

Wall Legend

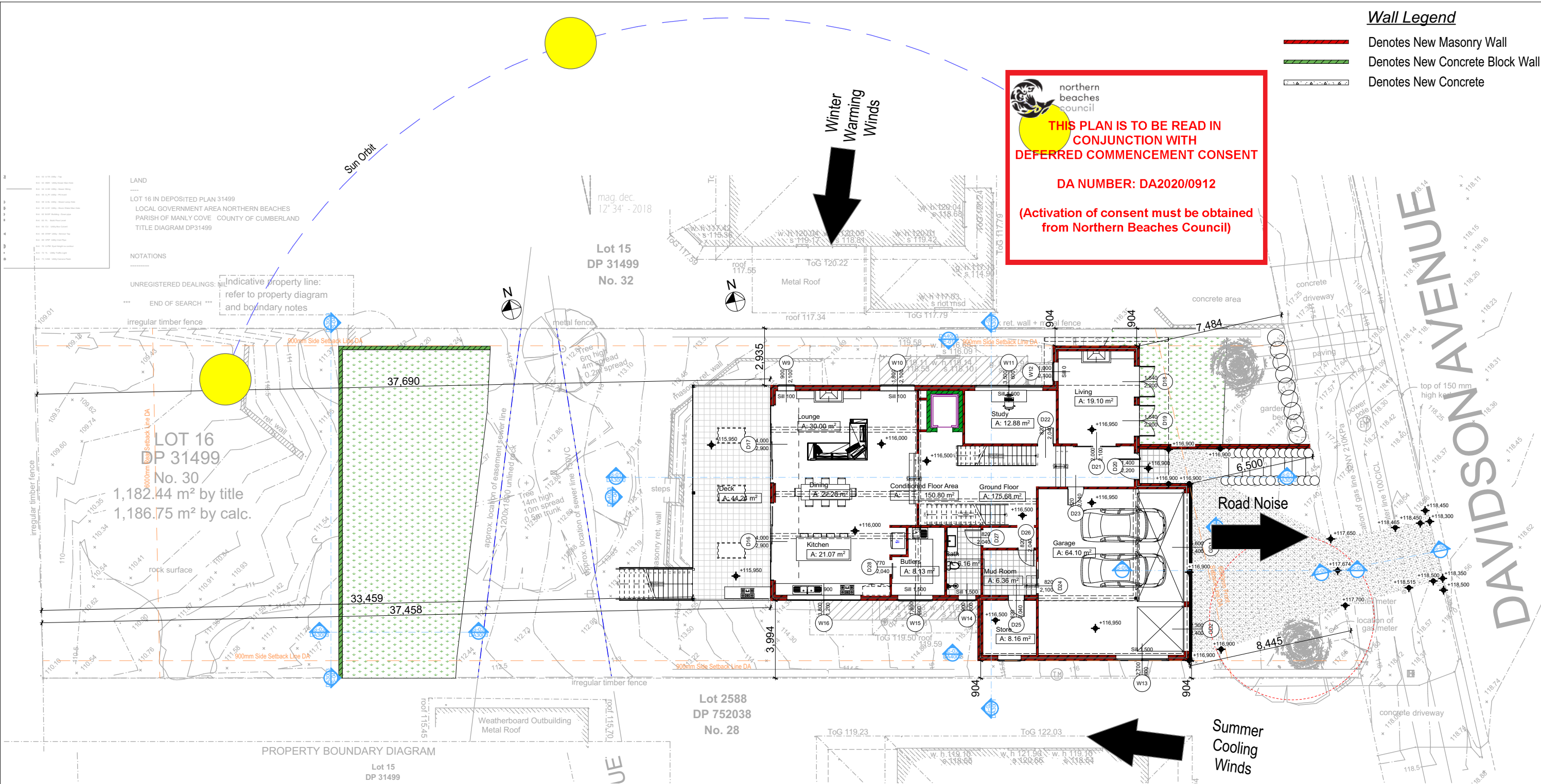
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained from Northern Beaches Council)



SITE PLAN
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

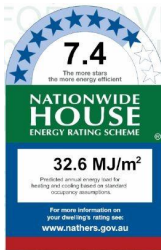
NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
30 Davidson Avenue, Forestville 2087 is not considered a heritage item
Noting
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application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction

Concrete Slab, Timber Frame, Double Brick, Concrete
Block, Timber Frame Walls to have R1.8 Insulation
Insulation to External Double Brick, Concrete Block,
Timber Frame Walls R2.3
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1121194S_04 & 1121240S
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in accordance with the specifications listed in the table below, except that:
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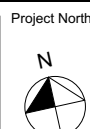
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Min. side bdy setback (Min.)	0.9m	Yes			



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Rapid Plans 2020



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 9/11/2020
Project NO: RP0320CUB
Project Status: Rev2
Client
Site: Nicole and John Cubbin
30 Davidson Avenue, Forestville
2087
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
SITE PLAN

PROJECT NAME :

New Dwelling

REVISION NO.

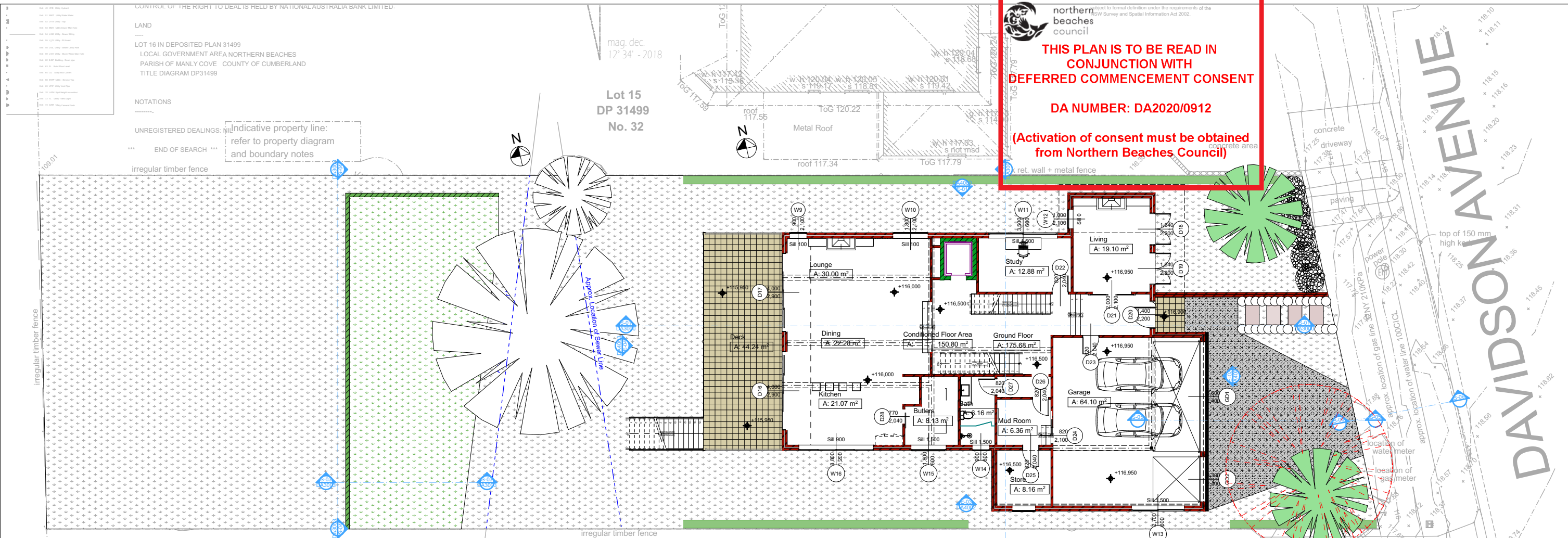
1

DATE:

6/11/20

DRAWING NO.

DA1004



Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 707.11 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 239.93 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.
• a tap that is located within 10 metres of the swimming pool in the development
Stormwater tank
The applicant must install a stormwater tank with a capacity of at least 15000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the stormwater tank to collect overflow from the rainwater tank.

Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Malus loensis "Plena"	Crab Apple	H= 6000mm W= 4500mm
		Viburnum Odoratissimum	Sweet Viburnum	H= 4000mm W= 4000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Waterhouisia Floribunda	Weeping Lilly Pilly	H= 12000mm W= 5000mm
		Poa Labillardierei	Tussock Grass	H= 1200mm W= 1200mm

	Existing Tree To Remain
	Remove Existing Tree
	Existing Grass To Remain

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Tiling
	Concrete Drive
	New Masonry Retaining Wall
	Stepping Stone

Wall Legend	
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall

2

LANDSCAPE PLAN

1:200

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

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Certifying

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Construction

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Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3

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Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

Building Design and Architectural Drafting

Rapid Plans
www.rapidplans.com.au
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NSW 2086
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Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: Project NO. Project Status

GBJ 9/11/2020 RP0320CUB DA Rev2

Client Site:

Nicole and John Cubbin 30 Davidson Avenue, Forestville 2087

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION

Landscape Plan

PROJECT NAME :

New Dwelling

REVISION NO.

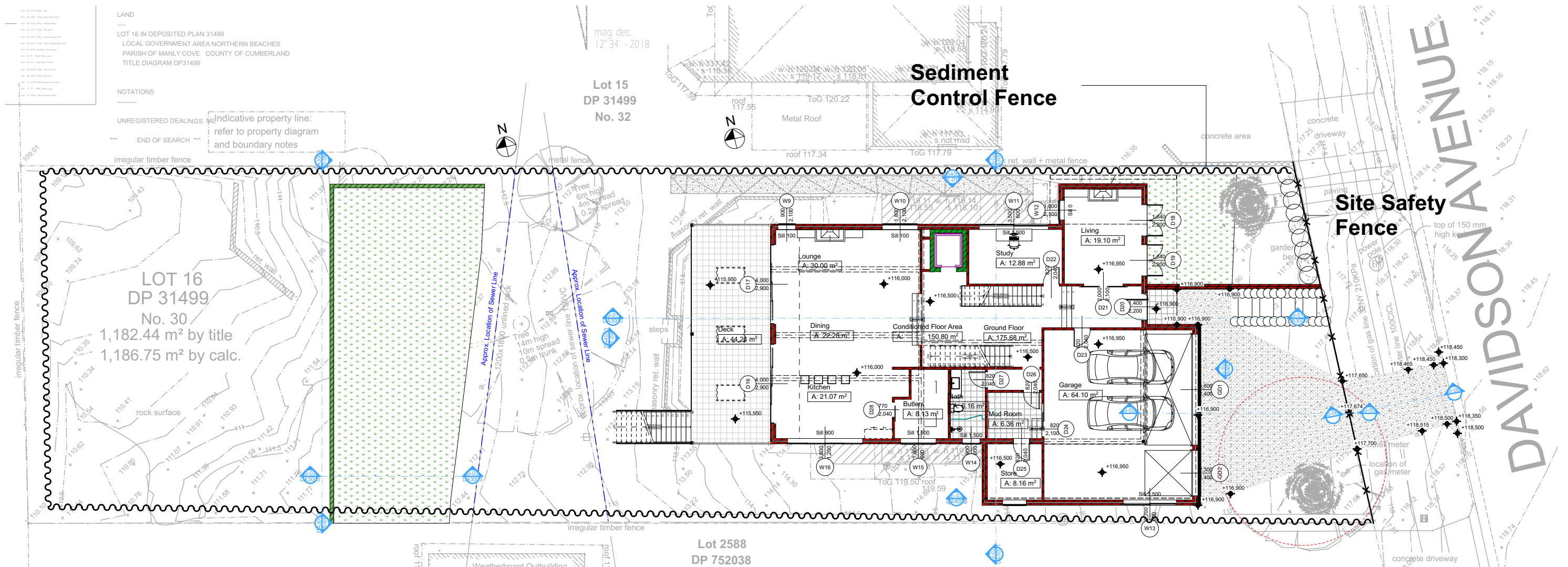
1

DATE

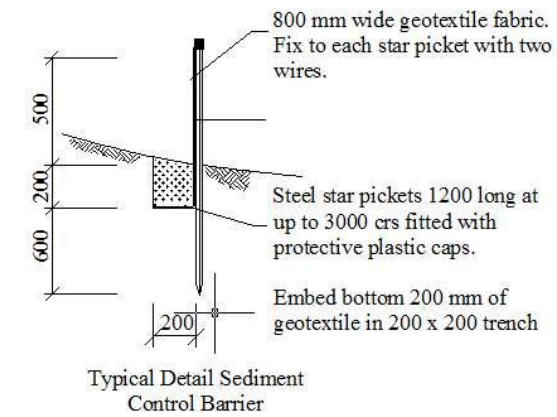
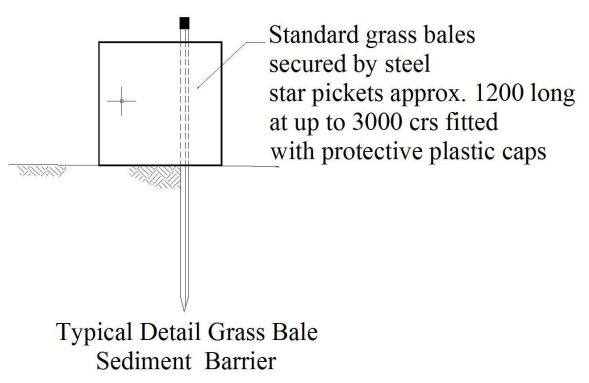
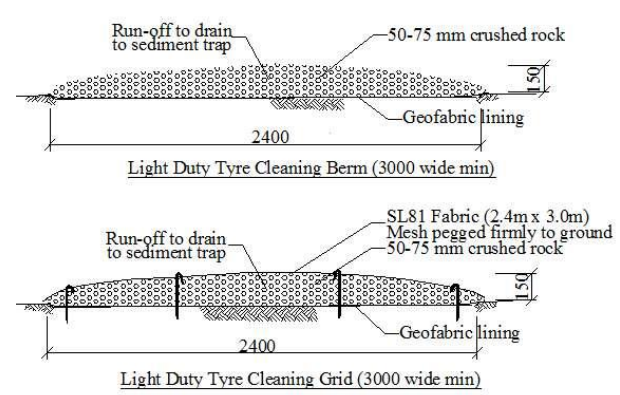
6/11/20

DRAWING NO.

DA1008



2 SEDIMENT & EROSION CONTROL PLAN 1:200



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained from Northern Beaches Council)

Wall Legend

Denotes New Masonry Wall

Denotes New Concrete Block Wall

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Vehicle Access For Removal Of Waste By Builder During Work Hours

Material Storage Area

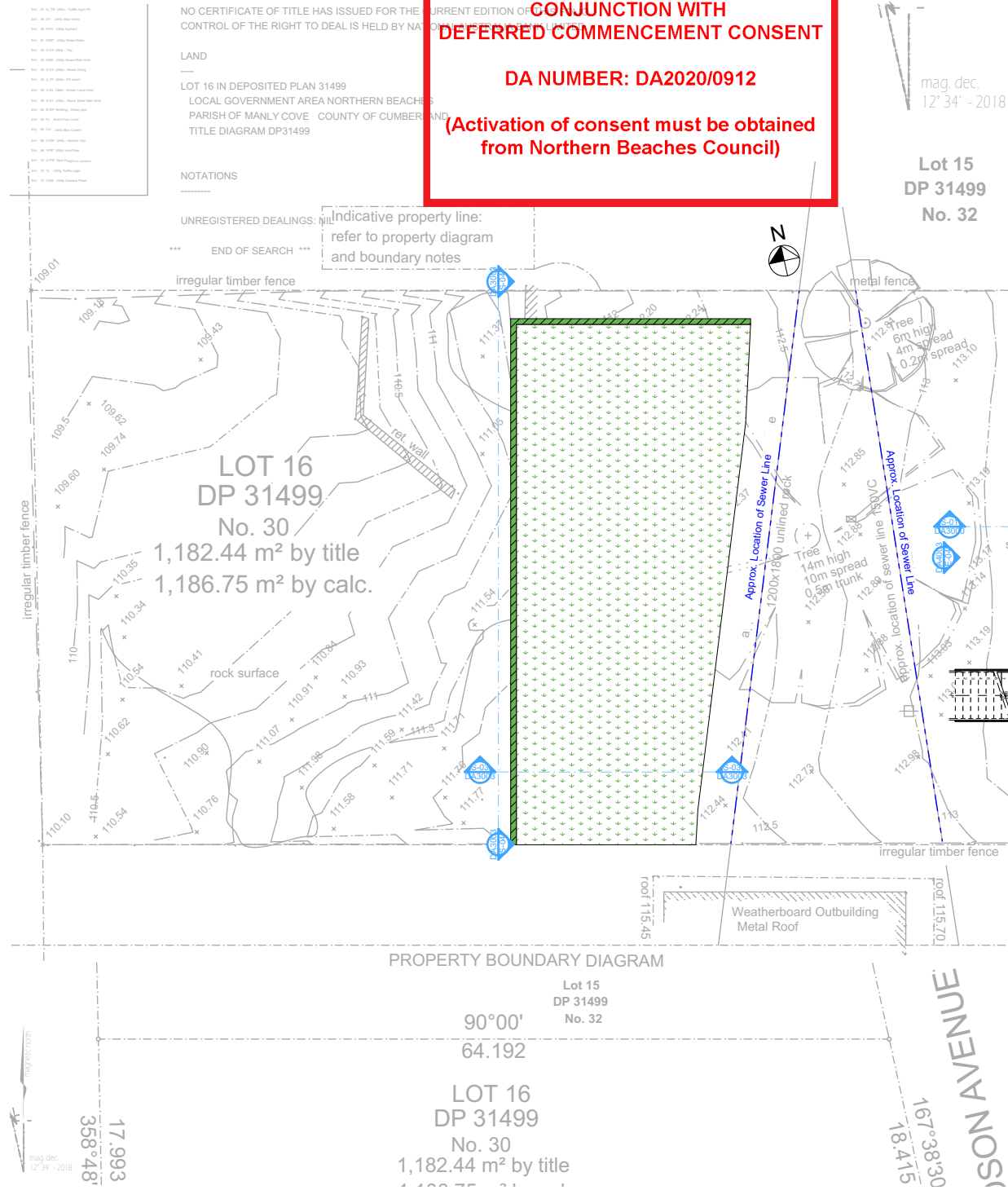
Site Safety Fence

Residential Garbage Bin Storage

Sediment Control Fence

Approximate Location Of Building Waste & Recycling Area

DAVIDSON AVENUE



2

WASTE MANAGEMENT PLAN
1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

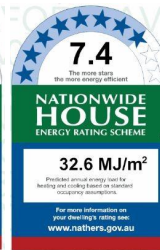
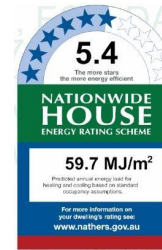
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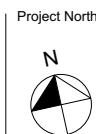
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Rapid Plans 2020



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Project North

Client Site:
Sheet Size: A3

Checked Plot Date: 9/11/2020
Project NO: RP0320CUB
Project Status: DA Rev2
Client Site: Nicole and John Cubbin
30 Davidson Avenue, Forestville 2087

DRAWING TITLE :

**SITE AND LOCATION
Waste Management Plan**

PROJECT NAME :

New Dwelling

REVISION NO.
1
DATE:
6/11/20
DRAWING NO.
DA1010

No. 32



Metal Roof

roof 117.34

ToG 117.79

conc. path

900mm Side Setback Line DA

garden bed

stone ret. wall

New Lift To
Manufacturers
Details With
Concrete Block Shaft

Wet Areas To Be Waterproofed
To BCA & Aust. Stds.

New Masonry Wall

New Concrete Block Retaining
Wall To Eng. Details

New Laundry Chute
New Concrete Block Retaining
Wall To Eng. Details
New Concrete Slab
To Eng. Details

Entertainment Area
A: 55.30 m²

Line Of Deck
Above

New Concrete Block
Retaining Wall To Eng. Details

New Concrete Slab To Eng. Details

New Min.
8000L Rain
Tank To Basix
Requirements

Break Out/Man Cave
A: 28.96 m²

Basement Area
A: 88.15 m²

New Living/Kitchen
A: 20.21 m²

Granny Flat
A: 44.13 m²

New Bath
A: 8.15 m²

New Bed 1
A: 12.89 m²

New Granny Patio/Entry
A: 18.45 m²

Lift

Cellar
A: 7.82 m²laundry
A: 7.92 m²TV Room
A: 25.64 m²

ADJOINS ON DA2002

BASEMENT/LOWER GROUND
1:100

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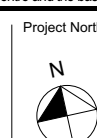


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Project North
Checked
Plot Date: 9/11/2020
Project NO: RP0320CUB
Project Status: DA Rev2
Client
Site: Nicole and John Cubbin
30 Davidson Avenue, Forestville
2087
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
New Dwelling

REVISION NO.
1
DATE: 6/11/20
DRAWING NO.
DA2001

Wall Legend



Denotes New Masonry Wall

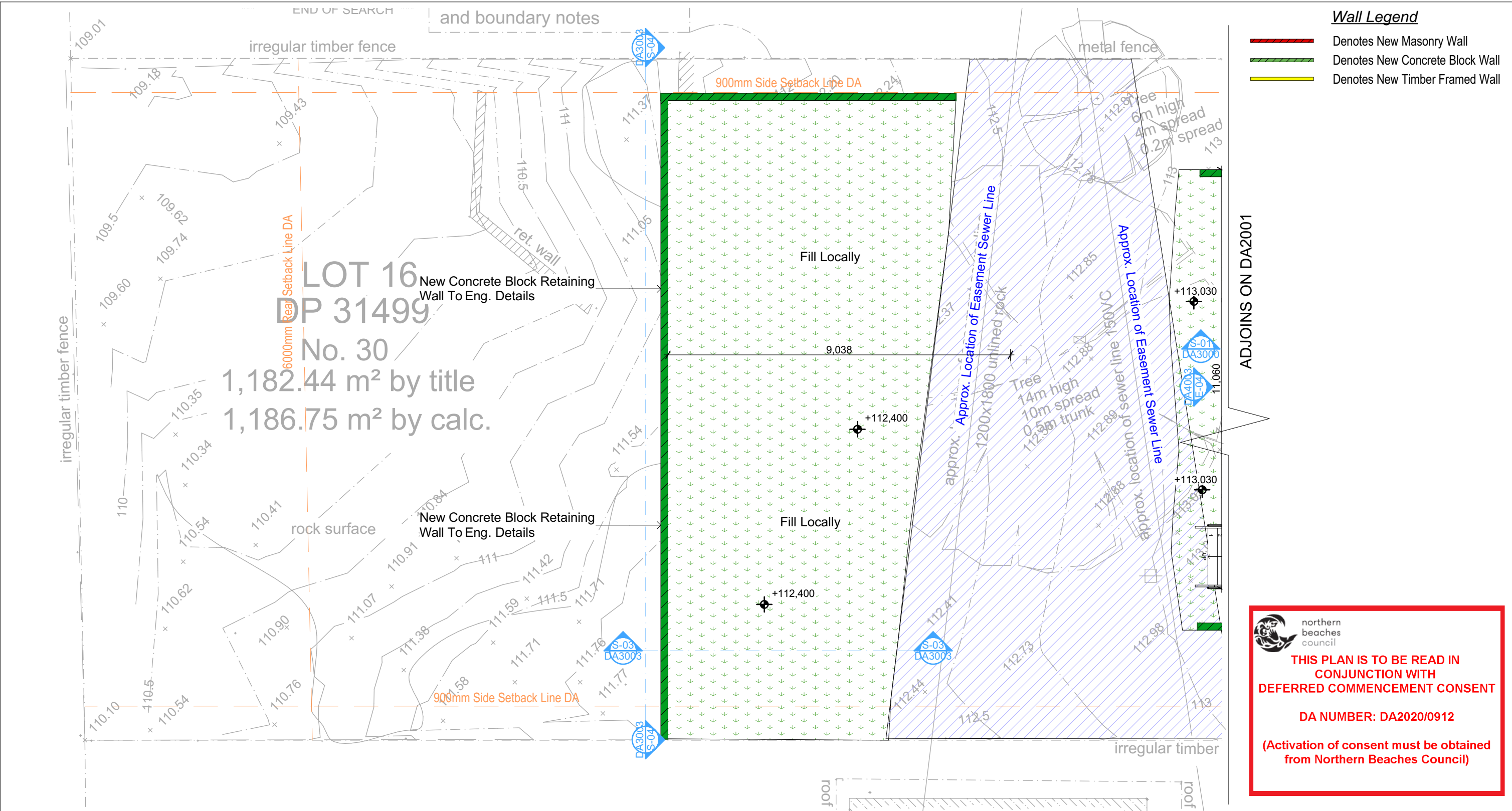


Denotes New Concrete Block Wall

Energy Commitments
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning; Energy rating: 3.5 star (average zone) The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning; Energy rating: 3.5 star (average zone) The cooling system must provide for daylight zoning between living areas and bedrooms.
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning; Energy rating: 3.5 star (average zone) The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning; Energy rating: 3.5 star (average zone) The heating system must provide for daylight zoning between living areas and bedrooms.
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (i.e. natural); Operation control: n/a Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 6 of the bedrooms / study; dedicated

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CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2020/0912
(Activation of consent must be obtained
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Energy Commitments
• at least 1 of the living / dining rooms; dedicated
• the kitchen;
• all bathrooms/toilets;
• the laundry;
• all hallways;
Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. The applicant must install a fixed outdoor clothes drying line as part of the development.



1
-
BASEMENT/LOWER GROUND
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
30 Davidson Avenue, Forestville 2087 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Concrete Slab, Timber Frame, Double Brick, Concrete
Block, Timber Frame Walls
Roof Timber Frame to have R1.8 Insulation
Insulation to External Double Brick, Concrete Block,
Timber Frame Walls R2.3
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number 1121194S_04 & 1121240S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs)
in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in
the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no
more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	59%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	41%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	2602mm	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1150mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



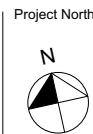
Rapid Plans
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Mobile: 0414-945-024
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will be returned to Rapid Plans upon request.
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all errors and omissions to the Designer. Do not scale the
drawings. Drawings shall not be used for construction
purposes until issued by the Designer for construction.



**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

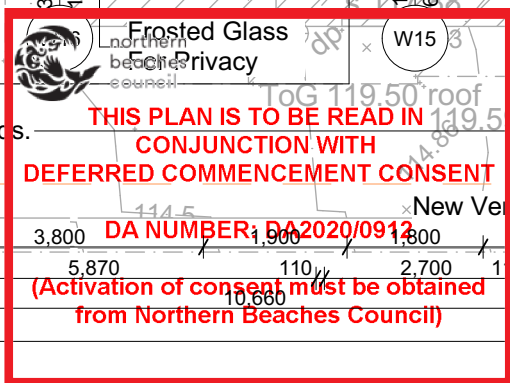
GBJ
9/11/2020
RP0320CUB
DA Rev2

Client
Site:
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR 2

PROJECT NAME :
New Dwelling

REVISION NO.
1
DATE:
6/11/20
DRAWING NO.
DA2002



NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
30 Davidson Avenue, Forestville 2087 is not considered a heritage item
Certifying
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drawings by Rapid Plans.

Construction

- Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls
- Roof Timber Frame to have R18 Insulation
- Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3
- Refer to Engineers drawings for structural details
- All work to Engineers Specification and BCA
- Timber framing to BCA and AS 1684
- Termite Management to BCA and AS 3660.1
- Glazing to BCA and AS10288-2047
- Waterproofing to BCA and AS 3740
- New Lighting to have minimum of 40% compact fluorescent lamps.

Basix

Basix Certificate Number 1121194S_04 & 1121240S

All Plans to be read in conjunction with Basix Certificate

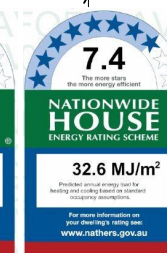
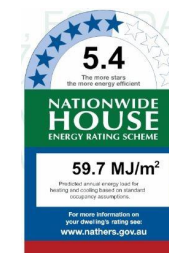
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below (except that:

a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	59%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	41%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	2602mm	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1150mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



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Email : gregg@rapidplans.com.au

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**Builder to Check and Confirm
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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Project North



Checked	GBJ
Plot Date:	9/11/2020
Project NO.	RP0320CUB
Project Status	DA Rev2
Client	Nicole and John Cubbin
Site:	30 Davidson Avenue, Forestville 2087
Sheet Size:	A3

DRAWING TITLE :	PLANS GROUND FLOOR
PROJECT NAME :	New Dwelling

REVISION NO.
1
DATE.
6/11/20
DRAWING NO.
DA2003

31499
No. 32



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

Building Design and Architectural Drafting

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NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.
Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls.
Roof Timber Frame to have R1.8 insulation insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variable
% of landscape open space (40% min)	59%	Yes
Impervious area (m ²)	41%	Yes
Maximum cut into gnd (m)	2602mm	Yes
Maximum depth of fill (m)	1150mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/11/2020
Project NO: RP0320CUB
Project Status DA Rev2

Client: Nicole and John Cubbin

Site: 30 Davidson Avenue, Forestville 2087

DRAWING TITLE: **PLANS**
FIRST FLOOR

PROJECT NAME: **New Dwelling**

REVISION NO.	REVISION NO.
1	6/11/20

DRAWING NO: **DA2004**

Plot Date: 9/11/2020
Sheet Size: A3

New Stairs & Handrail To BCA & Aust. Stds.

New Laundry Chute

New Timber Floor Frame To
BCA & Aust. Stds.

New Solid Timber
Framed Handrail To
BCA & Aust. Stds.

New Timber Framed
Sheet Metal Roof
Pitch 2°

Wet Areas To Be Waterproofed
To BCA & Aust. Stds.

New Gyprock Clad 90mm Timber Stud Walls
Line Of Roof Above
Line Of Skylight Above

Lot 2588
DP 752038

FIRST FLOOR
1:100

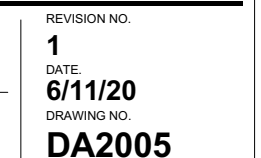
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained
from Northern Beaches Council)



**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



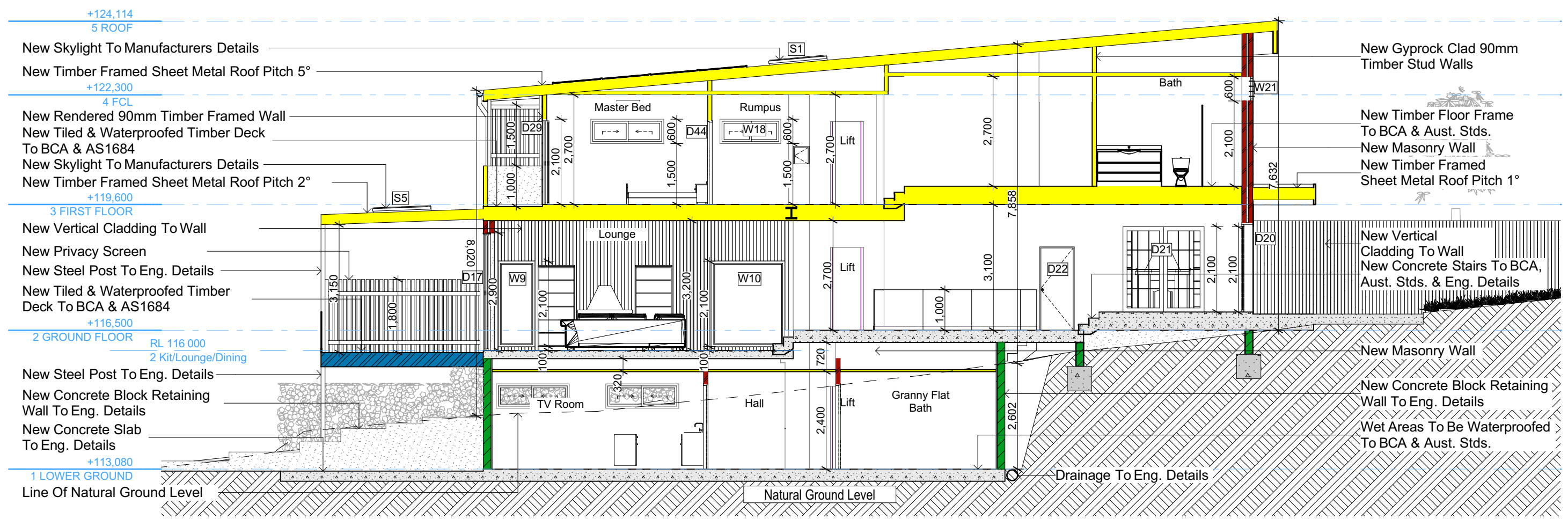
 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained from Northern Beaches Council)

- Wall Legend**
-  Denotes New Timber Framed Wall
 -  Denotes New Masonry Wall
 -  Denotes New Concrete Block Wall
 -  Denotes New Concrete



S-01 **SECTION 1**
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
30 Davidson Avenue, Forestville 2087 is not considered a heritage item
Certifying
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These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls
Roof: Timber Frame to have R1.8 Insulation
Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number 1121194S_04 & 1121240S
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	59%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	41%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	2602mm	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1150mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



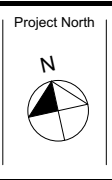
Rapid Plans
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NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: 9/11/2020
Project NO: RP0320CUB
DA Rev2

Client Site: Nicole and John Cubbin
30 Davidson Avenue, Forestville 2087

Sheet Size: A3

DRAWING TITLE :
SECTIONS 1
SECTION 1

PROJECT NAME :
New Dwelling

REVISION NO.
1
DATE:
6/11/20
DRAWING NO.
DA3000



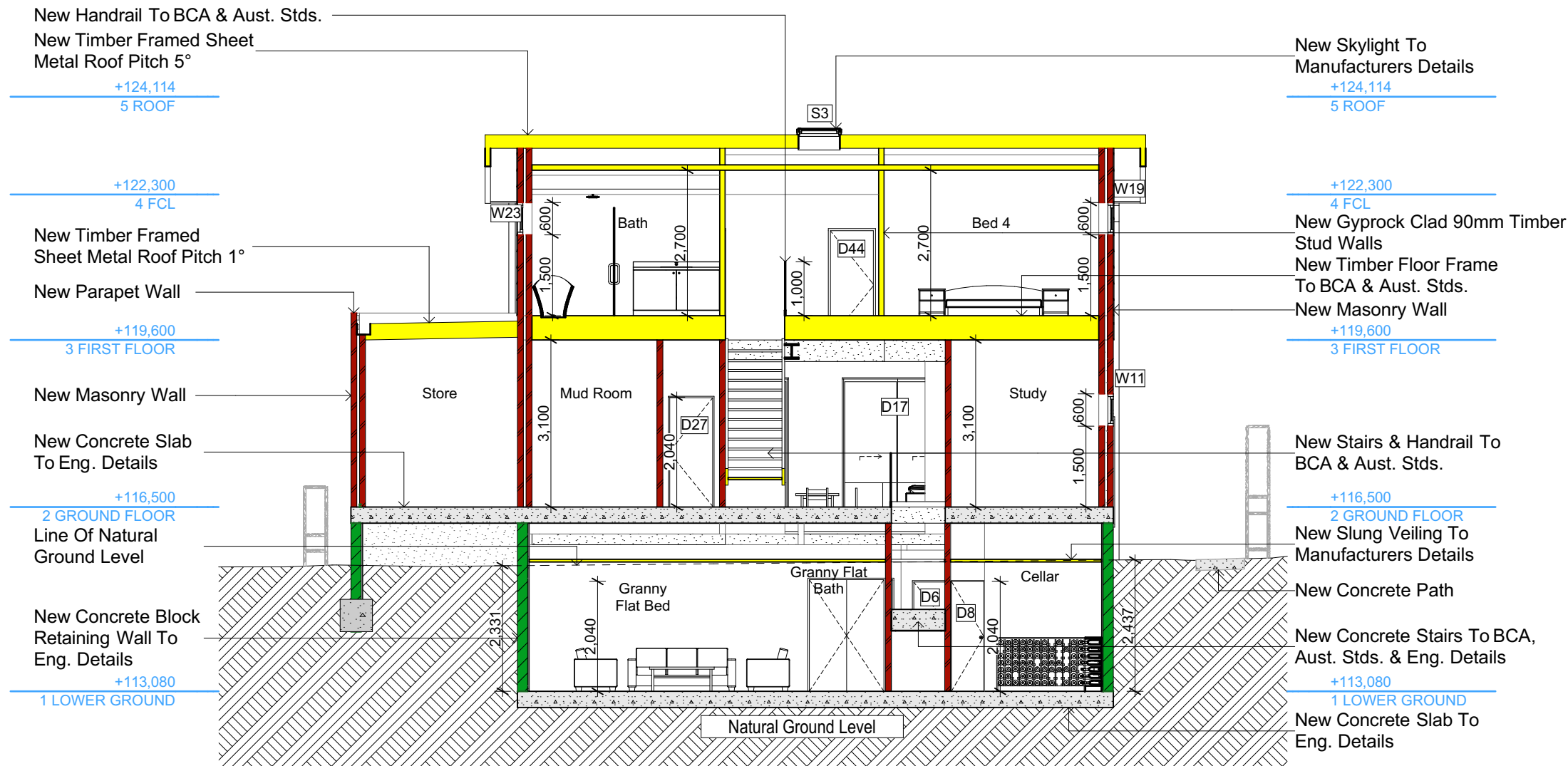
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2020/0912

**(Activation of consent must be obtained
from Northern Beaches Council)**

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete



S-02
-

SECTION 2
1:100



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NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential.
30 Davidson Avenue, Forestville 2087 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.
Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls.
Roof Timber Frame to have R1.8 Insulation.
Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1884.
Termite Management to BCA and AS 3660, 1.
Glazing to BCA and AS1728-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Variable
% of landscape open space (40% min)	59%	Yes
Impervious area (m ²)	41%	Yes
Maximum cut into gnd (m)	2602mm	Yes
Maximum depth of fill (m)	1150mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/11/2020
Project NO.: RP0320CUB
Project Status DA Rev2

Client: Nicole and John Cubbin

Site: 30 Davidson Avenue, Forestville 2087

DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME: **New Dwelling**

REVISION NO.	REVISION NO.
1	6/11/20

DRAWING NO.: **DA3001**

Plot Date: 9/11/2020
Sheet Size: A3

Wall Legend



Denotes New Concrete Block Wall

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NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
30 Davidson Avenue, Forestville 2087 is not considered a heritage
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls
Roof Timber Frame to have R1.8 insulation
Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1854
Termite Management to BCA and AS 3660, 1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	59%	Yes
Impervious area (m ²)	41%	Yes
Maximum cut into gnd (m)	2602mm	Yes
Maximum depth of fill (m)	1150mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/11/2020
Project NO.: RP0320CUB
Project Status DA Rev2

Client: Nicole and John Cubbin

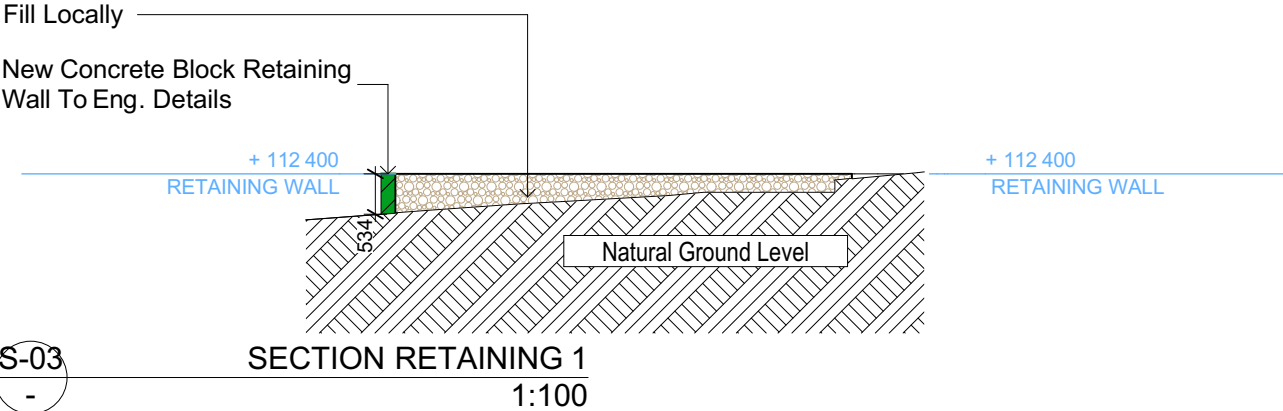
Site: 30 Davidson Avenue, Forestville 2087

DRAWING TITLE: SECTIONS
SECTION RETAINING

PROJECT NAME: **New Dwelling**

REVISION NO. 1
DRAWING NO. **DA3003**

Plot Date: 9/11/2020
Sheet Size: A3



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained from Northern Beaches Council)

5.4
The more stars the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

59.7 MJ/m²

For more information on (and meeting) energy use visit www.nathers.gov.au

7.4
The more stars the more energy efficient

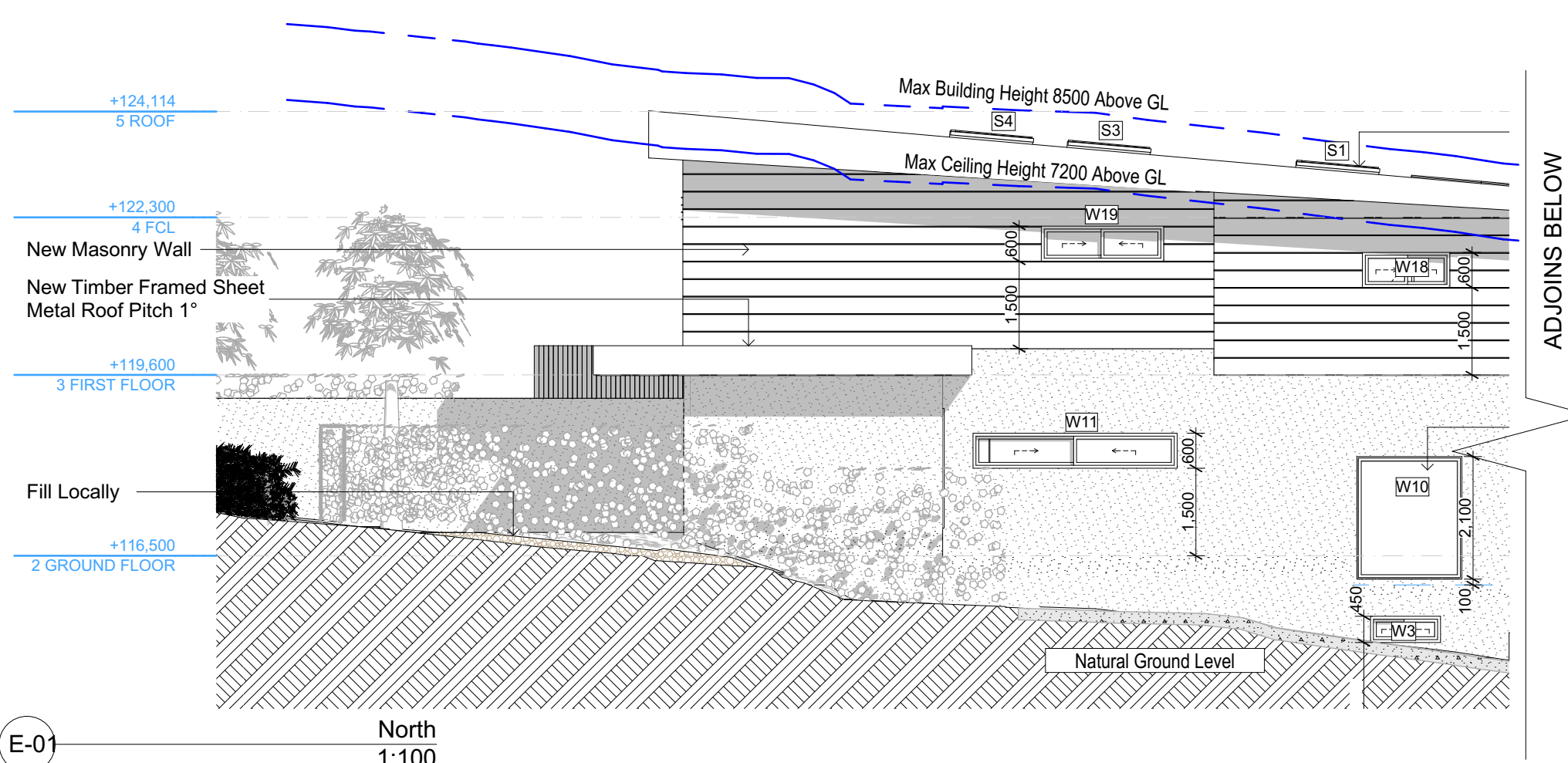
NATIONWIDE HOUSE ENERGY RATING SCHEME

32.6 MJ/m²

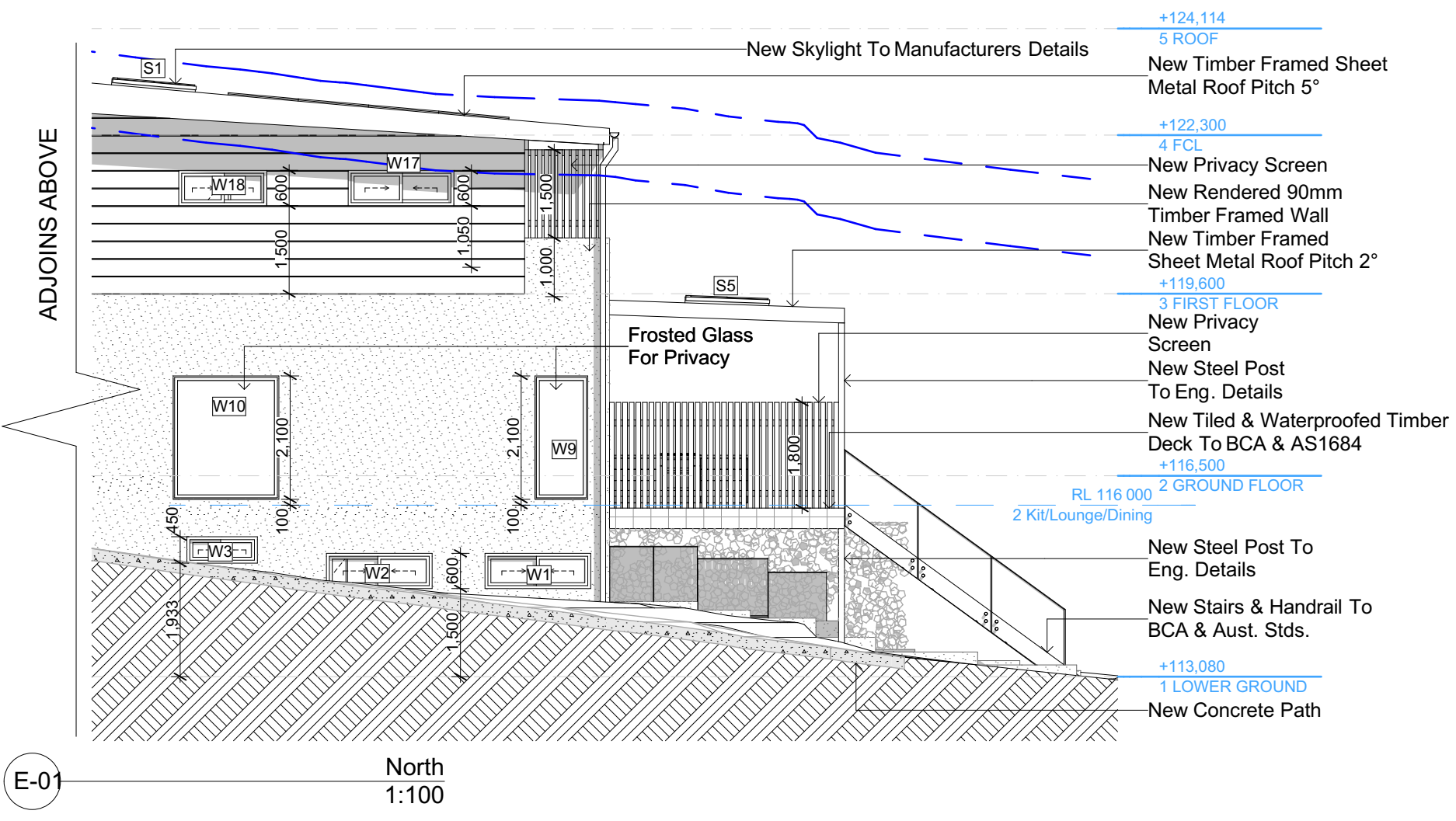
For more information on (and meeting) energy use visit www.nathers.gov.au

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Wall Legend
Denotes New Concrete



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained from Northern Beaches Council)



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DA APPLICATION ONLY
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ELEVATIONS 1	
PROJECT NAME: New Dwelling	
REVISION NO. 1	REVISION NO. 6/11/20
DRAWING NO. DA4000	
Plot Date: 9/11/2020 Sheet Size: A3	

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NOTES
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30 Davidson Avenue, Forestville 2087 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded Blue.
Construction:
Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls.
Roof Timber Frame to have R1.8 Insulation.
Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1884.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Table:

Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	59%	Yes
Impervious area (m ²)	41%	Yes
Maximum cut into gnd (m)	2602mm	Yes
Maximum depth of fill (m)	1150mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/11/2020
Project NO.: RP0320CUB
Project Status DA Rev2

Client: Nicole and John Cubbin

Site: 30 Davidson Avenue, Forestville 2087

DRAWING TITLE: **ELEVATIONS 1**

PROJECT NAME: **New Dwelling**

REVISION NO. **1**

REVISION NO. **6/11/20**

DRAWING NO. **DA4000**

Plot Date: 9/11/2020
Sheet Size: A3

Wall Legend



Denotes New Masonry Wall



Denotes New Concrete

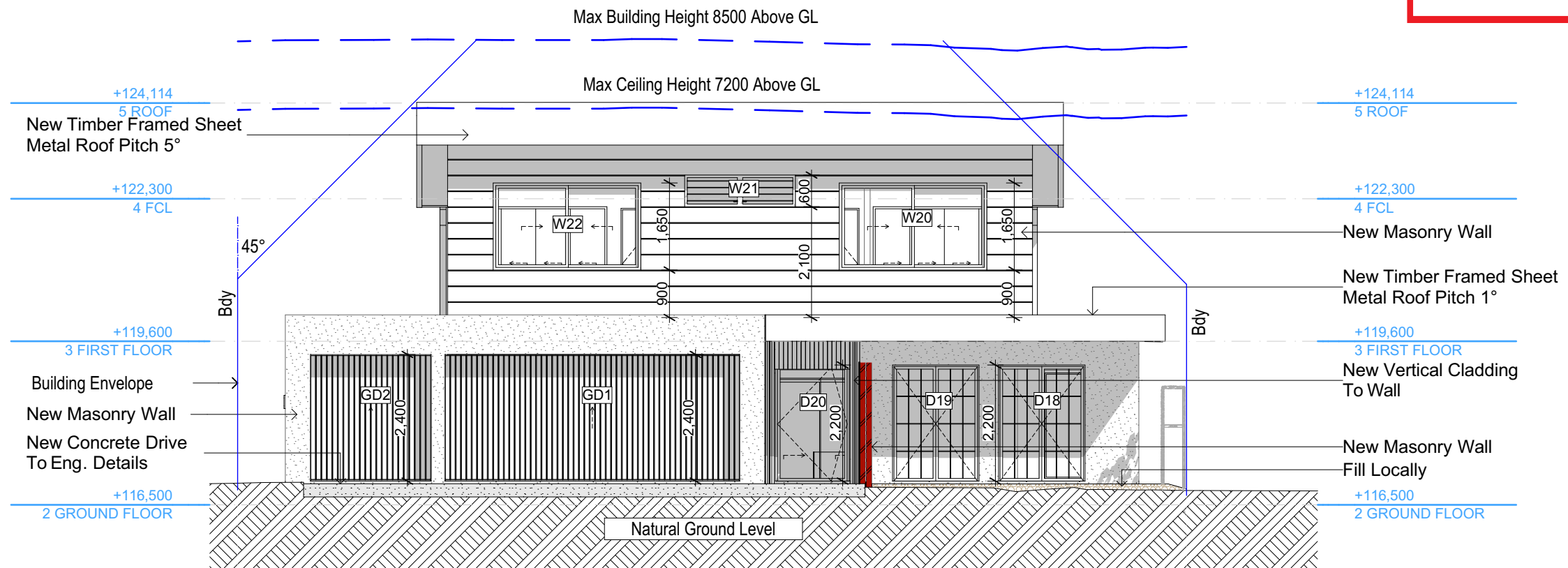


northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2020/0912

**(Activation of consent must be obtained
from Northern Beaches Council)**



E-02
East
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
30 Davidson Avenue, Forestville 2087 is not considered a heritage item
Constructing
The DA Application Only plans are for DA Application purposes only.
These plans are not to be used for the construction certificate
application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction
Concrete Slab, Timber Frame, Double Brick, Concrete
Block, Timber Frame Walls
Roof: Timber Frame to have R1.8 Insulation
Insulation to External Double Brick, Concrete Block,
Timber Frame Walls R2.3
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number 1121194S_04 & 1121240S
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs)
in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in
the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no
more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	59%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	41%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	2602mm	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1150mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

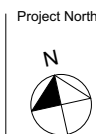


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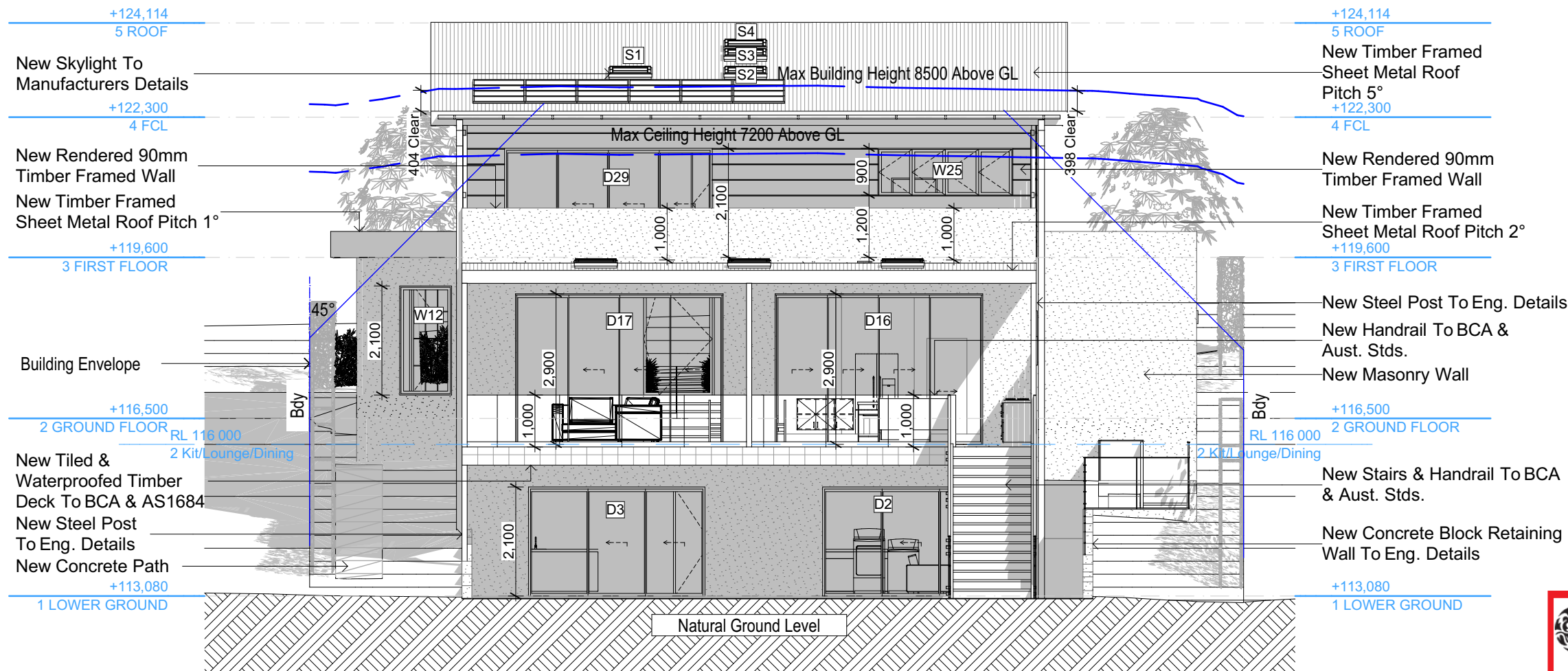
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date: 9/11/2020
Project NO: RP0320CUB
Project Status: DA Rev2
Client: Nicole and John Cubbin
Site: 30 Davidson Avenue, Forestville
2087
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 2
PROJECT NAME :
New Dwelling

REVISION NO.
1
DATE:
6/11/20
DRAWING NO.
DA4001



E-04

West
1:100



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2020/0912

**(Activation of consent must be obtained
from Northern Beaches Council)**

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
30 Davidson Avenue, Forestville 2087 is not considered a heritage item
Certifying
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application by any Certifying Authority without the written permission
of Rapid Plans or the supply of authorised Construction Certificate
drawings by Rapid Plans

Construction

Concrete Slab, Timber Frame, Double Brick, Concrete
Block, Timber Frame Walls
Roof: Timber Frame to have R1.8 Insulation
Insulation to External Double Brick, Concrete Block,
Timber Frame Walls R2.3
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1121194S_04 & 1121240S

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs)

in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in

the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no

more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
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Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	41%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	2602mm	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	1150mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



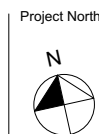
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BUILDING DESIGNER

**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
9/11/2020
RP0320CUB
DA Rev2

Client
Site:

Nicole and John Cubbin
30 Davidson Avenue, Forestville
2087

Sheet Size: A3

DRAWING TITLE :
**ELEVATIONS
ELEVATIONS 4**

PROJECT NAME :
New Dwelling

REVISION NO.
1
DATE:
6/11/20
DRAWING NO.
DA4003



Denotes Colorbond Metal Roofing (Typical). Colour: Monument



Denotes Rendered Wall (Typical). Colour: Dulux Casper White Quarter



Denotes James Hardie Cladding (Typical). Owner To Confirm Type & Colour



Denotes Vertical Timber Cladding (Typical). Owner To Confirm Type & Colour



Denotes Black Window/Door Frames (Typical). Owner To Confirm Type & Colour



Denotes Skylight (Typical). Owner To Confirm Type & Colour



Denotes Tiling (Typical). Owner To Confirm Type & Colour



Denotes Glass Balustrade (Typical). Owner To Confirm Type & Colour



Denotes Concrete Drive (Typical). Owner To Confirm Type & Colour



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THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0912

(Activation of consent must be obtained from Northern Beaches Council)

5.4

The more stars, the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

59.7 MJ/m²

Provision annual energy cap for heating and cooling based on standard household assumptions

For more information on and details go to www.nathers.gov.au

7.4

The more stars, the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

32.6 MJ/m²

Provision annual energy cap for heating and cooling based on standard household assumptions

For more information on and details go to www.nathers.gov.au

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DA APPLICATION ONLY

NOT FOR CONSTRUCTION

PROJECT NAME: New Dwelling

REVISION NO. 1

DRAWING NO. DA5002

Plot Date: 9/11/2020

Sheet Size: A3



Rapid Plans

Building Design and Architectural Drafting

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Email: info@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



ACCREDITED BUILDING DESIGNER

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NOTES

30 Davidson Avenue, Forestville 2087 is zoned R2-Low Density Residential

30 Davidson Avenue, Forestville 2087 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue Construction

Concrete Slab, Timber Frame, Double Brick, Concrete Block, Timber Frame Walls

Roof Timber Frame to have R1.8 Insulation

Insulation to External Double Brick, Concrete Block, Timber Frame Walls R2.3

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number 11211945, 04 & 11212405

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	1182.44m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	59%	Yes
Impervious area (m ²)	41%	Yes
Maximum cut into gnd (m)	2602mm	Yes
Maximum depth of fill (m)	1150mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ

Plot Date: 9/11/2020

Project NO.: RP0320CUB

Project Status DA Rev2

Client: Nicole and John Cubbin

Site: 30 Davidson Avenue, Forestville 2087

DRAWING TITLE: SHADOW PLANS

MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME: New Dwelling

REVISION NO. 1

DRAWING NO. DA5002

Plot Date: 9/11/2020

Sheet Size: A3