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STATEMENT OF ENVIRONMENTAL EFFECTS

Council: Northern Beaches Council

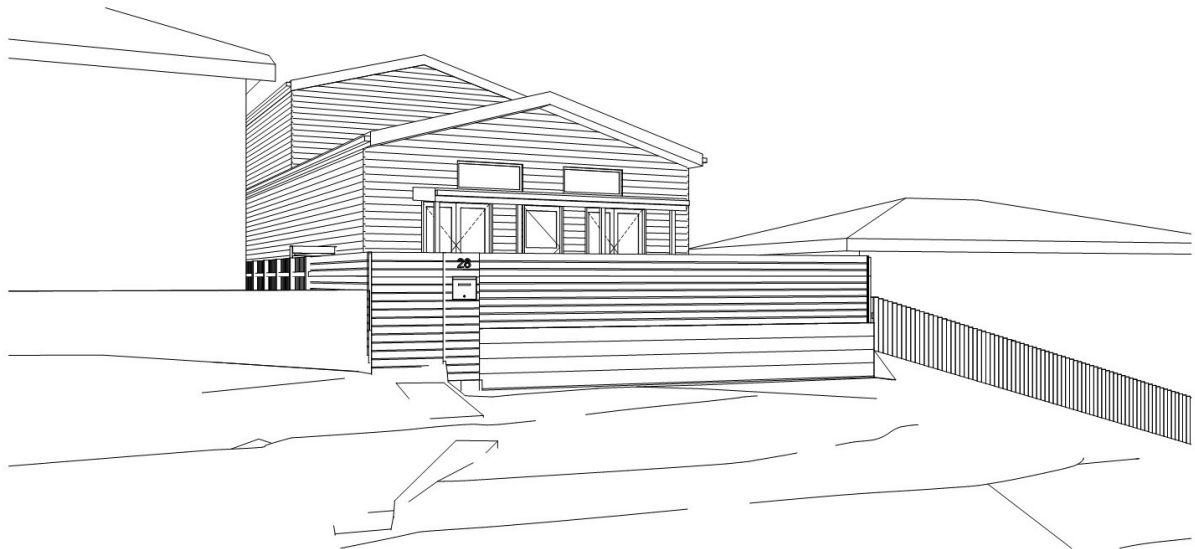
Development Type: Alterations to existing fences and paths.

Address: 28 Dowling Street, Queenscliff, NSW 2096

Owners: Anne Bullier and Julien Gastaldi

Issue A, September 2018

Ref: DFA1708/SEE



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1.0 INTRODUCTION

This submission outlines and provides an assessment of the likely environmental impacts of a development application for alterations to an existing property at **28 Dowling Street, Queenscliff**. The development application consists a new front retaining wall and front fence, new paths with steps and a new rear acoustic fence.

The design of this proposal has been developed with consideration to the following:

- Environmental Planning and Assessment Act, 1979.
- Warringah Local Environmental Plan 2011
- Warringah Development Control Plan 2011
 - LEP-R2 Low Density Residential
 - LEP-Lot Size Map: 450sqm
 - LEP-Height of Buildings: 8.5m
 - LEP-Land slip Risk Area: **A and B**
 - DCP-Part D1-Landscaped Open Space: 40%
 - DCP-Part B1-Max. wall height: 7.2m (Underside of ceiling)
 - DCP-Part B3-Building Envelope: 5m with a 45° projection.
 - DCP-Part B5-Side Setback: 0.9m.
 - DCP-Part B7-Front Setback: 6.5m.
 - DCP-Part B9-Rear Setback: 6m.
 - DCP-Part D2-Private Open Space: 60m² (Dwelling with 3 or more bedrooms)

The proposal is permissible with the desired outcomes and objectives contained within Council's Local Environmental Plan and Development Control Plan. The proposal does not worsen any existing numerical non compliances with Council's Codes and Policies. An assessment of the proposed development does not identify any unreasonable adverse environmental impacts.

2.0 THE SITE

2.1 Site description

The subject site is No. **28 Dowling Street, Queenscliff**. The site comprises Lot 39, DP 654780 and is roughly rectangular. The site has an east-west orientation and site area of 264sqm. The subject site is located on the western side of Dowling street and the eastern side of Oliver Street within Northern Beaches (Warringah) Council.

The terrain rises sharply from both Dowling Street and Oliver Street to the front and rear boundary respectively. The rise from Dowling Street measures approximately 2.25m while the rise from Oliver Street measures 2.76m.

The site itself is generally flat with a gradual fall of approximately 310mm from Dowling Street boundary down to the rear Oliver Street Boundary.

Existing landscaping on the site includes trees, hedging, lawn and low shrubs. An existing retaining wall and timber slatted fence defines the front boundary. The front retaining wall

and front fence is severely damaged by a large Norfolk Pine that has recently been removed. A timber slatted gate defines the pedestrian access onto the site.

Access onto the site for the owners is very difficult to navigate due to the steep incline and uneven and dilapidated ground surfaces.



Figure 1: View of the site from Dowling Street.

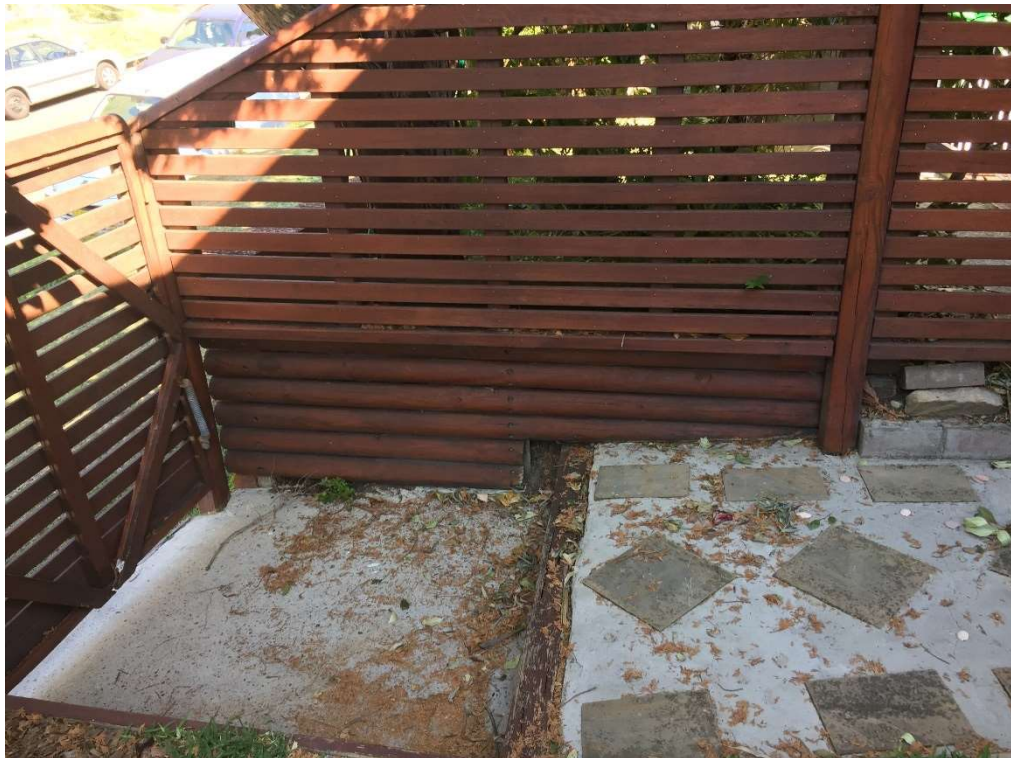


Figure 2: General view inside the front gate.

The existing dwelling is currently a family home. No changes to the dwelling is proposed under this application.

2.2 Neighbouring Development

The neighboring sites and developments in Dowling Street are consistent in relation to scale and development type. Generally surrounding the site are detached residential developments that vary between one and two storey houses.

The site is not located within a conservation area.

3.0 THE PROPOSAL

This proposal is depicted within the architectural plans and generally involves demolishing the existing front retaining walls, front fence, front entry landing, paths and rear fence.

The proposal aims to replace the dilapidated existing structures with similar new structures. A new timber sleeper retaining wall will replace the existing retaining walls along the front fence. A new painted timber slatted fence will be installed on top with the height increased by approx. 200mm to match the existing side fences.

The entry landing will be lowered to a level to match the RL immediately outside the front gate. This will help provide easier pram access for the family who reside on the property.

The front path will be reconfigured with a new side deck proposed to replace an existing deck suffering dry rot.

No removal of trees form part of this proposal.

The proposed alterations and additions are in keeping with the design of the street and locality and are seen as an improvement to the existing dwelling. The intent of the design has been to create a proposal that respects the existing character of the dwelling and the street. The proposal responds to the existing site conditions in terms of size, height, scale, form and setbacks, architectural style and external appearance and does not create any unreasonable impacts on adjoining properties.

4.0 STATUTORY PLANNING FRAMEWORK

COMPLIANCE WITH DEVELOPMENT STANDARDS

The applicable planning controls are:

- Warringah Local Environmental Plan 2011;
- Warringah Development Control Plan 2011;

The following is a compliance table that analyses the proposal in relation to the primary and more relevant statutory and policy development standards.

Table2: Compliance table

Warringah LEP Compliance Table 2011			
Site Area – 264sqm			
Control	Existing	Proposed	Complies
Zoning (Clause 2.1)			
R2	R2	No Change	Yes
Minimum lot size (Clause 4.1)			
600sqm	264sqm	No Change	Yes
Height of Buildings (Clause 4.3)			
8.5m	7.8m	No Change	Yes

Warringah DCP Compliance Table 2011 - Part B			
Site Area – 264sqm			
Control	Existing	Proposed	Complies
B1 Wall Heights			
7.2 to underside to undermost ceiling.	Unknown	No Change	Yes
B2 Number of Storeys			
n/a	n/a	n/a	n/a
B3 Side Building Envelope (North)			
5m with a 45° projection.	No	No Change	No Change
B3 Side Building Envelope (South)			
5m with a 45° projection.	Yes	Yes	Yes
B3 Side Building Envelope (East)			
5m with a 45° projection.	Yes	Yes	Yes
B3 Side Building Envelope (West)			
5m with a 45° projection.	Yes	Yes	Yes
B4 Site Coverage			
n/a	n/a	n/a	n/a
B5 Side Boundary Setback (North): Dwelling			
0.9m	0.35m	No Change	No Change
B5 Side Boundary Setback (South): Dwelling			
0.9m	1.25m	No Change	Yes
B6 Merit Assessment for Side Boundary Setbacks: Dwelling			
Merit based on streetscape, amenity and setback to surrounding developments.	No Change	No Change	No Change
B7 Front Boundary Setback			
6.5m	6.6m	No Change	No Change
B8 Merit Assessment for Front Boundary Setbacks: Dwelling			
Merit based on streetscape, amenity and setback to surrounding developments.	No Change	No Change	No Change

B9 Rear Boundary Setbacks			
6m	6.06m	No Change	No Change
B10 Merit Assessment for Rear Boundary Setbacks			
Merit based on streetscape, amenity and setback to surrounding developments.	No Change	No Change	No Change
B11 Foreshore Building Setback			
n/a	n/a	n/a	n/a
B12 National Parks Setback			
n/a	n/a	n/a	n/a
B13 Coastal Cliffs Setback			
n/a	n/a	n/a	n/a
B14 Main Roads Setback			
n/a	n/a	n/a	n/a
C1 Subdivision			
n/a	n/a	n/a	n/a
C2 Traffic, Access and Safety			
	Existing pedestrian gate existing	No Change in location.	No Change
C3 Parking Facilities			
n/a	n/a	n/a	n/a
C4 Stormwater			
OSD will not be required for alterations and additions where the total site area is 450m ² or less.	Site Area: 264m ²	No Change	Yes
C5 Erosion and Sedimentation			
Erosion and sediment controls will comply with the following: 1. Council's Water Management Policy. 2. Landcom's Managing Urban Stormwater: Soil and Construction Manual. Appropriate controls to stabilize and retain soil and sediments will be implemented during the construction phase. The proposal will maximize the re-use and recycling of building materials. Waste storage and collection facilities that encourage recycling that is clean and safe for users and collectors will be prioritized. Adequate waste storage and collection facilities will be provided on site.			Yes
C6 Building over or adjacent to Constructed Council Drainage Easements			
n/a	n/a	n/a	n/a
C7 Excavation and Fill			
No major excavation or fill is proposed. Any land excavation or fill work will not have an adverse effect upon the visual and natural environment or adjoining and adjacent properties.			Yes
C8 Demolition and Construction			

The development will comply with appropriate sections within council's waste management guidelines.			Yes
C9 Waste Management			
The development will comply with appropriate sections within council's waste management guidelines.			Yes
Materials will be reused and recycled where possible.			
D1 Landscaped Open Space & Bushland Settings			
40% (Min. 2m dimension) 105.6m ²	73.22m ²	73.63m ²	No Change (Slight improvement)
D2 Private Open Space			
60m ² for 3 or more bedrooms.	60m ²	60m ²	Yes
D3 Noise			
This proposal does not include changes to the dwelling. Existing noise conditions will not be impacted.			No Change
D4 Electromagnetic Radiation			
n/a	n/a	n/a	n/a
D6 Access to Light			
Provide solar access to open space areas. Provide reasonable access to adjacent properties. Promote passive solar design and the use of solar energy.	No Change	No Change	No Change
D7 Views			
Allow the reasonable sharing of views.	The site and surrounding sites do not have any prominent views.	The proposed design does not block any prominent views.	No Change
D8 Privacy			
Provide reasonable acoustic and visual privacy to adjacent properties. Provide personal and property security for occupants and visitors.	Living and habital rooms face the street and rear yard.	No change to dwelling. Neighboring privacy is maintained.	No Change
D9 Building Bulk			
No change to dwelling.			No Change
D10 Building Colours and Materials			
No change to dwelling.			Yes

The front fence and retaining wall will be timber and painted. Refer to Finished Schedule.			
D11 Roofs			
No change to dwelling.			No Change
D12 Glare			
No change to dwelling.			No Change
D13 Front Fences and Front Walls			
A new timber sleeper retaining wall will replace existing retaining walls along the front fence. A new painted timber slatted fence will be installed on top with the height increased by approx. 200mm to match the existing side fences. The new fence and retaining wall will look similar in style to the existing wall and structure.			Yes
D14 Site Facilities			
The existing bin, mailbox and clothes line positions will remain unchanged in this proposal.			Yes
D15 Side and rear fences			
Side and rear fences will remain unchanged in this proposal.			Yes
D16 Swimming Pools and Spa Pools			
n/a	n/a	n/a	n/a
D17 Tennis Courts			
n/a	n/a	n/a	n/a
D18 Accessibility			
The clearly defined pedestrian gate access location from Dowling street will be maintained. The existing dilapidated and uneven landing will be removed. A new landing will be installed, flush at the boundary level to provide easy pram access for the young family who reside in the property.			Yes
D19 Site Consolidation in the R3 and IN1 Zone			
n/a	n/a	n/a	n/a
D20 Safety and Security			
The entry directly overlooks the street to promote casual surveillance. The pedestrian access will be lit to assist with safety.			Yes
D21 Provision and Location of Utility Services			
Existing utility services to the site will remain.			Yes
D22 Conservation of Energy and Water			
Existing energy and water conservation site condition will remain unchanged.			Yes
D23 Signs			
n/a	n/a	n/a	n/a
E1 Preservation of Trees or Bushland Vegetation			

No removal of trees is proposed in this submission.			Yes
E2 – E9			
n/a	n/a	n/a	n/a
E10 Landslip Risk			
The terrain rises sharply from both Dowling Street and Oliver Street. The rise from Dowling Street measures approximately 2.25m while the rise from Oliver Street measures 2.76m. The site itself is generally flat with a gradual fall of approximately 310mm from Dowling Street boundary down to the rear Oliver Street Boundary. The land is identified as Area Class A and B. A geotechnical statement has been provided. Refer to geotechnical statement.			Yes
E11 Flood Prone Land			
The Site has not been identified as being (high medium or low)			n/a

5.0 CONCLUSION

The proposed development is permissible with consent and is consistent and satisfies the applicable controls of Council's Local Environmental Plan and Development Control Plan. It is considered that the proposal:

- Will not have an adverse impact on the environment.
- Maintains and protects a high level of amenity for adjoining properties.
- Will make a positive contribution to the existing housing stock.
- Makes appropriate and efficient use of the site.
- Is consistent with neighbouring developments.

The proposal represents a reasonable and appropriate development on the property. In light of its merits, the development is considered appropriate of Council's support.