

Telephone (02) 9899 2506
Facsimile (02) 9659 1633
PO Box 6160
Baulkham Hills BC NSW 2153



R Moy & Associates Pty Ltd
T/as Essential Certifiers Castle Hill
ACN 100 924 605
ABN 23 100 924 605

Construction Certificate

rec: 142375

\$ 3000

**CONSTRUCTION
CERTIFICATE NUMBER** CC2004-03721

Issued in accordance with the Environmental Planning & Assessment Regulation 2000 with reference to the Environmental Planning & Assessment Act 1979 Sections 109C(1)(b), 81A(2) and 81A(4) and Application under Cl 79D. (2)(a)

COUNCIL: PITTWATER

APPLICANT

Name Clarendon Residential Communities Pty Ltd
Address Level 15, 56 Pitt Street, SYDNEY 2000
Contact no (telephone/fax) 8273 6000

OWNER

Name Clarendon Residential Communities Pty Ltd
Address Level 15, 56 Pitt Street, SYDNEY

SUBJECT LAND

Address 191 Garden Street, WARRIEWOOD 2102
Lot No 3
DP - 302016

Essential Certifiers Castle Hill Certificate No. CC2004-03721

DESCRIPTION OF DEVELOPMENT

Type of Work



Building work



Subdivision work

Description

Two Storey Dwelling

COUNCIL'S D/A CONSENT

Development Consent No

N0703/03

D.A Approval Date

24/10/03

BUILDING CODE OF AUSTRALIA**BUILDING CLASSIFICATION**

1a

BUILDER or OWNER/BUILDER

Name

Domaine Homes (NSW) Pty Ltd

Contractor Licence No. or

Owner Builder Permit No.

91387C

\$ VALUE OF WORK

Building/Subdivision

\$231,200.00

DATE C.C. APPLICATION RECEIVED

Date Received

11/05/04

DETERMINATION

Decision

Approved

Date of Decision

21/05/04

ATTACHMENTS

Landscape Certification - dated 18 November 2003

Shearwater Material & Colour Specification - dated 26.3.04 -
Revision A

Certificate of Insurance - Vero Construction & Engineering

Council Submission Cheque - \$30.00

Essential Certifiers Castle Hill Certificate No. CC2004-03721

PLANS AND SPECIFICATIONS

APPROVED/REFUSED

List plan no(s) and specifications

Reference:

CPG 87-1D-L3 Sheet 1/1 - dated 12.12.03

Sheet 1/16 - 6/16 inclusive - dated 12.12.03

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

ACCREDITATION BODY

PlanningNSW, 20 Lee Street, Sydney 2000.

CERTIFICATION

I certify that the work if completed in accordance with these plans and specifications (with such modifications verified by the Certifying Authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in s81A(5) of the Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority

Essential Certifiers Castle Hill

Name of Accredited Certifier

Kieran Tobin

Accreditation No

44

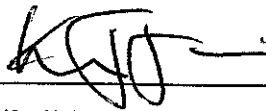
Contact No

(02) 9899 2506

Address

PO Box 6160 Baulkham Hills BC 2153.

SIGNED



DATED

21/05/04

Essential Certifiers Castle Hill Certificate No. CC2004-03721

Pittwater Council

ABN: 61340837871

TAX INVOICE
OFFICIAL RECEIPT

R/142375

27/05/2004 Receipt No 142375

To R MOY & ASSOCIATES \$ 30.00

ESSENTIAL CERTIFIERS
PO BOX 6160
BOULKHAM HILLS 2153

Qty/ Applic	Reference	Amount
1	RMIC-Rord	\$27.27
BL Rec 1 X	N0703/03	
	GST	\$2.73
BL Rec		
To BL Receipts		

Total Amount:	\$30.00
Includes GST of:	\$2.73

Amounts Tendered	
Cheque	\$30.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 27/05/2004 11:36:32 AM
Cashier AClarka

COUNCIL COPY

Pittwater Council

OFFICIAL RECEIPT

18/11/2003 Receipt No 129441

To CLARENDON APARTMENT NO.2

EPG DEVELOPMENTS
LEVEL 15, 56 PITT STREET
SYDNEY 2000

Applic Reference	Amount
GL Re. GLSL-Buil DA NO703/03	\$449.90

Total: \$449.90

Amounts Tendered

Cash	\$0.00
Cheque	\$449.90
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$449.90

Rounding	\$0.00
Change	\$0.00
Nett	\$449.90

Printed 18/11/2003 1:33:49

Cashier PTaske

Certificate of Insurance

Domaine Homes (NSW) Pty Ltd
PO Box 7105
BAULKHAM HILLS NEW SOUTH WALES 2153

04/3721

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: March 16, 2004
Declared Building Contract Value: \$231,200.00
(Refer policy for indemnity limit)

Carried Out By: Domaine Homes (NSW) Pty Ltd
ABN: 19080788969
Licence No: 91387C

For: Clarendon Residential Communities Pty Ltd

In Respect Of: Single Dwelling

At:
Lot No: Lot 3
House No: Kingfisher Lane
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording, if you have not received a copy of the policy wording please contact the Insurer Vero Construction and Engineering a division of Vero Insurance Limited.

N TUSU2BW4M16B

Printed 28/04/2004

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

HASSELL PTY LTD ABN 24 007 711 435
88 CUMBERLAND STREET SYDNEY NSW 2000 AUSTRALIA
SYDNEY@HASSELL.COM.AU
T 61 2 9273 2300 F 61 2 9273 2345

SYDNEY
MELBOURNE
BRISBANE
ADELAIDE
SHANGHAI
HONG KONG
BANGKOK
SINGAPORE

Tuesday 18 November 2003
Essential Certifiers
PO Box 6160
Baulkham Hills BC NSW 2153

WARRIEWOOD (SHEARWATER) STAGE ONE (PRECINCT 1D) - LANDSCAPE CERTIFICATION

Dear Sir/Madam

Hassell is a firm of professionally qualified landscape architects, architects, planners and interior designers. We have the necessary expertise to prepare landscape documentation for development application, construction certificate, tender pricing and for construction purposes. In relation to this development, we make reference to the following Pittwater Council DCPs:-

DCP23 Landscape and Vegetation Management

- The Hassell landscape concept plan for this site complies with the requirements of **2.4.3 Landscape Concept Plan** of the DCP.
- The Hassell landscape construction drawings also comply with the requirements of **2.5 Construction Certificate Application**. This documentation provides information on landscape materials, finishes and construction details, together with planting layout, species and quantities of each.

DCP29 Warriewood Valley Urban Land Release

- The Hassell landscape concept plan complies with the general requirements of **3.15 Landscaping** (within Warriewood Valley).
- The Hassell landscape construction drawings also comply with the more specific requirements of **4.16 Landscaping Controls**.
- In particular, we make reference to **Appendix 3 Vegetation Precincts** for selection of native and exotic plant materials suitable for use within Warriewood Valley. Hassell's plant selection conforms to this list.

Yours faithfully



Phillip Darmanin
Senior Landscape Architect

QUICK CHECK**Application Lodgement Summary**Sydney
WATER**Reference Number** 1049768**Date Requested:** Thu April 8 2004

Agent Sydney Water, Chatswood, 432 Victoria Avenue, Chatswood
Applicant CPG DEVELOPMENTS, L15, 56 PITT STREET SYDNEY 2000
Property/Asset Lot 100 Garden St, Warriewood 2102 (Clarendon Residential Communities Pty Ltd) PNum: 5286760
225 mm PVC Sewer Main - (8509277)
Proposed Location APPROVAL FOR LOT 3
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50

TAX INVOICE ABN: 49 776 225 038
16-04-2004 8:48AM CHAT 001 CQ
Receipt for: Bldg Plan Appro Appl
GST: \$16.50
Rec No: 00104554 \$0.00
Customer Name and Address Attached \$16.50

QUICK CHECK

Transaction Summary

**Sydney
WATER****Date Requested** Thu April 8 2004**A.B.N** 49 776 225 038**Agent** Sydney Water, Chatswood, 432 Victoria Avenue, Chatswood
Applicant CPG DEVELOPMENTS, L15, 56 PITT STREET SYDNEY 2000

This document will be a tax invoice when you make payment.

Transaction Details**Charge GST Total***Lot 100 Garden St, Warriewood 2102*

03	1049763 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049768 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049773 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049776 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049779 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049780 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049782 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049785 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049790 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049793 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049796 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049798 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049801 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049804 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049806 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049807 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049809 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049811 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049814 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049816 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049818 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049821 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049824 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50
03	1049826 Building Plan Approval Application Fee	\$16.50	\$0.00	\$16.50

Transaction Total**\$396.00 \$0.00 \$396.00**



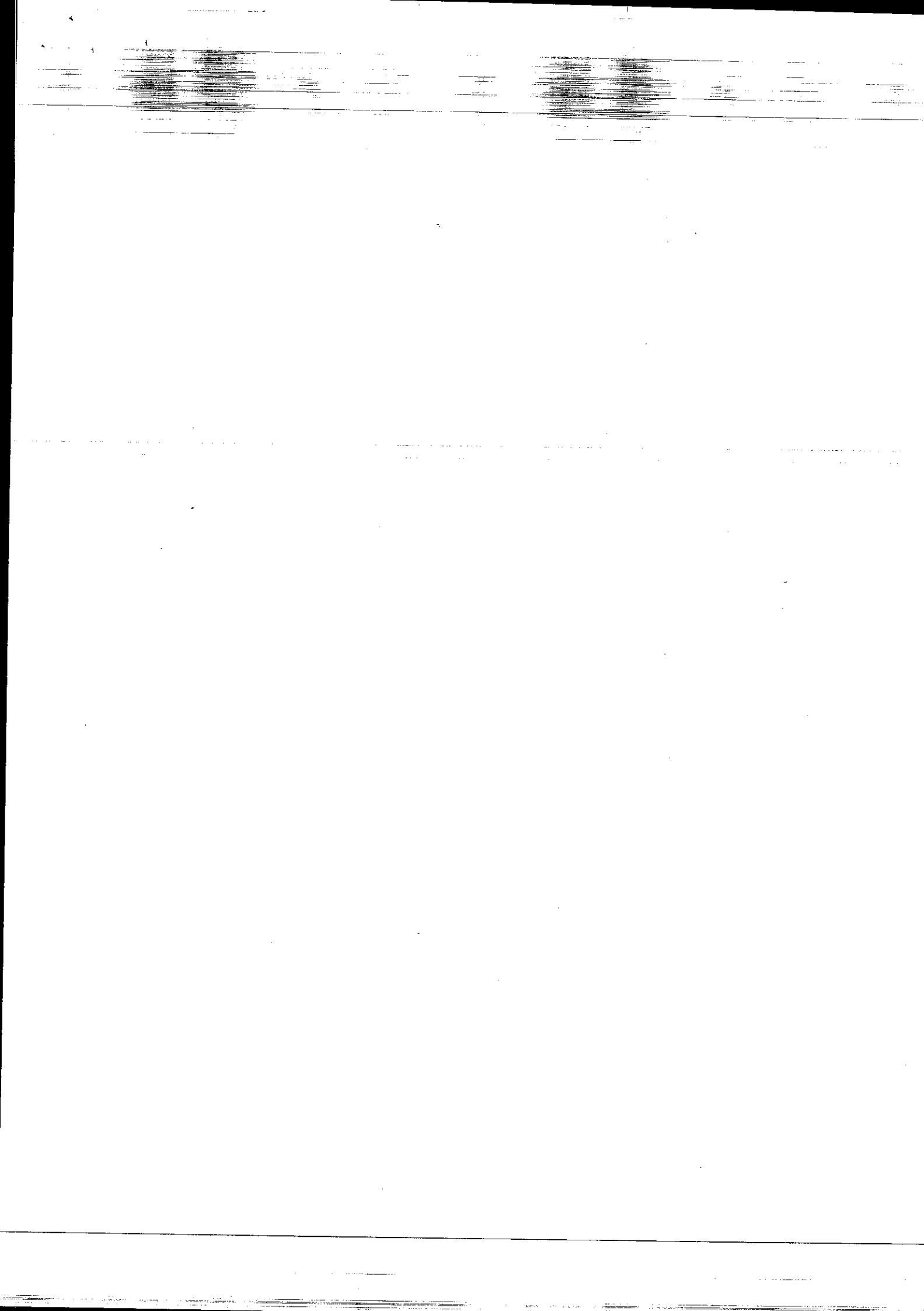
CPG Developments Pty Limited
Level 15, 56 Pitt Street
Sydney NSW 2000
Ph: 02 8273 6000 Fax: 02 8273 6099
ABN 44 005 886 149



SHEARWATER MATERIAL & COLOUR SPECIFICATION

LOT NO: 3	DATE: 26 MARCH 2004
STREET: SHEARWATER DRIVE	ISSUE: CONSTRUCTION
HOUSE TYPE: GA	REVISION: A
EXTERNAL COLOUR SCHEME: MULCH	CHECKED:
INTERNAL COLOUR SCHEME: AGATE	APPROVED:

EXTERNAL FINISHES			
ITEM	DESCRIPTION		SUPPLIER
LANDSCAPE			
Refer to Hassell Drawing	CD - 016		
Driveway	TUGUN Header with TUGUN stretcher bond to inlay		Austral
Front Path	TUGUN Stretcher bond - NO BORDER		Austral
Pergola	TUGUN Header with TUGUN basket weave inlay		Austral
Stepping stones	400 X 400 as shown on drawings		
Fencing	1800mm lapped treated pine as shown on drawing		
Screens	100mm x 50mm frame with 50mm x 50mm battens at 100mm centres as shown on drawing		
Soft Landscaping	As shown on drawing		
CONCRETE SLAB	M Class Waffle Pod slabs to standard group design.		Refer to Order
PEST CONTROL	Granitgard Contact: Rob Wood Ph: 0439 953 466		Kingfisher Pest Management
FRAME	240mm Brick Veneer Construction		Refer to Order
GROUND FLOOR FRAME	2600mm floor to ceiling 90mm External & Internal Frames.		Refer to Order
FIRST FLOOR FRAME	2600mm floor to ceiling 90mm External & 70mm Internal frame. Double LL. Joists spacings as per Tiling layout with sheet flooring. P/Board flooring to Balconies, with Fibreglass tray		Refer to Order
EXTERNAL WALLS	DESCRIPTION	COLOUR	SUPPLIER
Feature Brickwork	N/A	N/A	N/A
Mortar Joints to Feature Brickwork:	N/A	N/A	
Painted Brickwork: Moroka finish:	Universal Smooth Face Commons	Refer to Colour Selection	Austral/PGH
Mortar Joints to Painted Brickwork:	Flush Raked where shown	Grey	



SHEARWATER MATERIAL & COLOUR SPECIFICATION

Letter Box: Dimension: 830 x 943 x 230mm in Moroka finish:	Universal Smooth Face Commons	Refer to Colour Selection	Austral/PGH
Cladding:			
Weatherboard	Hardies Newport Prime line		Refer to Colour selection
Flat FC cladding	FC sheet with 75 x 25mm batten		Refer to Colour selection
Window surround trim	75 x 25mm trim		Refer to Colour selection
External corner trim	90 x 25mm trim		Refer to Colour selection
Internal corner trim	25 x 25mm trim		Refer to Colour selection
Eaves	FC sheet with 25mm primed quad		Refer to Colour selection
WINDOWS:	DESCRIPTION:	COLOUR:	SUPPLIER:
Standard Stegbar sizes, include flyscreens	Windows & Doors As per Drawings	Notre Dame	Stegbar
Glazing:	Clear glazing throughout		
ROOF:	PROFILE:	COLOUR:	SUPPLIER:
Tiles:	Traditional Profiles	Cottage Grey	Monier
Sarking to under tiles:	YES	N/A	
Metal Roofing: Main roof > 5°	Colourbond Corrugated	Woodland Grey	Stramit
Flat roofs < 5°	Speedeck	N/A	Stramit
Sarking to under Metal Roof	Provide R1.5 - 50mm Lightweight Building Blanket	N/A	Stramit
GUTTER:	DESCRIPTION:	COLOUR:	SUPPLIER:
Gutter and Barge Gutter:	Colourbond	Colourbond Woodland Grey™	Stramit
FASCIA:			
Fascia and Barge Fascia:	Colourbond	Colourbond Woodland Grey™	Stramit
DOWNPIPES:			
Round 90mm dia PVC Painted Finish	Taubmans	Painted as per wall	Stramit

SHEARWATER MATERIAL & COLOUR SPECIFICATION

RAINWATER TANKS		Note: Refer to Stormwater Drainage Plan.	
Type 4 Type 1, 3, 4, 5, 6	Slimline Corrugated 1800L x 1150W x 1240H 2400L x 550W x 1540H	Colourbond Bushland™	City Rainwater Tanks Contact: Alex Dunlop Ph. 9623 2414
GARAGE DOOR:	DESCRIPTION:	COLOUR:	SUPPLIER:
Note: 4810 x 2143mm brick opening	Panelift with Automatic Opener and 2 Handsets.	Colourbond Ironstone™	Refer to Order
EXTERNAL METALWORK			
Balcony Handrails		Black	Castle Railing & Gates or equivalent
Top rail	60mm half round top rail	Black	
Posts	40mm square. Bracket fixed to top & side of balcony with 316 marine grade stainless steel fixings	Black	
Balustrades	40 x 8mm horizontal	Black	
Louvre Window shades	Fixed operable panels fitted with mullion ELIPTI 90	Charcoal	Shutters R Us Contact: Rick Bonnick Ph: 0417 970 055
AWNINGS & PERGOLAS			
Awnings - refer to detail on drawings	150 X 50mm frame with 100mm rafter 50mm battens at 70mm cts	Refer to Colour Selection	
Pergolas - refer to detail on drawings	150 X 50mm frame with 100mm rafter 50mm battens at 70mm cts Extent shown on plan	Refer to Colour Selection	
EXTERNAL PAINT:	Note: Feature Walls to external areas will generally wrap around and end on internal corners.		
EXTERNAL PAINTS:	Description:	Colour:	
Main Walls <u>Below</u> Corbel Course Applied Finish Masonry:	Taubmans Moroka	Taubmans Bower Bird T111-6A	Refer Coloured Up Drawing
Corbelled Brickwork Course to Areas with Applied Finish :	Taubmans Moroka	Taubmans Bower Bird T111-6A	
Main Walls <u>Above</u> Corbel Course Applied Finish Masonry:	Taubmans Moroka	Taubmans Kid Skin T111- 3W	
Letter Box:	Taubmans Moroka	Taubmans Elsa Karga T149-7A	

SHEARWATER MATERIAL & COLOUR SPECIFICATION

Full wall under metal roofing with no corbel & no raked joints on elevations 2 & 4:	Taubmans Moroka	Taubmans Kid Skin T111-3W	Refer Coloured Up Drawing
Full wall with raked joints on elevation 2:	Taubmans Moroka	Taubmans Kid Skin T111-3W	
Walls to front & rear balcony:	Taubmans Moroka	Taubmans Bower Bird T111-6A	
Privacy Wall:	Taubmans	N/A	
Eaves:	Taubmans	Taubmans Hazel Snow T111-2W	
Veranda Ceilings:	Taubmans	Taubmans Hazel Snow T111-2W	
All Pergola Beams & Posts:	Taubmans	Taubmans Elsa Karga T149-7A	
Timber Awnings:	Taubmans	N/A	
Metal Rail to Balcony:	Powder Coated	Black	
Front Doors Exterior including door surrounds and sidelight:	Taubmans	Taubmans Elsa Karga T149-7A	
Laundry Door Exterior and surrounds	Taubmans	Taubmans Elsa Karga T149-7A	
INSULATION:	EXTENT:	DESCRIPTION:	SUPPLIER:
Walls:	All external walls to house including Garage / house walls	R 1.5	
Ceiling:	All ceilings to u/s roofs Garage ceiling with 2nd Floor above	R3.0	
EXTERNAL DOORS:	DESCRIPTION:	COLOUR:	CODE:
Front Entry Door & Mouldings/Jambs:	Corinthian Madison Door With Frosted Glass (incl. sidelight).	Taubmans Elsa Karga T149-7A	PMAD 101
Entry to family room door:	Glass (aluminium door)	Notre Dame	
Laundry Door & Moulding/Jambs:	Corinthian No 7 Clear	Taubmans Elsa Karga T149-7A	
EXT. DOOR FURNITURE:	DESCRIPTION:	COLOUR:	CODE:
Front Entry Door:	Gainsborough Lever TriLock	Satin Chrome	
Laundry door:	Gainsborough Lever "Linear" Handle with D/Cyl Deadlock	Satin Chrome	9113SC
Entry to family room door:	Gainsborough Lever "Linear" Handle with D/Cyl Deadlock	Satin Chrome	9113SC

SHEARWATER MATERIAL & COLOUR SPECIFICATION

INTERNAL FINISHES			
LIGHT FITTINGS:	DESCRIPTION:	COLOUR:	CODE:
Living and where shown on plan:	Low voltage Downlights	White	
Bedrooms:	400mm Domus Alabaster Oyster Fitting	Frosted Glass with Chrome Trim	
Bathrooms/Laundry:	300mm Domus Alabaster Oyster Fitting	Frosted Glass with Chrome Trim	
Patio Lights:	Plain Bunker	Black	• EXC 3072
Wall Lights:	Half Eye Bunker	Black	• EXC 3073

WINDOW TREATMENTS:	DESCRIPTION:	COLOUR:	SUPPLIER:
To Front Elevations Only (& where side windows are in same room):	Note: The windows will be marked up on Plans where plans are required.		
Blinds to Living Areas:	Blindcraft L/40 Series Chain Operable roller system.	Fabric: Rama Col: Pearl	Blindcraft Contact: Michael O'Brien 02 9557 5900
Blinds to Bedrooms:	Blindcraft L/40 Series Chain Operable roller System.	Fabric: Rama Col: Pearl	

JOINERY:	DESCRIPTION:	COLOUR:	CODE:
KITCHEN:	2200mm high kitchens, 580mm deep cabinets, 700mm deep bench top with 20mm overhang, 600mm splashback, 300 deep overheads with 750mm deep bulkhead over		
Generally straight bench with island bench or galley kitchens	Caesar Stone • Straight Squared Edge • 20mm thick edge	Osprey	Ref: 3141
Cupboards Facing:	Formica laminate • Flush Doors • Hardform Edge	Vincenza Walnut Neo	
Kickboards:	Formica Laminate	Vincenza Walnut Neo	
Handles:	Lincoln Sentry Handle 168mm x 35mm	Stainless Steel	1-546-006
Handles position:	Vertical in 70mm from end of door Horizontal in centre of drawer		
Bulkheads: Refer to Kitchen detail	750D framed and gyprock lined	Painted same as wall	
Splashback:	Caesar Stone Slab	Osprey	Ref: 3141

SHEARWATER MATERIAL & COLOUR SPECIFICATION

VANITIES:		Note Vanities are 350mm deep.	
Vanity Top 375mm	Caesar Stone • Straight Squared Edge • 20mm thick edge	Osprey	Ref: 3141
Vanity Apron:	200mm high Caesar Stone	Osprey	Ref: 3141
Splashback:	100mm high Caesar Stone	Osprey	Ref: 3141
Vanity and Door:	Formica Laminate • Hardform Edge • Flush Door	Vincenza Walnut Neo	
Kickboard Finish:	Formica Laminate	Vincenza Walnut Neo	
Handles:	Lincoln Sentry Knob	Satin Chrome	1-535-109
Handles position:	Vertical In 70mm from end of door Horizontal in centre of drawer		
LAUNDRY:		580mm cabinets with drop in sink, no overhead cupboards.	
Bench top:	Formica Laminate Straight Squared Edge	Orion Quarry	
Cupboard Facing:	Formica Laminate Hardform Edge Door	Vincenza Walnut Neo	
Kickboard Facing:	Formica Laminate	Vincenza Walnut Neo	
Handles:	Lincoln Sentry Knob	Satin Chrome	1-535-109
Handles position:	Vertical In 70mm from end of door Horizontal in centre of drawer		
Splash back	Tiled 600mm high 2 Rows of White Tiles	Blanco Brillo 300 x 200 Laid Vertically	# 30003
WARDROBES		12mm pine board, 50x25 frame painted same as wall, with 75x25 fascia painted same as woodwork	
Built in robes	530mm deep robe 1 shelf at 1650mm	Painted same as wall.	
Linens	4 shelves	Painted same as wall.	
INTERNAL DOORS:	DESCRIPTION:	COLOUR:	CODE:
Passage	Corinthian pre hung 2040 Hollow core flush doors	Refer to Colour Selection	
Wardrobes	• Flush hinged doors • Sliding mirror doors where nominated	Refer to Colour Selection	
INTERNAL DOOR FURNITURE:			
Passage Door Handles:	Gainsborough 'Linear' Lever	Satin Chrome	9113SC
Privacy Locks:	To Bathrooms, Ensuites, WC and powder room.	Satin Chrome	



CPG Developments Pty Limited
Level 15, 56 Pitt Street
Sydney NSW 2000
Ph 02 8273 6000 Fax 02 8273 6099
ABN 44 003 885 149

DOMAINE
PROPERTY GROUP

SHEARWATER MATERIAL & COLOUR SPECIFICATION

Door Stops:	Gainsborough	Satin Chrome	6207SC
SKIRTING & ARCHTRAVES:	NOTE: LIFT ALL SKIRTING 10mm OFF SLAB and FLOOR		
	- Corinthian Step Architrave - Corinthian Step Skirting	Refer to Colour Selection	- STA 67 X 12 - STA 92 X 12

STAIRCASE: NOTE: Sheet all walls under stairs. Skirting to walls under stairs. Paint underside of stairs, inc treads and risers.			
- Riser - Bull nose Style - Handrail Style - Baluster Style - Post Top Style - Newel Post Style	- Open - Square - Pine - HR3 - M9 with plain as discussed - PT19 - NR11	- Stained - Stained - Stained - Stainless Steel - Painted - Painted	- NA - NA - Ref Colour Sel. - Stainless Steel - Ref Colour Sel. - Ref Colour Sel.
INTERNAL LININGS:	DESCRIPTION:	COLOUR:	CODE:
Cornice to all Ground Floor Areas except Wet Areas, Bed 1 and Upstairs Living Areas:	CSR Tempo	Same as Ceiling	
Cornice to All Wet Areas & Secondary Bedrooms.	90mm Cove	Same as Ceiling	
Stair and Void Expansion:	Set Expansion joint	Same as wall	
Raked ceilings and dwarf walls / capping detail:	Shadow line	Same as wall	P50
SANITARY FITTINGS NOTE: ALL TAPWARE IS TO BE A/V/A RATED			
KITCHEN:	DESCRIPTION:	COLOUR:	CODE:
Sink:	Abey Sinks 2 x KBIU Under mounted	Stainless Steel	
Tapware:	Suprema Kitchen Mixer	Chrome/Chrome	SUP810
Water Filter:	Everpure Water Filter with starter kit	Goose Neck Tap	
MAIN BATHROOM:	DESCRIPTION:	COLOUR:	CODE:
Bathroom Bath Tub	1700 Decina lido Bath	White	
Bath tap	Suprema Bath wall Mixer	Chrome/Chrome	SUP840
Bath Spout:	Suprema 200mm Hyatt bath spout	Chrome/Chrome	
Basin:	Suprema Giotto 7500 Semi-recessed	White	

SHEARWATER MATERIAL & COLOUR SPECIFICATION

Vanity Tapware:	Suprema Basin Mixer	Chrome/Chrome	SUP820
Shower Tapware:	Suprema Shower wall Mixer	Chrome/Chrome	SUP840
Shower Arm:	Suprema Delux "low flow" shower head	Chrome/Chrome	
Towel Rail:	2 x Suprema Hyatt 800mm Towel Rail	Chrome Plated	
Hand Towel Ring:	Suprema Hyatt Towel Grip	Chrome Plated	
Shower Screen:	1900mm Height - Semi Frameless, Clear Glass - Pivot Door	Chrome Frame	
Mirror:	- Frameless with polished Edges - Line top with shower screen	Note: Use Chrome Metal Clips.	
UPSTAIRS WC:	DESCRIPTION:	COLOUR:	CODE:
Basin:	Caroma Integra 500 (Small Size) Wall Basin (with shroud) 1 Tap Hole	White	(Note: Plumbing will have to come out of the wall).
Vanity Tapware:	Suprema Basin Mixer	Chrome/Chrome	SUP820
Toilet Roll Holder:	Suprema Hyatt toilet roll holder	Chrome Plated	
Toilet Suite:	Caroma Reflections	White	
Waste Outlet:	-	Stainless Steel	
Cistern Plumbing:	-	Chrome	
Hand Towel Ring:	Suprema Hyatt Towel Grip	Chrome Plated	
Mirror:	- Frameless with polished Edges - Line top with shower screen	Note: Use Chrome Metal Clips.	
ENSUITE:	DESCRIPTION:	COLOUR:	CODE:
Ensuite Bath Tub	1700 Decina Lido Spa	White with 6 Chrome Jets	
Bath tap	Suprema bath wall Mixer	Chrome/Chrome	SUP840
Bath Spout:	Suprema 200mm Hyatt bath spout	Chrome/Chrome	
Basin:	Suprema Giotto 7500 Semi-recessed	White	
Vanity Tapware:	Suprema Basin Mixer	Chrome/Chrome	SUP840
Shower Tapware:	Suprema shower wall mixer	Chrome/Chrome	SUP840

SHEARWATER MATERIAL & COLOUR SPECIFICATION

Shower Arm:	Suprema Delux "low flow" shower head	Chrome/Chrome	
Waste Outlet:	-	Stainless Steel	
Cistern Plumbing:	-	Chrome	
Toilet Suite:	Caroma Reflections	White	
Towel Rail:	2 x Suprema Hyatt 800mm Towel Rail	Chrome Plated	
Hand Towel Ring:	Suprema Hyatt Collection Grip Towel	Chrome Plated	
Toilet Roll holder:	Suprema Hyatt with Lid	Chrome Plated	
Shower Screen:	1900mm Height - Semi Frameless, Clear Glass - Pivot Door	Chrome Frame	
Mirror:	- Frameless with polished Edges - Line top with shower screen	Note: use chrome mirror clips	
DOWNSTAIRS POWDER:	DESCRIPTION:	COLOUR:	CODE:
Basin:	Caroma Integra 500 (Small Size) Wall Basin (with shroud) 1 Tap Hole	White	(Note: Plumbing will have to come out of the wall).
Vanity Tapware:	Suprema Basin Mixer	Chrome/Chrome	SUP820
Waste Outlet:	-	Stainless Steel	
Cistern Plumbing:	-	Chrome	
Toilet Suite:	Caroma Reflections	White	
Hand Towel Ring:	Suprema Hyatt Grip Towel	Chrome Plated	
Toilet Roll holder:	Suprema Hyatt toilet roll holder	Chrome Plated	
Mirror:	- Frameless with polished Edges - Line top with shower screen	Note: use chrome mirror clips	
LAUNDRY:	DESCRIPTION:	COLOUR:	CODE:
Sink:	Abey Flush line Tub 45L RBP Flush	Stainless Steel	
Tapware:	- Suprema Hyatt - Washing Machine Set - Suprema Kitchen Mixer	Chrome/Chrome	SUP810

APPLIANCES:	MAKE:	DESCRIPTION:	MODEL:
--------------------	--------------	---------------------	---------------

SHEARWATER MATERIAL & COLOUR SPECIFICATION

Under Bench Oven:	Smeg	Electric Stainless Steel	SA360X
Cook top:	Smeg	Gas Stainless Steel 60cm	SAR134AX
Dishwasher:	Smeg	Stainless Steel - Fully Integrated	ST662
Range hood:	Smeg	Stainless Steel Slide out Ducted outside	SA480T
Microwave:	Smeg	Stainless Steel	SA31MX
Microwave Trim Kit:	Smeg	Stainless Steel to suit SA31MX	N/A
GAS:			
Hot Water System:	Rheem Integrity 24Ltr	Gas Instantaneous	
HWS Recess Box	To Suit Above		
Gas Point:	4 x Gas Points	- Gas Cook top - Heating - BBQ External - HWS	

INTERNAL PAINT COLOURS:	WALLS:	CEILING:	WOODWORK:
Refer to Colour Selection	3 Coat System	2 Coat System	Taubmans
INTERNAL PAINT COLOURS:	WALLS:	CEILING:	DESCRIPTION:
INTERNAL WALLS TO ALL LIVING AREAS, KITCHEN, LAUNDRY AND BEDROOMS:	Taubmans Stone Mountain T161-2W	50% Strength Taubmans Stone Mountain T161-2W	
INTERNAL WALLS TO ALL BATHROOMS AND WC'S:	50% Strength Taubmans Stone Mountain T161-2W	50% Strength Taubmans Stone Mountain T161-2W	
INTERNAL WALLS TO GARAGE:	Taubmans Stone Mountain T161-2W	50% Strength Taubmans Stone Mountain T161-2W	
ROBES/LINEN:	Taubmans Stone Mountain T161-2W	50% Strength Taubmans Stone Mountain T161-2W	
DOOR FRAMES:	Taubmans Stone Mountain T161-2W	N/A	Enamel Gloss
ARCHTRAVES/SKIRTINGS:	Taubmans Stone Mountain T161-2W	N/A	Enamel Gloss

SHEARWATER MATERIAL & COLOUR SPECIFICATION

INSIDE OF FRONT ENTRY DOOR & LAUNDRY DOOR:	Taubmans Stone Mountain T161-2W	N/A	Enamel Gloss
INTERNAL DOORS:	Taubmans Stone Mountain T161-2W	N/A	Enamel Gloss
STAIR NEWEL POSTS:	Taubmans Stone Mountain T161-2W	N/A	Enamel Gloss

FLOOR FINISHES:	DESCRIPTION:	COLOUR:	LAYOUT:
ENTRY : <i>Note: includes running 1 row of tiles into Under- Stairs Storage Area.</i>	Ceramic Tile	4THBO (GNS)	Laid Square
FEATURE BORDER MAT TO ENTRY: <i>Note: Approx 80mm wide</i>	Border consists of 4 Rows of Marble from sheet. Mat Size: 3m x 1.2m Approx	Blue Stone Brick Tumble	Refer Plan
LIVING/DINING:	Carpet Red Book Moroso 100% Nylon	Col: 9 Agate	
FAMILY/MEALS/KITCHEN:	Ceramic Tile	4THBO (GNS)	Laid Square
DOWNSTAIRS POWDER:	Ceramic Tile	Vogue Pewter 200 x 200mm	Laid Square # 04012
LAUNDRY:	Ceramic Tile	Vogue Pewter 200 x 200mm	Laid Square # 04012
STAIRS:		Stained	
BED 1:	Carpet Red Book Moroso 100% Nylon	Col: 9 Agate	
BED 2:	Carpet Red Book Moroso 100% Nylon	Col: 9 Agate	
BED 3:	Carpet Red Book Moroso 100% Nylon	Col: 9 Agate	

SHEARWATER MATERIAL & COLOUR SPECIFICATION

BED 4:	Carpet Red Book Moroso 100% Nylon	Col: 9 Agate	
RUMPUS:	Carpet Red Book Moroso 100% Nylon	Col: 9 Agate	
ENSUITE:	Ceramic Tile	Vogue Pewter 200 x 200mm	Laid Square # 04012
MAIN BATHROOM:	Ceramic Tile	Vogue Pewter 200 x 200mm	Laid Square # 04012
WC UPSTAIRS:	Ceramic Tile	Vogue Pewter 200 x 200mm	Laid Square # 04012
ENTRY PATIO Incl. THRESHOLD:	Ceramic Tile	Nero Chandon Grip 300 x 300mm	½ Tile Cut Border with Square Infil
BALCONY:	Ceramic Tile	Nero Chandon Grip 300 x 300mm	Laid Square ½ Skirt Tile to Balcony Walls only.

WALL TILING:	DESCRIPTION:	DETAILS:	CODE:
Note:	Soap Dish holders to be placed on White Tiled Walls in all Cases.		
DOWNSTAIRS POWDER WALL:	1200mm high Ceramic Tiles No Feature	Blanco Brillo - White 300 x 200 Laid Vertically	# 30003
LAUNDRY SKIRT:	1 Row x Full Floor Tile as skirt	Vogue Pewter 200 x 200mm	# 04012
LAUNDRY SPLASHBACK:	600mm high Ceramic Tiles 2 Rows high	Blanco Brillo - White 300 x 200 Laid Vertically	# 30003
KITCHEN SPLASHBACK:	Caesar Stone Slab	Osprey	Ref: 3141
ENSUITE WALL:	2.0m high in shower 1.2m elsewhere Ceramic Tiles	Blanco Brillo - White 300 x 200 Laid Vertically	# 30003
ENSUITE: FEATURE WALL IN SHOWER AS NOTED ON DRAWING:	2.0m high Ceramic Tiles 100 x 100mm	RTF-067 4S-BS-786	Laid Square

SHEARWATER MATERIAL & COLOUR SPECIFICATION

FEATURE TILE TOP & SIDE OF BATH HOB:			
MAIN BATHROOM WALL:	2.0m high in shower 1.2m elsewhere Ceramic Tiles	Blanco Brillo - White 300 x 200 Laid Vertically	# 30003
MAIN BATHROOM:			
FEATURE WALL IN SHOWER AS NOTED ON DRAWING:	2.0m high Ceramic Tiles 100 x 100mm	RTF-067 4S-BS-786	Laid Square
FEATURE TILE TOP & SIDE OF BATH HOB:			
UPSTAIRS WC WALL:	1200mm high Ceramic Tiles No Feature	Blanco Brillo - White 300 x 200mm # 30003	Laid Vertically

ELECTRICAL	DESCRIPTION:	DETAILS:	CODE:
SECURITY SYSTEM:			
Alarm:	Eurovac (Silver)	Alarm System	SS003.01 (3pir+1keypad)
AIR CONDITIONING:			
Displays:	Full Reverse Cycle Ducted	TBA	TBA
Remainder:	Ducting only	TBA	TBA
PV SOLAR COLLECTOR:			
	Prewire only	Locate future display panel in kitchen as shown on plan	Co. Pacific Solar Contact: Dr Sean Edminston Ph: 9316 6811
METER BOX:			
All Homes:	Recessed Meter Box	Located as shown on Plan	



COUNCIL COPY

Essential Certifiers Castle Hill

Construction/Complying Development Certificate Application Form

Issued under the Environmental Planning & Assessment Act 1979

R Moy & Associates Pty Ltd
Trading as Essential Certifiers Castle Hill
ACN 100 924 605
ABN 23 100 924 605

Postal Address: PO Box 6160 Baulkham Hills BC NSW 2153

Telephone (02) 9899 2506
Facsimile (02) 9659 1633

Email HayleySweis@ecch.com.au
Website www.ecch.com.au

Privacy Policy - The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Essential Certifiers Castle Hill if the information you have provided in your application is incorrect or requires modification..

CHECKLIST - DOCUMENTS TO ACCOMPANY THIS APPLICATION

For Construction Certificate Applications:

- ☐ Complete all sections of this application form
- ☐ 1 copy of Council DA approved plans
- ☐ 1 copy of Council development consent
- ☐ 3 copies of architectural plans with amendments satisfying conditions
- ☐ 3 copies of building specifications
- ☐ Completion of Owners Consent Form to be signed by ALL owners
- ☐ Completion of Notice to Commence Building Work & Appointment of PCA form
- ☐ Copy of Home Owners Warranty insurance if using a licensed builder & work is valued over \$12,000 (N/A for commercial or industrial development)
- ☐ Copy of Owner-Builder permit if not using a licensed builder & work is valued over \$5,000 (N/A for commercial or industrial development)
- ☐ Proof of payment of Long Service Levy if work is valued \$25,000 or over
- ☐ Cheque made payable to Council for Private Certifier Certificate Archiving/Handling Fee - schedule of Council fees can be provided on request.

For Complying Development Applications:

- ☐ Complete all sections of this application form
- ☐ 3 copies of architectural plans
- ☐ 3 copies of building specifications
- ☐ Completion of Owners Consent Form to be signed by ALL owners
- ☐ Completion of Notice to Commence Building Work & Appointment of PCA form
- ☐ Copy of Home Owners Warranty insurance if using a licensed builder & work is valued over \$12,000 (N/A for commercial or industrial development)
- ☐ Copy of Owner-Builder permit if not using a licensed builder & work is valued over \$5,000 (N/A for commercial or industrial development)
- ☐ Long Service Levy will apply if work is valued \$25,000 or over
- ☐ Copy of relevant Water Authority Approval (if applicable)
- ☐ Cheque made payable to Council for Private Certifier Certificate Archiving/Handling Fee - schedule of Council fees can be provided on request.

TYPE OF APPLICATION

It has been determined that this is a:

- ☐ Complying Development Certificate application
Issued under the Environmental Planning & Assessment Act 1979 sections 85 and 85A
- ☒ Construction Certificate Application
Issued under the Environmental Planning & Assessment Act 1979 sections 109C(1)(b), 81A(2) & 81A(4)

Class of building under the Building Code of Australia	1A
Development application no.	NO 703/03
Date which development consent was granted	14/10/03

DETAILS OF THE APPLICANT

Mr/Mrs/Ms/Dr

First Name:	Surname/Company Name: <u>Clarendon Residential Communities Pty Ltd</u>	
Unit/Street no. <u>L15 N° 56</u>	Street Name: <u>Pitt St</u>	
Suburb: <u>Sydney</u>	State: <u>NSW</u>	Postcode: <u>2000</u>
Phone: <u>82736000</u>	Fax: <u>82736099</u>	Mobile:

BILLING DETAILS (if different from Applicant)

Billing Name: <u>Clarendon Residential Communities Pty Ltd</u>
Billing Address: <u>L15 N° 56 Pitt St Sydney 2000</u>

Note: Applicant will be liable for payment of our fees if funds cannot be recovered from the Billing person above.

DETAILS OF THE OWNER(S)

Mr/Mrs/Ms/Dr

First Name:	Surname/Company Name: <u>As above</u>	
Unit/Street no.	Street Name:	
Suburb:	State:	Postcode:
Phone:	Fax:	Mobile:

IDENTIFY THE LAND YOU PROPOSE TO DEVELOP

Unit/Street no.	Street Name:	
Suburb: <u>Warriewood</u>	State: <u>NSW</u>	Postcode: <u>2102</u>
Lot no.	DP/MPS no. <u>730450</u>	
Council Area: <u>Pittwater</u>		

DETAILS OF THE DEVELOPMENT

Description of the work to be carried out	<u>Single dwelling</u>
Estimated cost of development including GST	\$ <u>231,200</u>

DETAILS OF THE BUILDER

If you are using a licensed builder please complete this table

Builder Name	<u>Domine homes</u>
Builder License Number	<u>91387C</u>
Builder Telephone Number	<u>88516700</u>
Builder Address	<u>Po Box 7145 Baulkham Hills, 2153</u>

If you are not using a licensed builder please complete next 3 questions where applicable

- Are you an Owner-builder? (Please circle) Y N
- If Yes to 1. please provide Owner-Builder Permit Number _____
- If No to 1. Please sign the following declaration:
I/we declare that the reasonable market cost of the labour and materials to be used is less than \$5,000.

Signed by all Owners _____

PLANS & SPECIFICATIONS

List plan numbers & specification reference details included in this application:

CPS 67-15-13
Sheet 1/1 1/16 - 6/16

AUSTRALIAN BUREAU OF STATISTICS SCHEDULE - compulsory

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

• Number of storeys (incl underground floors)	2
• Gross floor area of new building (m ²)	291.00
• Gross site area (m ²)	305.5

Residential buildings only

• No. of dwellings to be constructed	1
• No. of pre-existing dwellings on site	0
• No. of dwellings to be demolished	0
• Will the new dwelling(s) be attached to other new buildings?	No
• Will the new building(s) be attached to existing buildings?	No
• Does the site contain a dual occupancy?	No

Materials - Residential Buildings

WALLS	ROOF	FRAME	FLOOR
Brick Veneer	✓ Aluminium	Timber	✓ Concrete
Full Brick	Concrete	Steel	Timber
Single Brick	Concrete Tiles	✓ Aluminium	Other (describe)
Concrete Block	Fibrous Cement	Other (describe)	
Concrete Masonry	Fibreglass		
Concrete	Masonry Shingle		
Steel	Terracotta Shingle		
Fibrous Cement	Tiles - other		
Hardiplank	Slate		
Timber/Weatherboard	Steel		
Cladding/Aluminium	Terracotta Tiles		
Curtain Glass	Other (describe)		
Other (describe below)			

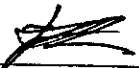
CC/EDC No. 04/3721

DA No. N0703/03

SIGNATURES

The applicant must sign the application.

Applicant Signature



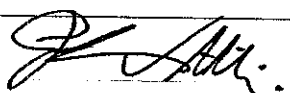
Date



The owner(s) of the land must sign this application or an owners' consent form if:

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
 - the owner of the land has changed since signing the development application:
- As the owner(s) of the above property, I/we consent to this application:

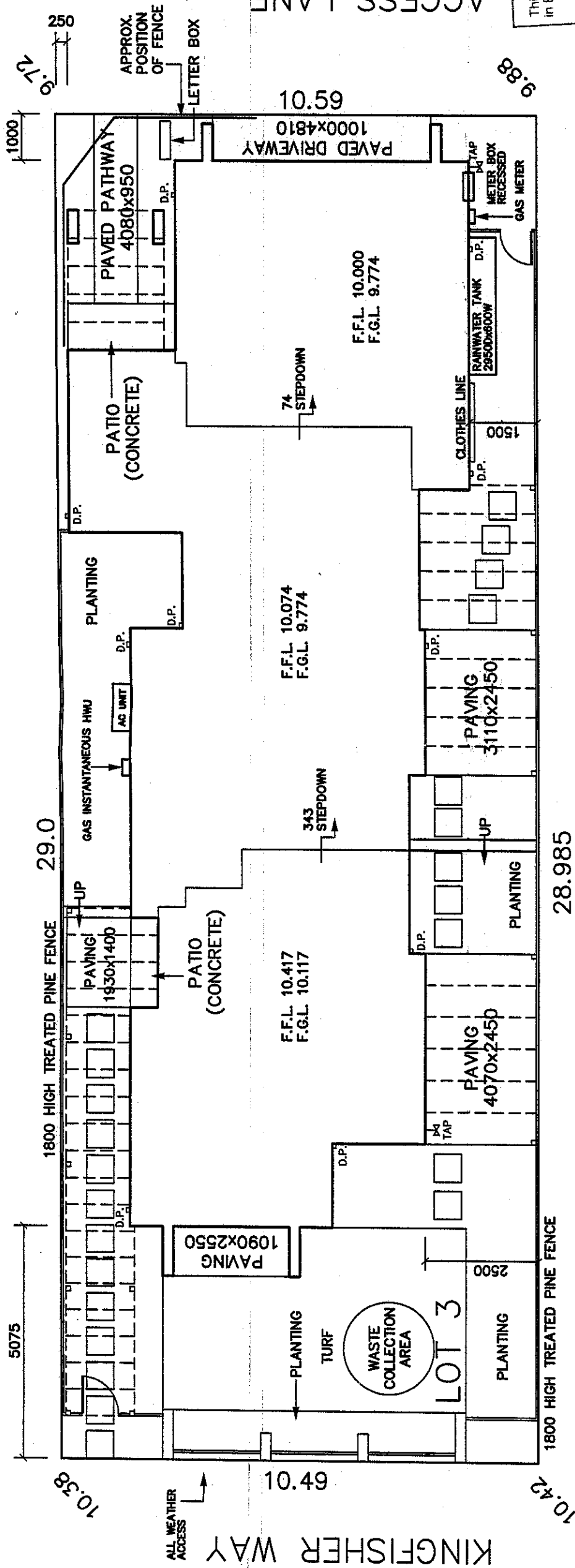
Owner Signature



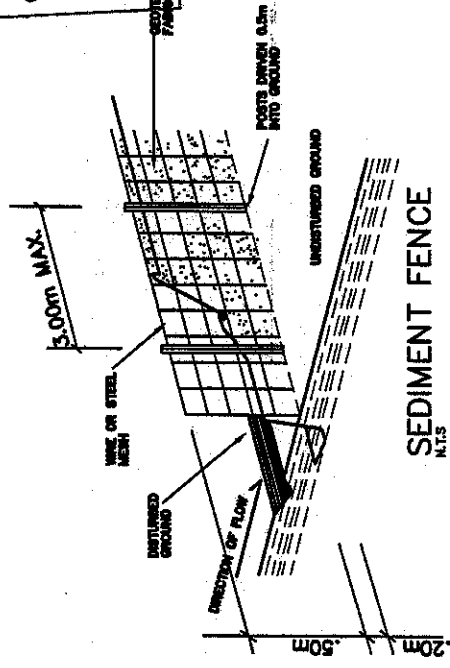
Owner Signature

Date	Date

COUNCIL COPY

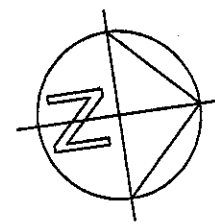


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Cert No. 04/3721
Officer: Kieran Tobin
Accreditation No: 44



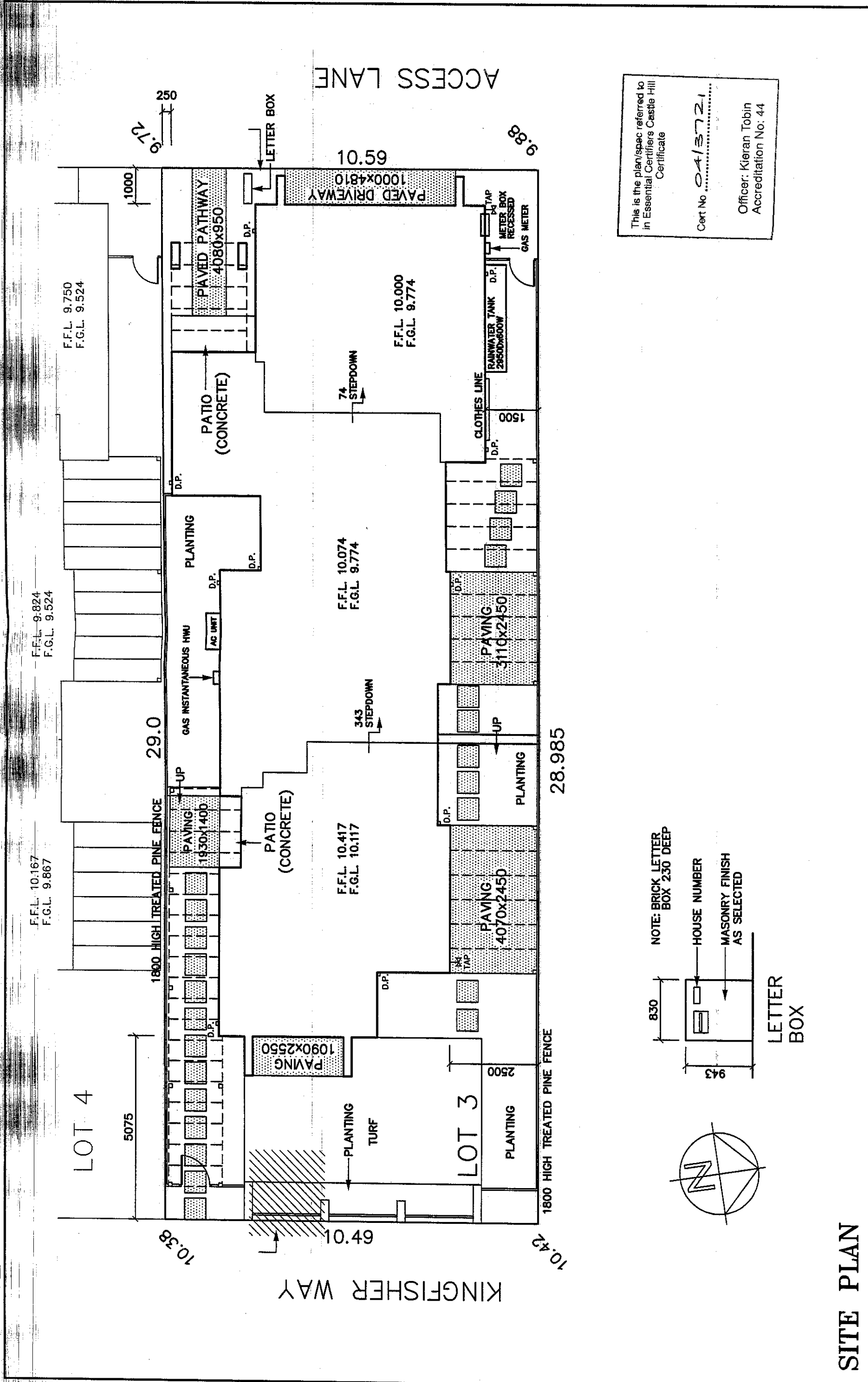
SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

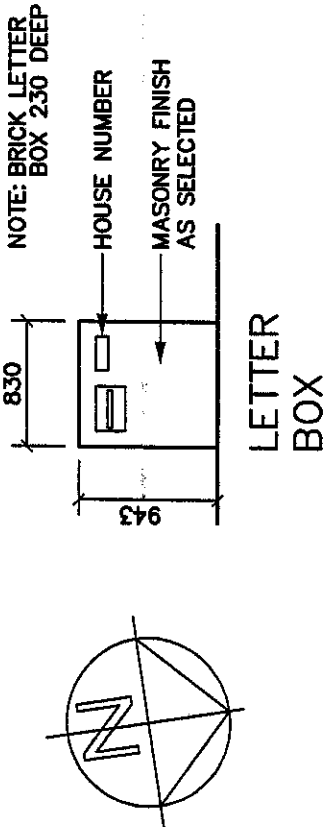


SEDIMENT PLAN

DOMAINE HOMES PTY LTD	Suite 1, Ground Floor, 21 Solent Circuit Baulkham Hills 2153 Telephone: (02) 8851 6700 Facsimile: (02) 8851 6710				DRAWN	DATE	REVISION	ISSUE	CLIENT									
					SC	12.12.03	TENDER PLANS	A	CPG DEVELOPMENTS									
									SITE									
									LOT 3									
									SHEARWATER DRIVE WARRIEWOOD VALLEY									
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											DRAWN: SRP(SC)	DATE: 12.12.03						
											SCALE : 1:100		CPG 87-1D-L3					
															COLOUR SCHEME		HOUSE TYPE	
															GA		ISSUE	
															A		SHEET NO.	
															MULCH/AGATE		1/1	



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 Cert No 0413721
 Officer: Kieran Tobin
 Accreditation No: 44



SITE PLAN

DOMAINE
 H.O.M.E.S. P.T.Y. L.T.D.

Suite 1, Ground Floor,
 21 Solent Circuit
 Baulkham Hills 2153
 Telephone: (02) 8851 6700
 Facsimile: (02) 8851 6710

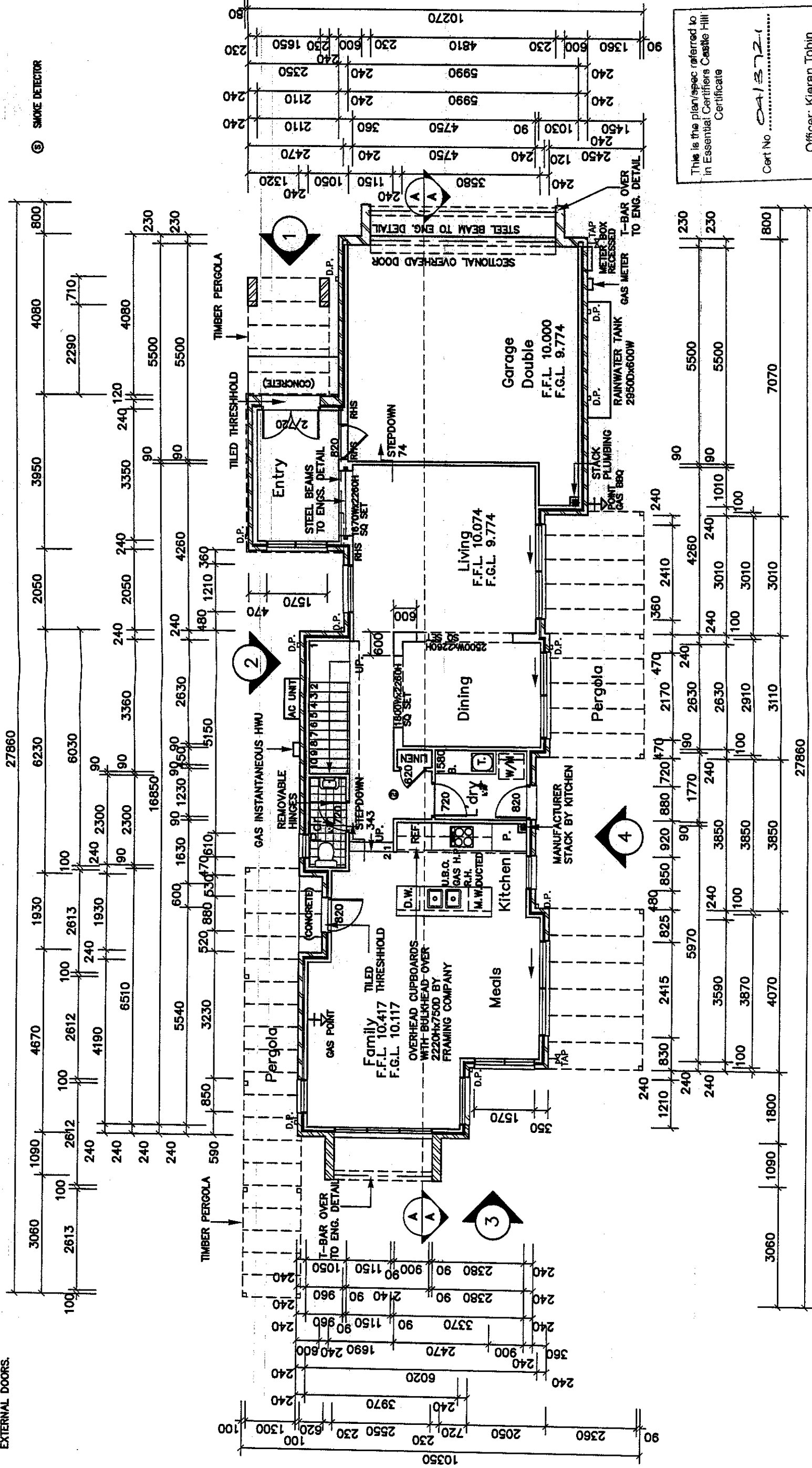
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DRAWN	DATE	REVISION	ISSUE	CLIENT
SC	12.12.03	TENDER PLANS	A	CPG DEVELOPMENTS
				SITE
				LOT 3
				SHEARWATER DRIVE
				WARRIEWOOD VALLEY

DRAWN: SRP(SC)	DATE: 12.12.03
SCALE: 1:100	CPG-87-1D-L3

HOUSE TYPE	GA	ISSUE	A
COLOUR SCHEME	MULCH/AGATE	SHEET NO.	1/16

NOTE:
 - SHEET WALLS TO UNDER STAIRS
 - PROVIDE SKIRTING UNDER STAIRS
 - PAINT UNDER STAIRS
 - WEATHER STRIPS TO EXTERNAL DOORS.



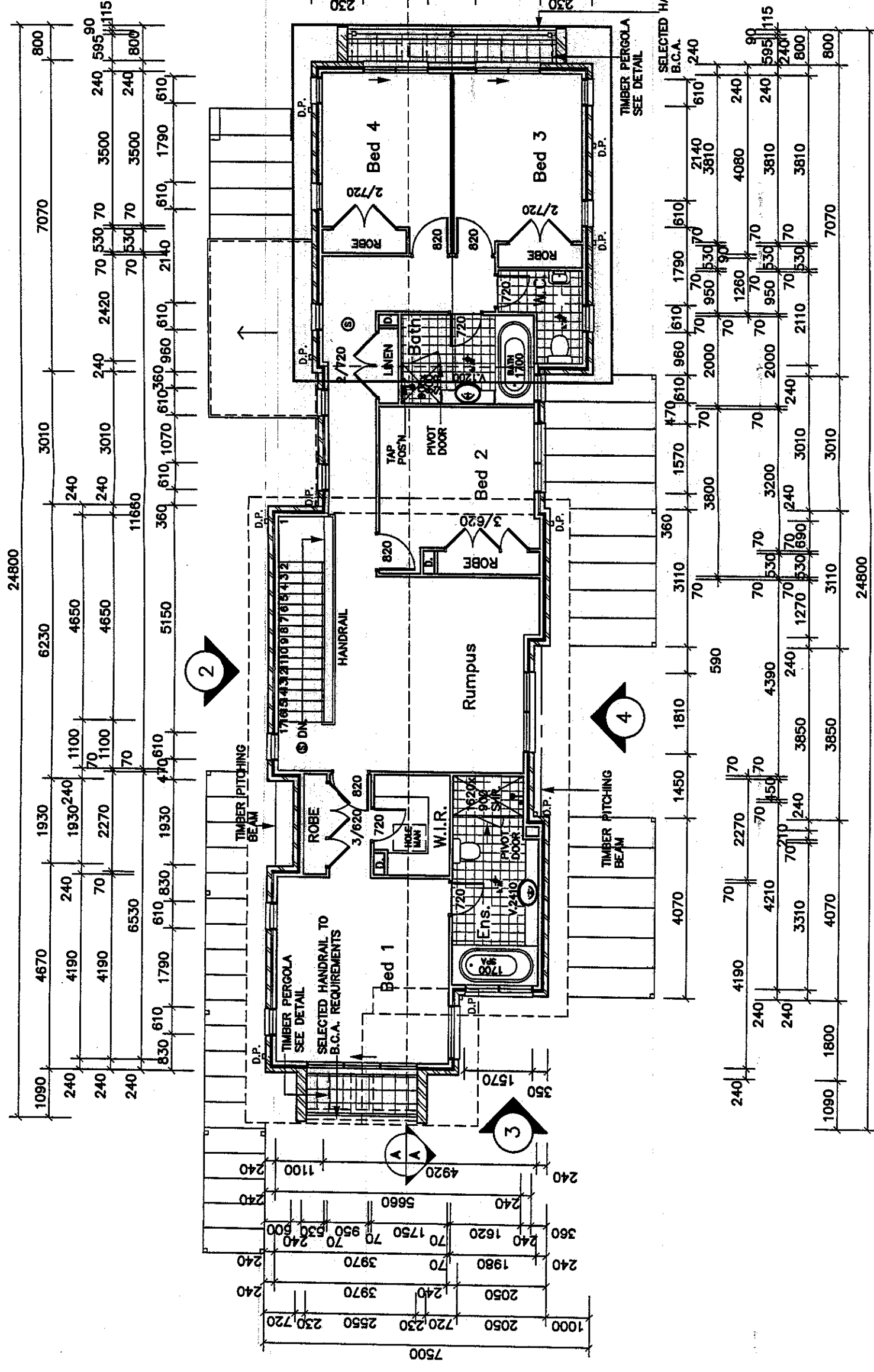
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 Certificate
 Cert No. 0413721
 Officer: Kieran Tobin
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GROUND FLOOR PLAN

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NOTE:
- 300x300 TILES TO BALCONIES

© SMOKE DETECTOR



This is the plan/spec referred to in Essential Certifiers Castle Hill Certificate

041372

Officer: Kieran Tobin
Accreditation No: 44

1100	
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Stair Void

FIRST FLOOR PLAN

**Suite 1, Ground Floor,
21 Solent Circuit
Baulkham Hills 2153**

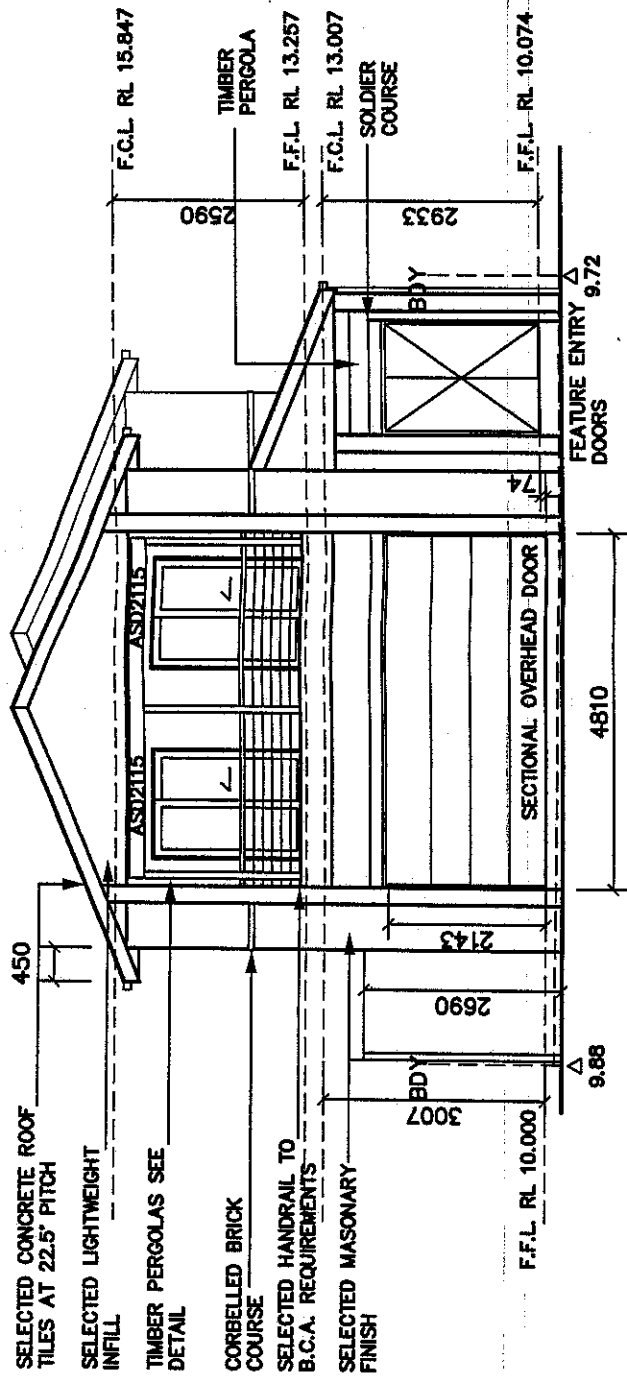
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Facsimile: (02) 8851 6710**

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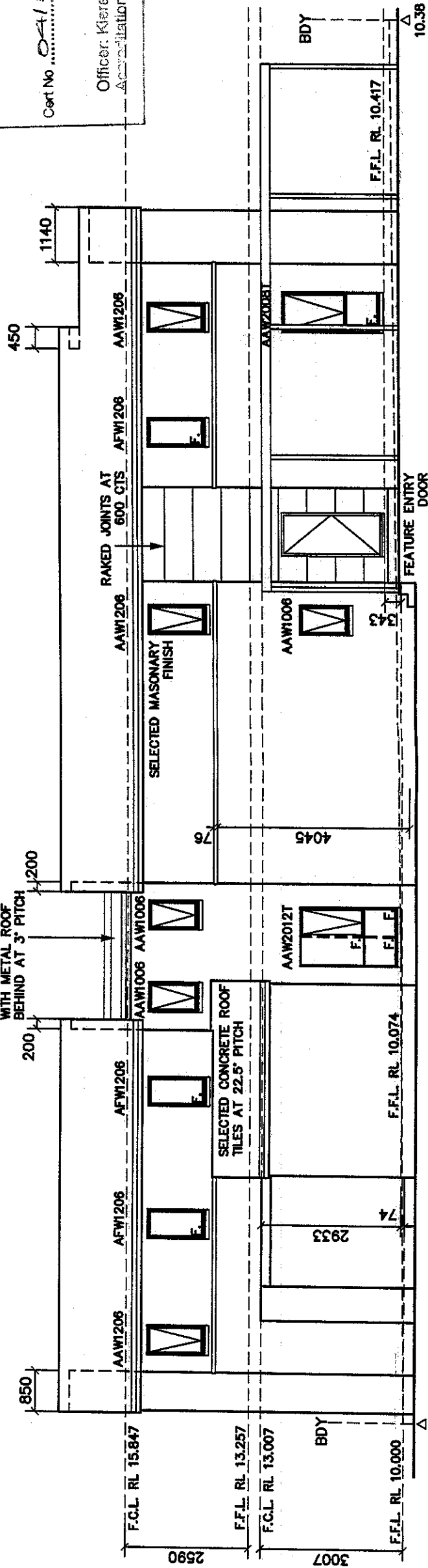
DOMAINE

HOMES PTY LTD

— DOMAINE —		Suite 1, Ground Floor, 21 Solent Circuit Boulkham Hills 2153 Telephone: (02) 8851 6700 Facsimile: (02) 8851 6710		DRAWN		DATE	REVISION	ISSUE	CLIENT	AREAS:		HOUSE TYPE	ISSUE
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							SITE	DRAWN: SRP(SC) DATE: 12.12.03					
							LOT 3	SCALE : 1:100 CPG- 87-ID-L3		COLOUR SCHEME	SHEET NO.		
							SHEARWATER DRIVE			MULCH/AGATE	3/16		
							WARRIEWOOD VALLEY						



Elevation 1



Elevation 2

ELEVATIONS

DOMAINE
 HOMES PTY LTD

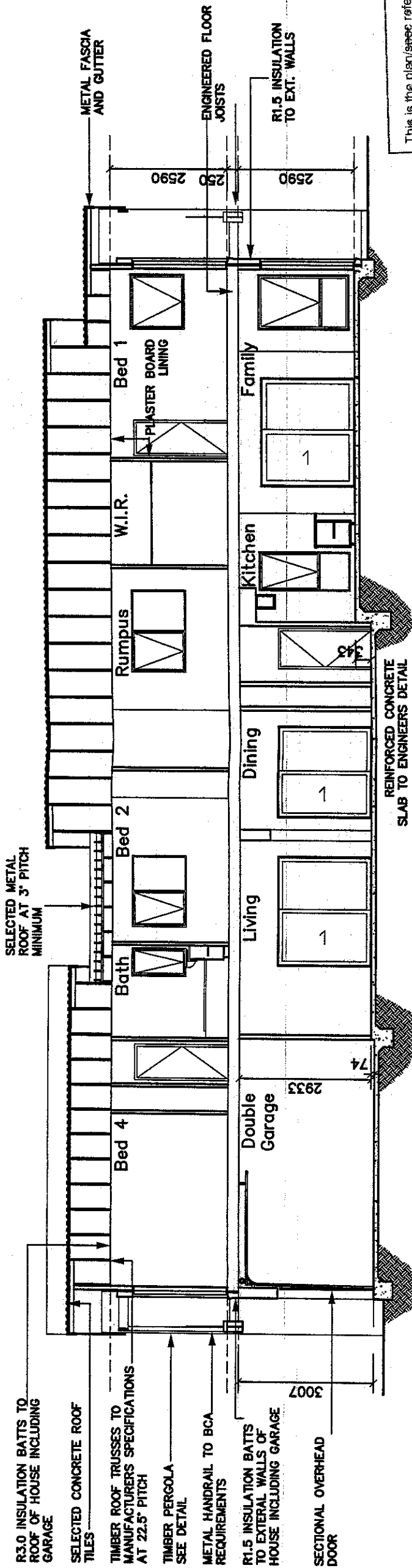
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DRAWN SC
 DATE 12.12.03
 REVISION TENDER PLANS
 CLIENT CPG DEVELOPMENTS
 ISSUE A
 SITE LOT 3
 SHEARWATER DRIVE
 WARREWOOD VALLEY

DRAWN: SRP(SC)
 SCALE : 1:100
 DATE: 12.12.03
 CPG 87-1D-L3

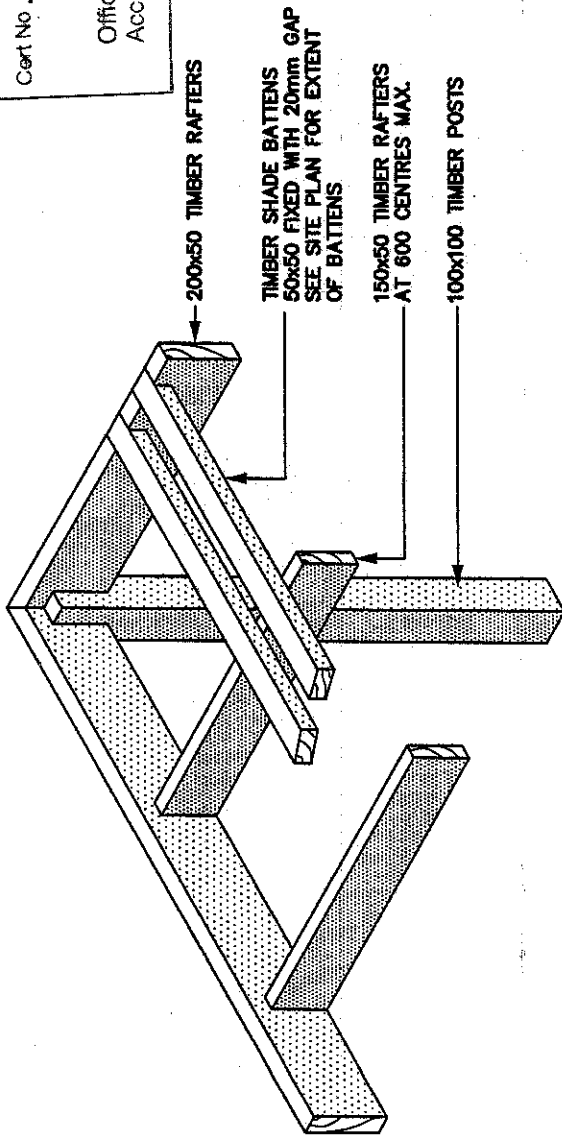
HOUSE TYPE GA
 COLOUR SCHEME MULCH/AGATE
 ISSUE A
 SHEET NO. 4/16

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 in Essential Cartiers Castle Hill
 Certificate
 Cert No 0413724
 Officer: Kieran Tobin
 Accreditation No: 44



Section A-A

This is the plan/spec referred to in Essential Certifiers Castle Hill Certificate
 Cert No 0413721
 Officer: Kieran Tobin
 Accreditation No: 44



Pergola Detail
 (Scale 1:20)

SECTION

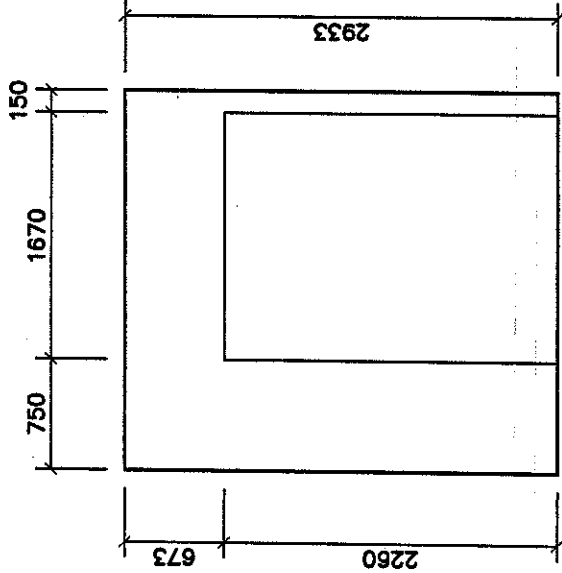
DOMAINE

HOMES PTY LTD

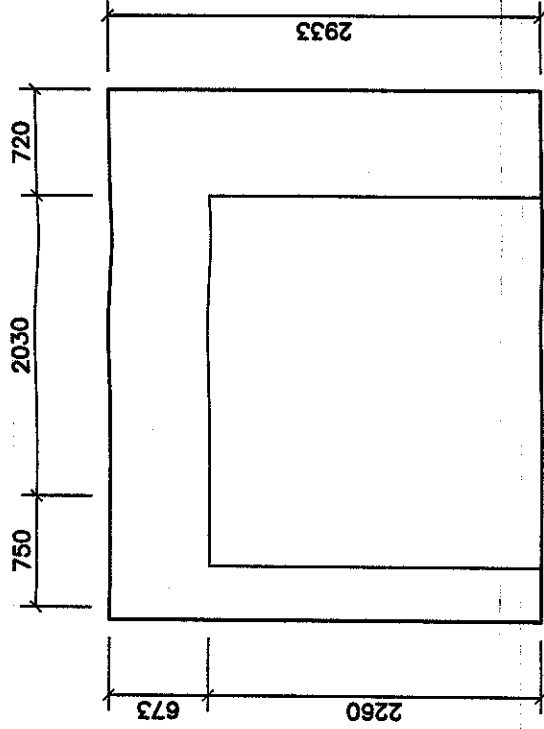
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DRAWN	DATE	REVISION	CLIENT
SC	12.12.03	TENDER PLANS	CPG DEVELOPMENTS
			SITE
			LOT 3
			SHEARWATER DRIVE
			WARRIEWOOD VALLEY

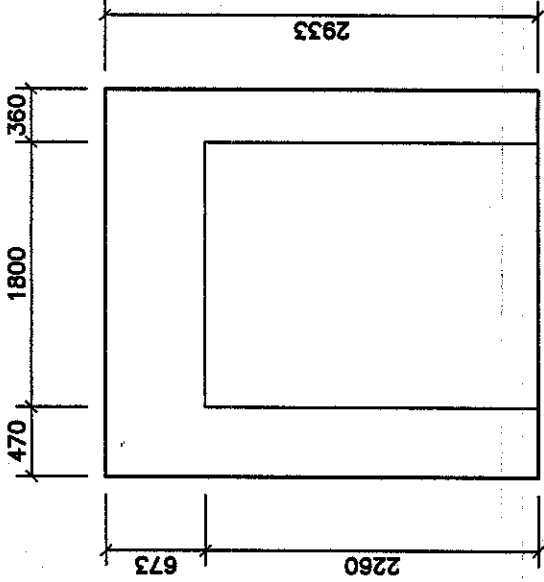
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GA	A
COLOUR SCHEME	SHEET NO.
MULCH/AGATE	6/16
DRAWN: SRP(SC)	DATE: 12.12.03
SCALE: 1:100	CPG 87-1D-L3



Living / Entry
(Ground Floor)



Dining / Living
(Ground Floor)



Dining / Hall
(Ground Floor)

OPENING DETAILS

DOMAINE

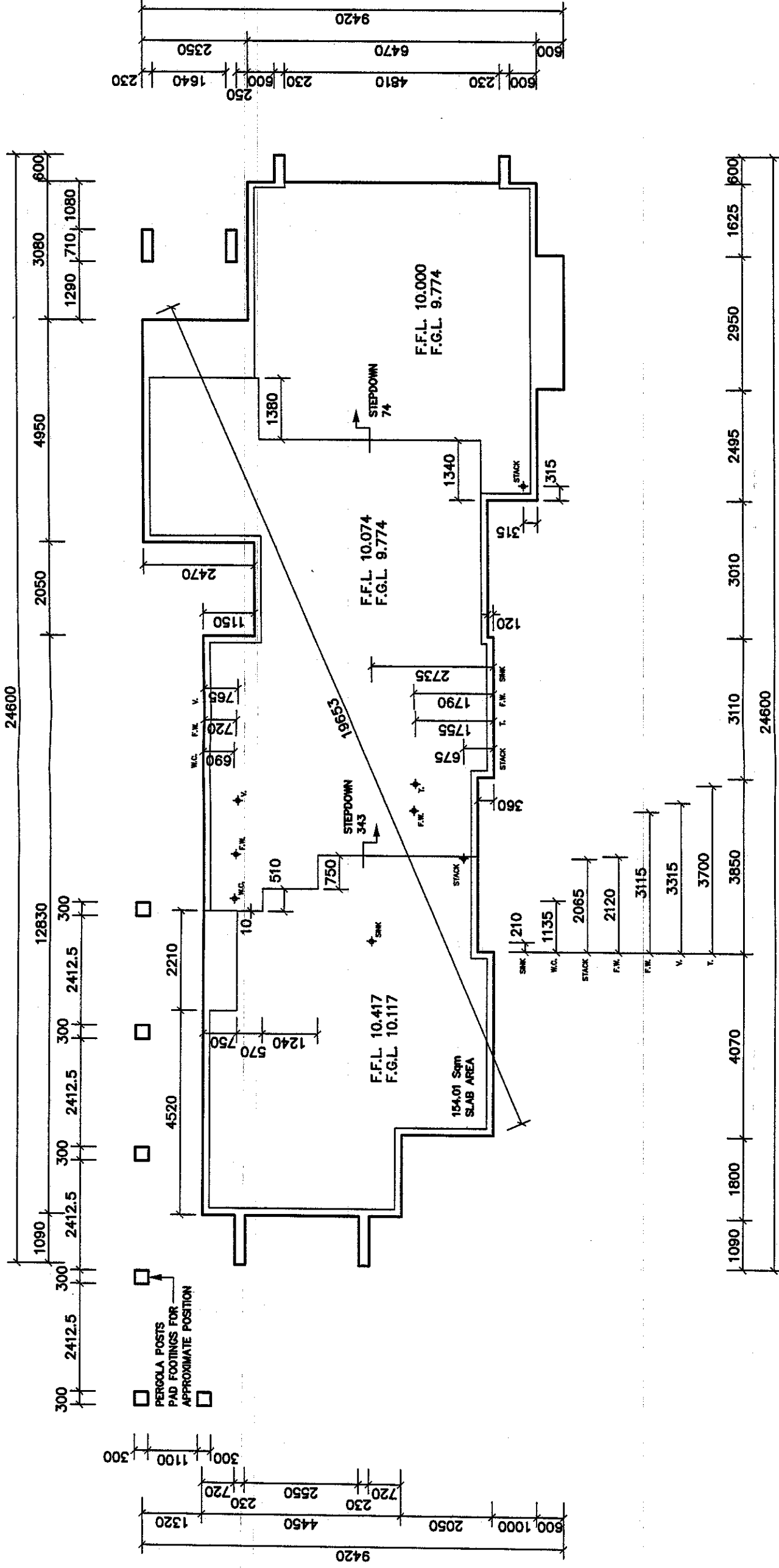
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DRAWN	DATE	REVISION	ISSUE	CLIENT
SC	12.12.03	TENDER PLANS	A	CPG DEVELOPMENTS
				SITE
				LOT 3
				SHEARWATER DRIVE
				WARRIEWOOD VALLEY

DRAWN: SRP(SC)	DATE: 12.12.03
SCALE : 1:50	CPG 87-1D-L3

HOUSE TYPE	GA	ISSUE	A
COLOUR SCHEME	MULCH/AGATE	SHEET NO.	7/16



SLAB PLAN

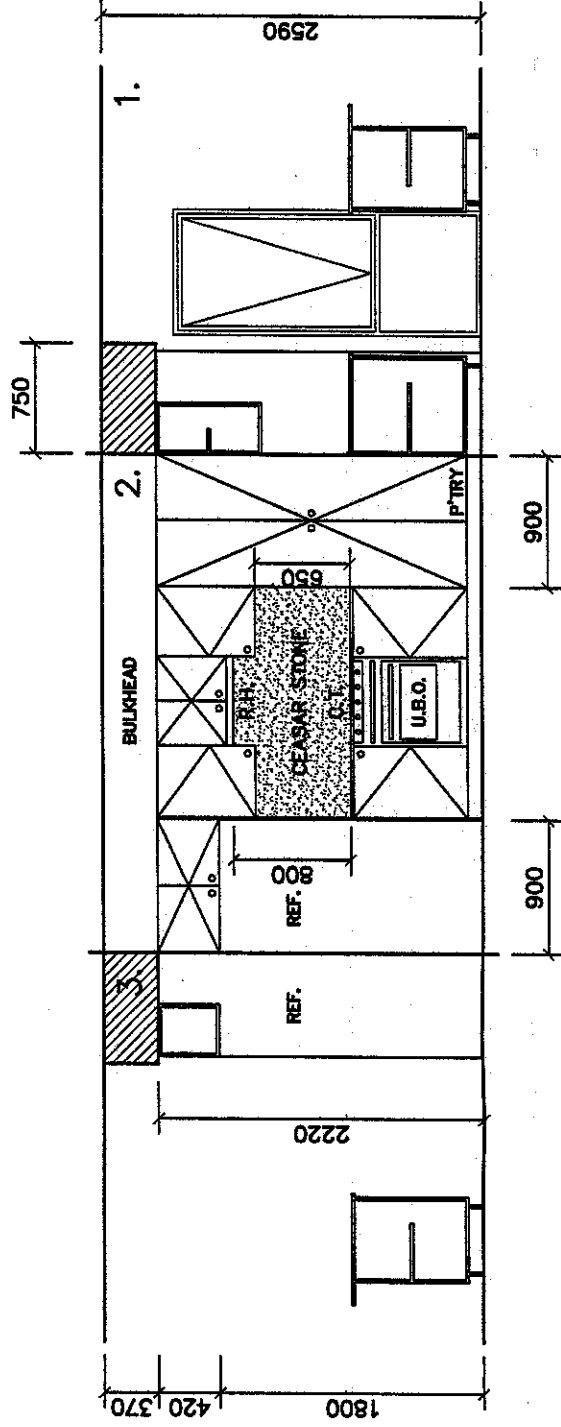
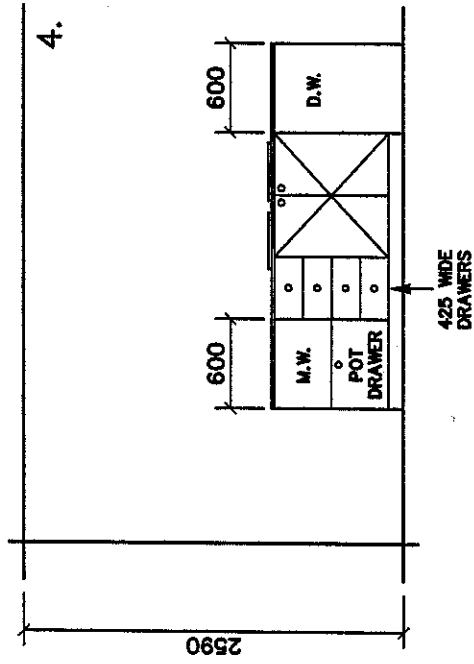
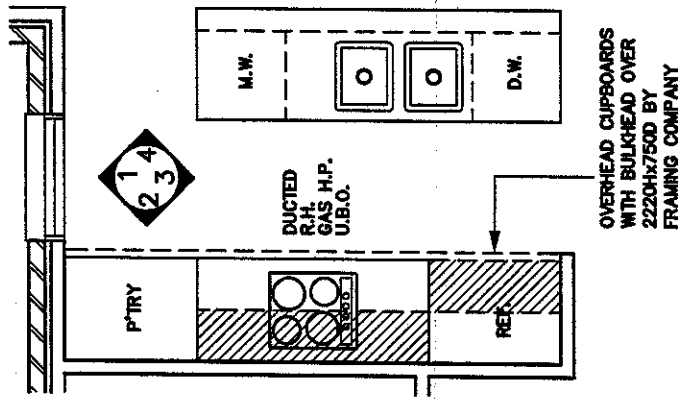
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DRAWN	DATE	REVISION	CLIENT	ISSUE
SC	12.12.03	TENDER PLANS	CPG DEVELOPMENTS	A
			SITE	
			LOT 3	
			SHEARWATER DRIVE	
			WARRIWOOD VALLEY	

DRAWN: SRP(SC)	DATE: 12.12.03	HOUSE TYPE	GA	ISSUE	A
SCALE : 1:100		MULCH/AGATE		8/16	



KITCHEN DETAIL

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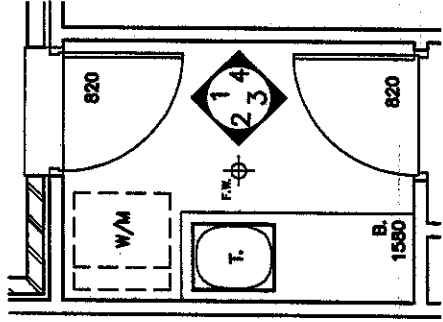
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CLIENT
CPG DEVELOPMENTS
SITE
LOT 3
SHEARWATER DRIVE
WARRIWOOD VALLEY

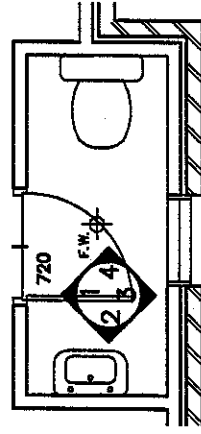
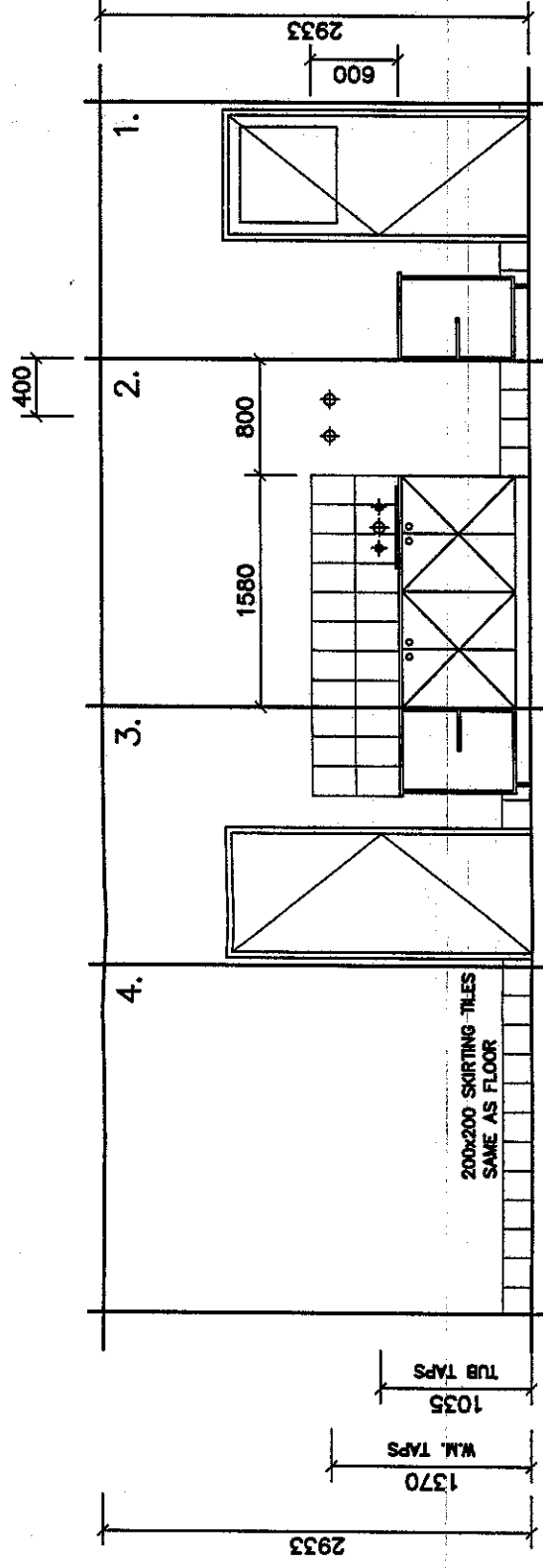
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SCALE: 1:50 CPG 87-1D-L3

HOUSE TYPE
GA
COLOUR SCHEME
MULCH/AGATE

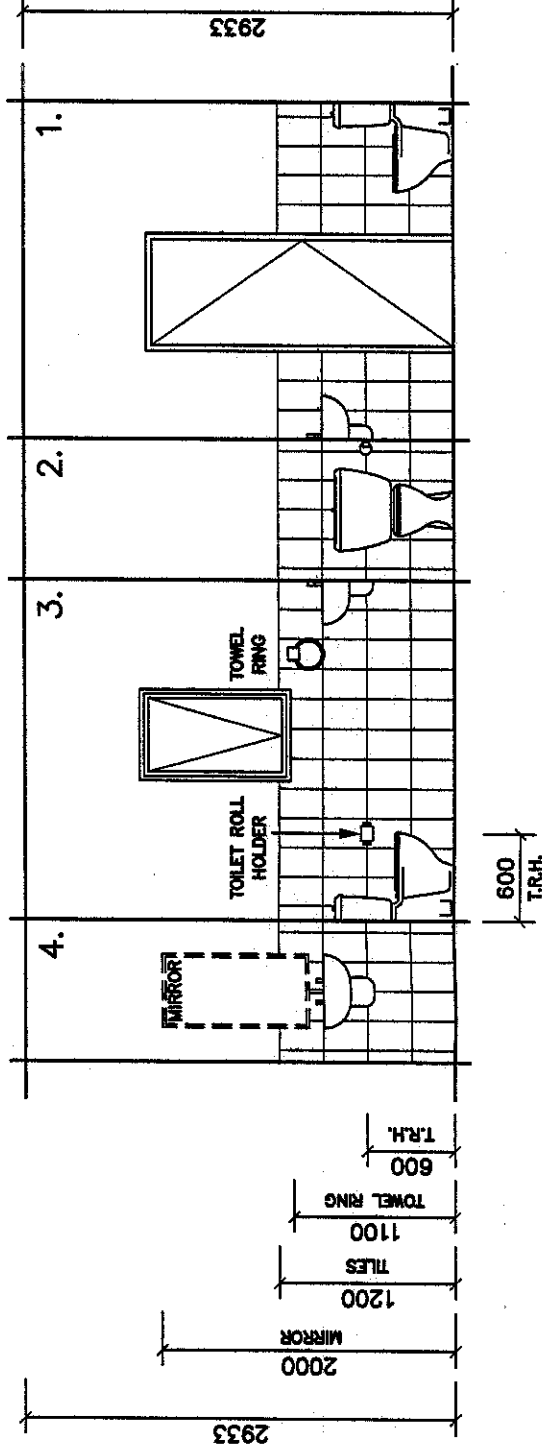
ISSUE
A
SHEET NO.
9/16



Laundry Detail
(Ground Floor)



Powder Detail
(Ground Floor)



WET AREA DETAILS

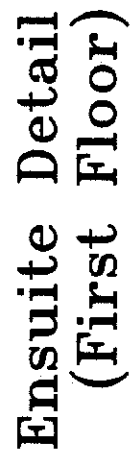
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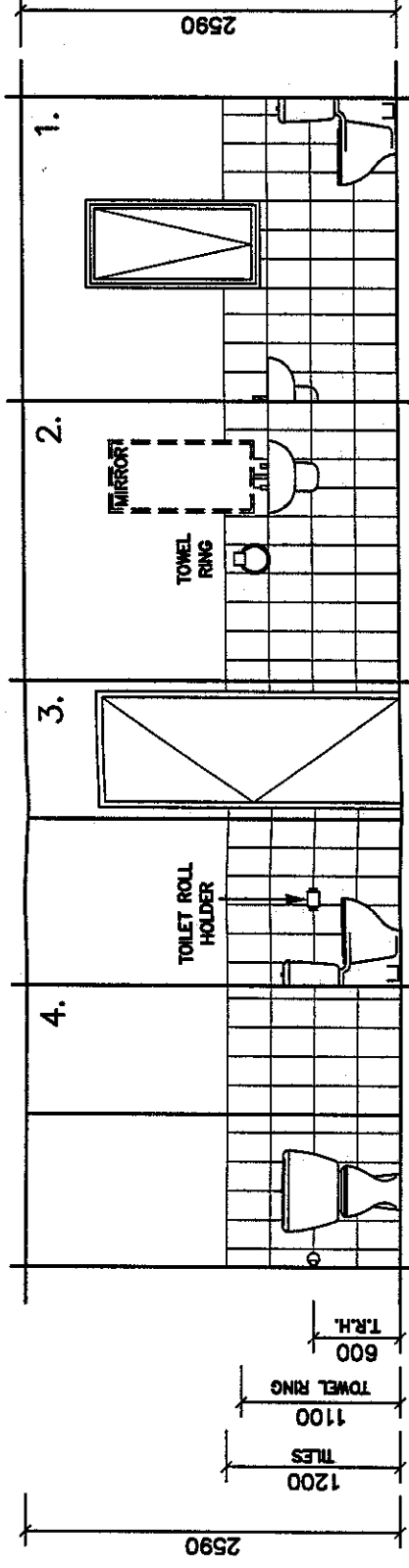
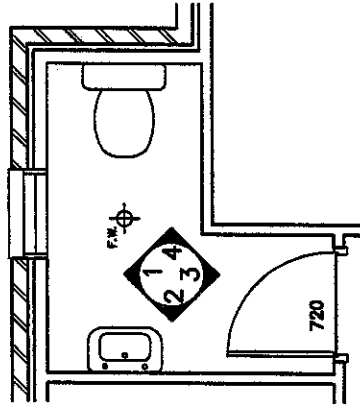
CLIENT
CPG DEVELOPMENTS
SITE
LOT 3
SHEARWATER DRIVE
WARREWOOD VALLEY

DRAWN: SRP(SC) DATE: 12.12.03
SCALE: 1:50 CPG 87-ID-L3

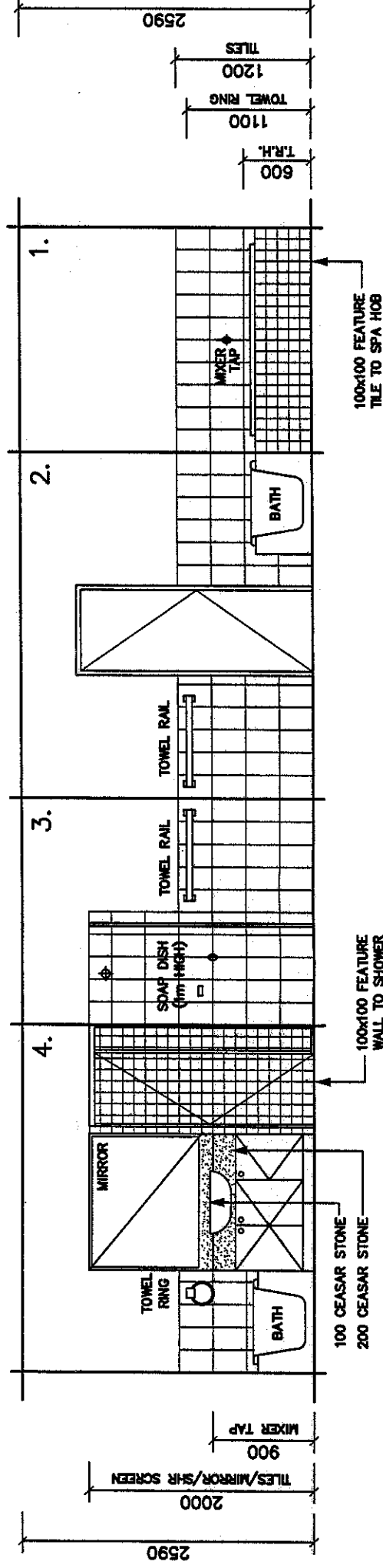
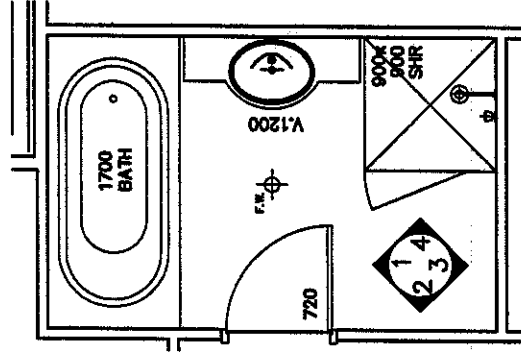
HOUSE TYPE
GA
COLOUR SCHEME
MULCH/AGATE
ISSUE
A
SHEET NO.
10/16



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		DRAWN: SRP(SC)	DATE: 12.12.03																			
			CPG 87-1D-L3																			
		SCALE : 1:50																				
		HOUSE TYPE	GA	ISSUE																		
COLOUR SCHEME	MULCH/AGATE	SHEET NO.																				
		11/16																				
SC	12.12.03	TENDER PLANS	A	CPG DEVELOPMENTS																		
				SITE																		
				LOT 3																		
				SHEARWATER DRIVE	WARRIEWOOD VALLEY																	



W.C. Detail
(First Floor)



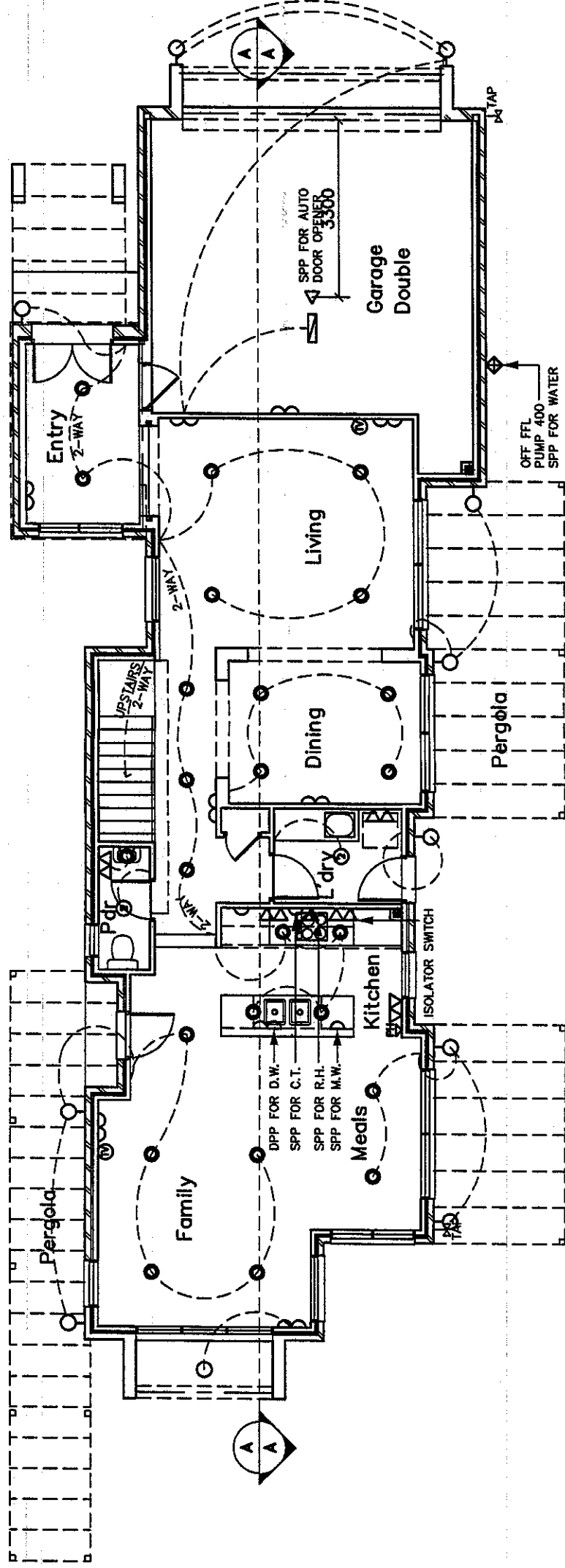
Bathroom Detail
(First Floor)

WET AREA DETAILS

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Electrical Legend:

△	SINGLE GENERAL PURPOSE OUTLET 1040 HIGH	⊙	A/C OUTLET
△△	DOUBLE GENERAL PURPOSE OUTLET 1040 HIGH	⊙	EXHAUST FAN
△	SINGLE GENERAL PURPOSE OUTLET 200 HIGH	⊙	TELEVISION POINT
△	DOUBLE GENERAL PURPOSE OUTLET 200 HIGH	⊙	DOWN LIGHT
○	CEILING LIGHT OUTLET	✕	CEILING FAN
○	WALL MOUNTED BATTERY		
⊙	400mm OPAL FITTING	⊙	DOUBLE FLUORESCENT LIGHT
⊙	300mm OPAL FITTING	⊙	SPA PUMP POSITION
⊙	WATER PROOF G.P.O.	⊙	AIR CON. THERMOSTAT
△	SINGLE GENERAL PURPOSE OUTLET 1800 HIGH	⊙	ALARM CONTROL PANEL
△	SINGLE GENERAL PURPOSE OUTLET 2000 HIGH	⊙	PHONE POINT
⊙	WEATHERPROOF LIGHT	⊙	RETURN AIR
⊙	DATA POINT	⊙	INTERCOM POINT



GROUND FLOOR ELECTRICAL

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DRAWN	DATE	REVISION
SC	12.12.03	TENDER PLANS

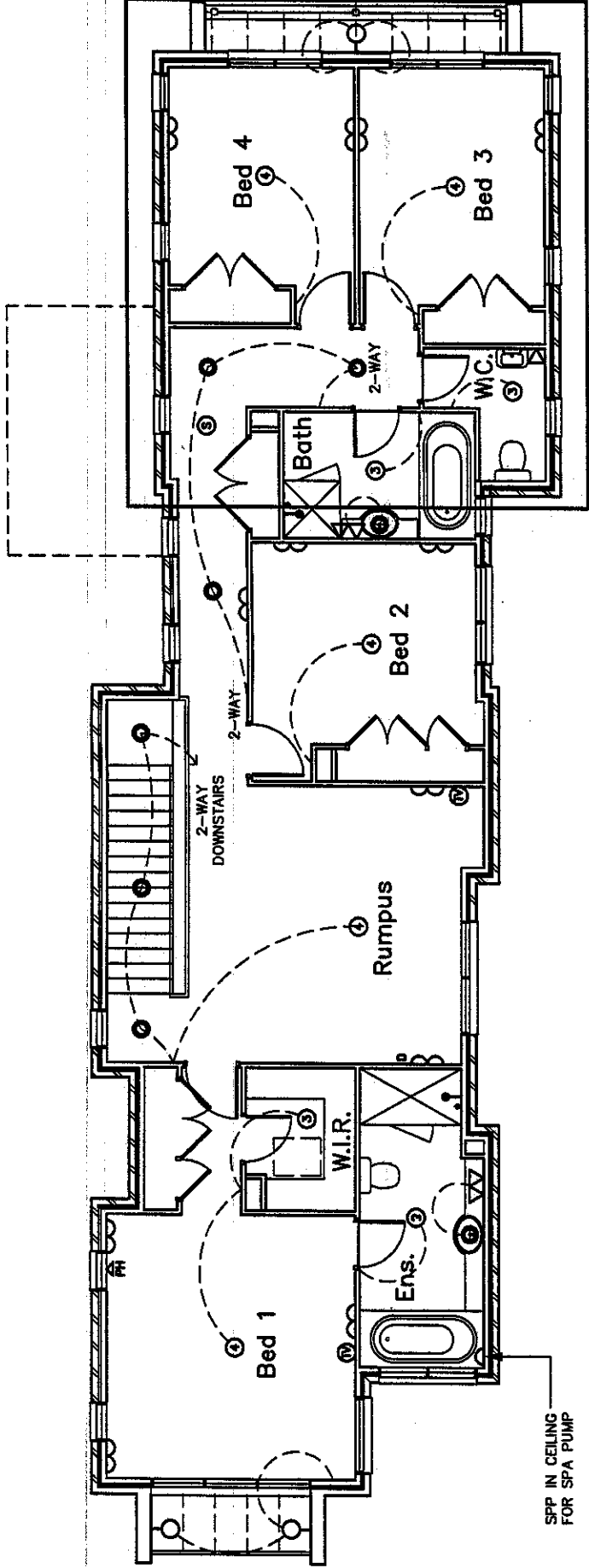
ISSUE	CLIENT
A	CPG DEVELOPMENTS
	SITE
	LOT 3
	SHEARWATER DRIVE
	WARRIEWOOD VALLEY

DRAWN: SRP(SC)	DATE: 12.12.03
SCALE: 1:100	CPG 87-1D=L3

HOUSE TYPE	GA	ISSUE
COLOUR SCHEME	MULCH/AGATE	A
SHEET NO.	13/16	

Electrical Legend:

△	SINGLE GENERAL PURPOSE OUTLET 1040 HIGH	⊙	W/A OUTLET
△△	DOUBLE GENERAL PURPOSE OUTLET 1040 HIGH	⊕	EXHAUST FAN
△	SINGLE GENERAL PURPOSE OUTLET 200 HIGH	⊖	TELEVISION POINT
∞	DOUBLE GENERAL PURPOSE OUTLET 200 HIGH	⊙	DOWN LIGHT
○	CEILING LIGHT OUTLET	⊗	CEILING FAN
○	WALL MOUNTED BATTERY	⊕	SMOKE DETECTOR
⊕	400mm ØVAL FITTING	⊖	DOUBLE FLUORESCENT LIGHT
⊕	300mm ØVAL FITTING	⊖	SPA PUMP POSITION
⊕	WATER PROOF G.P.A.	⊕	AIR CON. THERMOSTAT
△	SINGLE GENERAL PURPOSE OUTLET 1800 HIGH	⊖	ALARM CONTROL PANEL
△	SINGLE GENERAL PURPOSE OUTLET 2000 HIGH	⊕	PHONE POINT
⊕	WEATHERPROOF LIGHT	⊖	RETURN AIR
⊕	DATA POINT	⊖	INTERCOM POINT

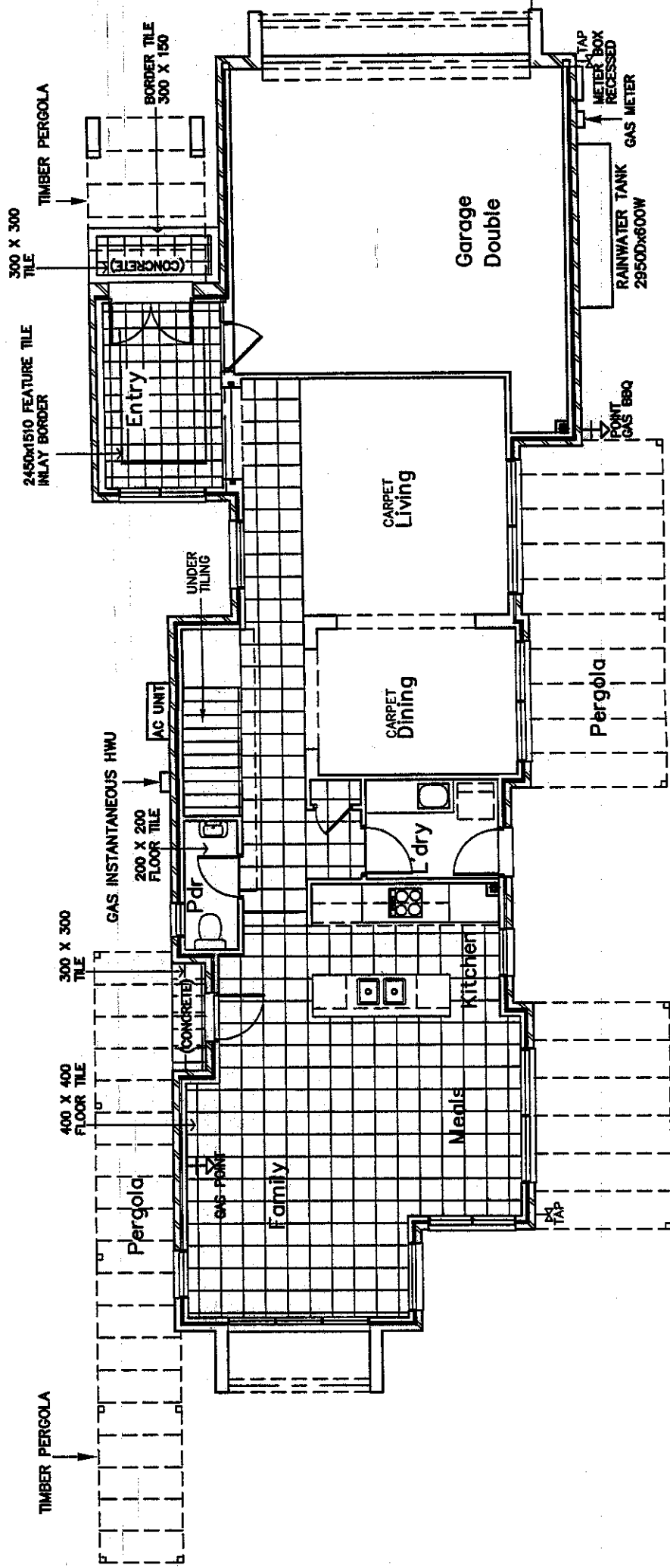


FIRST FLOOR ELECTRICAL

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						SITE		COLOUR SCHEME: MULCH/AGATE	SHEET NO. 14/16
						LOT 3 SHEARWATER DRIVE WARRIEWOOD VALLEY			

NOTE:
- SHEET WALLS TO UNDER STAIRS
- PROVIDE SKIRTING UNDER STAIRS
- PAINT UNDER STAIRS
- WEATHER STRIPS TO EXTERNAL DOORS.

③ SMOKE DETECTOR



TILING PLAN

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HOMES PTY LTD

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DRAWN	DATE	REVISION	ISSUE	CLIENT
SC	12.12.03	TENDER PLANS	A	CPG DEVELOPMENTS
				SITE
				LOT 3
				SHEARWATER DRIVE
				WARRIEWOOD VALLEY

HOUSE TYPE	GA	ISSUE	A
COLOUR SCHEME	MULCH/AGATE	SHEET NO.	16/16

DRAWN: SRP(SC) DATE: 12.12.03
SCALE: 1:100 GPG-87-1D-L3

COUNCIL COPY

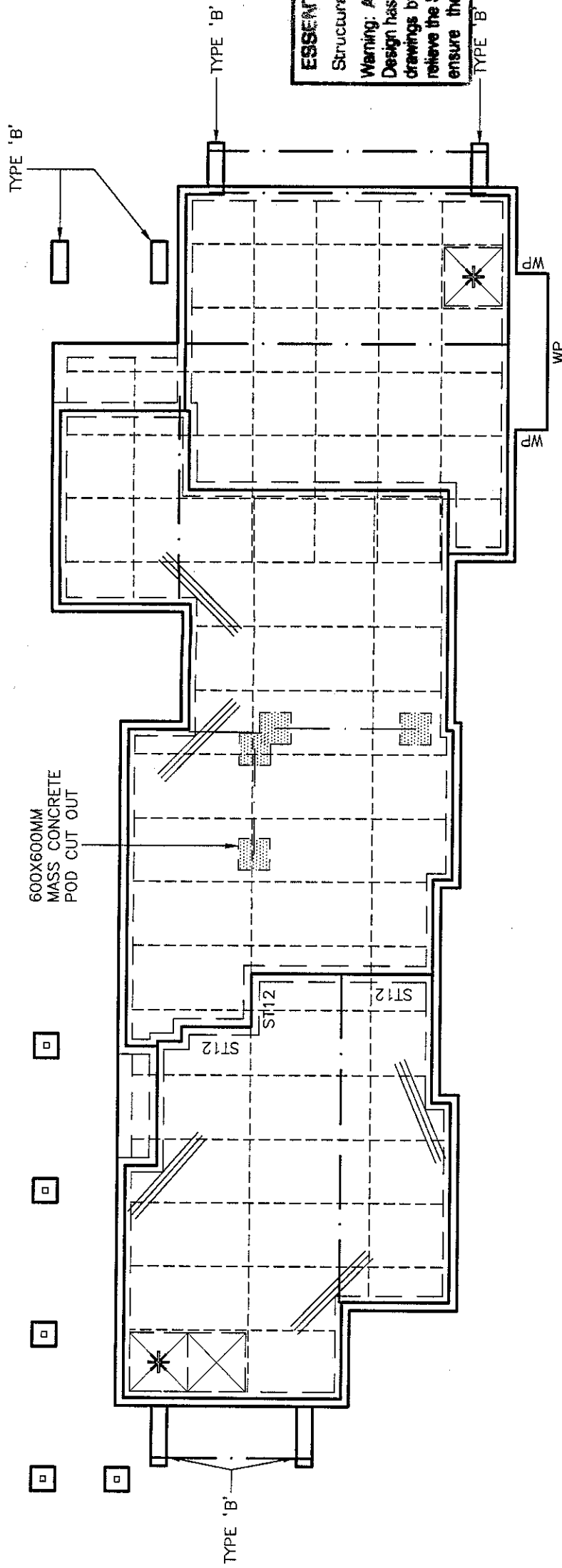
LEGEND

*
START POD
LOCATION

1100 X 1100MM
STANDARD POD

3-Y12 TRIMMERS
2000MM LONG

CENTRE LINE
OF RIB

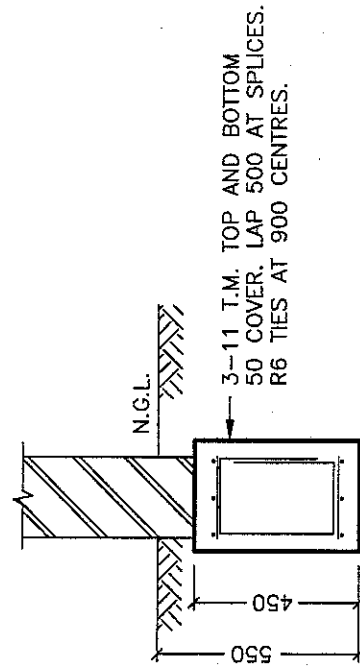


ESSENTIAL CERTIFIERS CASTLE HILL
Structural Details C.C. No: 04/3721
Warning: A comprehensive check of the Structural Design has not been carried out & the approval of this drawings by Essential Certifiers Castle Hill does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

450 X 450 X 450MM DEEP MASS
CONCRETE PIERS TO BEAR
ON FIRM NATURAL GROUND
MIN. BEARING 250 kPa

PLAN ON FLOOR SLAB

SLAB 85MM THICK
F72 FABRIC TOP



TYPE B FOOTING BEAM

NOTE FOR BRICK JOINTS
THIS SLAB IS DESIGNED FOR ARTICULATED MASONRY VENEER TYPE CONSTRUCTION AND ARTICULATION JOINTS ARE TO BE PROVIDED AS PER THE B.C.A. 1996 VOL.2 CLAUSE 3.3.1.8 VERTICAL ARTICULATION JOINTS

SCALE 1:100 (DIMENSIONS ARE APPROX.)

CLASSIFICATION 'M'

CIVIL PROJECTS (AUST) PTY. LTD.				APPROVED BY:				DRAWN BY:		G.K.		REVISION	
CONSULTING CIVIL & STRUCTURAL ENGINEERS				<i>A.W. McCarthy</i> A.W. MCCARTHY B.Sc.(Eng), M.I.E.Aust N.P.E.R., C.P.Eng.				1:100 1:20		26/2/04			
Shop 1/19 Jonathan Street Greystanes 2145													
Ph: 9896 5494 Fax: 9636 1064								DRAWING No.		SHEET No.			
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				WARRIEWOOD VALLEY									

NOTES:

SITE CLASSIFICATION

1. THE SITE HAS BEEN CLASSIFIED BY CIVIL PROJECTS (AUST) PTY. LTD. IN ACCORDANCE WITH THE PROVISIONS OF AS2870-1996. RESIDENTIAL SLABS AND FOOTINGS. THE DOCUMENTS HAVE BEEN PREPARED USING THE ABOVE CODE ON THE BASIS OF A CLASS 'M' CLASSIFICATION, HOWEVER, THE SOIL TYPE AND SITE CONDITIONS WILL BE CHECKED BY THIS FIRM PRIOR TO THE PLACEMENT OF CONCRETE.

SITE PREPARATION AND DRAINAGE

1. STRIP TOPSOIL AND VEGETATION 100mm MINIMUM DEPTH AND STOCKPILE.
2. THE SITE IS TO BE BENCHMARKED BY CUT AND FILL TO DESIRED LEVELS. FILL IS TO BE PLACED IN 150mm MAXIMUM LAYERS AND THOROUGHLY COMPACTED USING THE EXCAVATOR. UNLESS THE FILL IS COMPACTED IN ACCORDANCE WITH CL. 6.4.2 OF AS 2870 IT IS NOT ADEQUATE TO PROVIDE LONG TERM STRUCTURAL SUPPORT TO THE SLAB/FOOTING SYSTEM AND THEREFORE, PIERS MUST BE INSTALLED. ALTERNATIVELY, THE FILL CAN BE PLACED, TESTED AND CERTIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER AS "CONTROLLED FILL", AS DEFINED IN AS 3798, THIS IS THEN DEEMED TO BE ADEQUATE TO SUPPORT THE SLAB/FOOTING SYSTEM.
3. THE FILL IS TO EXTEND PAST THE EDGE OF THE HOUSE BY AT LEAST ONE METRE AND SHALL BE BATTERED OFF AT NOT STEEPER THAN TWO HORIZONTALLY TO ONE VERTICALLY OR RETAINED BY A SUITABLE STRUCTURE PROVIDED BY THE OWNER OR BUILDER AS SOON AS POSSIBLE.
4. THE FINISHED LEVELS SHALL ALLOW FOR THE MAIN SLAB LEVEL TO BE AT LEAST 300mm ABOVE THE ADJACENT GROUND. SURFACE DRAINAGE SHALL BE PROVIDED AS REQUIRED TO AVOID THE POSSIBILITY OF WATER PONDING NEAR THE SLAB. A FALL OF 50mm OVER A DISTANCE OF ONE METRE AWAY FROM THE SLAB IS CONSIDERED ADEQUATE. SUBSOIL DRAINS (AGRICULTURAL DRAINS) ARE CONSIDERED DESIRABLE BUT SHOULD BE AVOIDED BEING LOCATED DIRECTLY ADJACENT TO THE FOOTINGS.
5. TRENCH EXCAVATIONS FOR SERVICES OR AGRICULTURAL DRAINS PARALLEL TO THE EDGE OF THE SLAB SHALL NOT EXTEND BELOW A LINE DRAWN AT 45 DEGREES TO THE HORIZONTAL FOR CLAY AND 30 DEGREES FOR SAND FROM THE BOTTOM EDGE OF THE BEAM OR FROM THE BASE OF BORED OR BULK PIERS.

PIERS

1. IF PIER LOCATIONS ARE NOT SHOWN ON THE PLAN, THEN ALL EDGE BEAMS AND THOSE INTERNAL BEAMS SHOWN SHADED THAT DO NOT BEAR ON FIRM UNIFORM NATURAL GROUND OF 100kPa MINIMUM BEARING CAPACITY ARE TO BE PIERED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE.

STRATA	PIER DIA. 'mm'	MAXIMUM PIER CENTRES 'm'		MIN. BEARING CAPACITY 'kPa'
		DOUBLE STOREY	SINGLE STOREY	
CLAY	400	1.6	2.1	250
CLAY	450 (400 if pier	1.6	3.6	250
ROCK/SHALE	300 depth > 3.0m)	2.4	3.6	600

2. IT SHOULD BE NOTED THAT IF ANY OF THE FOOTING BEAMS ENCOUNTER ROCK OR SHALE, THE ALL ALL FOOTING BEAMS AND LOAD BEARING SPINE BEAMS SHALL BE PIERED TO ROCK OR SHALE OR IF PARTIALLY PIERED TO ROCK OR SHALE BRICK JOINTS ARE TO BE PROVIDED AT THE ROCK/NON ROCK INTERFACE.
3. PIERING TO STRATA OTHER THAN ROCK OR SHALE MAY BE DELETED FROM THE CUT AREA OF THE BUILDING PLATFORM IF AUTHORISED BY THE ENGINEER.
4. ALL PIERS ARE TO BE CLEAN AND DEWATERED PRIOR TO PLACEMENT OF CONCRETE.
5. CONCRETE IN PIERS TO BE STRENGTH GRADE N15.

FOOTINGS AND FLOOR SLAB

1. SAND NOT GREATER THAN 50mm THICK IS TO BE PLACED AS A LEVELLING LAYER AND WELL WATERED DOWN. A 0.2mm THICK VAPOUR BARRIER IS TO BE PLACED OVER THE SAND. LAPS SHALL BE 200mm AT JOINTS AND ALL JOINTS AND PLUMBING PENETRATIONS SHALL BE TAPED.
2. IF SLAB FABRIC IS USED IT IS TO BE LAPPED ONE FULL SQUARE PLUS 25mm AT SPLICES AND PLACED ON CHAIRS AT ONE METRE CENTRES BOTH WAYS TO GIVE 20mm CLEAR TOP COVER TO SHELTERED LOCATIONS AND 40mm CLEAR TOP COVER TO VERANDAHS.
3. BAR REINFORCEMENT IS TO BE TIED BENEATH THE FABRIC IF USED OR OTHERWISE PLACED ON BAR CHAIRS AND LAPPED AS FOLLOWS:
a) Y12-450mm
b) Y16-600mm
4. a) PIPE PENETRATIONS IN THE EDGE AND SPINE BEAMS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE DETAILS.
b) WHERE FABRIC IS CUT TO PERMIT PENETRATION OF PIPES A 600mm x 600mm PIECE OF FABRIC IS TO BE SPICED OVER THE PENETRATION.
5. SUBTERRANEAN TERMITE PROTECTION IS TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3660.1 1995.
6. CONCRETE TO BE STRENGTH GRADE N20 WITH A 20mm MAXIMUM AGGREGATE SIZE AND AND 80mm MAXIMUM SLUMP.

CONTROL OF PLASTIC SHRINKAGE CRACKING AND SLAB MAINTENANCE

1. CONCRETE PLACING, VIBRATING AND CURING MUST BE CARRIED OUT IN ACCORDANCE WITH AS 3600.
2. WATER IS NOT TO ADDED TO THE CONCRETE ON SITE SO AS TO INCREASE THE SLUMP ABOVE THAT SPECIFIED.
3. IT IS RECOMMENDED THAT AN APPROVED CURING COMPOUND BE APPLIED TO THE SLAB IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
4. CAUTION SHOULD BE EXERCISED WHEN APPLYING BRITTLE FINISHES, SUCH AS CERAMIC TILES TO THE FLOOR SLAB. AN ISOLATING MORTAR BED OR AN APPROVED FLEXIBLE ADHESIVE SYSTEM IS RECOMMENDED.
5. THE OWNERS ATTENTION SHALL BE DRAWN TO APPENDIX 'A' - PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE OF AS 2870 AND CSIRO PUBLICATION 'GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL TO BE PREPARED AND COATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.
2. IF GALINTEL 'T' BARS ARE SPECIFIED, THEY ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

ESSENTIAL CERTIFIERS CASTLE HILL

Structural Details C.C. No. 04/5721

Warning: A comprehensive check of the Structural design has not been carried out & the approval of the drawings by Essential Certifiers Castle Hill does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

CIVIL PROJECTS (AUST) PTY. LTD.

CONSULTING CIVIL & STRUCTURAL ENGINEERS

Shop 1/19 Jonathan Street Greystanes 2145

Ph: 9896 5494 Fax: 9636 1064

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DRAWN DATE DESCRIPTION

REVISION

CLIENT: CPG DEVELOPMENTS

SITE ADDRESS:

LOT 3

SHEARWATER DRIVE

WARRIEWOOD VALLEY

APPROVED BY:

AW McCarthy

A.W. MCCARTHY
B.Sc.(Eng), M.I.E.Aust N.P.E.R. , C.P.Eng.

DRAWN BY:

G.K.

26/2/04

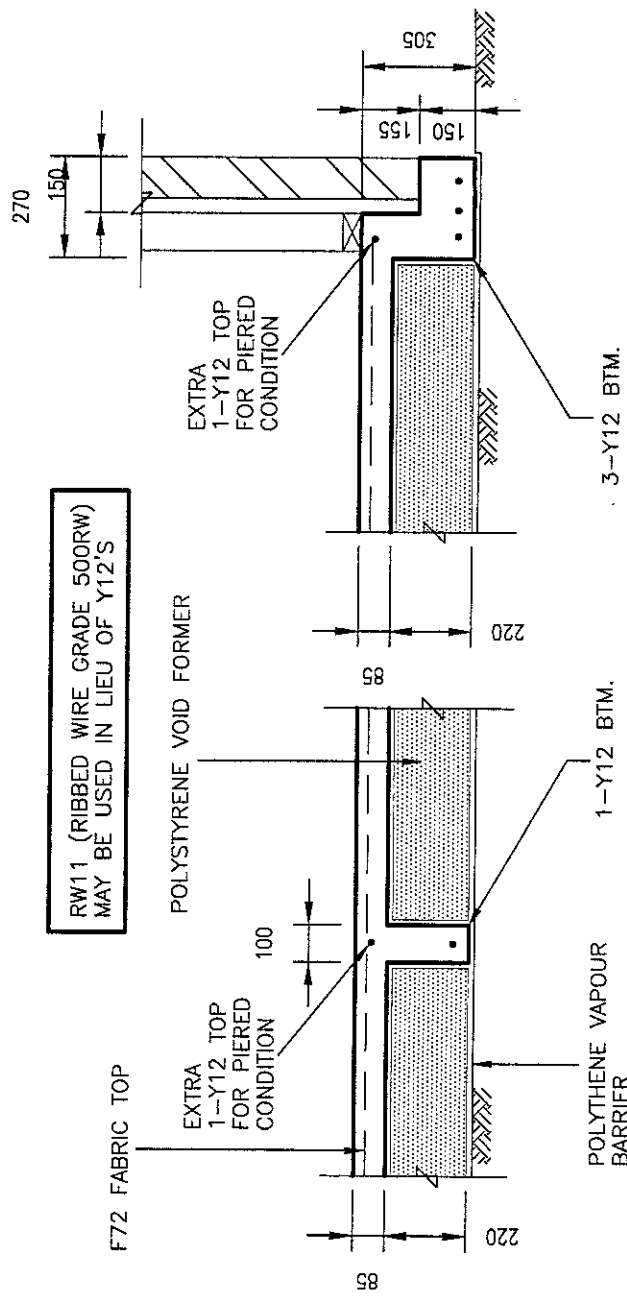
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DM011

REVISION

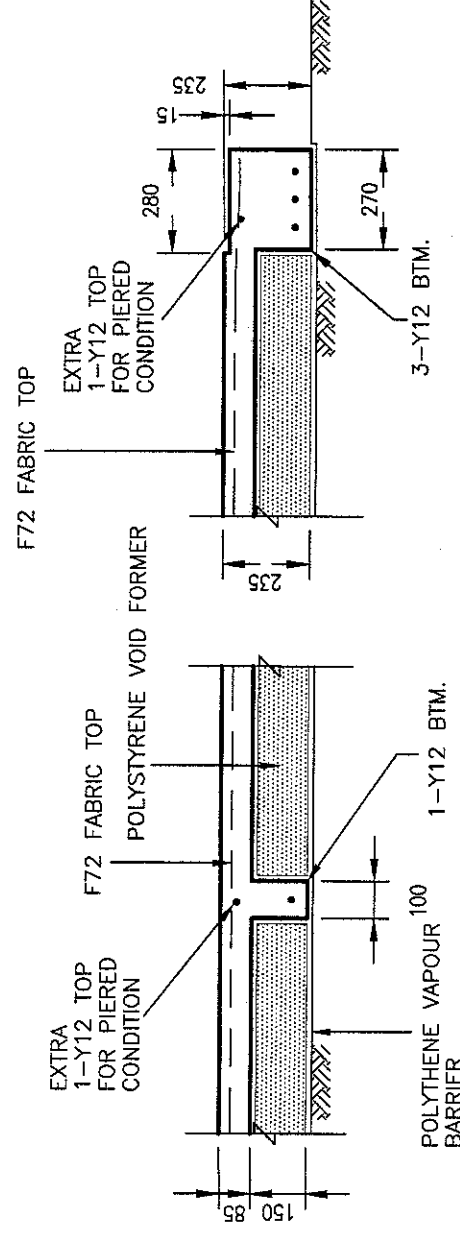
SHEET No.

2/9



TYPICAL INTERNAL RIB

TYPICAL EDGE BEAM



INTERNAL RIB
(GARAGE - TYPICAL U.N.O.)

TYPICAL GARAGE EDGE BEAM
(AT GARAGE DOOR OPENINGS)

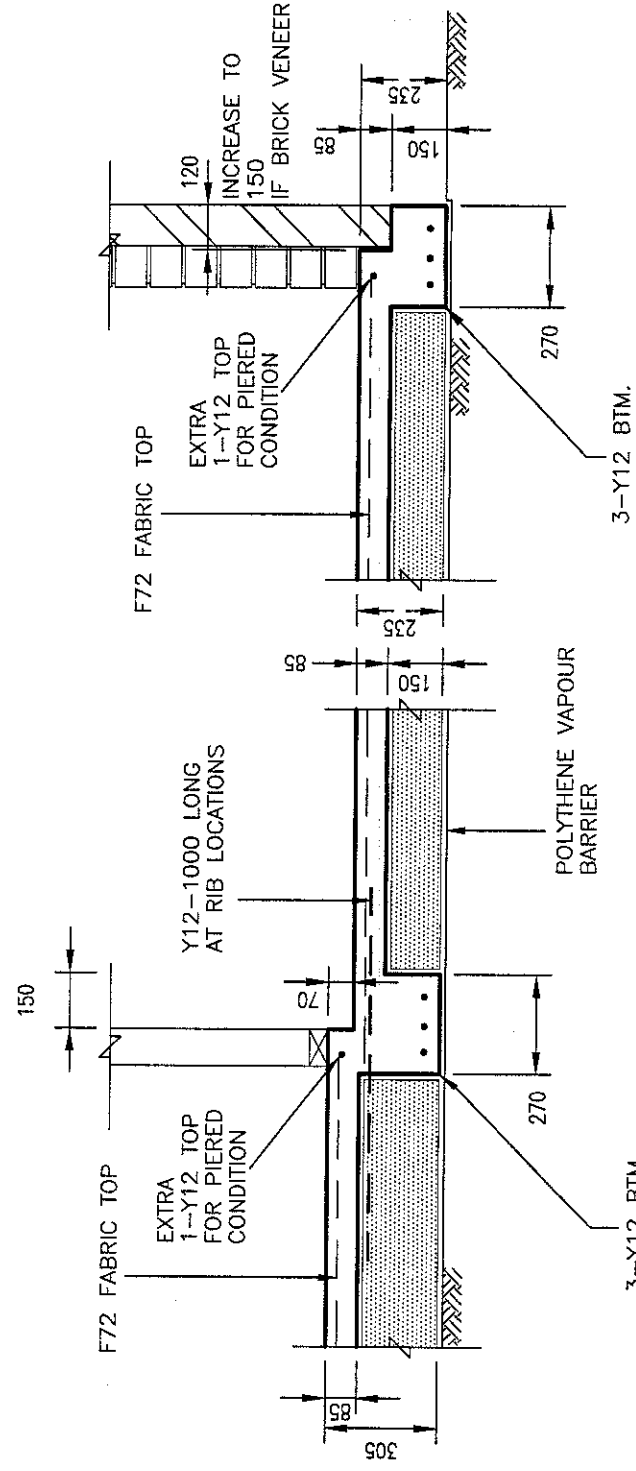
ESSENTIAL CERTIFIERS CASTLE HILL
Structural Details C.C. No. 04/3721

We have carried out a comprehensive check of the Structural Details and have found them to be in accordance with the requirements of the Australian Standard AS 3600-1988. We are not responsible for the adequacy of the design of the Engineer of their responsibility.

F72 FABRIC TOP

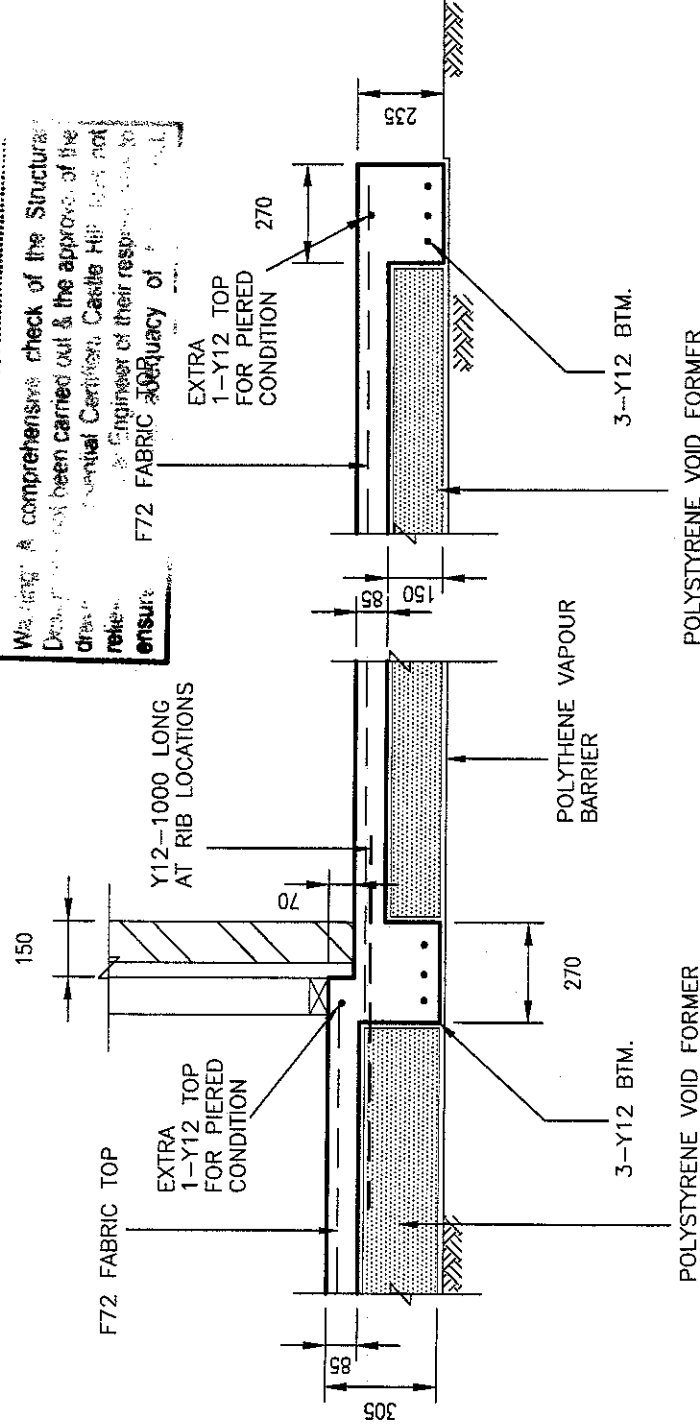
EXTRA 1-Y12 TOP FOR PIERCED CONDITION

3-Y12 BTM.



GARAGE STEP DETAIL

TYPICAL GARAGE EDGE BEAM



TYPICAL PATIO STEP RIB

TYPICAL PATIO EDGE BEAM

CIVIL PROJECTS (AUST) PTY. LTD.
CONSULTING CIVIL & STRUCTURAL ENGINEERS
Shop 1/19 Jonathan Street Greystanes 2145
Ph: 9896 5494 Fax: 9636 1064

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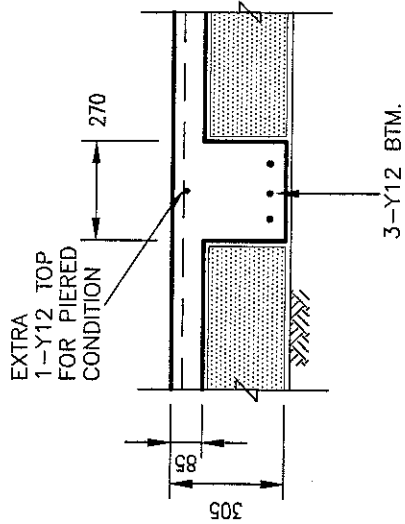
CLIENT: **CPG DEVELOPMENTS**
SITE ADDRESS: **LOT 3 SHEARWATER DRIVE WARRIEWOOD VALLEY**

APPROVED BY: *AW McCarthy*
A.W. MCCARTHY
B.Sc.(Eng), M.I.E.Aust N.P.E.R., C.P.Eng.

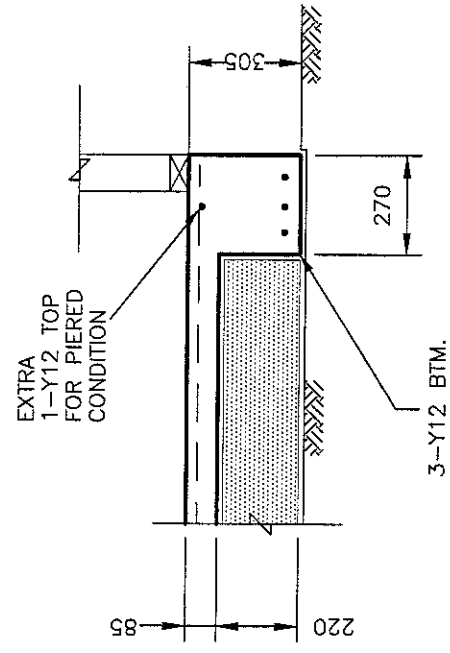
DRAWN BY: **G.K.**
1:20 1:25
28/2/04

DRAWING No. **DM011**

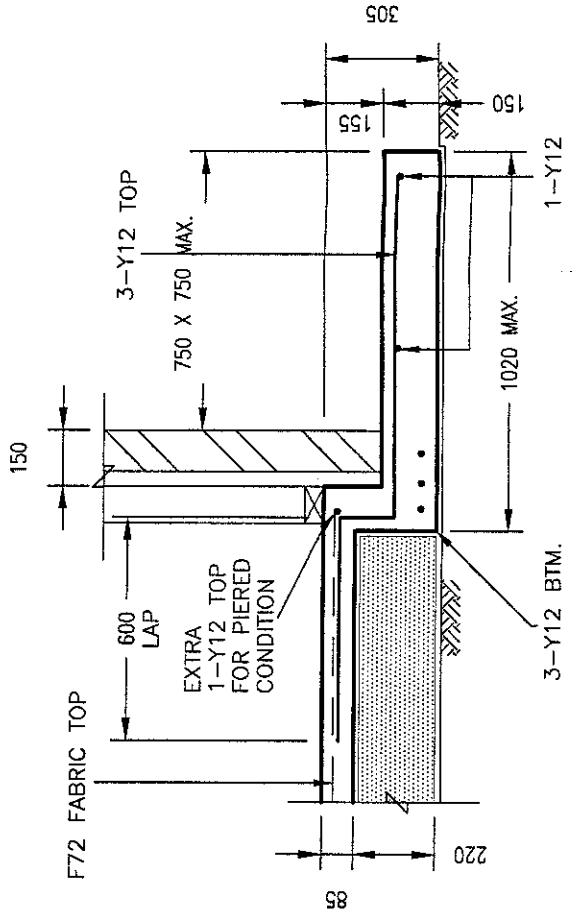
SHEET No. **3/9**



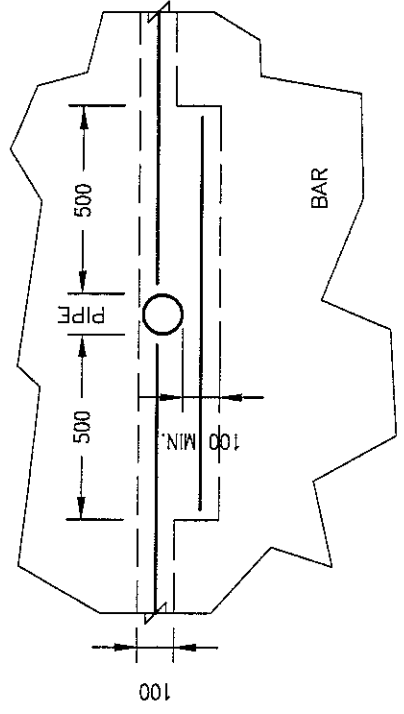
TYPICAL INTERNAL BEAM



EDGE BEAM EB3



WATER HEATER PAD & RAINWATER TANK SLAB WP



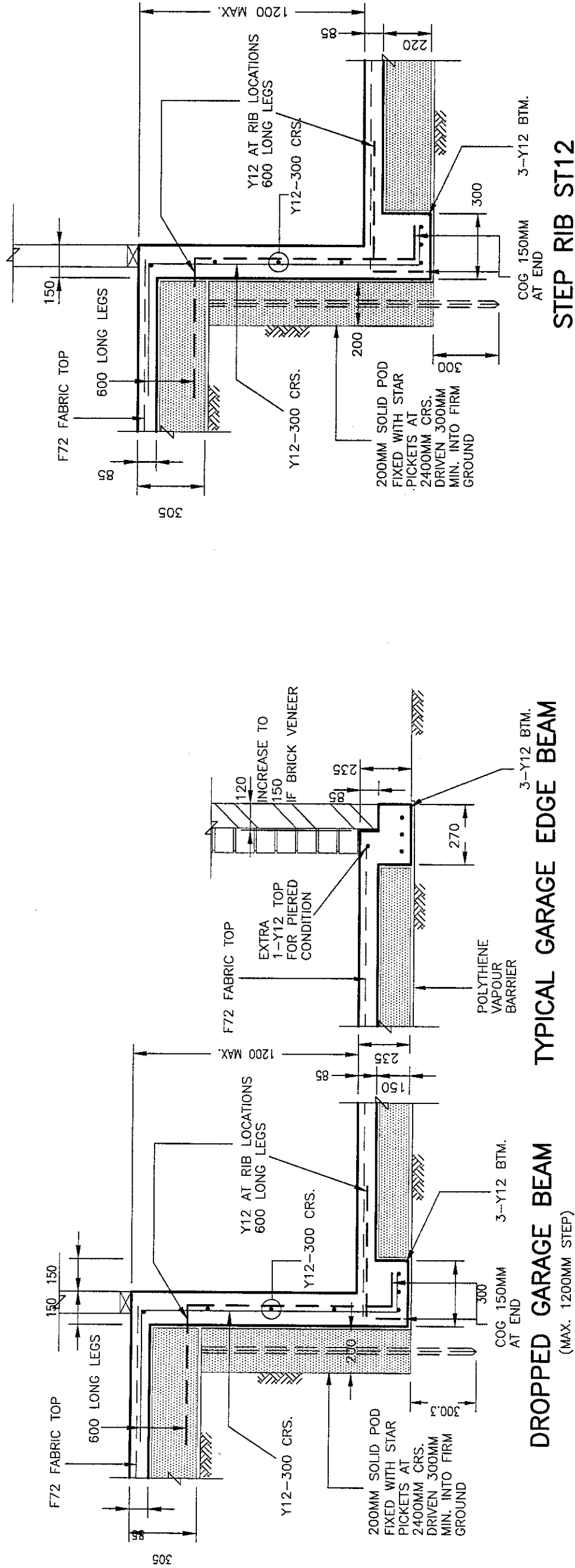
PLAN ON DRAINAGE PIPE THROUGH RIB

ESSENTIAL CERTIFIERS CASTLE HILL
 Structural Details C.C. No. 04/3721
 Warning: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers Castle Hill does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

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DRAWN	DATE	DESCRIPTION	REVISION	CLIENT
				CPG DEVELOPMENTS
				SITE ADDRESS:
				LOT 3
				SHEARWATER DRIVE
				WARRIEWOOD VALLEY

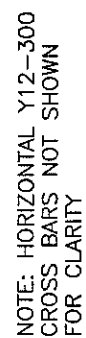
APPROVED BY:	DRAWN BY:	G.K.	REVISION
<i>M. McCarthy</i>	1:20 1:25	26/2/04	
A.W. MCCARTHY B.Sc.(Eng), M.I.E.Aust N.P.E.R., C.P.Eng.	DRAWING No.	DM011	SHEET No.
			4/9



ESSENTIAL CERTIFIERS CASTLE HILL
Structural Details C.C. No. 04/3721

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					CPG DEVELOPMENTS		1:20 1:25	26/2/04	
					SITE ADDRESS:	<i>M. McCarthy</i>	DRAWING No.		SHEET No.
					LOT 3 SHEARWATER DRIVE WARRIEWOOD VALLEY	A.W. MCCARTHY B.Sc.(Eng), M.I.E.Aust N.P.E.R., C.P.Eng.		DM011	5/9



ESSENTIAL CERTIFIERS CASTLE HILL
Structural Details C.C. No. **04/3721**
Warning: A comprehensive check of the structural Design has not been carried out with the approval of the drawings by Essential Casters. Castle Hill does not relieve the Structure of their responsibility to ensure the structural adequacy of the project.

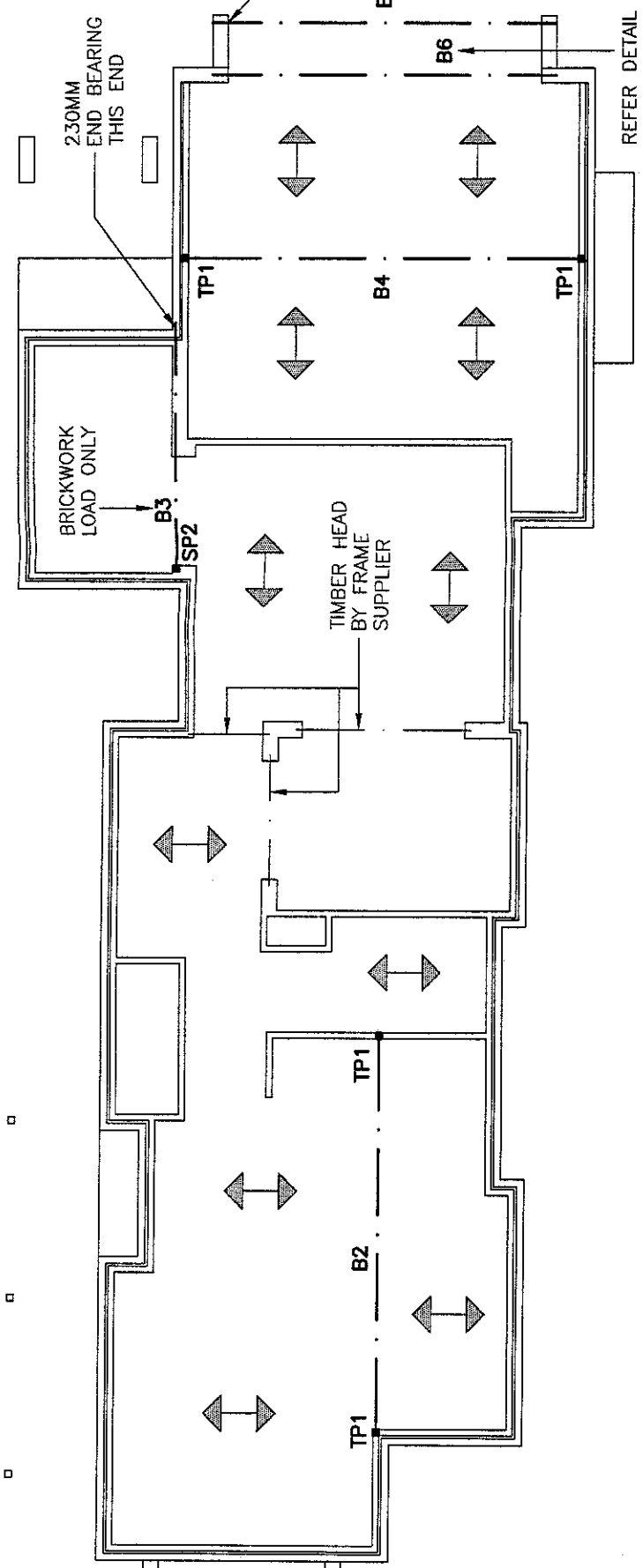
ELEVATION ON FOOTING TRANSITION

SECTION CUT

TYPICAL EDGE BEAM STEPDOWN

CIVIL PROJECTS (AUST) PTY. LTD. CONSULTING CIVIL & STRUCTURAL ENGINEERS Shop 1/19 Jonathan Street Greystanes 2145 Ph: 9896 5494 Fax: 9636 1064	DRAWN	DATE	DESCRIPTION	REVISION	CLIENT:	APPROVED BY:	DRAWN BY:	G.K.	REVISION
					CPG DEVELOPMENTS	<i>Muller Carthy</i>	1:20	1:25	26/2/04
					SITE ADDRESS:				
					LOT 3				SHEET No.
					SHEARWATER DRIVE WARRIEWOOD VALLEY	A.W. MCCARTHY B.Sc.(Eng), M.I.E.Aust N.P.E.R., C.P. Eng.		DM011	6/9

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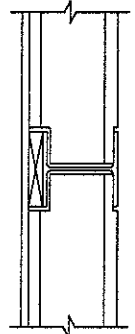


FLOOR JOIST
DIRECTION
BY BUILDING

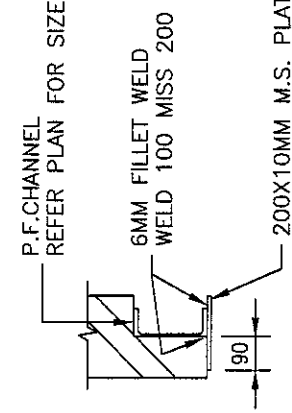
STEEL BEAM SCHEDULE

MARK No.	SIZE
B1	FABRICATED 'T' BAR 200 x 10MM WEB / 200 x 8MM FLANGE
B2	200UC46
B3	150 x 100 x 10mm RSA
B4	200UC46
B5	FABRICATED 'T' BAR 200 x 10MM WEB / 200 x 8MM FLANGE
B6	250 PFC + 200 x 10MM PLATE
TP1	140 x 90 (HW) POST F17
SP2	75 x 75 x 4.0 SHS

SECTION B2 & B4



SECTION B1 & B5



DETAIL 'AL'

TYPICAL STEEL
POST DETAIL

SCALE 1:100 (DIMENSIONS ARE APPROX.)

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DRAWN	DATE	DESCRIPTION	REVISION	CLIENT:
				CPG DEVELOPMENTS
				SITE ADDRESS:
				LOT 3
				SHEARWATER DRIVE
				WARRIEWOOD VALLEY

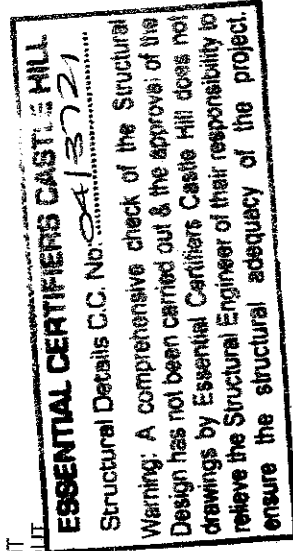
APPROVED BY: 	DRAWN BY:	G.K.	REVISION
	1:100 1:20	26/2/04	
	DRAWING No.		SHEET No.

A.W. MCCARTHY
 B.Sc.(Eng) MILE Aust
 N.P.E.R. C.P.Eng.

DM011

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COMPLYING COMPONENT CERTIFICATE

THIS HYDRAULIC DETAIL PLAN COMPILED BY OUR OFFICE
DETAILING THE STORMWATER DESIGN FOR THE ABOVE MENTIONED SITE
COMPLIES WITH THE OBJECTIVES OF THE COUNCIL'S STORMWATER POLICY

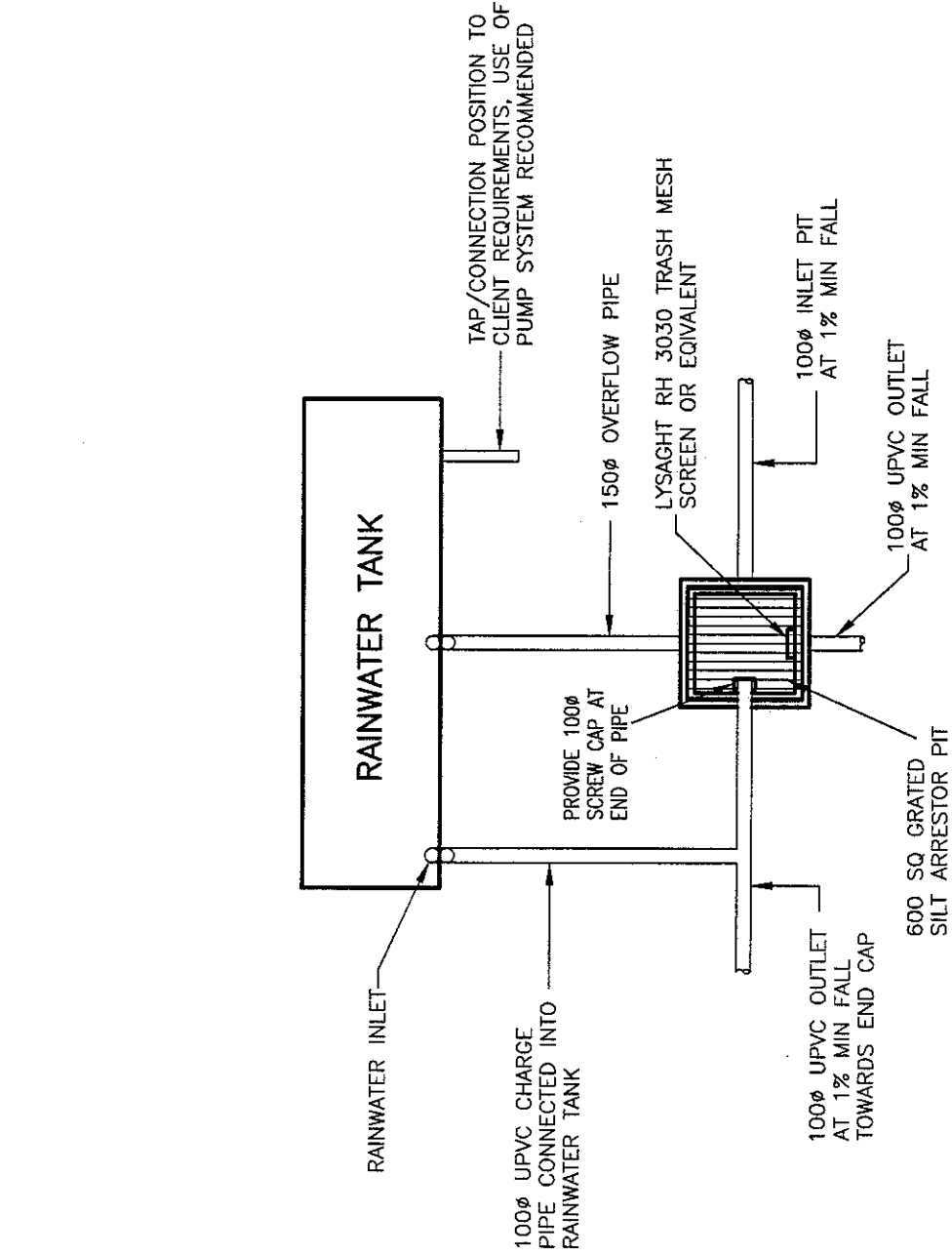
I ARTHUR MCCARTHY CERTIFY THAT THE ABOVE CONDITION'S HAVE BEEN COMPLIED WITH

SIGNATURE William Carthy DATED 1/3/04

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CONSULTING CIVIL & STRUCTURAL ENGINEERS
Shop 1/19 Jonathan Street Greystones 2145

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DRAWN	DATE	DESCRIPTION	REVISION	CLIENT:	APPROVED BY:	DRAWN BY:	G.K.	REVISION	
				CPG DEVELOPMENTS	<i>William Carthy</i>		26/2/04		
				SITE ADDRESS:					
				LOT 3					
				SHEARWATER DRIVE					
				WARRIEWOOD VALLEY					
					A.W. McCARTHY B.Sc.(Eng), M.I.E.Aust	DM011		8/9	
								SHEET No.	



0 200mm THICK COARSE AGGREGATE BED

NOTES:

ALL STORMWATER PIPES TO BE 100Ø
UPVC AT 1% MIN GRADE UNLESS NOTED OTHERWISE.

ALL SURFACE RUN OFF TO BE DIRECTED
TOWARDS SUMPS BY SITE REGRADE.

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DRAWN	DATE	DESCRIPTION	REVISION	CLIENT:	APPROVED BY:	DRAWN BY:	G.K.	REVISION	
				CPG DEVELOPMENTS	 A.W. MCCARTHY B.Sc. (Eng), M.I.E.Aust N.P.E.R., C.P.Eng.				
				SITE ADDRESS:				26/2/04	
				LOT 3					
				SHEARWATER DRIVE					
				WARRIEWOOD VALLEY					
						DRAWING No.		SHEET No.	
						DM011		9/9	