

Interim Occupation Certificate

issued under the Environmental Planning and Assessment Act, 1979, as amended

Suite 21, 5 Inglewood Place
BAULKHAM HILLS NSW 2471
P (02) 9836 5711
F (02) 9836 5722
E info@localgroup.com.au
ABN 30 735 366 565

Certificate No 5001434

Subject Land H/N 165
Lot 73
DP/SP/CP 270385
Street GARDEN STREET
Suburb WARRIEWOOD 2102
Applicant CLARENDON RESIDENTIAL PTY LTD
PO BOX 7105
BAULKHAM HILLS BC NSW 2153
Development DWELLING (TWO STOREY)
Limitations &/or Exclusions
Building Classification 1A
Development Consent N0293/07
1 AUGUST, 2007

COUNCIL COPY

R/240506

Date of Determination

12/6/2008

Interim Certificate

The Interim Occupation Certificate has been determined as **APPROVED** in accordance with the procedures outlined in Clause 151 of the Environmental Planning and Assessment Regulation 2000. In making this determination, I certify that,

- the health and safety of the occupants of the building have been taken into consideration, and
- a current Development Consent or Complying Development Certificate is in force with respect to the building, and
- if any building work has been carried out, a current Construction Certificate is in force with respect to the plans and specifications for the building work, and
- that the building is suitable for occupation or use in accordance with its classification under the Building Code of Australia, and
- where required, a final fire safety certificate has been issued for the building, and
- where required, a report from the Fire Commissioner has been considered

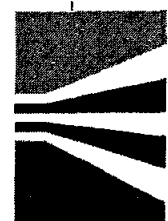
Attached/-

- 1 Documentation relied upon and that accompanied the application
- 2 Fire Safety Schedule (where required)
- 3 Record of critical stage inspections

Signature

Name
Accreditation Number
Accreditation Body

Andrew Dean
bpb0087
Building Professionals Board



LOCAL

RECORD OF MANDATORY INSPECTIONS

Suite 21, 5 Inglewood Place
BAULKHAM HILLS NSW 2471
P (02) 9836 5711
F (02) 9836 5722
E info@localgroup.com.au
ABN 30 735 366 565

**Development Consent
Number.**

N0293/07

**Construction Certificate
Number**

5001434

Our Reference:

5001434

Subject Land:

LOT 73
DP 270385
HNO 165
GARDEN STREET
WARRIEWOOD 2102

In accordance with the requirements of Clause 151(2)(d) of the Environmental Planning and Assessment Regulations 2000, this document is to serve as a record of the "critical stage inspections" carried out in relation to the development Schedule "A" includes all inspections referred to in Clause 151(2)(d)(i - iii) of the Regulations

SCHEDULE "A"

Date of Inspection	Type of Inspection	Result	Accredited Certifier
24/10/2007	Pre Commencement Inspection	Satisfactory	Andrew Dean Accreditation No bpb0087
24/10/2007	Pier Inspection	Compliance Certificate	D'amici Colombo Pty Ltd Accreditation No
26/10/2007	Slab/ Steel Inspection	Compliance Certificate	D'amici Colombo Pty Ltd Accreditation No
2/11/2007	Stormwater Inspection	Satisfactory	Andrew Dean Accreditation No bpb0087
20/03/2008	Wet Area Inspection	Satisfactory	Andrew Dean Accreditation No bpb0087
20/03/2008	Framework Inspection	Satisfactory (Minor issues)	Andrew Dean Accreditation No bpb0087
11/06/2008	Final (Preliminary) Inspection	Satisfactory (Minor issues)	Andrew Dean Accreditation No bpb0087

This documentation is to accompany any Occupation Certificate issued in relation to this development but is not to be misconstrued as a Compliance Certificate. Should additional information be required in relation to this matter, please contact the undersigned during normal business hours.

Andrew Dean

Principal Certifying Authority
Building Professionals Board
Bpb0087

Unit 1, Second Floor
42 Birnie Avenue
Lidcombe NSW 2141
POBox 194 Sydney Markets NSW 2129



Tel (02) 96465811
Fax (02) 96462311

D'Amici Colombo Pty Ltd
Consulting Structural Engineers
A.C.N. 065 912 733

CERTIFICATE OF COMPLIANCE-INSPECTION

Issued under the provisions of Part 4A Section 109C of the
Environmental Planning and Assessment Act 1979 & Part 8 Section 138 of the Regulations 2000

Our Job ref 19038

Project Address	Lot 73 Garden Street, Warnewood NSW	
Project Description	Town House Development	
Items Inspected	Components Approved	Date of Inspection
Pier	Foundation	24/10/07
Slab	Reinforcement	26/10/07

Document ref 19038
Prepared by D'Amici Colombo Pty Ltd

This certificate shall not be construed as relieving any other party of their responsibilities liabilities or contractual obligations and shall be read in conjunction with site instructions issued by this office.
During the course of construction, structural inspections in accordance with accepted engineering practice and principles were carried out. At the times of the inspections the work generally conformed with the intent of the design as conveyed by the structural engineering drawings.

We hereby certify that, provided due attention is given to all items listed on our site instruction forms, the components inspected and as listed are structurally satisfactory.

Building Practitioner - John D'Amici
Category Class - Structural Engineer
MIEAust CP Eng NPER
Postal Address - D'Amici Colombo Pty Ltd
Unit 1, Second Floor
42 Birnie Ave
Lidcombe NSW 2141

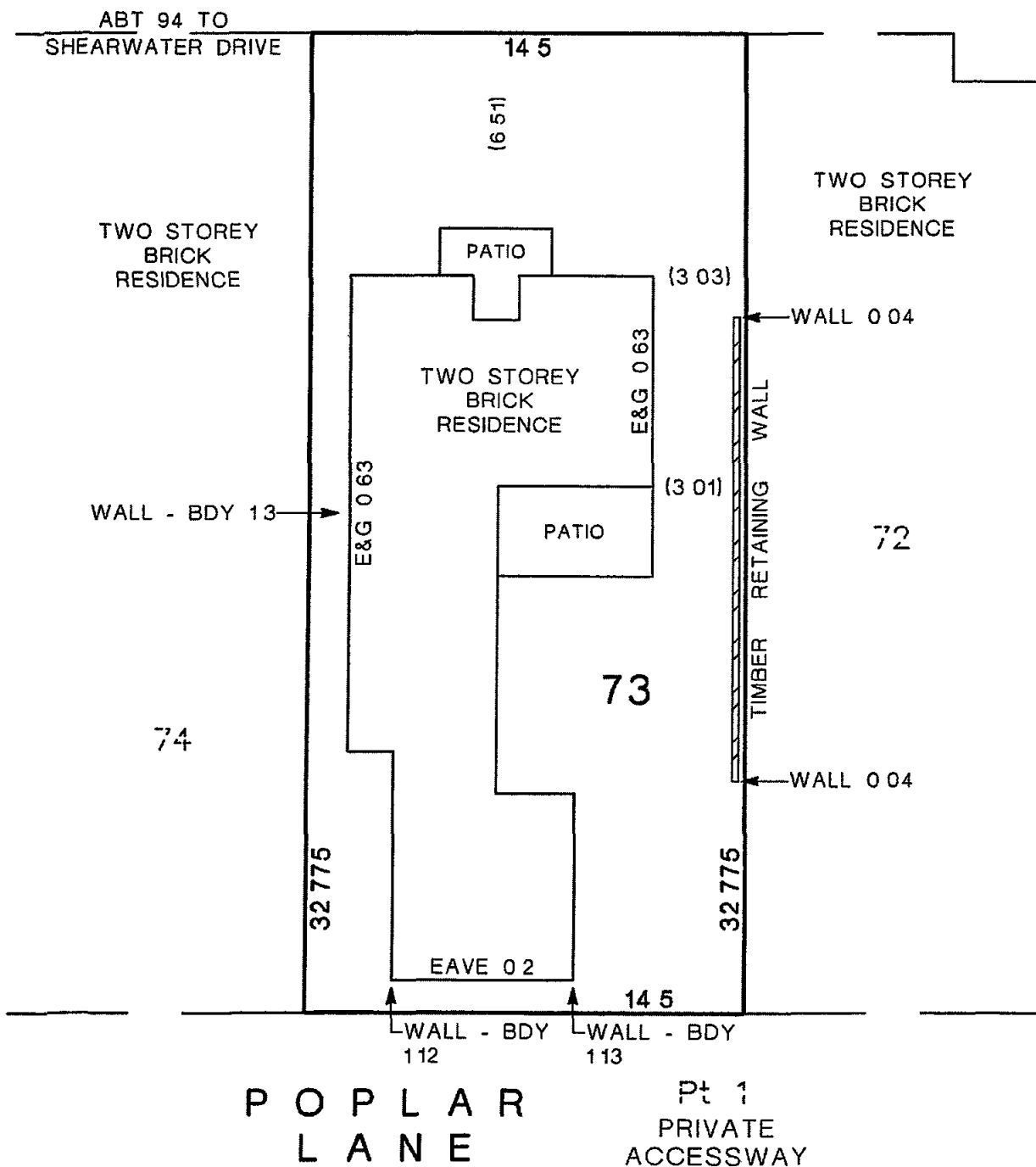
Signature

Date 29 Oct 07

PLAN
Lot 73 DP 270385
Scale 1:200



G A R D E N S T R E E T



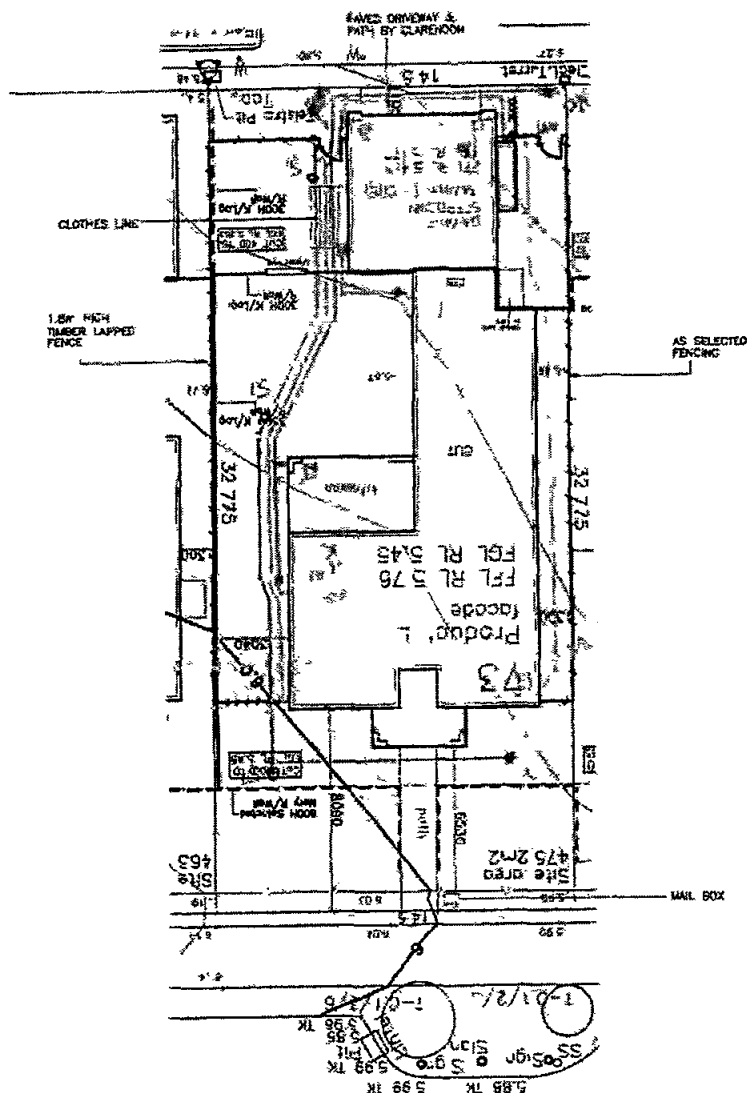
#3063

FBI	132 U S m
TUR	3450 S m
DRIVE	850 S m
ROVER	130 S m
PAT	10 S m

POPLAR LANE

RET. WALL - CONSISTENT HEIGHT
RET. WALL - DIMINISHING HEIGHT
BUILDING PLATFORM/ BATTER LINE
WALL FALL - BATTER 17
FALL - BATTER 16
OUT / FILL LINE

- 1) THESE LEVELS ARE APPROXIMATES ONLY & ARE TO BE CONFIRMED ON SITE WITH SUPERVISOR PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
- 2) SITUATION CONTROL TO COUNCIL REQUIREMENTS
- 3) EXISTING VEGETATION ON SITE TO BE REMOVED
- 4) NO WATERWAY OR WATERCOURSES ON SITE.
- 5) TERMITE PROTECTION TO AS3660



GARDEN STREET

INT	DATE	2/3	✓
EXT	DO	7/11/01	✓
W/S	W/S		
G/TOD	MD		

KERB LINE	BORDINARY LINE	
RL 5.38		GARAGE F7 RL 5.503
900	1700	
VARIABLE	SE BACK	

DRIVEWAY PROFILE

RING 1100. DIAL BEFORE YOU DIG
PRIOR TO ANY EXCAVATIONS.
ANY REGISTERED EASEMENT WITHIN THE LOT
IS SHOWN ON THIS SITE PLAN.

OWNERS SIGNATURES



©
ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NEW) PVT LTD
Any copying or reuse
of the drawing shall not be
considered valid without
permission from
CLARENDON HOMES (NEW) PVT LTD
DIMENSIONS TO BE READ IN

PRODUCT
Product L
Facade 1
Rear loaded Garage
Shearwater Package

CLIENT
CLARENDON
RESIDENTIAL
SITE ADDRESS:
LOT 12 (DP-27036-1)
GARDEN STREET,
WARRIEWOOD VIC 3102

CONSTRUCTION PLANS

GRAVITY AL	DATE 10/5/08	RANK D
M-10 1200	CHECKED Checked By	
SHEET 2	JOHNS 242039	



CLARENDON HOMES
PO BOX 7105
BAULKHAM HILLS BC NSW 2153

22 April, 2008

SUBJECT. WATERPROOFING CERTIFICATE
TFW Ref 61110

This certifies that **FIBREFLASH** Waterproof Solutions completed installation of the waterproofing to the internal wet areas at the address below on April 22, 2008 -

73 GARDEN st WARRIEWOOD

STAGE 1. Install the waterproofing membrane to the shower tray, perimeter walls and floor to all required wet areas

STAGE 2: Provide waterproofing treatment to shower penetrations, bath seals, spindle seals and installation of the waterstop at doorways to all required wet areas

This work was completed in accordance with Tables 2.1, 4.1 and Section 5 of Australian Standard 3740 - 2004 and the Building Code of Australia

Yours faithfully,

A handwritten signature in black ink, appearing to read "Jeff Sayle".

Jeff SAYLE
Operations Manager
FIBREFLASH Waterproof Solutions
GOLD LICENCE. 17790C

ABN 93 003 937 424
◆ 61 Wellington Street
Riverstone NSW 2765
◆ PO Box 257
Riverstone NSW 2765
◆ Ph 02 9627 5500
Fax 02 9627 3659

Smoke Alarm

Installation and Test Report

Building Code of Australia 2006 - Part 3 7 2

Ref A S. 3786 - 1993

Class 1 and 10 buildings, Class 2-9 buildings

Premises	LOT 73 GARDEN STREET
Building Application No	WARRIEWOOD NSW 2102
Customer Name	CLARENDON

Type of System

☒

New

☐

Addition to existing

Alarm Details

Product/Model No

HPM645/3

Aust Elect Authority

Certificate of Suitability 04555V

Location of Detector

(wired to mains power and interlinked)

☒

Hall

☐

Bedroom

☐

Other

Total Number of Detectors Installed 2

Installers Details

J & M COSTA ENTERPRISES PTY LTD

ABN:83740243711 Lic No.EC21515

Electrical Contractors

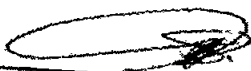
16 PRODUCTION PLACE

PENRITH 2750

Ph.0247311111 Fax 0247311889

Date of Installation and Testing. 29 MAY 2008

Signature



BUILDING INDUSTRY PEST SERVICES

P C Licence No 611

Head Office, Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A C N 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS **WARRIEWOOD, 1 of 73, GARDEN STREET**

BUILDER OR OWNER **CLARENDON HOMES PTY LTD**

ATTENTION Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earthworks, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

Slab Penetrations

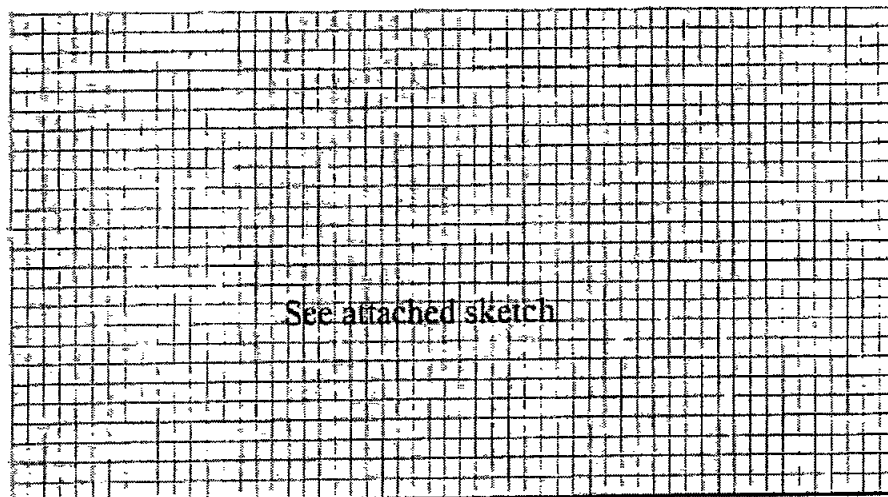
Ref 32366000

Reticulation Legend

Path trap  Drilled pipe 
Undrilled pipe  End cap 

Physical Barrier Legend

Penetration  Seam Patch 
Area Protected //



Rough sketch only - refer builder's plans for true dimensions

DATE OF TREATMENT 25 10-2007
Number of Penetrations, 9
Materials Applied: TERMIT LANGES

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf

Applied by M Maynard

Authorised by

P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf



A.B.N 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown NSW 2200
Tel (02) 9793 2166
Fax (02) 9708 6306
DX 11227 Bankstown

Builder Cleveland Homes
Site Address: lot 73 Garden St

Date 25-10-07

Installer Waimenwood
Matt Lic No

Job Sheet No 26453

SIGNED

Ref No 32366000

Environmental Information		JOB PLAN	
External	Chemical Name		
	Vol of Concentration		
	Vol of Emulsion		
	Equipment Hand held spray ☐ Truck mounted spray ☐ Other		
Cavity	Chemical Name		
	Vol of Concentration		
	Vol of Emulsion Equipment Hand held spray ☐ Truck mounted spray ☐ Other		
	Wind Speed		Wind Direction
Time Start			Time Finish
Area Protected			
Under Slab M2		Perimeter Lm	
Subfloor M2		Penetrations Qty <u>9</u>	
Cure M2		Rugline Lm	
Slab ☐ Monolithic slab on ground ☐ In-fill slab ☐ Waffle pod ☐ B/J Timber floor ☐ Ultra floor			
Method of Protection ☐ Physical Barrier ☐ Chemical Barrier			
Type			
Reticulation Legend Path trap ☒ Drilled pipe _____ Undrilled pipe - - - - - End cap ————			
Physical Barrier Legend Penetration ☒ Start Finish X Area Protected //			

BUILDING INDUSTRY PEST SERVICES

P.C. Licence No. 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX: 11227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS **WARRIEWOOD, 165/GARDEN STREET (lot 73)**

BUILDER OR OWNER: **CLARENDON HOMES PTY LTD**

ATTENTION Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Grantgard barrier ineffective.

Curing

Ref. 32366001

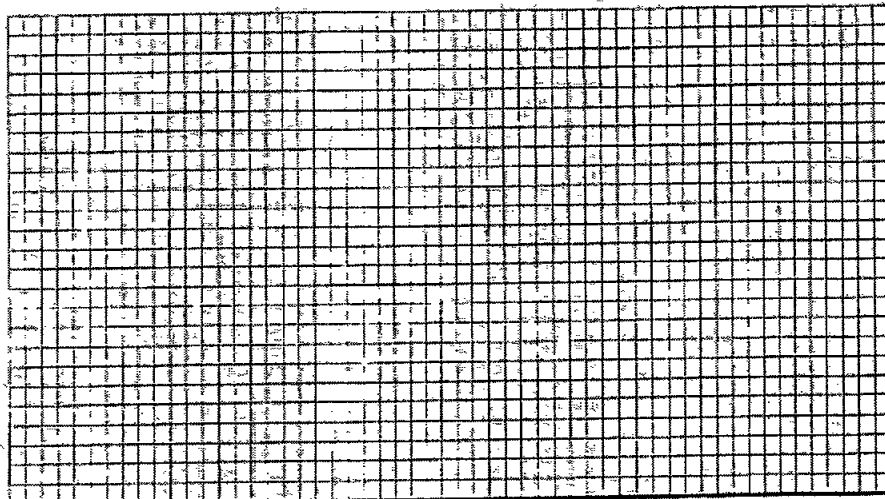
Reticulation Legend

Path trap ☒ Drilled pipe _____
Undrilled pipe - - - - - End cap _____

Physical Barrier Legend

Penetration ☒ Stair / Egress ☒
Area Protected //

Rough sketch only - refer builder's plans for true dimensions



DATE OF TREATMENT: 8-11 2007

Area Protected: 140 square metres

Materials Applied: PVA J51 016

Certification

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by **M Maynard**

Authorised by

P. E. Sapsford

Warranty is 12 months unless indicated otherwise. See Warranty Conditions overleaf



ABN 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N S W. 2200
Tel (02) 9793 2166
Fax (02) 9708 6306
DX 11227, Bankstown

Builder Clarendon Homes
Site Address lot 73 Garden St
Warrimood

Date 8-11-07

Job Sheet No 26488

Installer Matt
SIGNED: M. May Lic No

Ref No 32366001

Environmental Information		JOB PLAN
External	Chemical Name Vol of Concentration Vol of Emulsion Equipment ☐ Hand held spray ☐ Truck mounted spray Other	
Cavity	Chemical Name Vol of Concentration Vol of Emulsion Equipment ☐ Hand held spray ☐ Truck mounted spray Other	
Wind Speed Wind Direction Time Start Time Finish		
Area Protected Under Slab M2 Perimeter L/m Subfloor M2 Penetrations Qty Curs M2 <u>140</u> Ringline L/m		
Slab ☐ Monolithic slab on ground ☐ Ig fill slab ☐ Waffle pod ☐ B/J Timber floor ☐ Ultra floor		
Method of Protection ☐ Physical Barrier ☐ Chemical Barrier		
Type		
Reticulation Legend Path trap ☒ Drilled pipe _____ Undrilled pipe - - - - - End cap _____		
Physical Barrier Legend Penetration ⊗ Start / Finish X Area Protected //		

BUILDING INDUSTRY PEST SERVICES

P.C Licence No 611

Head Office: Suite 9, 39 Stanley Street, Bankstown NSW 2200
Phone: (02) 9709 2011 Fax: (02) 9708 6306 DX 11 227

A.C.N. 002313439

CERTIFICATE OF TREATMENT

This document is official certification that the building described has been treated by BUILDING INDUSTRY PEST SERVICES to provide protection from subterranean termite attack. Please note that further treatments may be required to completely protect your home.

SITE ADDRESS **WARRIEWOOD, 165/GARDEN STREET [lot 73]**

BUILDER OR OWNER **CLARENDON HOMES PTY LTD**

ATTENTION Whilst the barrier system provides significant protection for many years, annual, complete inspection is recommended. Additional treatment is only required when bridging or breaching has occurred or is suspected. Any additions, alterations or earth works, including gardening adjacent to the building, may render the chemical or Granitgard barrier ineffective.

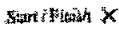
Cavity Treatment with Granitgard

Ref 32366002

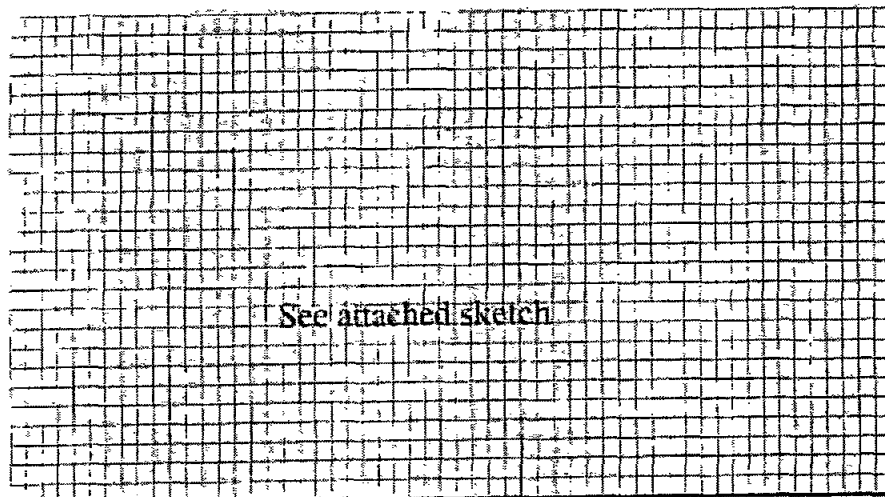
Reticulation Legend

Push cap ☒ Digged pipe 
Undrilled pipe  End cap 

Physical Barrier Legend

Penetration  Start/Finish 
Area Protected 

Rough sketch only - refer builder's plans for true dimensions.



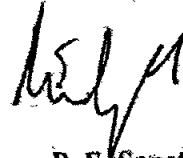
DATE OF TREATMENT 11-12-2007
Linear Metres 70 metres
Materials Applied GRANITGARD

Perimeter Treatment Certificate of Completion

This document certifies that the above structure has been treated in accordance with AS3660-1 except for the limitations listed above &/or overleaf.

Applied by **C Law**

Authorised by:



P. E. Sapsford

10 year product warranty applies, subject to conditions (see reverse of Granitgard Treatment Certificate) and providing barrier is PROPERLY MAINTAINED as per maintenance guidelines (see over)



A.B.N 56 947 548 056

BUILDING INDUSTRY PEST SERVICES

SUBSIDIARY OF ENVIROPEST P/L

INSTALLATION SHEET

Level 2, Suite 3
39 Stanley Street
Bankstown N.S.W 2200
Tel (02) 9793 2166
Fax (02) 9708 6306
DX 11227 Bankstown

Builder: CLARENDON HOMES
Site Address: 165 GARDEN ST WARRIEWOOD

Date 11-12-07

Job Sheet No 28988

Installer: COLIN LAW Lic No 212

SIGNED: *Colin Law*

Ref No 32366002

Environmental Information

JOB PLAN

External
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment
Hand held spray ☐
Truck mounted spray ☐
Other

Cavity
Chemical Name
Vol of Concentration
Vol of Emulsion
Equipment
Hand held spray ☐
Truck mounted spray ☐
Other

Wind Speed: Wind Direction
Time Start Time Finish

Area Protected

Under Slab M2 Perimeter Lm
Subfloor M2 Penetrations Qty
Cura M2 Ringline Lm

Slab ☐ Monolithic slab on ground
☐ In-fill slab ☐ Waffle pod
☐ Be/T timber floor ☐ Ultra floor

Method of Protection

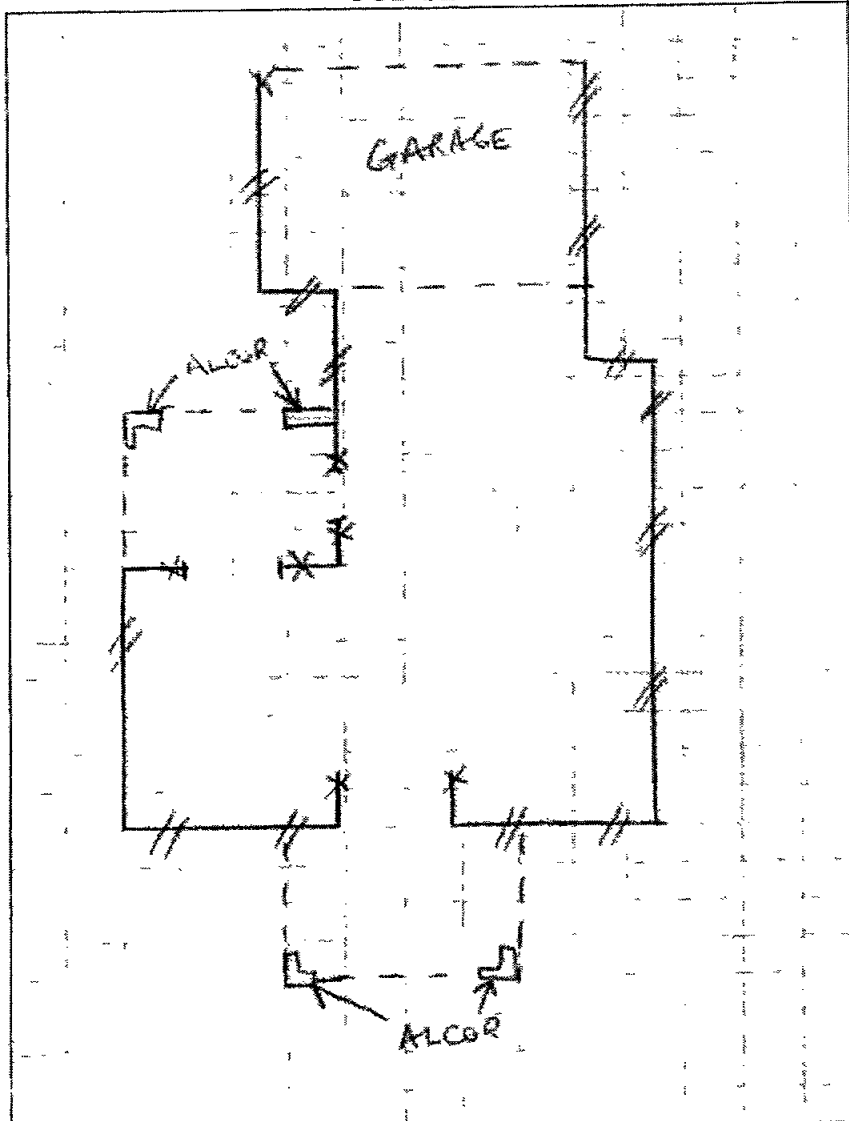
☒ Physical Barrier ☐ Chemical Barrier
Type GRANITGAARD

Reticulation Legend

Path trap ☒ Drilled pipe
Undrilled pipe End cap

Physical Barrier Legend

Penetration ☒ Start Finish X
Area Protected //





Purchase Order
Clarendon Homes (NSW) Pty Limited
ABN 18 003 892 706
Norwest Quay, Unit3/21 Solent Circuit
Baulkham Hills NSW 2153 NSW 2153
Postal . PO Box 7105, Baulkham Hills Business Centre NSW 2153
Phone 02 8851 5300 Fax 02 8851 5333

Supplier RDSP001
R D & S Prior Pty Ltd
24 Trahlee Rd
LONDONDERRY 2753

Order Number 242039/021
Job Number 242039
Client RESIDENTIAL
House Type Development Design
Job Address Lot 73 (#165) Garden Street
WARRIEWOOD
Client Contact CPG- Shearwater 88509000

Order Date 22 October 2007

Please supply the following items

Item Description	Qty	Unit	Cost	Total
0 ***** EXTERNAL DRAINAGE SEWER *****		Note		
1 *Standard External Sewer connection DOUBLE STOREY (up to 9m)	1 0	Item		
2 ***** EXTERNAL DRAINAGE STORMWATER *****		Note		
3 *Standard External 90mm Stormwater connection (up to 9m)	1 0	Item		
4 *E/O 100mm Charged Stormwater Connection (up to 9m) No Hydraulics	1.0	Item		
5 *Rainwater marking tape as specified by Sydney Water	1 0	Item		
6 * Internal Drainage Point	6 0	each		
7 *Internal Stack Drainage Point	2 0	each		
8 * Internal Drainage Line	15 0	m		
9 *E/O for stack Points on opposite sides of Dwelling	1 0	Item		
10 *Blue Metal to Internal Drainage	1 0	Item		
11 * Place Service Conduit for Island Kitchen Bench	1 0	Item		
12 *AGG line to Split Level	3 5	m		
13 *20mm Water Line From (Meter to House)	3 0	m		

Supervisor Unknown - [Order Category M]
Office Contact Marcella Cox 02 8851 5300

Net Order Value \$
GST \$

CONTRACTOR DECLARATION

I _____ being a person authorised by _____ certify that all
(print name) (print name of company if applicable)
employees have been paid for work done to date under this Purchase Order

Signed _____ Date _____

IMPORTANT ** No payment will be made unless this purchase order is attached to the accompanying invoice and the above Order Number is clearly marked on all the invoices

The terms and conditions attached form part of this Purchase Order unless otherwise agreed in writing

REPRINT



Purchase Order
Clarendon Homes (NSW) Pty Limited

ABN 18 003 892 706
Norwest Quay, Unit3/21 Solent Circuit
Baulkham Hills NSW 2153 NSW 2153
Postal - PO Box 7105 Baulkham Hills Business Centre NSW 2153
Phone 02 8851 5300 Fax 02 8851 5333

Supplier **JMCENPEN**
J & M Costa Enterprises P/L
16 Production Place
PENRITH 2750

Order Number **242039/024**
Job Number **242039**
Client **RESIDENTIAL**
House Type **Development Design**
Job Address **Lot 73 (#165) Garden Street**
WARRIEWOOD
Client Contact **CPG- Shearwater 88509000**

Order Date **22 October 2007**

Please supply the following items

Item Description	Qty	Unit	Cost	Total
0 Light Points	45 0	each		
1 Two Way Switch	1 0	each		
2 Extra light circuit (connected to existing light safety switch)	2 0	each		
3 S&F Smoke Detector	2 0	each		
4 S&F Expo EXC3073 Wall Light	1 0	Each		
5 E/O S & F Low Voltage Downlight	29 0	each		
6 S & Install Domus Alabaster 300mm Oyster Fitting	9 0	each		
7 S & Install Domus Alabaster 400mm Oyster Fitting	1 0	each		
8 E/O 2 x 40w fluorescent with cover	1 0	each		
9 Single Power Point	4 0	each		
10 Double Power Point	28 0	each		
11 Single Power Point For Alarm	1 0	each		
12 Single Power Point For Auto Door Opener	1 0	each		
13 Dishwasher power point (separate circuit & safety switch)	1 0	each		
14 Walloven only wiring (inc isolating switch)	1 0	each		
15 Install Rheem Controller Panels	1 0	each		
16 *Install Std R/Hood	1 0	each		
17 E/O Return Trip to Install PC Items	1 0	each		
18 TV Digital Compatible Aerial / Antenna	1 0	each		
19 DIGITAL TV Point & Cable to Ceiling	3 0	each		

Supervisor **Unknown - [Order Category M]**
Office Contact **Marcella Cox 02 8851 5300**

Net Order Value \$
GST \$

CONTRACTOR DECLARATION

I _____ being a person authorised by _____ certify that all
(print name) (print name of company if applicable)
employees have been paid for work done to date under this Purchase Order

Signed _____ Date _____

IMPORTANT - ** No payment will be made unless this purchase order is attached to the accompanying invoice and the above Order Number is clearly marked on all the invoices

The terms and conditions attached form part of this Purchase Order unless otherwise agreed in writing

REPRINT



Purchase Order
Clarendon Homes (NSW) Pty Limited
ABN 18 003 892 706
Norwest Quay, Unit3/21 Solent Circuit
Baulkham Hills NSW 2153 NSW 2153
Postal PO Box 7105, Baulkham Hills Business Centre NSW 2153
Phone 02 8851 5300 Fax 02 8851 5333

Supplier JMCENPEN
J & M Costa Enterprises P/L
16 Production Place
PENRITH 2750

Order Number 242039/024
Job Number 242039
Client RESIDENTIAL
House Type Development Design
Job Address Lot 73 (#165) Garden Street
WARRIEWOOD
Client Contact CPG- Shearwater 88509000

Order Date 22 October 2007

Please supply the following items

Item Description	Qty	Unit	Cost	Total
20 Telephone point (additional)	30	each		
21 Telephone Data Point (additional)	10	each		
22 Ceiling Exhaust Fan	30	each		
23 3 Phase Meter Box	10	each		
24 Safety Switches to Meter Box	10	each		
25 Extra power circuit & safety switch	10	each		
26 Fridge Circuit (including safety switch)	10	each		
27 E/O for recessed meterbox	10	each		
28 House Testing Fee	10	each		
29 Additional for 3 phase circuit on switch board for Air Conditioner	10	each		
30 Metering Fee	10	each		
31 S & F Energy Efficient Light Globes	80	each		

Supervisor Unknown - [Order Category M]
Office Contact Marcella Cox 02 8851 5300

Net Order Value \$
GST \$

TOTAL ORDER (Inc GST) \$

CONTRACTOR DECLARATION

I _____ being a person authorised by _____ certify that all
(print name) (print name of company if applicable)
employees have been paid for work done to date under this Purchase Order

Signed _____ Date _____

IMPORTANT ** No payment will be made unless this purchase order is attached to the accompanying invoice and the above Order Number is clearly marked on all the invoices

The terms and conditions attached form part of this Purchase Order unless otherwise agreed in writing

REPRINT



Purchase Order
Clarendon Homes (NSW) Pty Limited

ABN 18 003 892 1
Norwest Quay, Unit 3/21 Solent Circle
Baulkham Hills NSW 2153 NSW 2153
Phone 02 8851 5300 Fax 02 8851 5333

Supplier
TRAPLKIN
TRADELINK PLUMBING SUPPLIES
Locked Bag 3032
LIDCOMBE 1825

Order Date
22 October 2007

Please supply the following items

Item Description

0 Caroma Reflections Close Coupled Suite (White)

Order Number
242039/092
Job Number
242039
Client
RESIDENTIAL
House Type
Development Design
Job Address
Lot 73 (#165) Garden Street
WARRIEWOOD
Client Contact
CPG-Shearwater 88509000

Qty	Unit	Cost	Total
30	EACH		

Supervisor
Office Contact
Unknown - [Order Category M]
Marcella Cox 02 8851 5300

CONTRACTOR DECLARATION

(print name)
being a person authorised by
employees have been paid for work done to date under this Purchase Order

IMPORTANT
No payment will be made unless this purchase order is attached to the accompanying invoice and the above Order Number is clearly marked on all the invoices
The terms and conditions attached form part of this Purchase Order unless otherwise agreed in writing

REPRINT

Date Printed 25 October 2007 12:37 pm

Residential Group

TRAPLKN
TRADELINK PLUMBING SUPPLIES
Locked Bag 3032
LIDCOMBE 1825

Order Date 22 October 2007

Order Date _____

Please supply the following items _____

Please Print	Date	Time	Location	Item Description	Value	Status
1	10/10/10	10:00	10101	10101	10101	10101

Item	Description	Quantity	Unit
0	Rheem Integrity 24L HWS (Recess Box & 1 x Cont Incl) CPG		

Purchase Order
Clarendon Homes (NSW) Pty Limited
 ABN 18 003 892 706
 Norwest Quay Unit 3/21 Solent Circuit
 Baulkham Hills NSW 2153 NSW 2153
 Baulkham Hills Business Centre NSW 2153
 Postal PO Box 7105, Baulkham Hills Business Centre NSW 2153
 Phone 02 8851 5300 Fax 02 8851 5333

Order Number 242039/093
Job Number 242039
Client RESIDENTIAL
House Type Development Design
Job Address Lot 73 (#165) Garden Street
Client Contact WARRIEWOOD
CPG- Shearwater 88509000

Qty	Unit	Cost	Total
10	each		

Net Order Value \$

GST

Net Order Value \$
GST \$

TOTAL ORDER (inc GST) \$

Supervisor Unknown - [Order Category - M]
Office Contact Marcella Cox 02 8851 5300

CONTRACTOR DECLARATION

CONTRACTOR DECLARATION

I, _____ (print name) _____ being a person authorised by _____ (print name of company) _____

employees have been paid for work done to date under this Purchase Order

Date: _____

_____ made unless this purchase order is attached to the accompanying invoices _____

_____ Purchase Order unless otherwise _____

Signed

IMPORTANT

(name)
 been paid for work done to date under (no)
 Date: _____
 ** No payment will be made unless this purchase order is attached to the account.
 Number is clearly marked on all the invoices
 The terms and conditions attached form part of this Purchase Order unless otherwise agreed in writing
 REPRINT
 Date Printed 25 Oct 1981

REPRINT

Date Printed 25 October 2007 12 37

INSTALLATION WARRANTY

THIS IS TO CERTIFY
that Insulco insulation products
have been installed in these premises:

Address Lot 73 Garden St
Warrenwood P/code _____
Date of installation 6/6/08
Product installed Wall Insulation R-value R15
Ceiling Insulation R30

Insulco's approved installer (named below) warrants that
the insulation has been installed in a professional manner in
accordance with Australian Standard AS3999

Installed by All Weather
Signed [Signature]

Conditions: Claims under this warranty are limited to the invoiced value of the installed price and must be notified to the installer within 90 days of the installation date.

Insulco®
Built for comfort!™