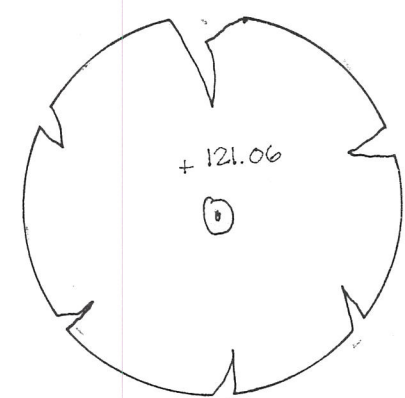
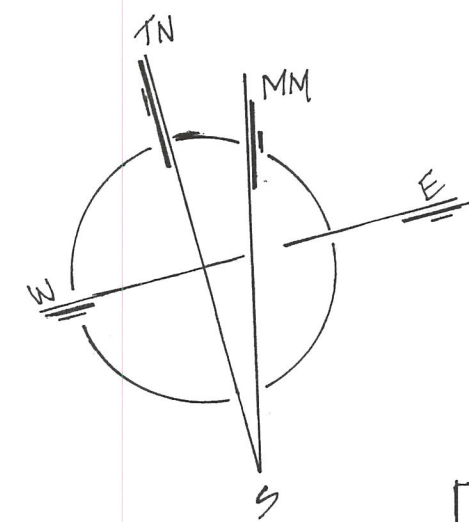
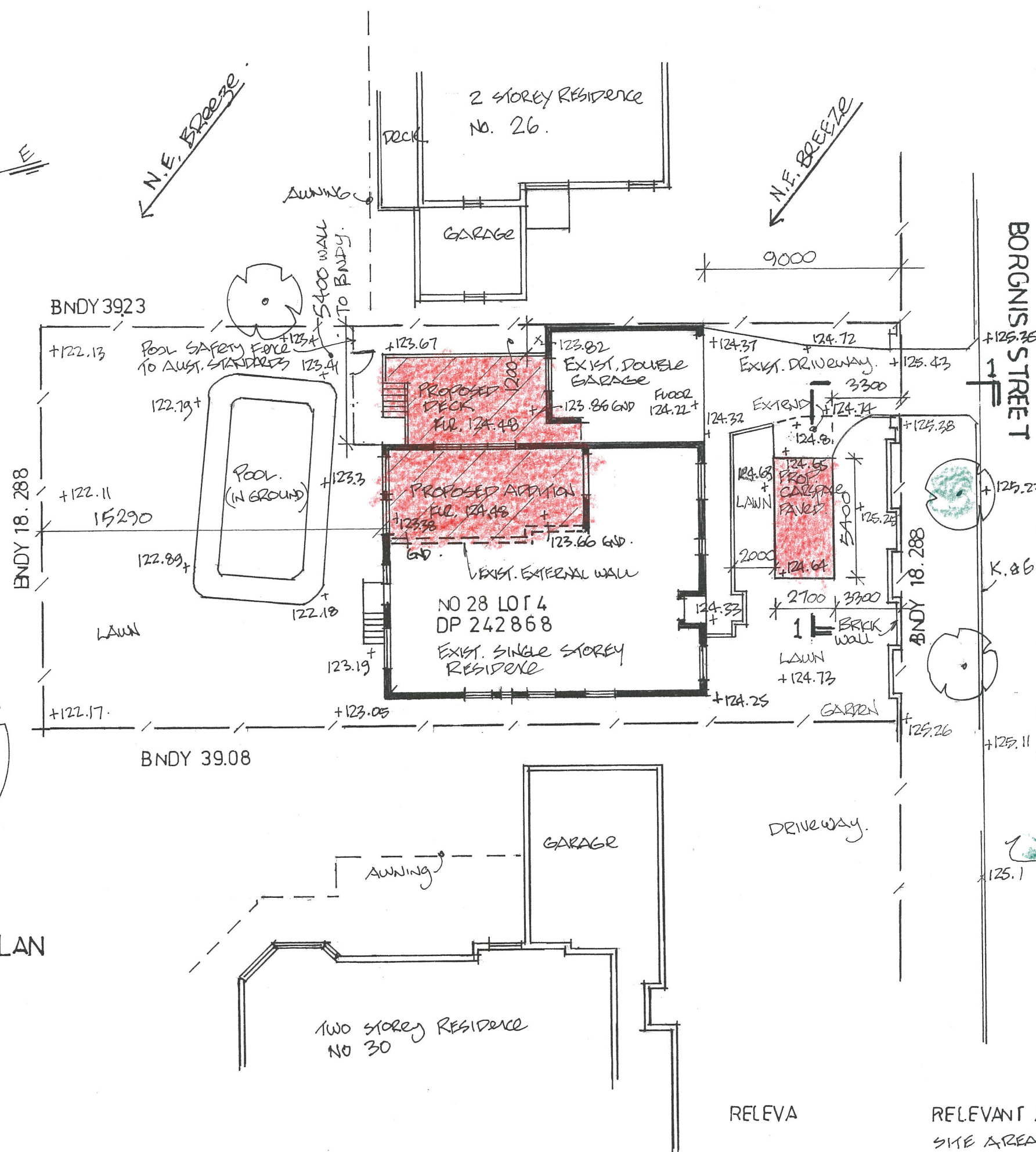


RESERVE

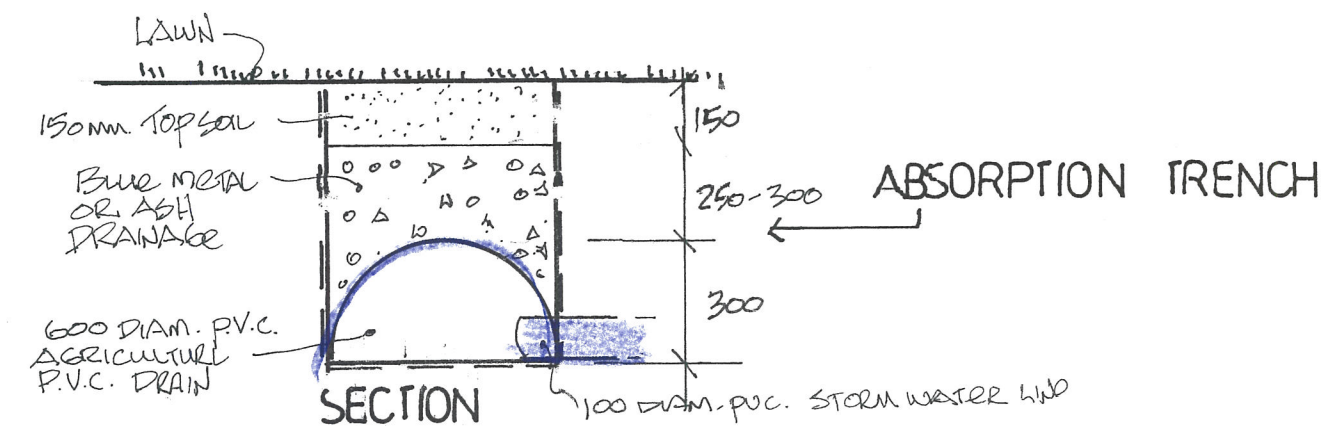


SITE ANALYSIS PLAN
1:200



RELEVANT AREAS

RELEVANT AREAS
 SITE AREA = 716 m²
 EXISTING LOS = 418 m² = 58.4%
 COUNCIL REQ. LOS = 40%
 * PROPOSED LOS = 340 m² = 47.5%
 IE. LOS WITH HOUSE ADDN. & DECK.
 PROP. LOS FOR HOUSE ADDN + DECK + CARSPACE + DRIVEWAY EXTENSION
 = 319.5 m² = 44.6%

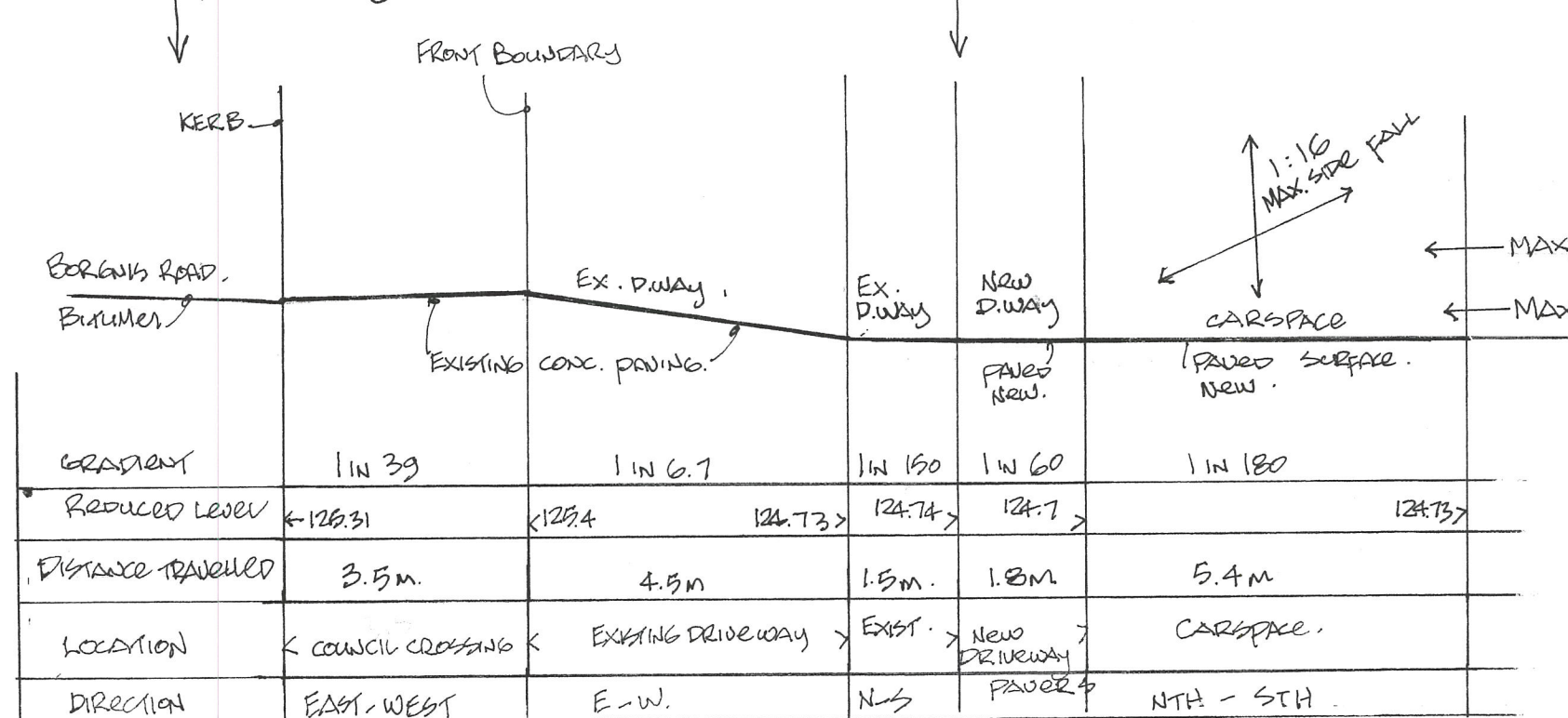


LANDSCAPE, SEDIMENT CONTROL, STORM WATER PLAN,
1:200



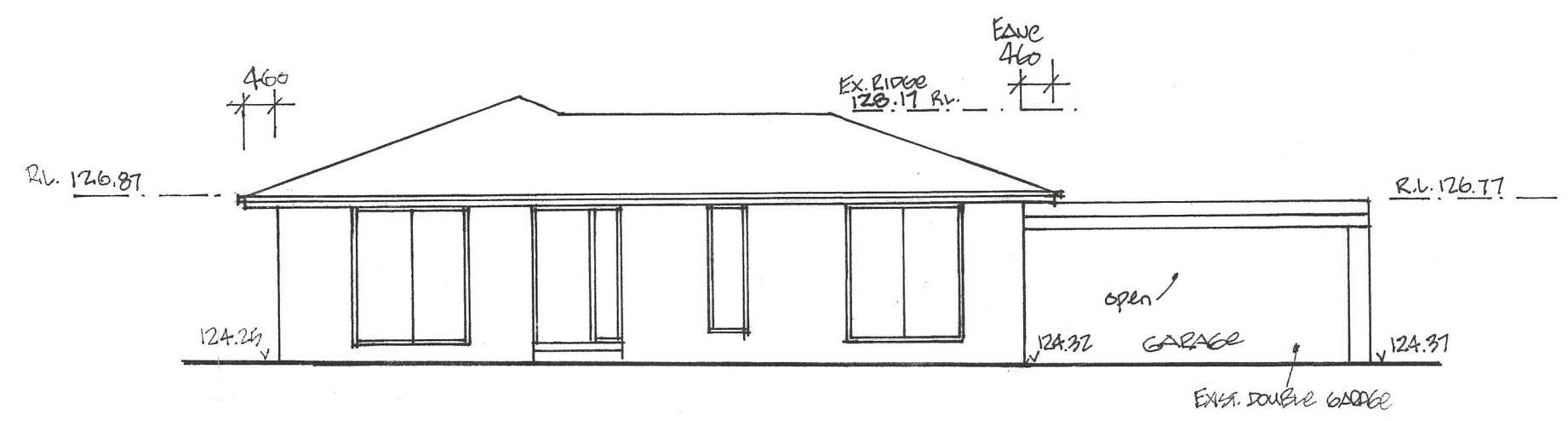
250 DIAM. SEDIMENT BARRIER.
 SAND BAGS - GEOTEXTILE FABRIC - CONTINUOUS LENGTHS
 REMAINING IN PLACE UNTIL BUILDING WORK COMPLETE.
 SEDIMENT CONTROL BARRIER

DRIVEWAY LONG SECTION 1:100 1-1.

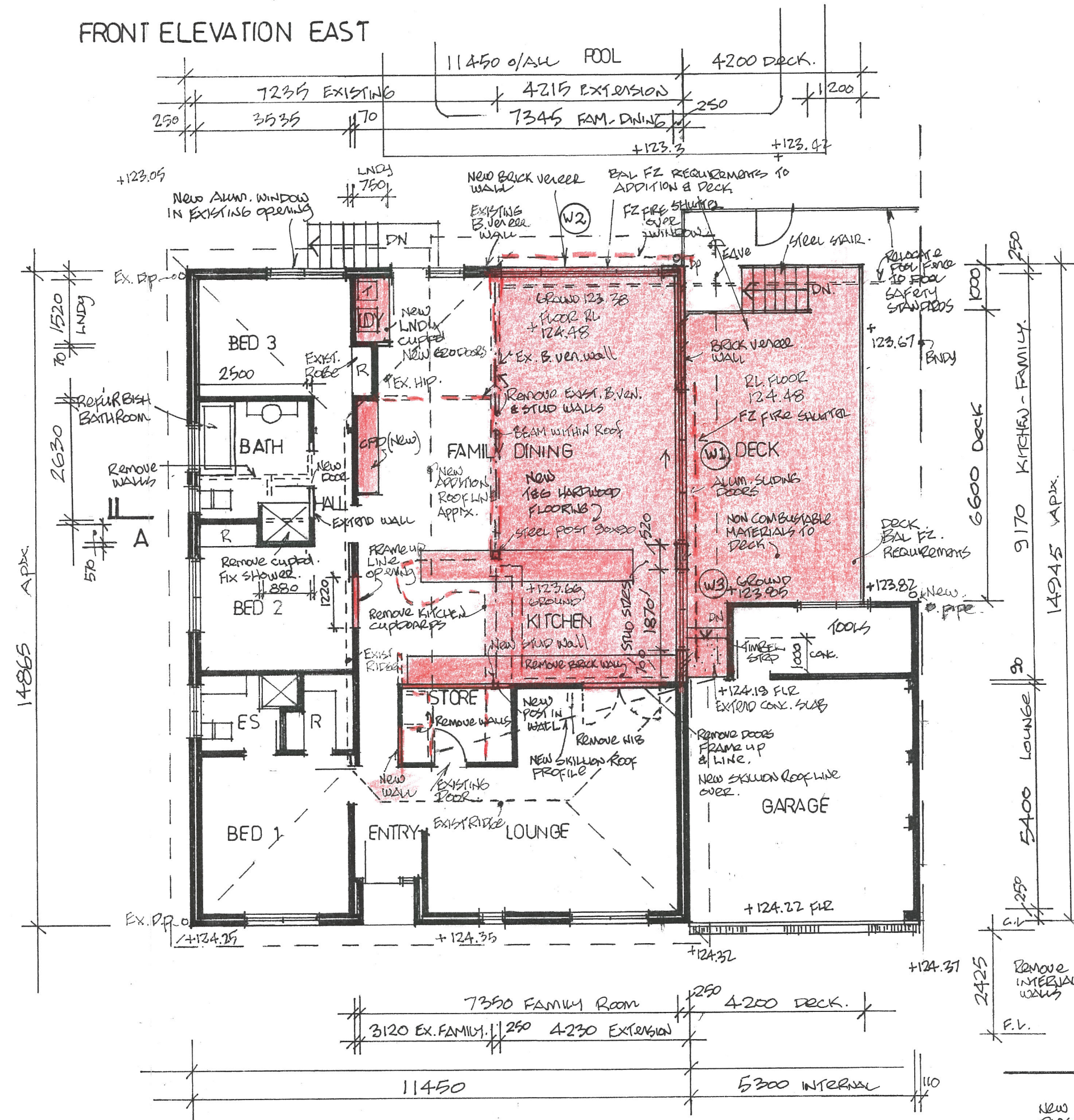


NEWBUILD DESIGN AND DRAFTING
 Robert Geoghagan Bach Design Architecture
 17 Jocelyn Street north Curl Curl 2099
 mob. 0419907222 email robgec.bigpond.com
 PROPOSED ALTERATIONS & ADDITIONS TO
 RESIDENCE AT 28 BORGNISS STREET DAVIDSON
 FOR NIKKI THOMPSON
 DATE MAY 2020 SCALE 1:200 DWG. NO 359-1

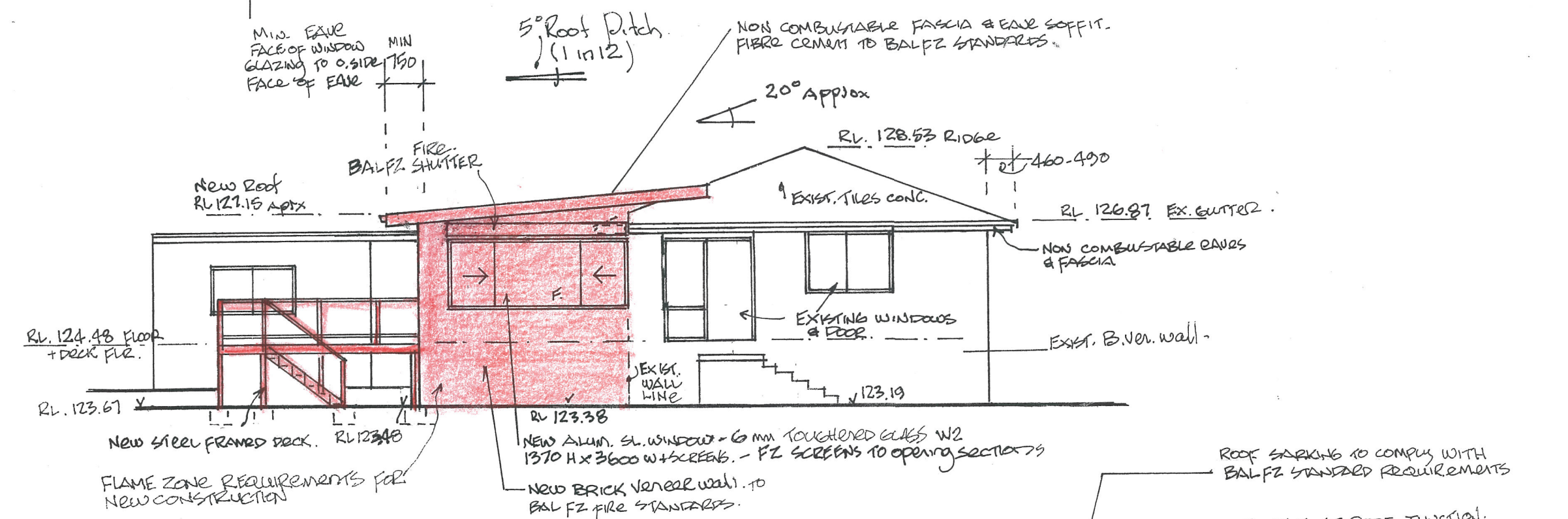
		WINDOW SCHEDULE		
No	UNIT TYPE	SIZE H X W	FRAME & GLASS	
W1	SLIDING DOOR UNIT	2065 H X 3600 W	STANDARD ALUMINIUM - 6MM TOUGHENED GLASS	SEE MEET TO BUSH FIRE STANDARDS
W2	SLIDING WINDOW UNIT	1370 H X 3600 W	STANDARD ALUM. 6MM TOUGHENED GLASS	AS ABOVE
W3	SLIDING WINDOW UNIT	340 H X 1810 W	STANDARD ALUM. 6MM TOUGHENED GLASS	AS ABOVE



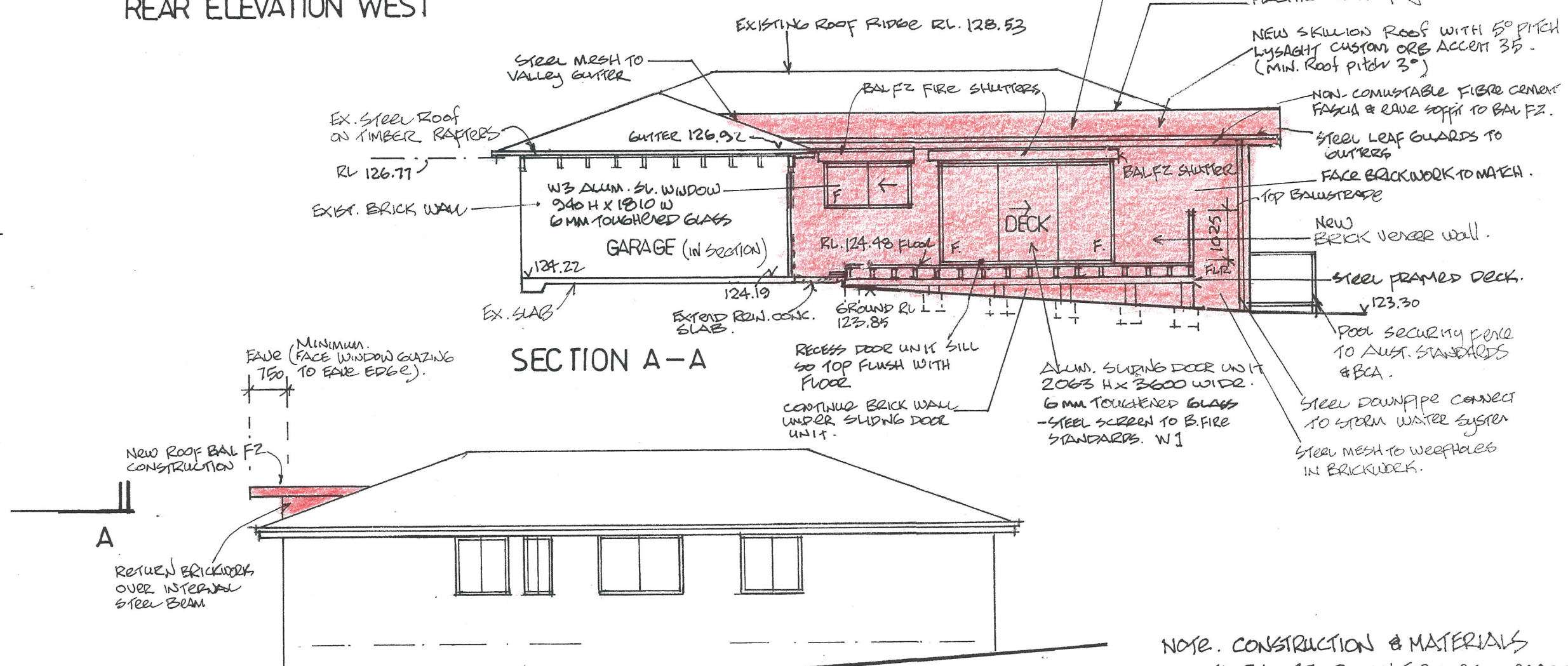
FRONT ELEVATION EAST



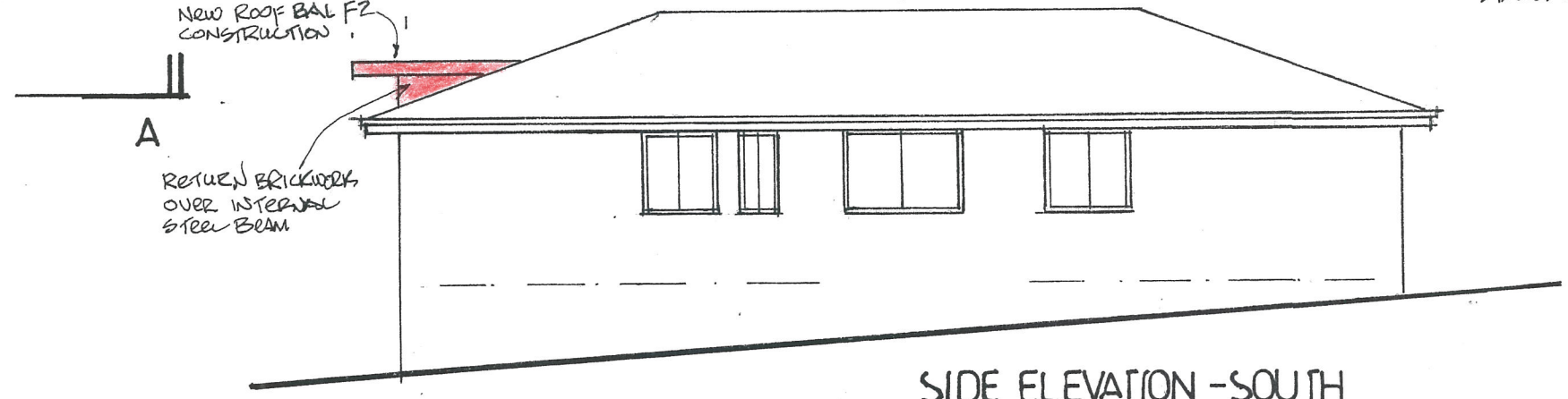
FLOOR PLAN



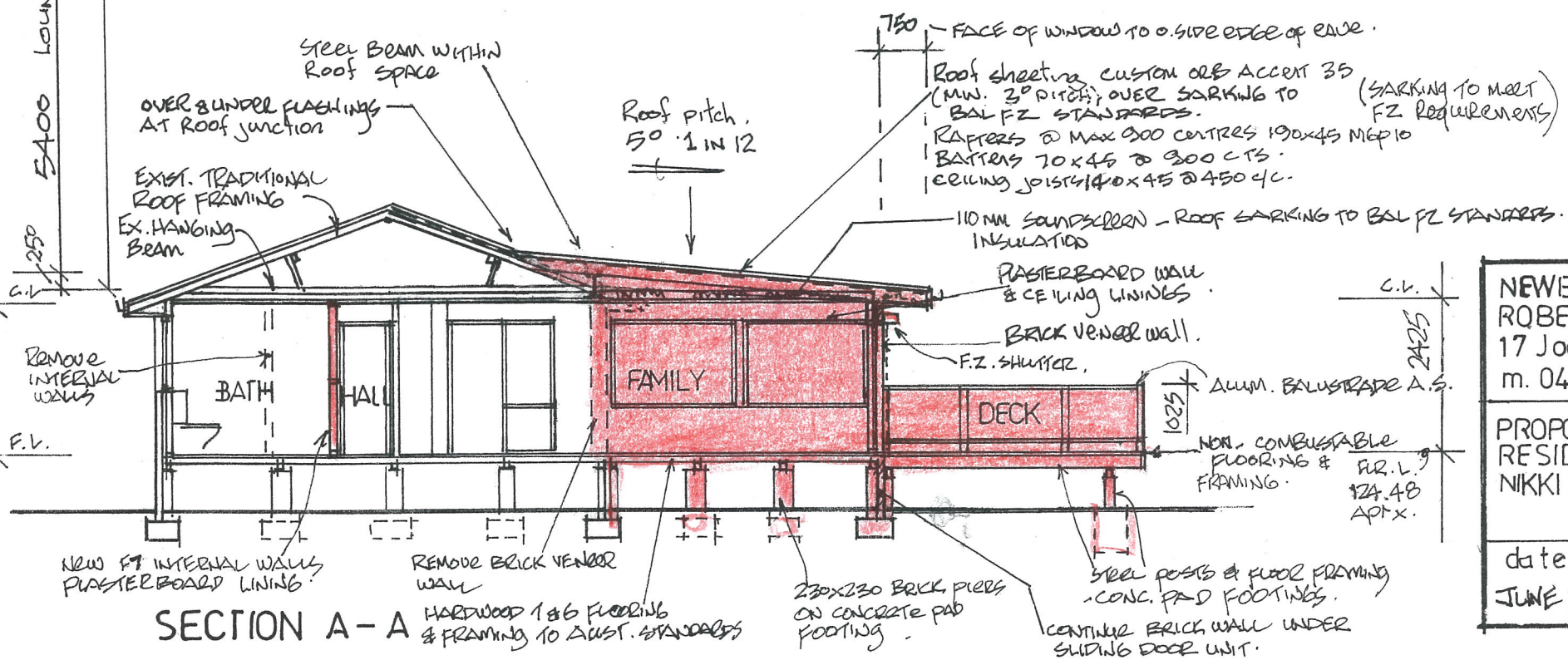
REAR ELEVATION WEST



SECTION A-A



SIDE ELEVATION - SOUTH



SECTION A-A

NOTE. CONSTRUCTION & MATERIALS TO BAL FZ BUSH FIRE REQUIREMENTS & STANDARDS.

NEWBUILD DESIGN AND DRAFTING

ROBERT GEOGHEGAN (Bach. Design Arch.)

17 Jocelyn Street North Curl Curl 2099

m. 0419907222 e. robge@bigpond.com

PROPOSED ALTERATIONS & ADDITIONS TO

RESIDENCE AT 28 BORGNISS STREET DAVIDSON

NIKKI THOMPSON

date

JUNE 2020

scale

1:100

dwg No.

359-2

Alterations and Additions

Certificate number: A379980

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Friday, 10, July 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Nikki Thompson
Street address	28 Borgnis Street Davidson 2085
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 242868
Lot number	4
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Robert Geoghegan
ABN (if applicable): N/A

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Construction

nsulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
✓	✓	✓

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	7.56	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	4.93	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	1.72	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
✓	✓	✓
	✓	✓
✓	✓	✓
	✓	✓

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluoresent, compact fluoresent, or light-emitting-diode (LED) lamps.

Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
	✓	✓