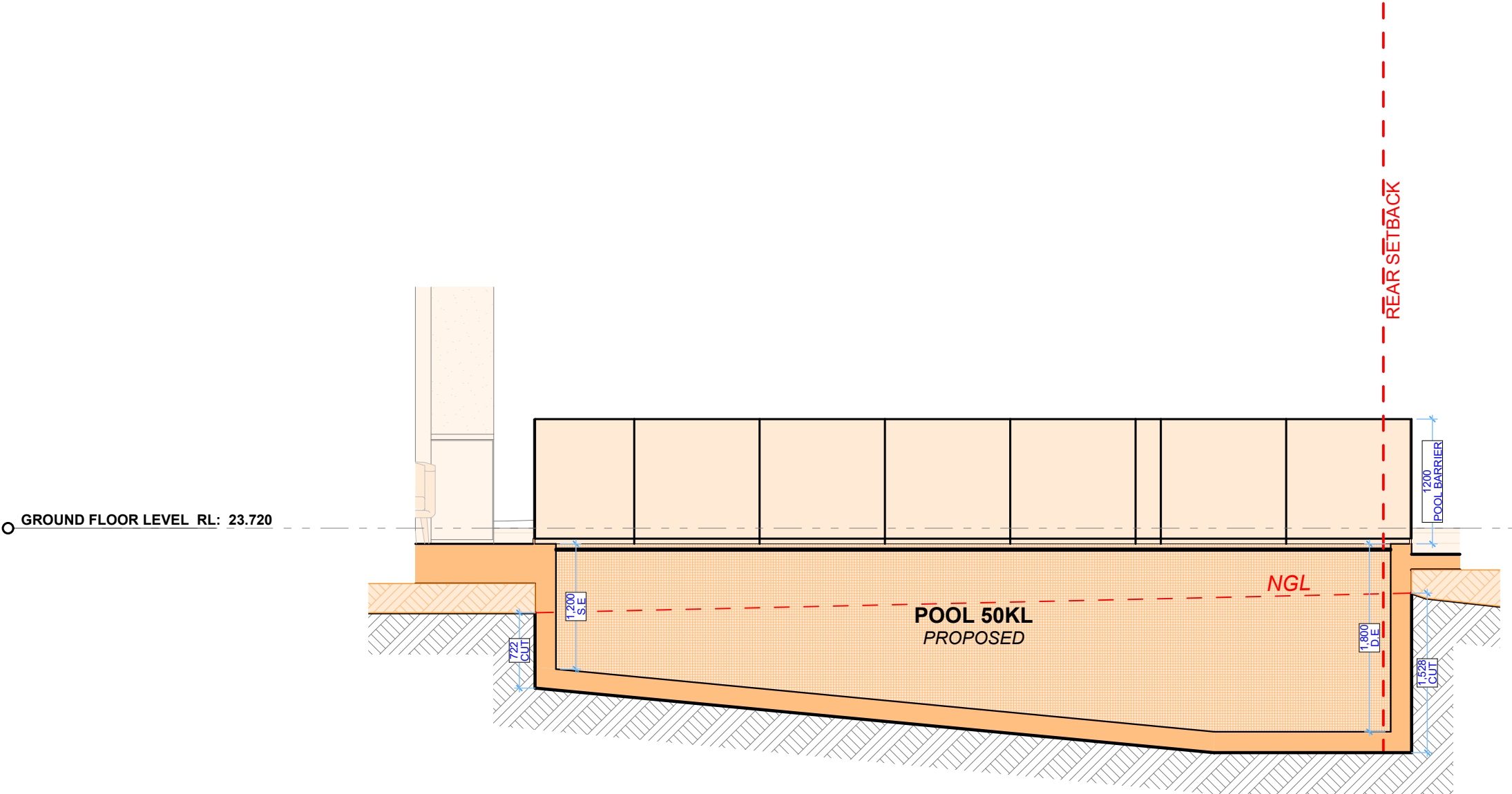
LONG / CROSS SECTION

SCALE

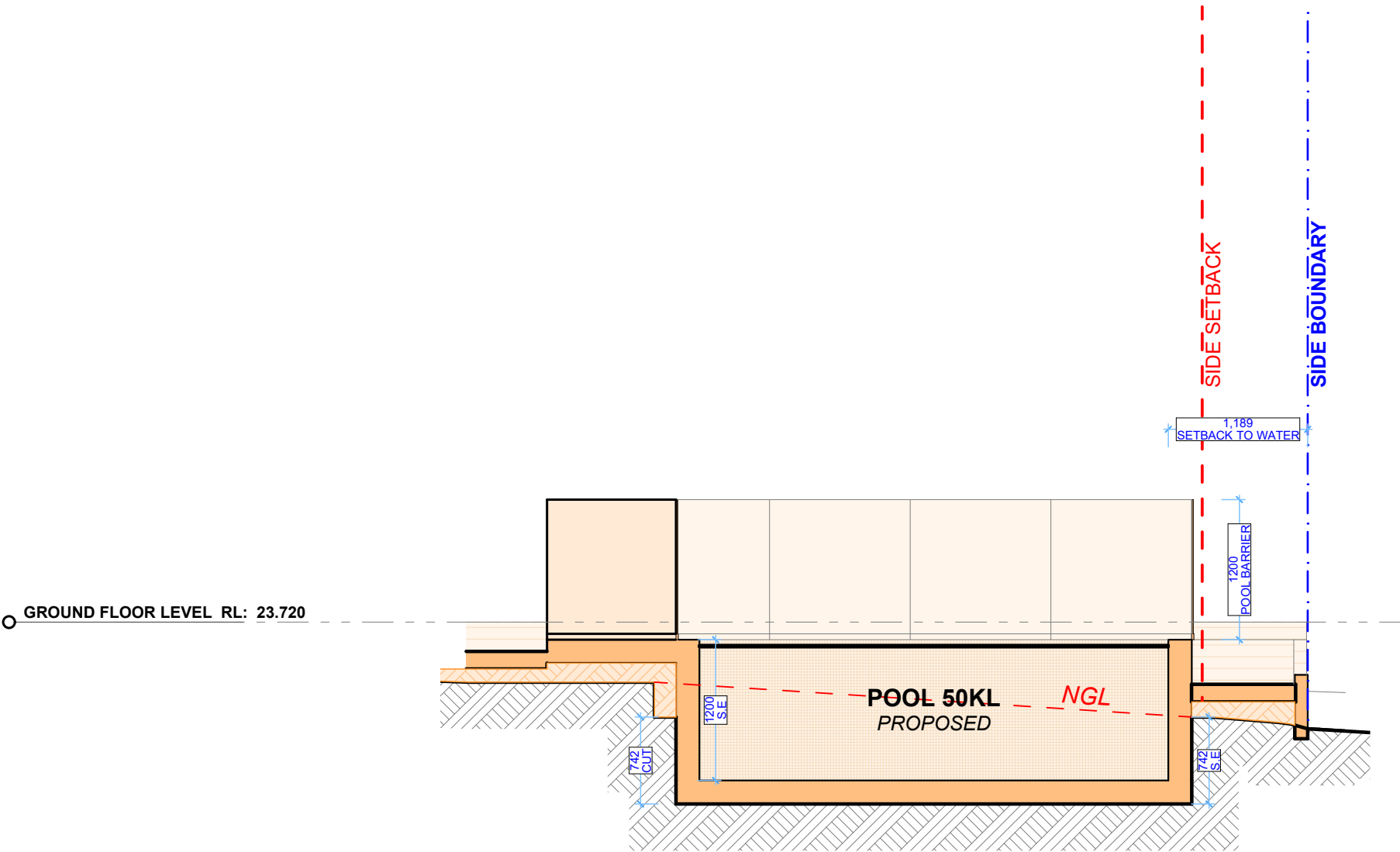
1:100 @A2



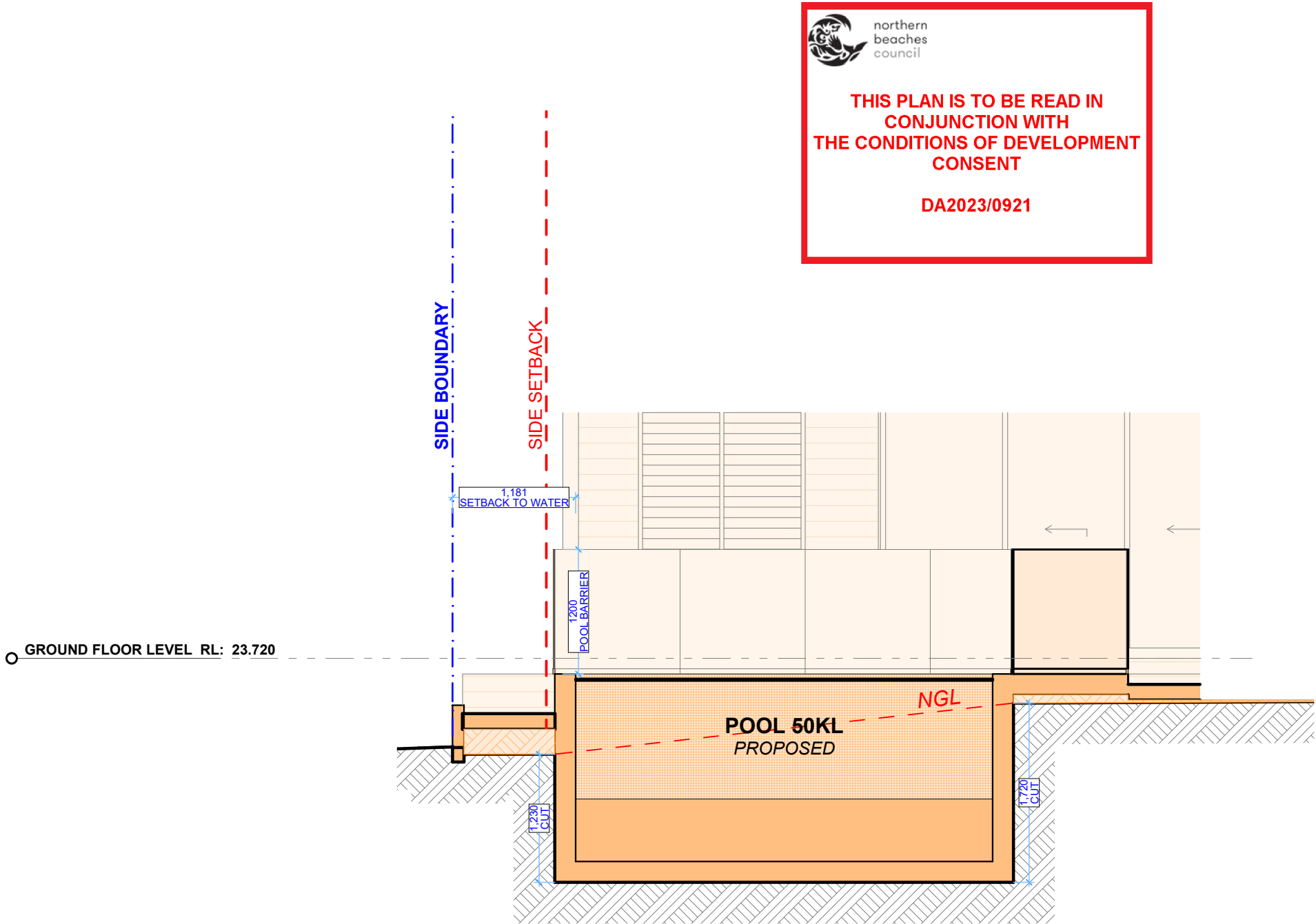
DESIGN SPECIFICATION	Building Code of Australia (BCA) requirement (for version of BCA applicable as on the date of submission of CDC)
1. All glazing including decals shall comply with AS 1288.1-2006, AS 2047-1999 and AS 1170.1-2002	Part 3.6 Glazing, requires all glazing to comply with AS 1288-2006 and AS 2047-1999. The BCA requires glazing members to comply with Structural Loading Code AS 2280.1-2002. Glass with a high potential for human impact shall strictly comply with the human impact safety requirements of the BCA.
2. Swimming Pool Safety Fencing	Part 3.9.3, of the BCA specifies all requirements of swimming pool safety fencing. Compliance with AS1926-2012, including 1800mm high boundary fencing acting as pool fence/barriers, 1200mm high pool fence/barriers shall surround the pool with no doors of the building permitted to open onto pool areas. Any windows shall be sufficiently protected in accordance with AS 1926.1-2012. NCZ shall be provided to all swimming pool safety fence/barriers in accordance with AS1926.1-2012. AS 1288 2006 specifies glazing requirements when glass is incorporated into a pool fence/barrier. Certification post construction will be required.
3. Swimming Pool recirculation Systems	Part 3.9.4. of the BCA specifies all requirements of swimming pool and spa recirculation systems. AS1926.3-2010 shall be complied with and certified post construction.



2 PROPOSED POOL LONG SECTION 1:50



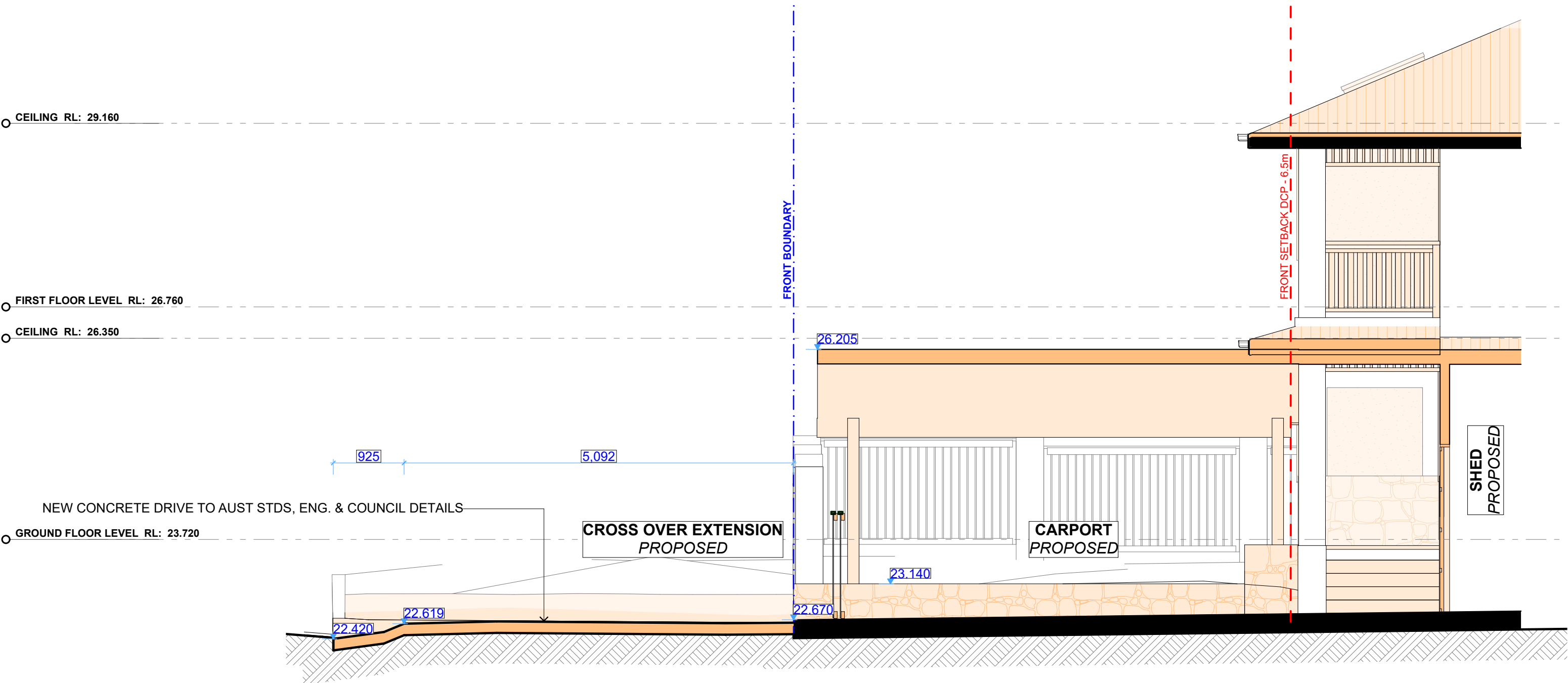
1 PROPOSED POOL CROSS SECTION 1:50



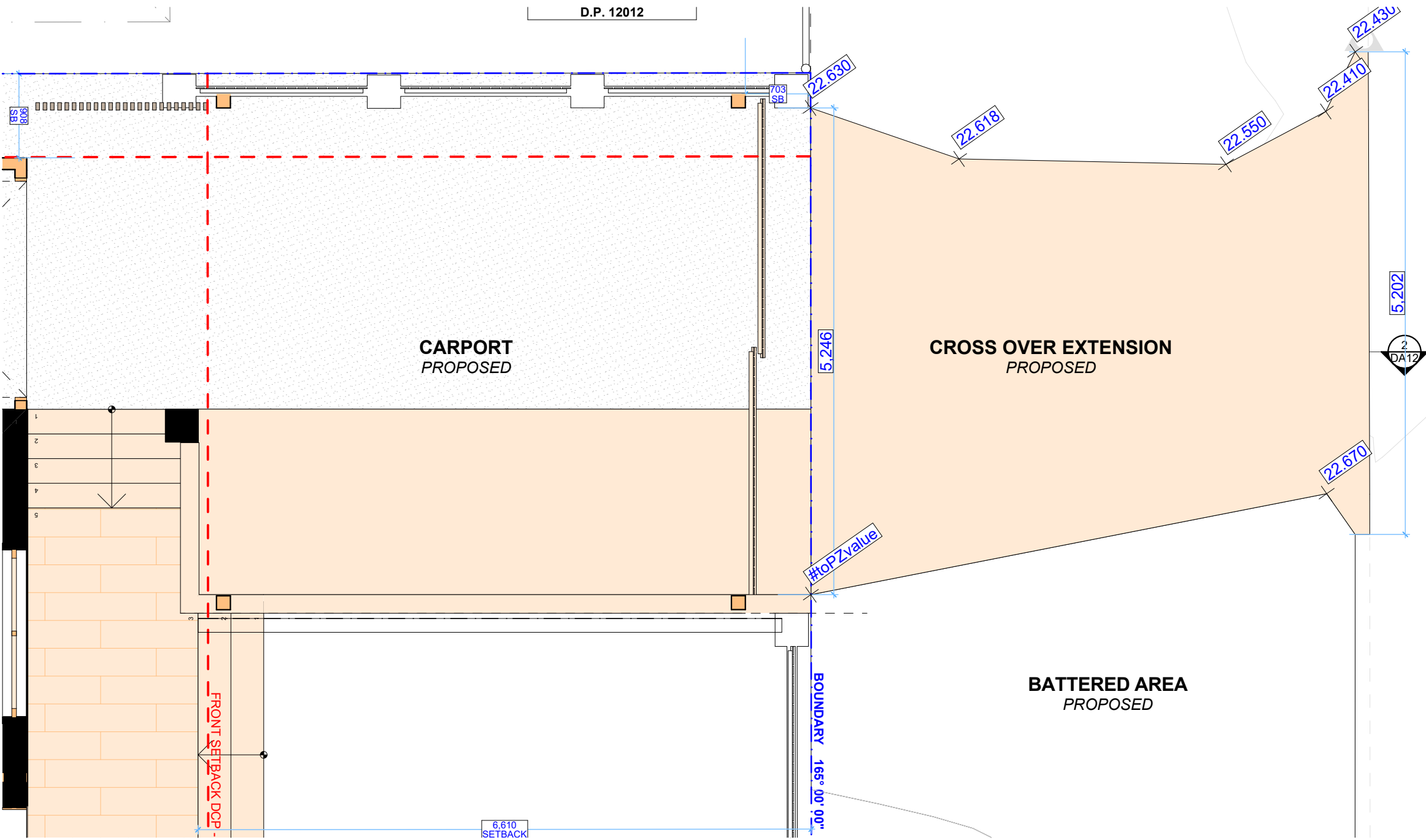
3 PROPOSED POOL CROSS SECTION 1:50

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0921



2 PROPOSED DRIVEWAY LONG SECTION 1:50



1 PROPOSED DRIVEWAY PLAN 1:50

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/0921



ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	30/05/2023	DA - SUBMISSION	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/contractor/owner is to ensure that the approved boundary setbacks and approved levels are confirmed and set out by a registered Surveyor prior to construction, the boundary setbacks take precedence over all other dimensions. The Builder/Contractor shall check and verify ALL dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.
B	01.09.2023	REV - B	AP	

LEGEND

	METAL ROOFING		EXISTING
	TILED ROOFING		
	TIMBER CLAD		
	BRICKWORK		
	CONCRETE		

CLIENT
ALEXIS AND DEAN
HOUDEN

PROJECT ADDRESS
16 WORCESTER ST,
COLLAROY NSW, 2097

DRAWING NO.
DA12

DATE
Friday, 1 September 2023

DRAWING NAME
DRIVEWAY PLAN / LONG SECTION

SCALE
1:50 @A2

