



Environmental Compliance
8am to 5:30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

21 September 2011

Ms Donna Rogley
72 Cabbage Tree Road
BAYVIEW NSW 2104

Dear Ms Rogley

Re: Construction Certificate CC0324/11
Property: 72 CABBAGE TREE ROAD BAYVIEW NSW 2104

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA).

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Yours faithfully
Development Compliance Group

Per:



PITTWATER COUNCIL

Construction Certificate No: CC0324/11

Site Details: **72 CABBAGE TREE ROAD BAYVIEW NSW 2104**

Legal Description: **Lot 6 DP 620238**

Type of Development: **Building Work**

Description: **Alterations and additions**

Associated Development Consent No: **N0232/11** Dated: **17 August 2011**

Building Code of Australia Certification: **Class 1a**

Details of plans, documents or Certificates to which this Certificate relates:

- **Architectural details prepared by Paul Gilmer, ref 67 Rev A, dated June 2011**
- **Specification of work and materials, signed 19 September 2011**
- **Schedule of External Colours**
- **Owner Builder's Permit 388177P, dated 7 September 2011**
- **Structural details prepared by John Matheson, job number 1115, drawing numbers S1 – S22, Rev A dated 31 August 2011**
- **BASIX Certificate A115952, dated 23 June 2011**
- **Section 139 Consent dated 12 September 2011**

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No: **N0232/11**

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979.

Kate Stoner
Development Compliance Group

21 September 2011
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



PITTWATER COUNCIL

Notification of Commencement & Principal Certifying Authority Service Agreement

under Environmental Planning and Assessment Act 1979
sections 81A (2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate. ☐

Payment of fees

- Critical Stage Inspection fees (refer to Part 6e of this form) must be paid at the time of booking the inspection.
- Issue of Interim/Final Occupation Certificate fee (refer to Part 6e of this form), must be paid prior to release of the certificate to the applicant.

Pittwater Council

Tel: (612) 9970 1111

Fax: (612) 9970 1200

Mona Vale Customer Service

Village Park, 1 Park Street
MONA VALE NSW 2103

Avalon Customer Service

59A Old Barrenjoey Road
AVALON NSW 2108

Mailing Address

PO Box 882
MONA VALE NSW 1660

1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No: N0232/11	Determination Date: 17 August 2011
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1b) CONSTRUCTION CERTIFICATE

Construction Certificate No: CC0324/11	Date of Issue: 21 September 2011
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1c) DEVELOPMENT DETAILS

Type of Work: ☐ New Building ☒ Additions / Alterations ☐ Subdivision	Brief description of development:
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1d) SITE DETAILS

Unit/Suite:	Street No: 72	Street: Cabbage Tree Road
Suburb: BAYVIEW		Lot No: 6 Deposit /Strata Plan: 620238

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address: 	Phone (H/B): Mobile: Email: Fax:

3. PRINCIPAL CERTIFYING AUTHORITY

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 1200

4. COMPLIANCE WITH DEVELOPMENT CONSENT

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If NO work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:

Phone:

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

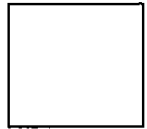
6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☒ Footing Inspection (prior to placement of concrete)
- ☒ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☒ Wet Area Waterproofing Inspection (prior to covering)
- ☒ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)



Office Use Only

Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form.

A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee must be paid at the time of requesting the inspection.

Fee Scale current to 30 June 2011

Critical Stage or other Inspection and re-inspections, including Final	\$265	(Code: HINR)
Issue of Interim Occupation Certificate	\$365	(Code: FOCC)
Issue of Final Occupation Certificate	\$365	(Code: FOCC)

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on **9970 1300**. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☐ Details of compliance with development consent conditions



Office Use Only

Office Use Only

7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.

Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

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- ☐ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
- ☐ Shoring and support for adjoining premises and structures by a structural engineer
- ☐ Contiguous piers or piling by a structural engineer
- ☐ Underpinning works by a structural engineer
- ☒ Structural engineering works by a structural engineer
- ☐ Retaining walls by a structural engineer
- ☐ Stormwater drainage works by a hydraulic engineer and surveyor
- ☐ Landscaping works by the landscaper
- ☐ Condition of trees by an Arborist
- ☐ Mechanical ventilation by a mechanical engineer
- ☒ Termite control and protection by a licensed pest controller
- ☒ Waterproofing of wet areas by a licensed waterproofer or licensed builder
- ☒ Installation of glazing by a licensed builder
- ☒ Installation of smoke alarm systems by a licensed electrician
- ☐ Completion of construction requirements in a bush fire prone area by a competent person
- ☒ Completion of requirements listed in the BASIX Certificate by a competent person
- ☐ Fire resisting construction systems by a competent person
- ☐ Smoke hazard management systems by a competent person
- ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
- ☐ Completion of Bushland Management requirements by a suitably qualified person.
- ☐ Installation of Waste Water Management System by a suitably qualified person
- ☐ Installation of the inclined lift by a suitably qualified person
- ☐ Installation of sound attenuation measures by an acoustic engineer



Office Use Only

7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. YOUR SIGNATURE

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. COUNCIL'S AGREEMENT TO APPOINTMENT

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed, Home Owners Warranty Insurance Certificate or Owner/Builders Permit or Statement has been provided where necessary and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

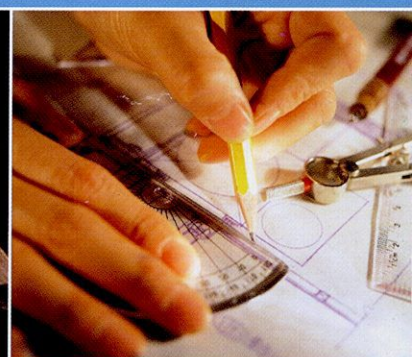
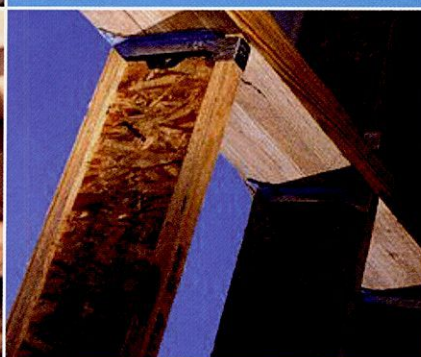
PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	



members
best in the business

General Housing Specifications



ADDRESS OF PROPERTY : 12 Cabbage Tree Road
Bayview

GENERAL HOUSING SPECIFICATIONS BETWEEN :

OWNER: Donna Rogley

AND

CONTRACTOR:

CONTRACTOR LICENCE NO: 388177P
OWNER BUILDER

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: <u>CC 0324/11</u>	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<u>[Signature]</u>
Date:	<u>21 SEP 2011</u>

**HIA GENERAL HOUSING SPECIFICATIONS - NSW
(INCORPORATING THE HIA GUIDE TO MATERIALS & WORKMANSHIP)
REVISED OCTOBER 2010**

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This is the Specification referred to in the *Contract*

No..... Date:.....

Owner 1

Name:	Donna Rogley		
Owner's Signature:	<i>[Signature]</i>	Date: 9.9.11	
Witness's name:	Anthony Burleigh	Witness's signature:	<i>[Signature]</i>

Owner 2

Name:			
Owner's Signature:		Date:	
Witness's name:		Witness's signature:	

owner
Builder

Name:	Nick Reaney		
Builder's Signature:	<i>[Signature]</i>	Date: 19.9.11	
Witness's name:	Anthony Burleigh	Witness's signature:	<i>[Signature]</i>

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**HIA GENERAL HOUSING SPECIFICATIONS - NSW
(INCORPORATING THE HIA GUIDE TO MATERIALS & WORKMANSHIP)
REVISED OCTOBER 2010**

1. INTRODUCTION

1.1 General

This Specification forms part of the *Contract* documents referred to in the building *Contract* and details the works to be executed and the materials to be used in carrying out those works at the site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the approved plans and other requirements under the *Contract*.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with the *Building Code of Australia (BCA)*, the relevant manufacturer's recommendations or *Engineer's Recommendations*.

1.2 Preliminary Use

This Specification forms part of the *Contract* and should be read in conjunction with the other contract documents.

1.3 Prevailing Documents

Where there is a difference between the plans and this Specification, this Specification will take precedence. The *Builder* must at all times maintain a legible copy of the plans and this Specification bearing the approval of the relevant *Local Authority*.

Otherwise to the extent of any conflict between documents, the order of precedence set out in the building contract shall apply.

1.4 Size and Dimensions

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

1.5 Prime Cost and Provisional Sum Items

Prime cost items and provisional sum items are listed in the Schedule of Works.

1.6 Definitions

In this Specification:

- "BCA" refers to the publication entitled Building Code of Australia Class 1 and Class 10 Buildings, Housing Provisions, Volume 2 published by the Australian Building Codes Board.
- "Engineer's Recommendations" includes any soil classification report, preliminary footing report, construction footing report and any other report, recommendation, site or other instruction, calculations or plans prepared by an engineer in respect of the works.
- Where the words "Local Authority" are mentioned they shall mean the local council, or other governing authority or private certifier with statutory responsibility for the compliance of the work performed.
- Where referred to in this Specification, "Regulations" shall mean the building *Regulations* and codes (including the *BCA*, as amended) statutorily enforceable at the time application is made for a construction certificate or other permits, consents or approvals relating to the *Contract*.
- The "*HIA Guide*" means the HIA Guide to Materials & Workmanship for Residential Building Work.

Unless the context suggests otherwise, terms used in this Specification shall have the same meaning as in the HIA Plain Language Building Contract between the *Owner* and the *Builder* ("*Contract*").

2. STATUTORY REQUIREMENTS

2.1 The Building Works

The building works shall be constructed in accordance with:

- the *Regulations* and in particular the Performance Requirements referred to in the *BCA*, Housing Provisions, Volume 2;
- any conditions imposed by the relevant development consent or complying development certificate; and
- commitments outlined in the relevant BASIX Certificate

in so far as the *Builder* is required in accordance with the Schedule of Works annexed to this Specification.

2.2 Compliance with Requirements of Authorities

The *Builder* is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the *Home Building Act 1989*.

2.3 Electricity

Where there is no existing building, the *Builder* is to make arrangements for any electrical power to be used in the construction of the building works and is to pay fees and costs incurred therein. The cost of providing and installing any additional poles, wiring, service risers or underground wiring etc., as may be required by the electricity supply authority, shall be borne by the *Owner*.

2.4 Sanitary Accommodation

Prior to the commencement of the building works, unless toilet facilities exist on the site, the *Builder* shall provide temporary toilet accommodation for the use of subcontractors. Where the *Local Authority* requires the temporary toilet to be connected to sewer mains, the additional cost of this work shall be borne by the *Owner*. On completion the *Builder* shall remove the convenience.

3. OWNER'S OBLIGATIONS

3.1 Engineer's Recommendations

If the *Contract* so indicates, the *Owner* shall, at the *Owner's* expense, provide the *Builder* with reports and recommendations (including soil classification) as to the foundations or footings requirements for the building works prepared by an engineer.

In these circumstances, if the *Builder* instructs any party to provide such recommendations, the *Builder* does so only as agent for the *Owner*.

3.2 Trades Persons Engaged by *Owner*

The *Owner* shall not engage or employ any tradesperson, trade-contractor or any other person to work on the site without the consent of the *Builder* whose consent may be subject to such terms and conditions as the *Builder* may stipulate.

3.3 Items Supplied by *Owner*

For all items referred to in this Specification to be supplied by the *Owner*, it is the responsibility of the *Owner* to arrange payment for delivery of and protection against damage and theft of all these items.

3.4 Water Supply

Where there is no existing building on the site, the *Owner* shall, at the *Owner's* expense, supply adequate water to the site for construction purposes. Unless otherwise specified, the *Builder* shall pay the standard water meter connection fee to the water supply authority provided this service is pre-laid to the site ready for use. The *Owner* shall be responsible for any fee to be paid in excess of the standard water meter connection fee.

3.5 Sanitation

Unless otherwise specified:

- the *Owner* shall, at the *Owner's* expense, supply sewerage connection riser or common effluent drainage connection riser on the site;
- the *Builder* shall pay the standard sewer connection fee to the sewerage supply authority provided this service is pre-laid to the site and ready for use; and.

- the *Owner* shall be responsible for any fee to be paid in excess of the standard sewer connection fee.

4. PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Subject to a contrary requirement under the *Contract*, the *Builder* shall lodge all necessary application notices, plans and details with the *Local Authority* for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence, the appropriate authority is to be consulted and any work carried out in accordance with the authority's requirements.

4.3 Setting Out

The *Builder* shall accurately set out the building works in accordance with the site plan and within the boundaries of the site.

5. EXCAVATIONS

5.1 Excavations

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan.

Top soil shall be cut to a depth sufficient to remove all vegetation.

Excavations for all footings shall be in accordance with the *Engineer's Recommendations* or the *BCA* requirements.

6. FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with the *BCA*.

6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with the *BCA*.

6.3 Vapour Barrier

The vapour barrier installed under slab-on-ground construction shall be 0.2 mm nominal thickness, high impact resistance polyethylene film installed in accordance with the *BCA*.

6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with the *Engineer's Recommendations* and the *BCA*.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

6.5 Concrete

Structural concrete shall not be less than Grade N20 except where otherwise approved by the engineer and in accordance with the *BCA*.

Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on site and available for inspection by the engineer.

Concrete shall be placed and compacted in accordance with good building practice and referenced standards in the *BCA*.

6.6 Curing

All concrete slabs shall be cured in accordance with AS 3600.

6.7 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the engineer or the *Local Authority*.

NOTE: Bench levels and floor levels on the site works plan shall be regarded as nominal, unless specified otherwise.

6.8 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the *Engineer's Recommendations*.

6.9 Foundation Walls

On footings as previously specified, brick walls are to be built to the thickness shown on plan to level underside of floor bearers or plates.

6.10 Sub-Floor Ventilation

Where required, adequate cross ventilation will be provided to the space under suspended ground floor. Construction is to meet the requirements of the *BCA*. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

6.11 Sub-Floor Access

If required, access will be provided under suspended floors in position where indicated on plan.

7. RETAINING WALLS

7.1 Retaining Walls

Where the *Builder* is required by the Schedule of Works annexed to this Specification, the *Builder* shall construct retaining walls as shown on the approved plans. Where a retaining wall is not included in the Schedule of Works, the construction of the retaining wall shall be the responsibility of the *Owner*.

8. EFFLUENT DISPOSAL/DRAINAGE

8.1 Effluent Disposal/Drainage

In both sewered and unsewered areas:

- (a) bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate shall be fitted to shower recess in positions shown on plan (refer to Schedule of Works); and
- (b) waste pipes with traps shall be provided to the above fittings and connected to the drainage system.

The whole of the work is to be performed in accordance with the rules and requirements of the sewerage authority concerned.

8.2 Septic System

The *Builder* will provide and install a septic system where applicable to the requirements of the *Local Authority* and in accordance with the manufacturer's recommendations.

8.3 Storm Water Drainage

Stormwater drainage shall be carried out in accordance with the *BCA*.

The *Builder* will allow for the supplying and laying of stormwater drains where shown on the site plan

9. TIMBER FRAMING

9.1 Generally

All timber framework sizes, spans, spacing, notching, checking and fixing to all floor, wall and roof structures shall comply with the *BCA* or AS 1684. Alternative structural framing shall be to structural engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown, are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

9.3 Wall Framing

Plates may be trenched to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. The width of the wall cavity shall comply with the BCA. The *Builder* will provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. The Builder will tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1350 mm centres over the height of the wall. Bottom plates shall be fixed to the floor structure in accordance with AS 1684.

9.4 Heads Over Opening (Lintels)

All sizes, stress grades and bearing areas shall conform to AS 1684. Heads exceeding 175 mm in depth shall be seasoned or a low shrinkage timber species will be used. Plywood web lintels conforming to the requirements of the Plywood Association of Australia may be used. Glue laminated beams conforming to AS 1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

Bracing units shall be determined and installed in accordance with AS 1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.

9.7 Flooring

Floor joists will be covered with strip or sheet flooring as shown on plan with particular regard to ground clearance and installation in wet areas as required by the BCA. Thickness of the flooring is to be appropriate for the floor joist spacing.

Strip and sheet flooring shall be installed in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan. The *Builder* will provide tie-down as required for the appropriate design, wind speed and roof covering. The *Builder* will provide all rafters, ridges, hips, valleys, purlins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations and shall meet the requirements of AS 1684.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes, unless otherwise specified. Posts shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the site.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists. Where installed in the roof space the storage tank shall be fitted with an appropriate spill tray and overflow drain pipe.

Where a hot water storage tank is supported by the roof structure the structure shall be specifically designed to support all imposed loads

10. STEEL FRAMING

10.1 Generally

Steel floor, wall or roof framing shall be installed in accordance with the manufacturer's recommendations and the *BCA*.

11. ROOFING

All roof cladding is to comply with the relevant structural performance and weathering requirements of the *BCA* and be installed as per the manufacturer's recommendations.

11.1 Tiled Roofing

The *Builder* will cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for the appropriate design and wind speed) to battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. The *Builder* will cover hips and ridges with capping and all necessary accessories including starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration as far as practicable. As roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Metal Roofing

The *Builder* will provide and install a metal roof together with accessories all in accordance with the manufacturer's recommendations.

Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be strictly in accordance with the manufacturer's recommendations as required for the appropriate design and wind speed. Incompatible materials shall not be used for flashings, fasteners or downpipes.

11.3 Gutters and Downpipes

Gutters and downpipes shall be manufactured and installed in accordance with the *BCA*. Gutters and downpipes are to be compatible with other materials used.

11.4 Sarking

Sarking under roof coverings must comply with and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's recommendations.

11.6 Flashing

Flashings shall comply with, and be installed in accordance with the *BCA*.

12. MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS 3700 and the *BCA*. Clay bricks are a natural kiln fired product and as such their individual size may vary.

Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with AS 3700. Concrete blockwork shall be constructed in accordance with the *BCA*.

Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with the *BCA* and Clause 1.0.10. The damp proof membrane shall be visible in the external face of the masonry member in which it is placed and shall not be bridged by any applied coatings, render or the like.

12.4 Cavity Ventilation (Weepholes)

Open vertical joints (weepholes) must be created in the course immediately above any DPC or flashing at centres not exceeding 1.2m and must be in accordance with the *BCA*.

12.5 Mortar and Joining

Mortar shall comply with the *BCA*. Joint tolerances shall be in accordance with AS 3700.

12.6 Masonry Accessories

Masonry accessories shall comply with the *BCA* and accepted building practices. Wall ties are to meet the corrosion resistant rating appropriate for the exposure conditions of the site. The *Builder* will provide appropriate ties to articulated joints in masonry.

12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose as required by the *BCA*. The *Builder* will provide one lintel to each wall leaf. The *Builder* will provide corrosion protection in accordance with the *BCA* Part 3.4.4 as appropriate for the site environment and location of the lintels in the structure.

12.8 Cleaning

The *Builder* will clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13. CLADDING AND LININGS

13.1 External Claddings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

Where required in open verandas, porches and eaves soffits, material indicated on the plans shall be installed.

13.2 Internal Wall and Ceilings Linings

The *Builder* will provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets are to have recessed edges and will be a minimum of 10mm thick. Internal angles in walls from floor to ceiling are to be set. Suitable cornice moulds shall be fixed at the junction of all walls and ceilings or the joint set as required. The lining of wet area walls shall be constructed in accordance with the *BCA*. Wet area lining is to be fixed in accordance with the manufacturer's recommendations.

The ceiling access hole shall be of similar material to the adjacent ceiling.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms are to be waterproofed in accordance with the *BCA*.

14 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.

14.2 Door Frames

External door frames shall be a minimum of 32 mm thick solid rebated 12 mm deep to receive doors. Internal jamb linings shall be a minimum of 18 mm thick fit with 12 mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

14.3 Doors and Doorsets

All internal and external timber door and door sets shall be installed in accordance with accepted building practices. Unless listed otherwise in the Schedule of Works, doors and door sets shall be manufactured in accordance with AS 2688 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and doors shall be manufactured and installed in accordance with AS 2047.

Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS 2047.

All glazing shall comply with the *BCA* and any commitments outlined in the relevant BASIX Certificate

14.5 Architraves and Skirting

The *Builder* will provide architraves and skirting as nominated on the plans or listed in the Schedule of Works.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.

14.7 Stairs, Balustrades and other Barriers

The *Builder* will provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per the *BCA*.

15. SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the relevant supply authority and AS 3500. The work is to be carried out by a licensed plumber.

Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's recommendations. Fittings, hot water systems and any rainwater harvesting facilities shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.

15.2 Electrical

The *Builder* will provide all labour and materials necessary for the proper installation of the electricity service by a licensed electrician in accordance with AS/NZS 3000 and the requirements of the relevant supply authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority.

15.4 Smoke Detectors

The *Builder* will provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on the plans and in accordance with the *BCA*.

15.5 Thermal Insulation

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the *BCA* or as outlined in the relevant BASIX Certificate.

16. TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's recommendations.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.1, manufacturer's recommendations or accepted building practices.

Where practicable, spacing between tiles should be even and regular. The *Builder* will provide expansion joints where necessary. All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions to be filled with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice. As tiles are made of natural products a slight variation in colour is acceptable.

16.3 Walls

The *Builder* will cover wall surfaces where indicated on the drawings with selected tiles. Tiles are to be fixed to the wall substrate with adhesives compatible with the substrate material. The *Builder* will provide all required strips, vent tiles and recess fittings.

16.4 Floors

The *Builder* will lay selected floor tiles in sand and cement mortar, or adhesive compatible with the substrate material, to areas indicated on the drawings. Where required, the *Builder* will fit approved edge strips or metal angle to exposed edges in doorways or hobless showers in wet areas in accordance with the *BCA*. The *Builder* will provide adequate and even fall to wastes where required.

17. PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as listed in the Schedule of Works or other relevant contract document. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

18. WORKMANSHIP STANDARDS AND TOLERANCES

18.1 General

These general specifications incorporate the *HIA Guide*. By agreeing to these specifications, the *Owner* agrees that he/she has been provided a copy and has had the opportunity to read the *HIA Guide*.

The *HIA Guide* is to be used by the *Builder* and *Owner* as a point of reference for information on workmanship standards and tolerances, and amongst things, in deciding whether an alleged defect exists and/or whether the materials used and/or workmanship are in accordance with the plans and specifications.

The parties agree to use the *HIA Guide* in precedence over any other non legislated guide to standards and tolerances.

ANNEXURE

Schedule of Works



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order your contracts online at:
www.hia.com.au



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ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Nicholas Rogley
PO Box 173
MONA VALE NSW 1660

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit : 388177P
Receipt: 1-1214975219

Issued : 07/09/2011
Amount: \$154.00

BUILDING SITE

72 Cabbage Tree Rd, BAYVIEW, NSW 2104 AUSTRALIA

AUTHORISED BUILDING WORK

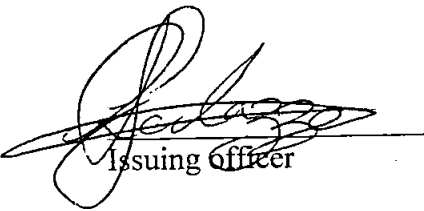
Second storey addition timber cladding.

Authority No : DA-232/11
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00


Issuing Officer

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC0324/11	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	21 SEP 2011

***** END OF PERMIT *****



Registered Training Organisation, 90732

in partnership with



Statement of Attainment

This is to certify that

Nicholas Matthew Rogley

has been assessed as having fulfilled the following requirements for

Course in Owner Builder Compliance

NTIS Course Code: 91509NSW

Chief Executive Officer

M Johnson

The Statement of Attainment is recognised within
The Australian Qualifications Framework
and is issued Under the authority of the
NSW Vocational Education and Training Act 2005.

Level 1, Unit 7, 4 Brunker Road, Chullora NSW 2190
Phone 02 9708 5980 – Fax 02 9708 5801
www.scrf.com.au
ABN 75 084 533 317

Date: 07th September 2011
Certificate No. 000659



NATIONALLY RECOGNISED
TRAINING

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC0324/11

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

Endorsed by: *TS*

Date: 21 SEP 2011

Ross McWhirter, Project Leader – Road Reserve Management
8am to 4:30pm Mon - Fri
Phone 9970 1207 Mobile 0419 629 007

12 September 2011

Donna Rogley
72 Cabbage Tree Road
BAYVIEW NSW 2104

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC0324/11
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<i>[Signature]</i>
Date:	21 SEP 2011

Dear Madam,

Re: SECTION 139 CONSENT (*Roads Act 1993*) – 72 Cabbage Tree Road, Bayview

Council grants the applicant(s), Donna Rogley, consent to construct a driveway crossing at 72 Cabbage Tree Road, Bayview.

This Section 139 Consent is granted, subject to the following conditions: -

1. The Applicant(s) shall, at all times, keep indemnified Council from and against all actions, suits, proceedings, losses, costs, damages, changes, claims and demands in any way arising out of or by reason of anything done or omitted to be done by the Applicant(s) in respect of the work in question.
2. The Applicant(s), at all times for the duration of this Consent, will not interrupt or otherwise disturb traffic or pedestrian flow in the public road without first obtaining the consent of Council. Lighting, fencing, traffic control and advanced warning signs shall be provided for the protection of the works and for the safety and convenience of the public and others during the currency of the works.
3. In the event that the driveway construction requires the use of a mobile concrete pump in the road reserve, separate approval must be obtained from Council for that activity. Form No. UI313 (*Application to Stand Construction Plant on a Public Road Reserve*) must be lodged with the applicable fees.
4. The Applicant(s) shall be responsible for the cost of all service and utility adjustments associated with the construction of the driveway. Contact "Dial Before You Dig" (1100) at least two working days before the works are due to start for information on the location of underground pipes and cables.
5. A formwork and steel reinforcement inspection by Council is required prior to construction (provide minimum 24 hours notice).
6. The Applicant(s) shall make good any damage caused to the property of any person or any property of Council by reason of the carrying out of any work by the Applicant(s) under the Conditions of this Consent.

7. Should the Applicant(s) fail to comply with any of these conditions or any requirement of Council as provided, then this Consent shall permanently lapse and any part of the work remaining within the road at that time shall be deemed to be an obstruction or encroachment under *Section 107* of the *Roads Act 1993*.
8. This Consent receipt must be held on the job and produced to any Officer of Council when called upon.
9. The Applicant(s) shall accept all responsibility for public safety during the construction of the works.
10. Compliance with the conditions of Development Consent N0232/11 that relate to the road reserve.
11. A FINAL INSPECTION OF THE COMPLETED WORK IS REQUIRED.

Yours faithfully

Ross McWhirter

PROJECT LEADER – ROAD RESERVE MANAGEMENT

Enclosures: - Information for Access Driveway Profiles

- *Driveway profile (N)*
- *List of Council Authorised Concrete Contractors for Vehicle Footpath Crossings and Associated Works.*



To: Compliance Allocation/Pittwater Council,
Cc:
Bcc:
Subject: Fw: Specifications of colours on 72 Cabbage Tree Road, Bayview CCO32411

Please register email into ECM.

Thanks,

Andy Caponas

— Forwarded by Andrew Caponas/Pittwater Council on 15/09/2011 02:36 PM —

From: "Nick Rogley" <nick@northloan.com.au>
To: <andrew_caponas@pittwater.nsw.gov.au>
Date: 15/09/2011 09:49 AM
Subject: Specifications of colours on 72 Cabbage Tree Road, Bayview CCO32411

Hi Andrew,

Please find the colour specifications:

- Roof: Colorbond 'monument'
- Gutters: Colorbond 'monument'
- Fascia: Colorbond 'monument'
- Under eaves: White
- Windows: Colorbond 'shale grey'
- External walls: Dulux 'exposed elements'

Kind Regards,

Nick Rogley

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PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CCO324/11
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by:
Date: 21 SEP 2011

20th June 2011

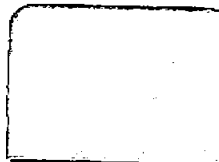
Pittwater Council.
PO. Box 882
MONA VALE NSW 1660

RE: **COLOUR SCHEMES**

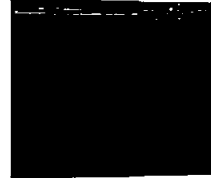
PROJECT: **ALTERATIONS & ADDITIONS**

ADDRESS: **72 Cabbage Tree Road, BAYVIEW.**

External walls



Metal roof etc

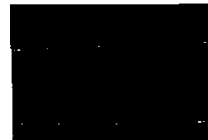


Aluminium window & ext. doors

Fascias etc



Gutters & barges



Mrs D. Rogley.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC 0324/11
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: 
Date: 21 SEP 2011

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A115952

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director General
Date of issue Thursday 23 June 2011



Description of project

Project address	
Project name	0809_Gillmer_72CabbageTreeRd
Street address	72 Cabbage Tree Road Bayview 2104
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 620238
Lot number	6
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa)

page 1 / 7

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE
Number: CC0324/11
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.
Endorsed by: 
Date: 21 SEP 2011

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water				
The applicant must install the following hot water system in the development gas instantaneous		✓	✓	✓
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent compact fluorescent or light-emitting-diode (LED) lamps			✓	✓
Water				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating			✓	

Construction

Show on
DA PlansShow on
CC/CDC
Plans &
specsCertifier
Check

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists

Construction	Additional insulation required (R-value)	Other specifications	✓	✓	✓
concrete slab on ground floor	nil				
suspended floor with enclosed subfloor framed (R0 7)	R0 60 (down) (or R1 30 including construction)				
external wall framed (weatherboard, fibro, metal clad)	R1 30 (or R1 70 including construction)				
internal wall shared with garage plasterboard (R0 36)	nil				
flat ceiling, pitched roof	ceiling R1 95 (up), roof foil backed blanket (55 mm)	medium (solar absorptance 0 475 - 0 70)			
raked ceiling, pitched/skillion roof framed	ceiling R2 24 (up), roof foil backed blanket (55 mm)	medium (solar absorptance 0 475 - 0 70)			

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below
Relevant overshadowing specifications must be satisfied for each window and glazed door

The following requirements must also be satisfied in relation to each window and glazed door

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions

Each window or glazed door with improved frames, or pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions The description is provided for information only Alternative systems with complying U-value and SHGC may be substituted

For projections described in millimetres, the leading edge of each eave pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window The spacing between battens must not be more than 50 mm

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	S	1	0	0	none	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W2	W	3.76	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W3	W	6.75	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)

Department of Planning

|| 0809_01 || prepared by Deneb Design ABSA No 20758 || @ 23.06.2011 ||

Building Sustainability Index www.basix.nsw.gov.au

Glazing requirements

Show on
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Check

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W4	W	5.9	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W5	N	18.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W6	E	5.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W7	N	1.85	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W8	E	3.3	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W9	N	5.5	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W10	S	2.56	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W11	W	3.22	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W12	W	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W13	N	6.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W14	N	6.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W15	E	3	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W16	E	1.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D1	S	2.04	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
D2	N	7.25	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
D3	E	9.31	0	0	eave/verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)

The applicant must install the skylights in accordance with the specifications listed in the table below

The following requirements must also be satisfied in relation to each skylight

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.92	no shading	timber, low-E internal/argon fill/clear external, (or U-value 2.5, SHGC 0.456)
S2	0.92	no shading	timber, low-E internal/argon fill/clear external (or U-value 2.5, SHGC 0.456)
S3	0.92	no shading	timber low-E internal/argon fill/clear external (or U-value 2.5, SHGC 0.456)

Legend

In these commitments, "applicant" means the person carrying out the development

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued

J.M.A.

2/1767 Pittwater Road
Mona Vale NSW 2103
PO Box 1061
Mona Vale NSW 1660

Ph (02) 9979 6618
Fax (02) 9999 0121
Email: jma.eng@
bigpond.net.au

JOHN MATHESON & Associates PTY LTD
Consulting Civil & Structural Engineers
ACN 061 846 795
ABN 49 061 846 795

JM110901

1st September 2011

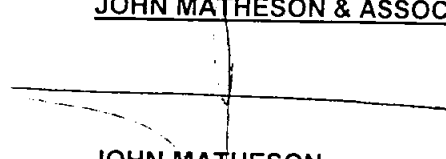
TO WHOM IT MAY CONCERN

RE: JOB NUMBER 1115
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING,
72 CABBAGE TREE ROAD, BAYVIEW: - STRUCTURE DESIGN CERTIFICATION

We hereby certify that the design and documentation of the reinforced concrete footings & ground slab and the timber and steel framed structure was carried out by this firm in accordance with normal practice and principles and Australian Standards AS1684, AS4055, AS3600, AS3700 & AS4100.

The referenced documentation is drawings 1115 S1-A through S22-A inclusive and the General Notes.

Yours faithfully,
JOHN MATHESON & ASSOCIATES PTY. LTD.


JOHN MATHESON
BE (HONS II), MIEAust CP Eng NPER

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Endorsed by: 
Date: 21 SEP 2011

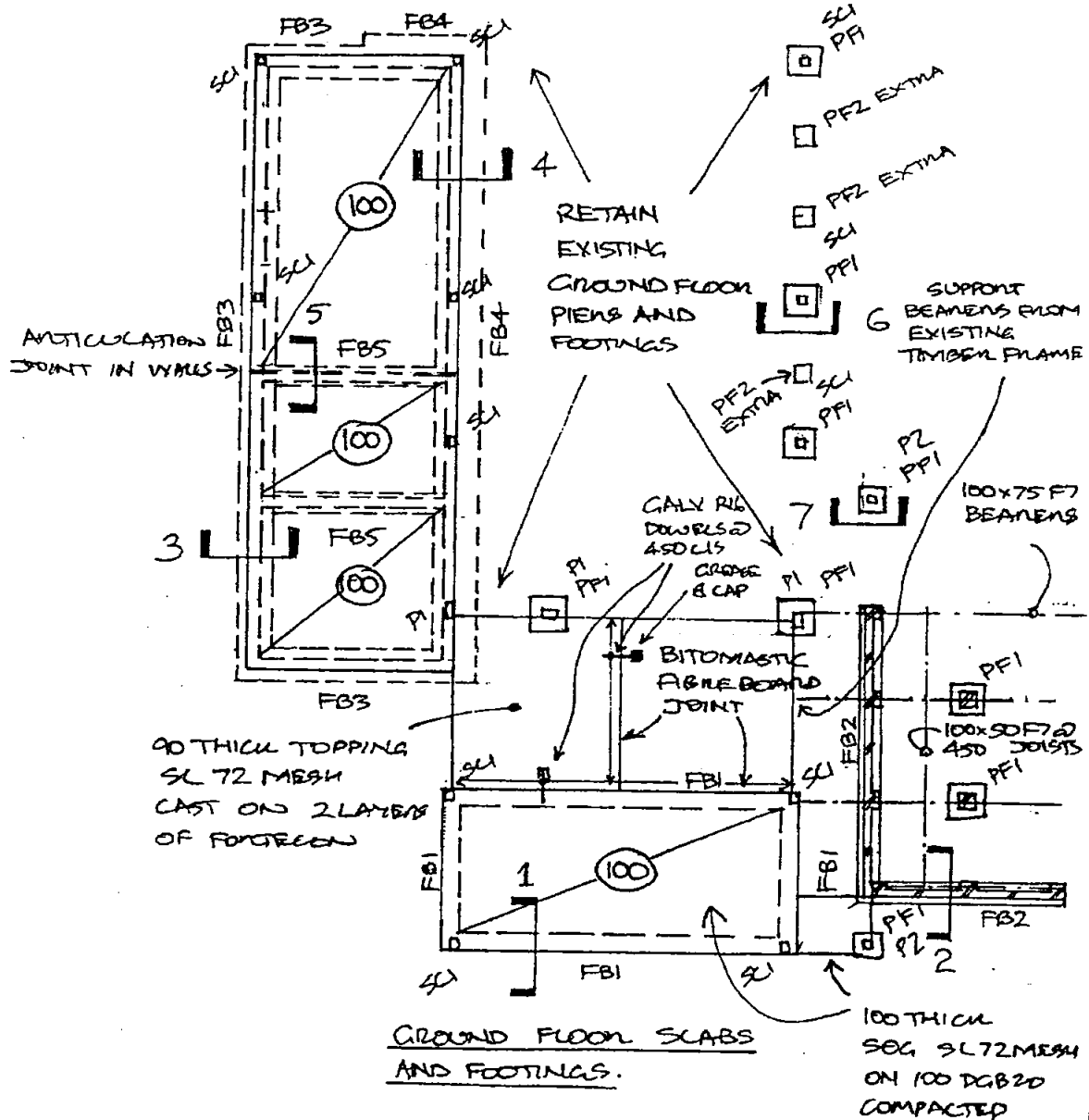
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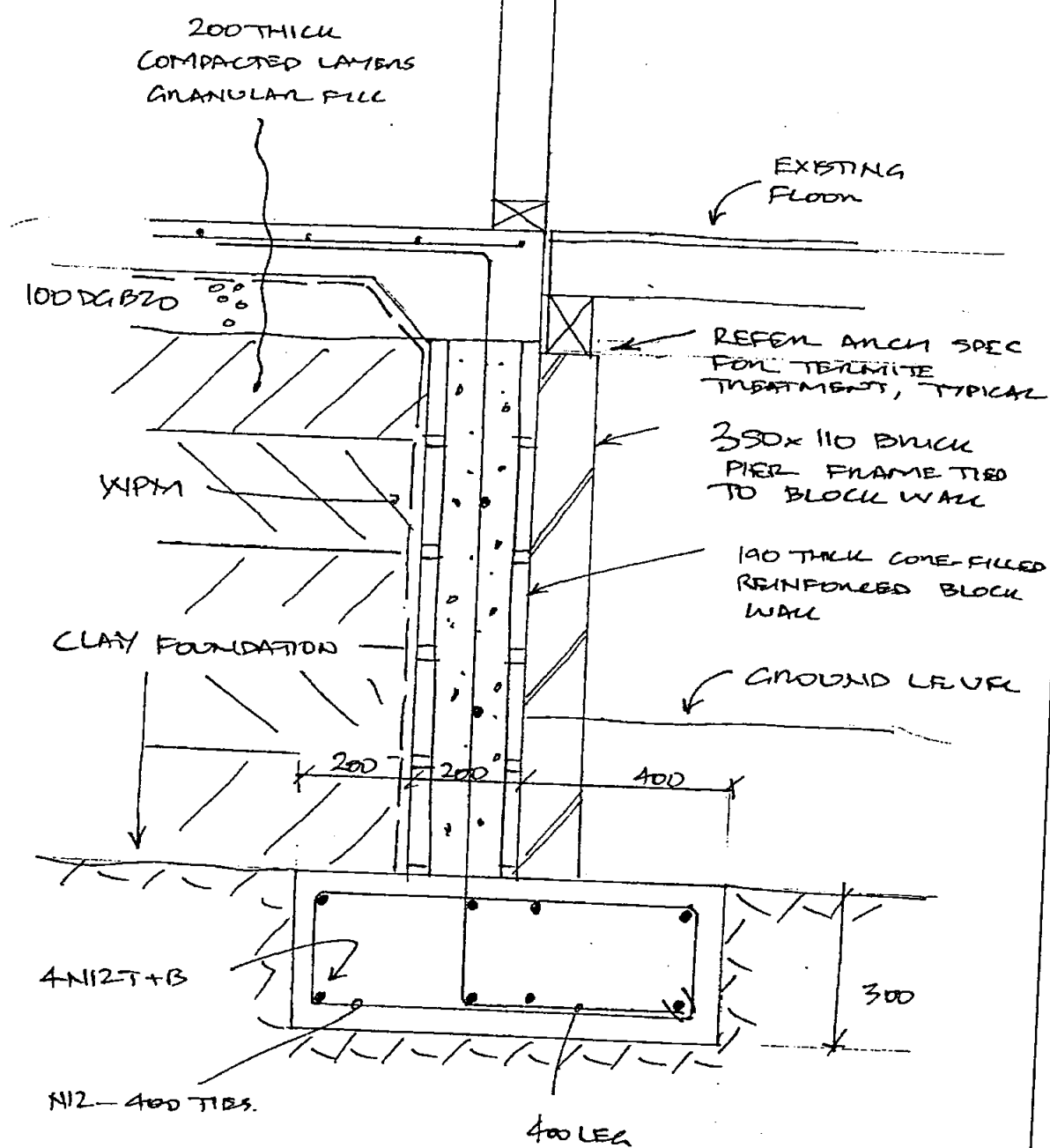
Endorsed by: *116*

Date: 21 SEP 2011



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A 31.08.11	2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061		ABN 49 061 846 795 Phone (02) 9979 8618 Fax (02) 9999 0121		Drawing No. S1
Issue Date			Designed JM		Amendment A
			Scale		Cad File No.





SECTION 4 FB4

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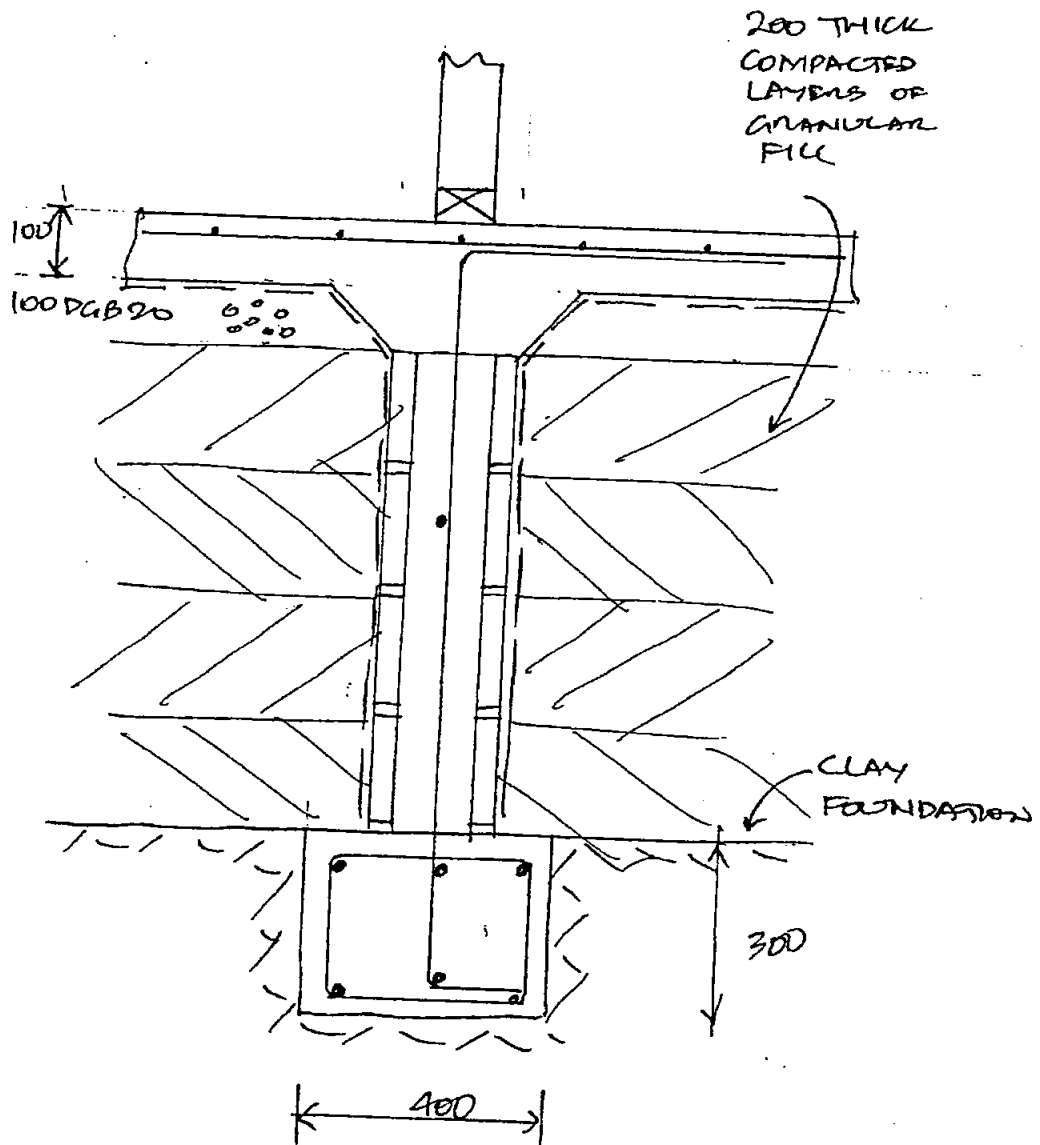
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A	31.08.11	2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061 ABN 49 061 846 796 Phone (02) 9379 8618 Fax (02) 9999 0121		Designed JM		Drawing No. S4
Issue	Date			Scale		Amendment A
						Cod File No.





SECTION 5 FBS.

HEIGHT OF BLOCK WALL. MAY VARY.

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Number: CC0324/11

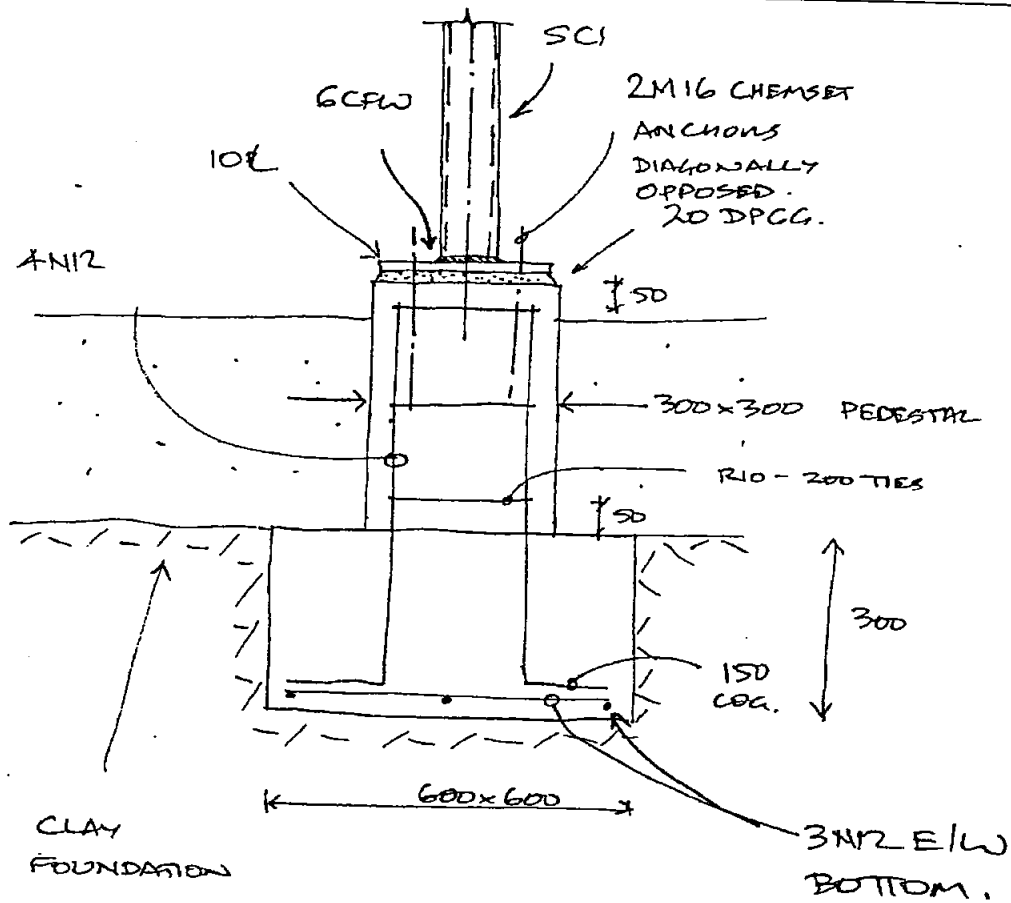
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Date: 21 SEP 2011

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A		31.08.11		Designed JM		Amendment A	
Issue		Date		Scale		Cad File No.	



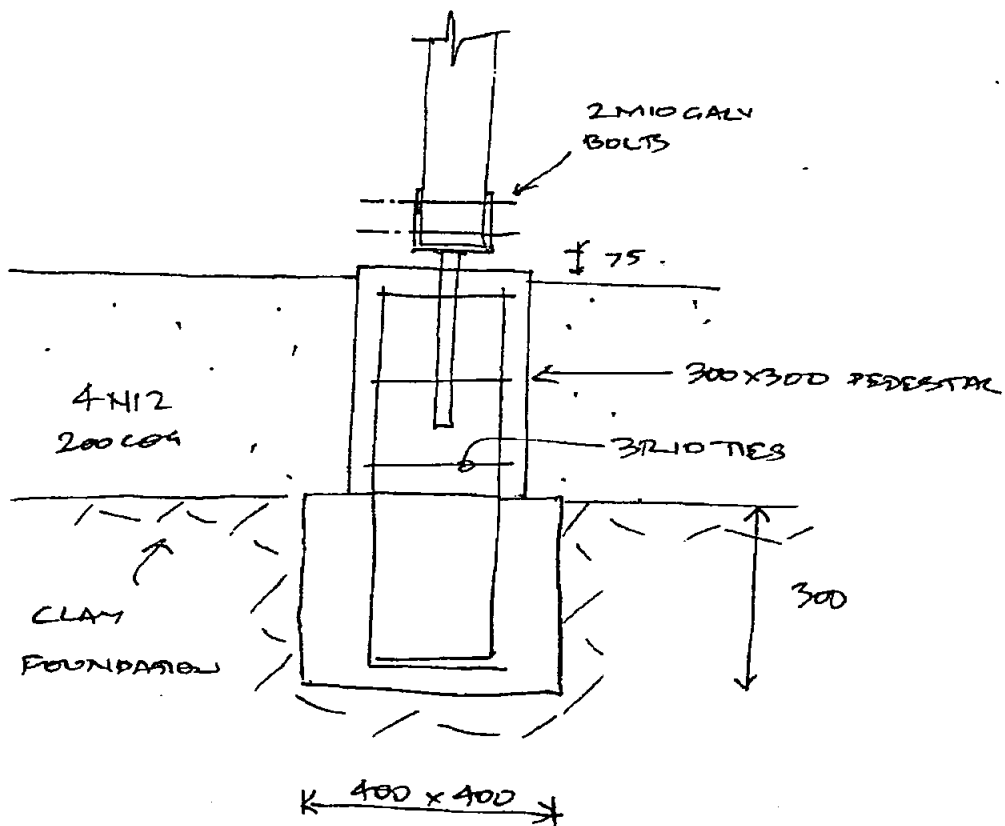


PAD FOOTING PF1

SECTION 6

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A 31.08.11		Designed JM		Amendment A
Issue	Date	Scale		Cad File No.



PAD FOOTING PF2

MASS CONCRETE

SECTION 7

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0324/11

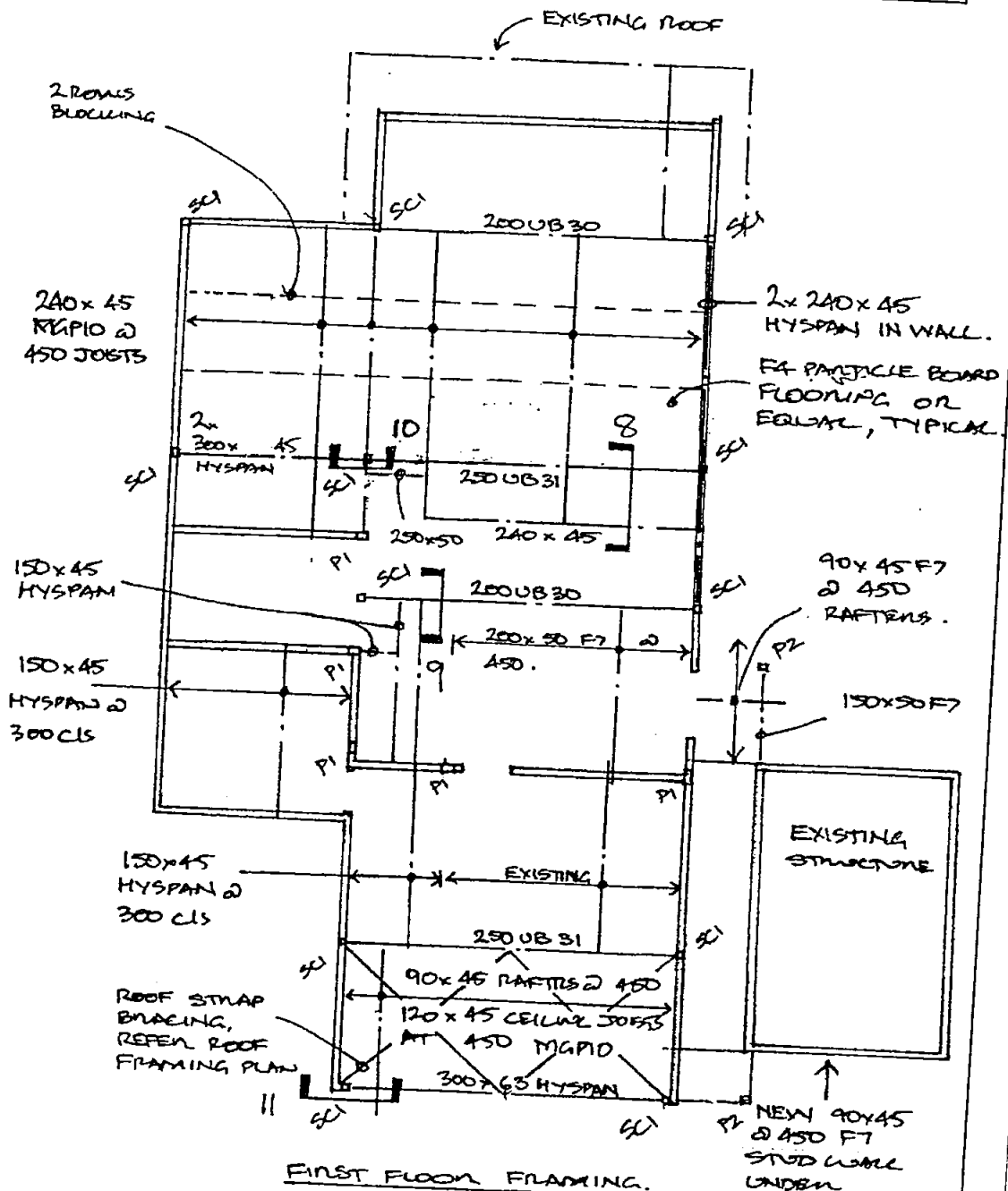
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: *JK*

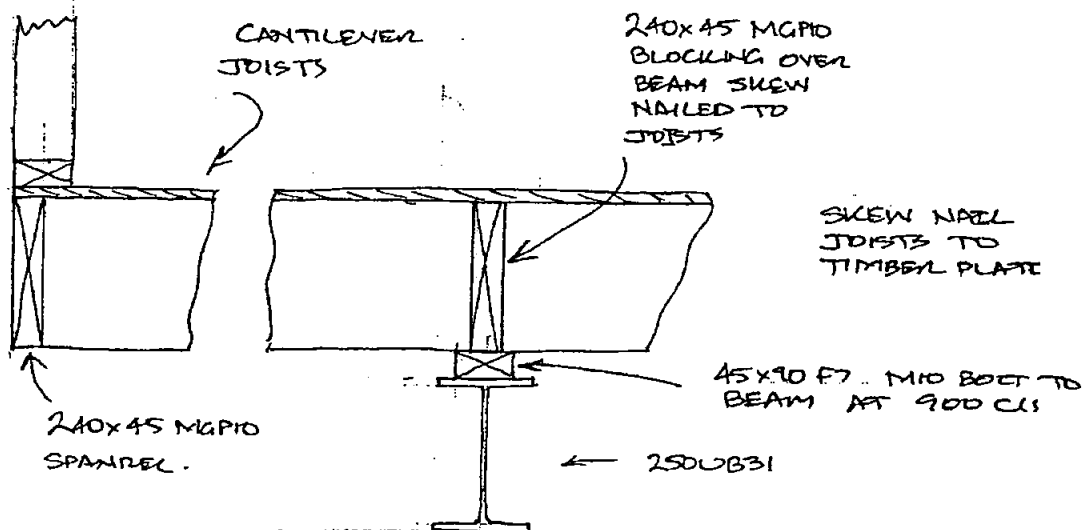
Date: 21 SEP 2011

		John Matheson & Associates Pty Ltd Consulting Civil & Structural Engineers			72 CABBAGE TREE ROAD, BAYVIEW 2104. ALTERATIONS & ADDITIONS		Job No.	1115	
							Drawing No.	S7	
A	31.08.11	2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061	ARN 49 061 846 795 Phone (02) 9979 6618 Fax (02) 9999 0121				Amendment	A	
Issue	Date			Designed	JM	Scale		Cad File No.	

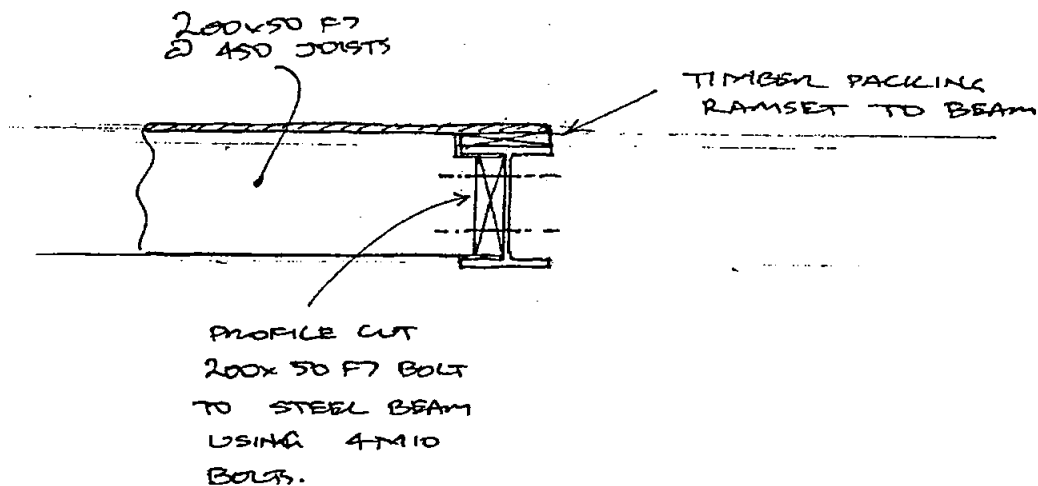
Date: 21 SEP 2011



Cod File No.



SECTION 8



SECTION 9.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

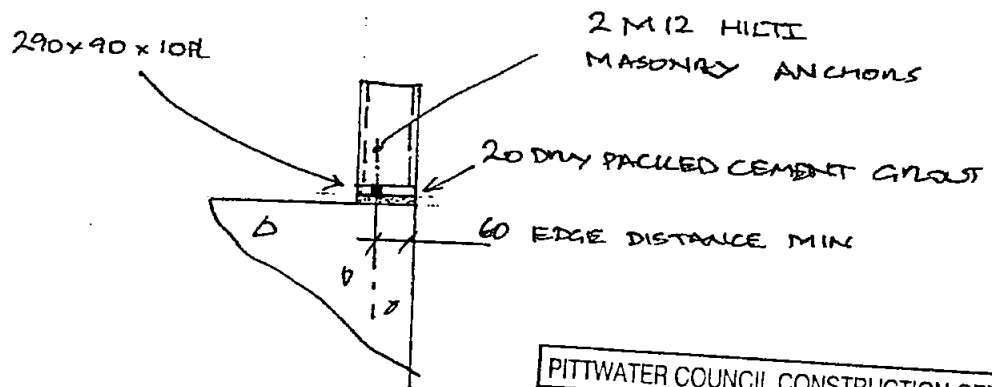
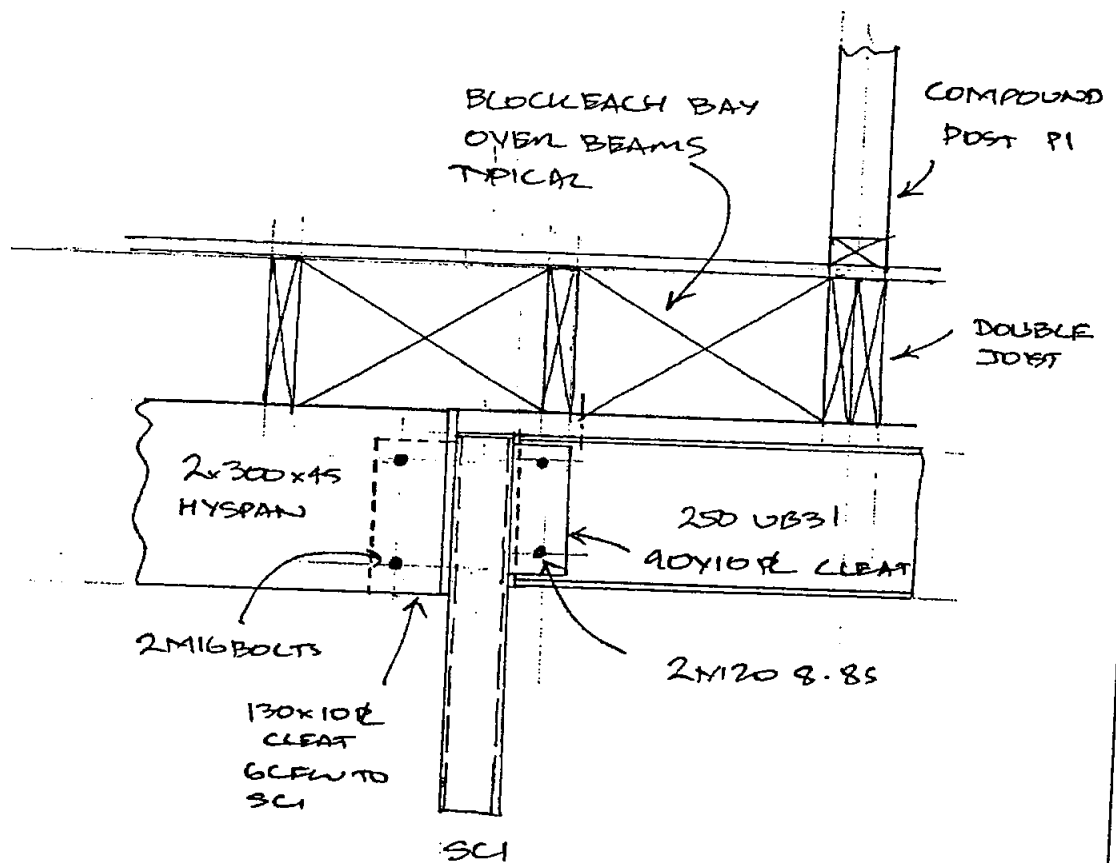
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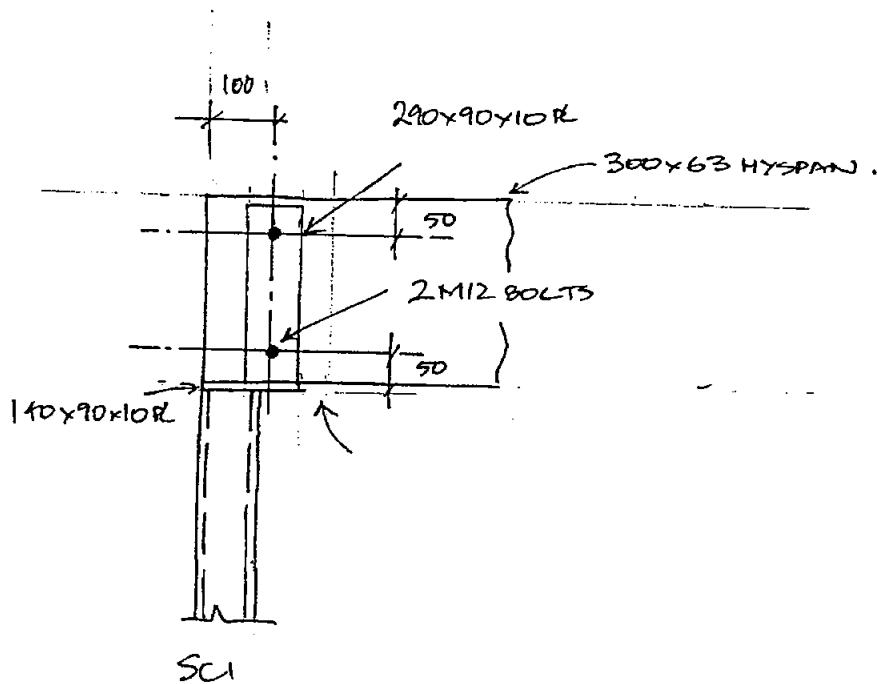
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A	2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061	ABN 49 061 846 795 Phone (02) 9979 6618 Fax (02) 9999 0121	Designed JM	Scale	Drawing No. S9
Issue	Date				Amendment A
					Cod File No.



SECTION 10

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Endorsed by: <i>TS</i>	
Date: 21 SEP 2011	

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Issue A		Date 31.08.11		Amendment A
		Scale		Code File No.



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Issued A	Date 31.08.11	Designed JM	Scale	Amendment A
				Code File No.

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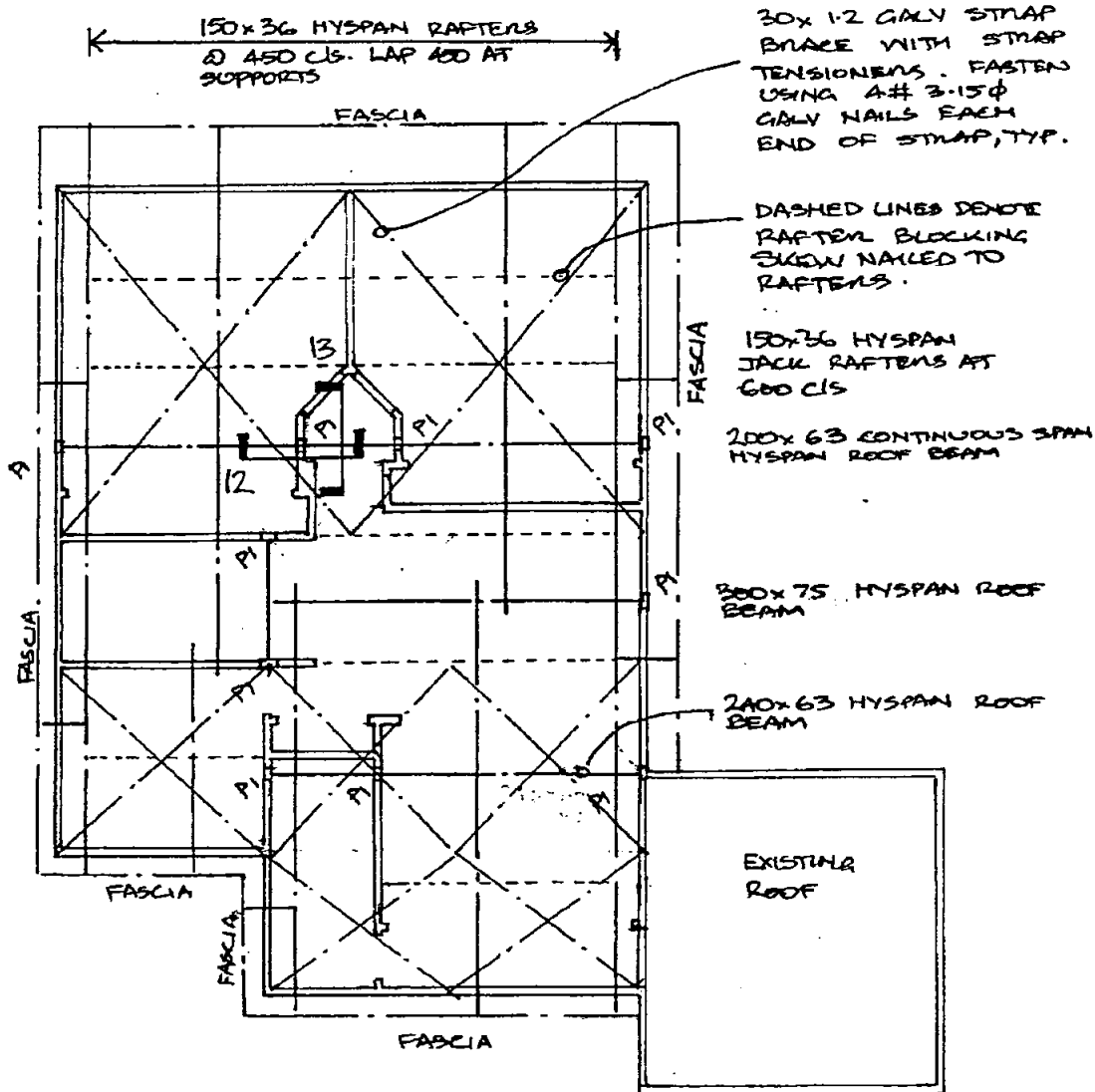
Endorsed by: *[Signature]*

Date: 21 SEP 2011

NOTE: RAFTERS MAY BE BIRDSMOUTHED AT BRACK
AND TOP PLATE SUPPORTS.

FASCIA 190x19 F7.

ROOF BATTENS 38x50 F7



PI = 4x90x45 F7 COMPOUND
TIMBER POST BUILT INTO
STUD WALL.

ROOF FRAMING.

John Matheson & Associates Pty Ltd
Consulting Civil & Structural Engineers

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Phone (02) 9979 6618
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72 CABBAGE TREE ROAD,
BAYVIEW 2104.
ALTERATIONS & ADDITIONS

Title

Designed

JM

Scale

Job No.

1115

Drawing No.

S12

Amendment

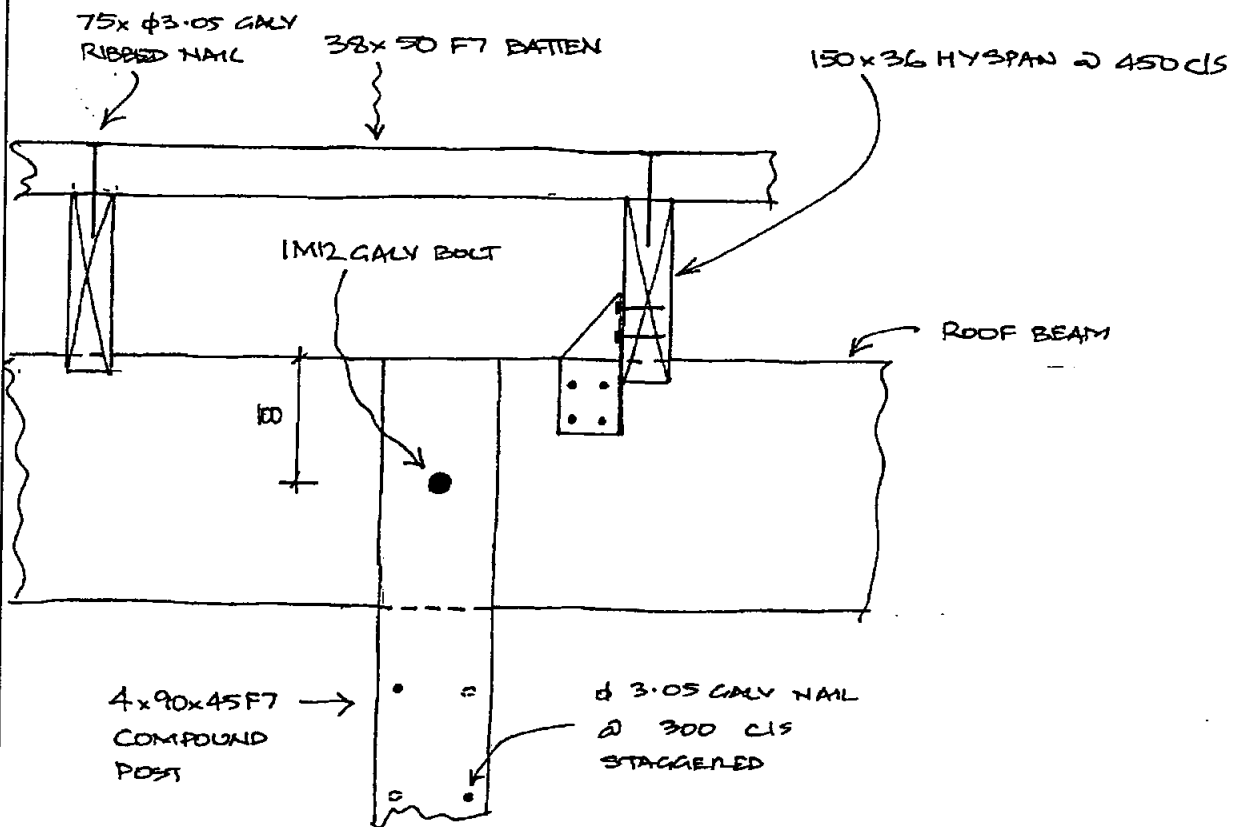
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Code File No.

A 31.08.11

Issue

Date



ROOF BEAM TO POST CONNECTION

SECTION 12

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

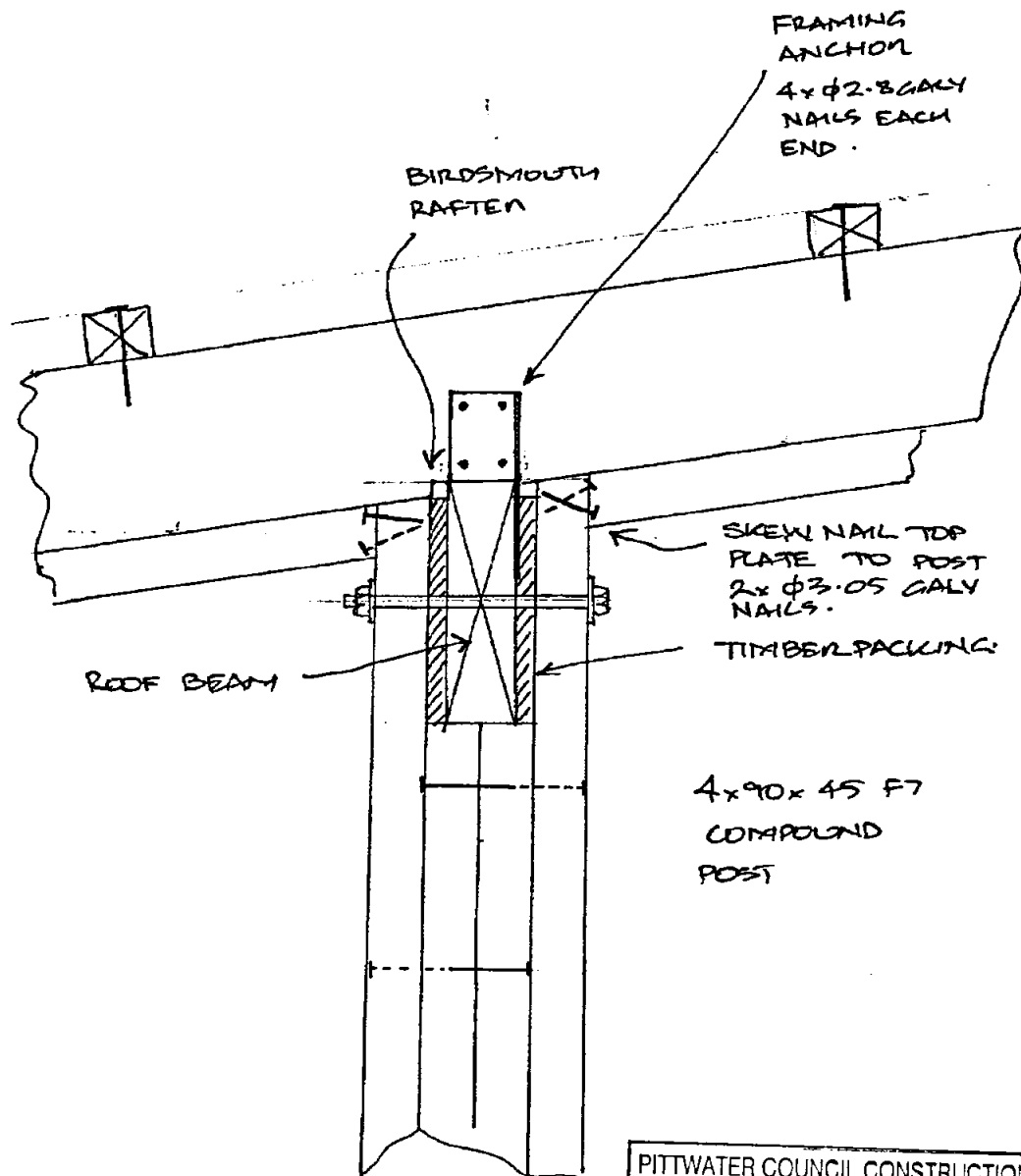
Number: CC 0324/11

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Date: 21 SEP 2011

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A		2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061	ABN 49 061 846 795 Phone (02) 9979 6618 Fax (02) 9999 0121	Designed JM		Drawing No. S13
Issue	Date			Sole		Amendment A
						Code File No.



SECTION 13

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Date:	21 SEP 2011

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Issue A		Date 31.08.11		Amendment A
		Scale		Cad File No.

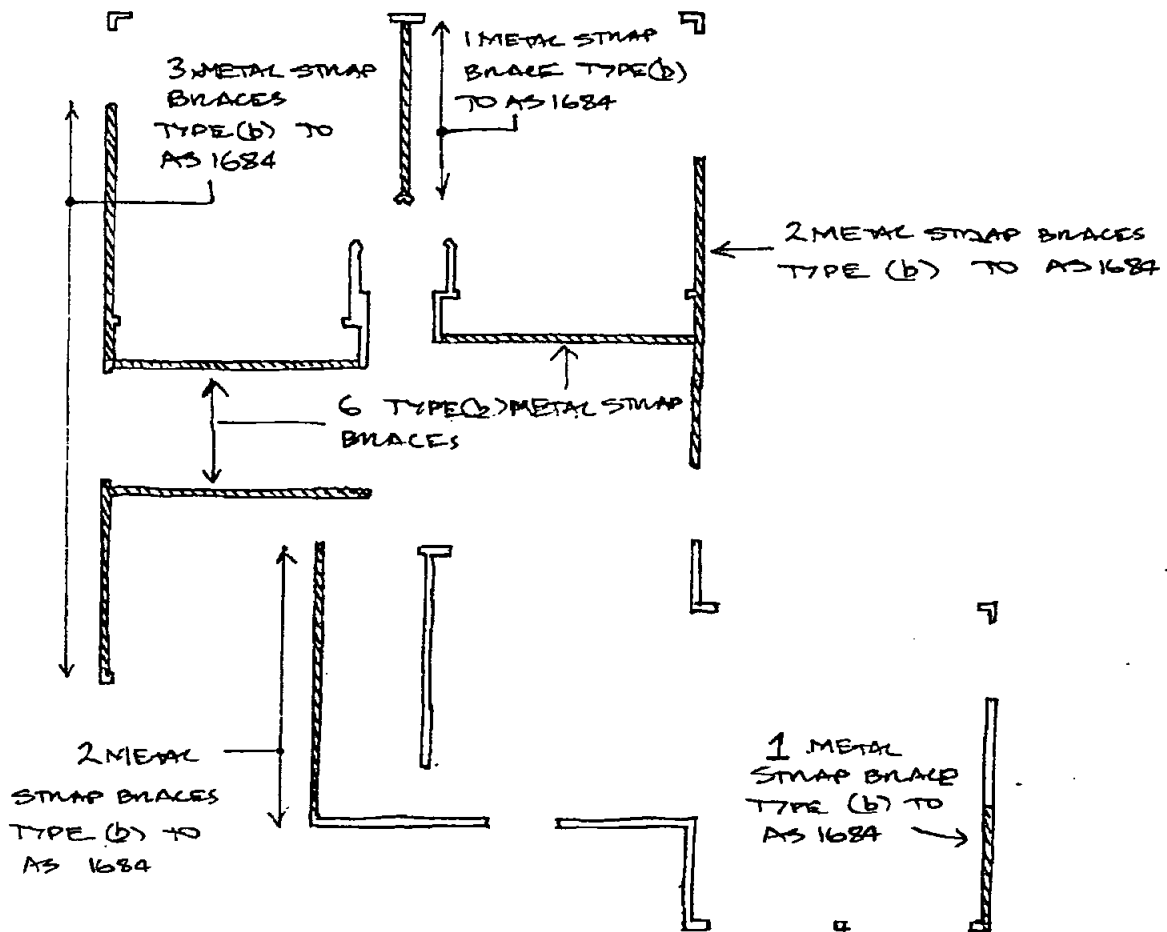
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Date: 21 SEP 2011



FIRST FLOOR WALL BRACING.

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A		31.08.11		Designed JM		Amendment A	
Issue		Date		Scale		Cod File No.	



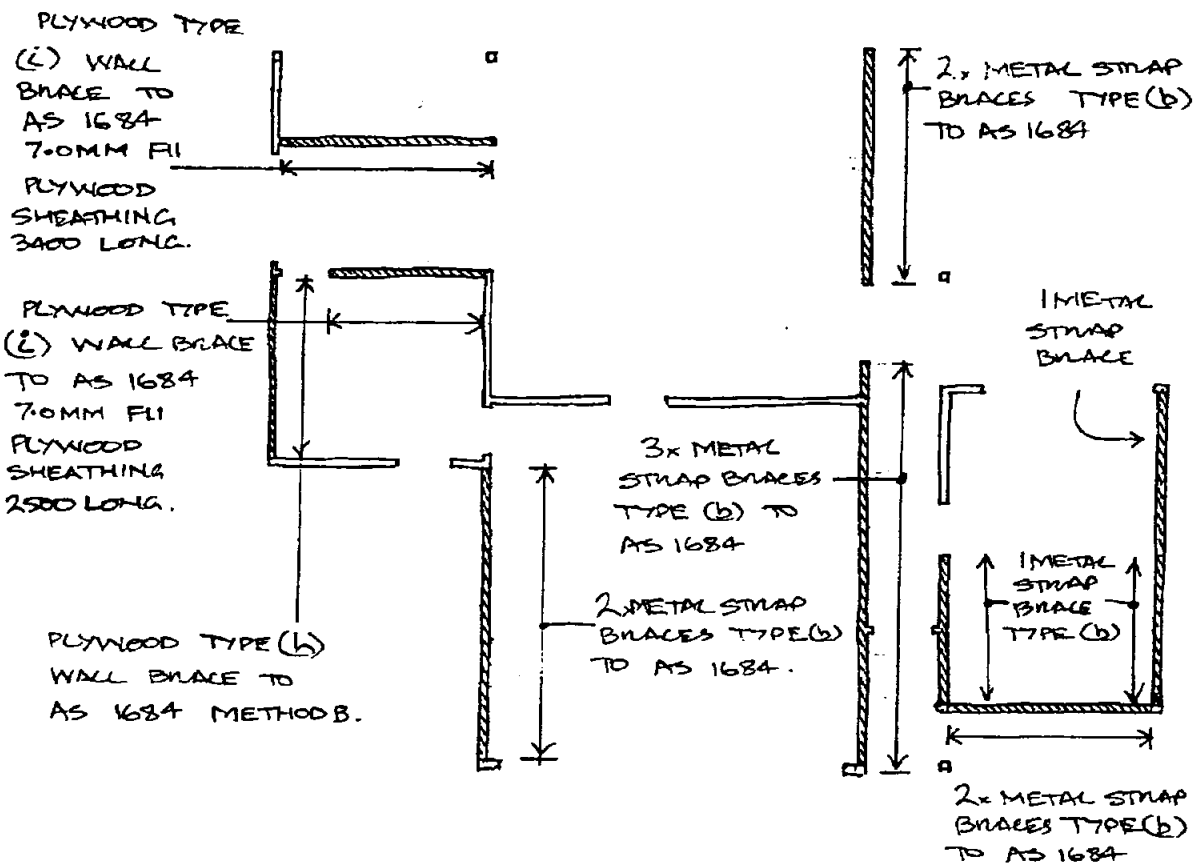
PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC0324/11

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Endorsed by: *Ro*

Date: 21 SEP 2011

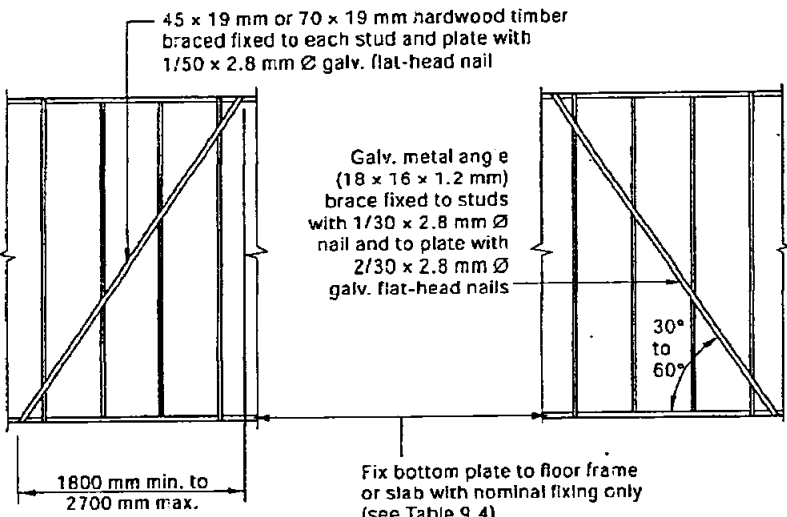
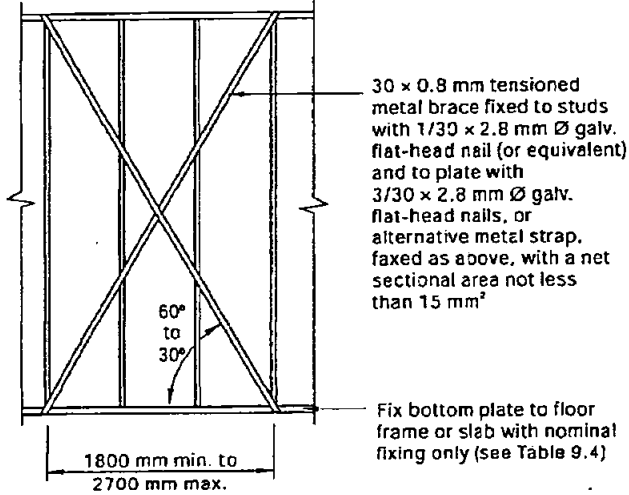


GROUND FLOOR WALL BRACING.

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A		31.08.11		Designed JM		Amendment A
Issue	Date			Scale		Cad File No.



TABLE 8.18
STRUCTURAL WALL BRACING (MAXIMUM WALL HEIGHT 2.7 m)

	Type of bracing	Bracing capacity (kN/m)
A1	(a) <i>Two diagonally opposed timber or metal angle braces</i>  45 x 19 mm or 70 x 19 mm hardwood timber braced fixed to each stud and plate with 1/50 x 2.8 mm Ø galv. flat-head nail Galv. metal angle (18 x 16 x 1.2 mm) brace fixed to studs with 1/30 x 2.8 mm Ø nail and to plate with 2/30 x 2.8 mm Ø galv. flat-head nails 30° to 60° 1800 mm min. to 2700 mm max. Fix bottom plate to floor frame or slab with nominal fixing only (see Table 9.4) NOTE: All flat-head nails shall be galvanized or equivalent.	0.8
	(b) <i>Metal straps—Tensioned</i>  30 x 0.8 mm tensioned metal brace fixed to studs with 1/30 x 2.8 mm Ø galv. flat-head nail (or equivalent) and to plate with 3/30 x 2.8 mm Ø galv. flat-head nails, or alternative metal strap, fixed as above, with a net sectional area not less than 15 mm² 60° to 30° 1800 mm min. to 2700 mm max. Fix bottom plate to floor frame or slab with nominal fixing only (see Table 9.4)	1.5

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Date: 21 SEP 2011

(continued)

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Issue: A		Date: 31.08.11		Amendment A
Designed JM		Scale		Cdd File No.

TABLE 8.18 (continued)

Number: **CG0324/11**

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Endorsed by: **26**Date: **21 SEP 2011**

Type of bracing

Bracing capacity (kN/m)

(h) **Plywood** Plywood shall be nailed to frame using 30 x 2.8 Ø galvanized flat-head nails or equivalent.

For Method A, M12 rods shall be used at each end of sheathed section top plate to bottom plate/floor frame. Method B has no rods but sheathing shall be nailed to top and bottom plates and any horizontal joints at 50 mm centres.

Horizontal butt joints permitted, provided nail fixed to nogging at $s = 150$ mm centres for Method A, or $s = 50$ mm centres for Method B

For Method A only: M12 rod top to bottom plate each end of sheathed section

Sheathed panels shall be connected to subfloor

NOTE: For plywood fixed to both sides of the wall, see Clauses 8.3.6.5 and 8.3.6.10.

Minimum plywood thickness (mm)		
Stress grade	Stud spacing (mm)	
	450	600
F8	7	9
F11	6	7
F14	4	6
F27	4	4.5
Fastener spacing, s (mm)		
Top and bottom plate:		
— Method A		150
— Method B		50
Vertical edges		150
Intermediate studs		300
Fixing of bottom plate to floor frame or slab		
Method A: M12 rods as shown plus a 13 kN capacity connection at max. 1200 mm centres		
Method B: A 13 kN capacity connection at each end and intermediately at max. 1200 mm centres		

Method A
6.4
Method B
6.0

(i) **Plywood** Plywood shall be nailed to frame using 30 x 2.8 mm Ø galvanized flat-head nails or equivalent.

NOTE: For plywood fixed to both sides of the wall, see Clauses 8.3.6.5 and 8.3.6.10.

Horizontal butt joints permitted, provided fixed to nogging at 50 mm centres

M12 rod top to bottom plate each end of sheathed section

Fix bottom plate to floor frame or slab with M12 rods as shown, plus a 13 kN capacity connection at max. 600 mm centres

Minimum plywood thickness (mm)		
Stress grade	Stud spacing (mm)	
	450	600
No nogging (except horizontal butt joints)		
F11	4.5	4.5
F11	7.0	7.0
Fastener spacing (mm)		
Top and bottom plate		50
Vertical edges		100
Intermediate studs		100

7.5
8.7

(continued)

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Phone (02) 9979 6618
Fax (02) 9999 012172 CABBAGE TREE ROAD,
BAYVIEW 2104.
ALTERATIONS & ADDITIONSDesigned
JM

Scale

Job No.
1115Drawing No.
S18Amendment
A

Cad File No.

A 31.08.11
Issue Date

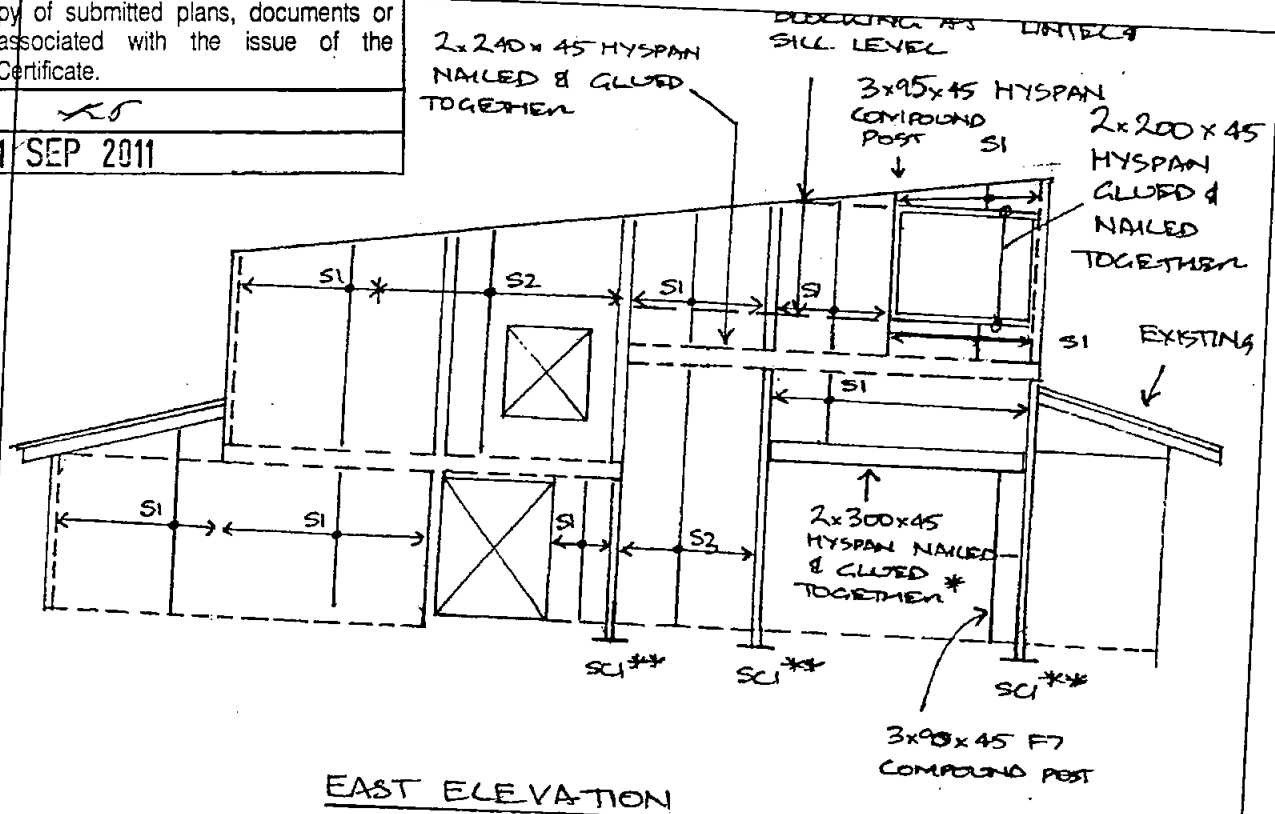
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Endorsed by: KS

Date: 21 SEP 2011



S1 90x45 F7 AT 450 CLS

S2 95x45 HYSpan AT 450 CLS

S3 90x45 F7 + 95x45 HYSpan AT 450 CLS.

* PROVIDE 10% CLEAT + 2MIG EACH END.

** CONSTRUCT A CONCRETE PEDESTAL ON TOP OF FOOTING TO FASTEN SCI ABOVE GROUND LEVEL, TYPICAL.

NOTE: TIE NORTH ELEVATION W/NTCL & SILL BEAMS AROUND EAST ELEVATION USING 30x1.2 GALV STRAP 1000 LONG (NORTH) 3000 LONG (EAST). FASTEN STRAP TO BEAMS AND STUDS USING 8x ϕ 3.05 GALV NAILS EACH END. DIRTY WEST ELEVATION.

WALL TOP & BOTTOM PLATES 45x90 F7 UNO

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Consulting Civil & Structural Engineers

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P.O. Box 1061

ABN 49 061 846 795
Phone (02) 9979 6618
Fax (02) 9999 0121



72 CABBAGE TREE ROAD,
BAYMEW 2104.
ALTERATIONS & ADDITIONS

Designed JM

Scale

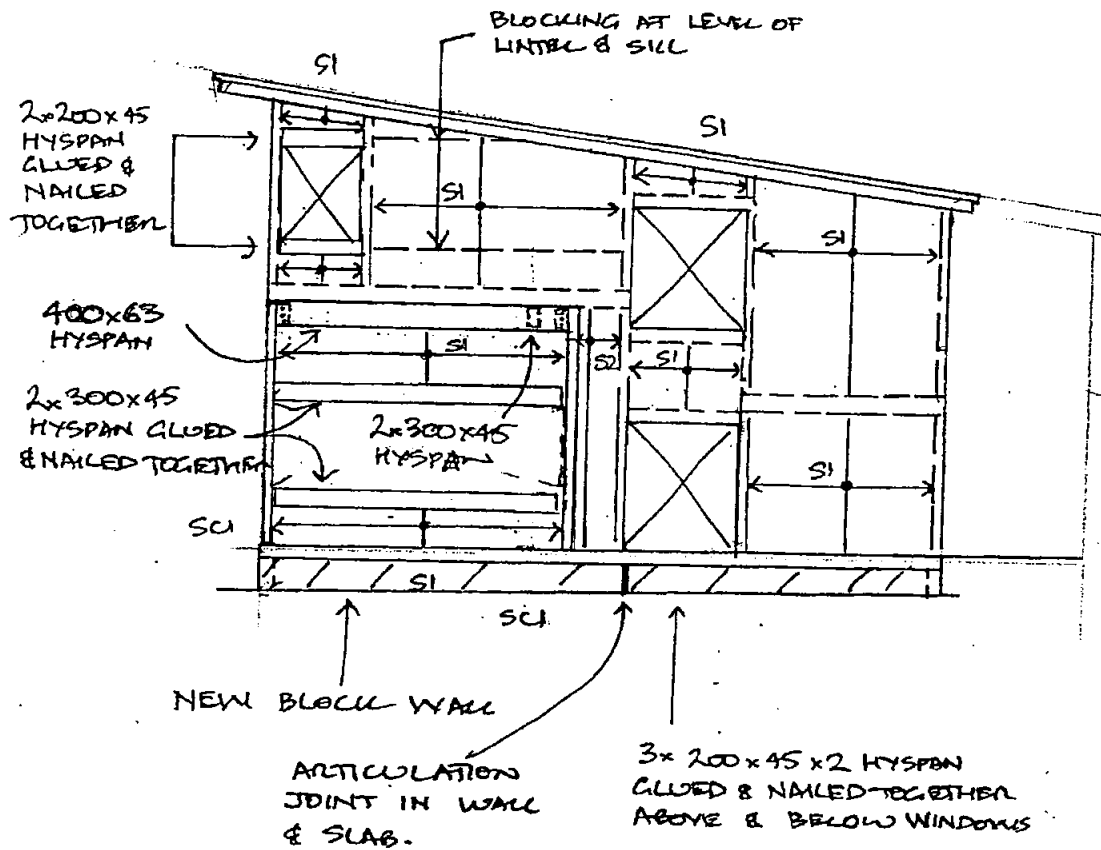
Job No. 1115

Drawing No. S19

Amendment A

Ccd File No.

A 31.08.11
Issue Date



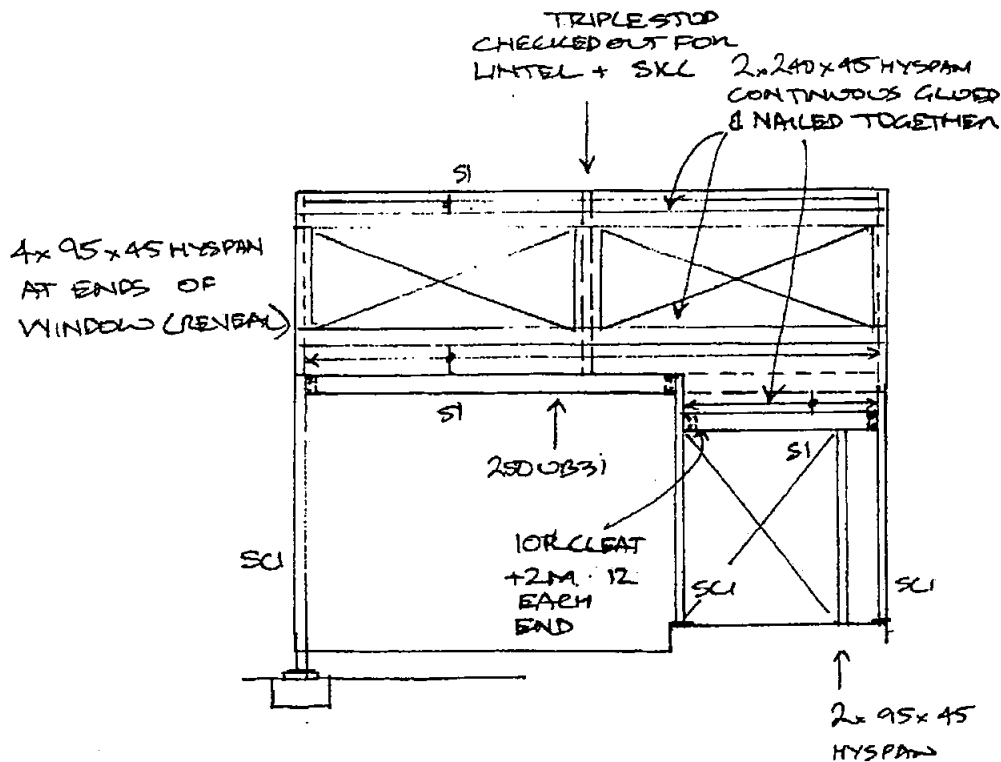
WEST ELEVATION

REFER EAST ELEVATION FOR NOTES
& MEMBER SIZES.

BEAM TO STEEL COLUMN CONNECTIONS.	
400x63 HYSPAN	90x10R + 4 M16 BOLTS.
2x300x45 HYSPAN	90x10R + 3 M16 BOLTS.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
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Date:	21 SEP 2011

John Matheson & Associates Pty Ltd Consulting Civil & Structural Engineers		72 CABBAGE TREE ROAD, BAYVIEW 2104. ALTERATIONS & ADDITIONS		Job No. 1115
2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061 ABN 49 061 846 795 Phone (02) 9979 6618 Fax (02) 9999 0121		Designed JM		Drawing No. S20
Issue A		Date 31.08.11		Amendment A
		Scale		Cad File No.



NORTH ELEVATION

REFER EAST ELEVATION FOR NOTES
& MEMBER SIZES.

PITTVATER COUNCIL CONSTRUCTION CERTIFICATE

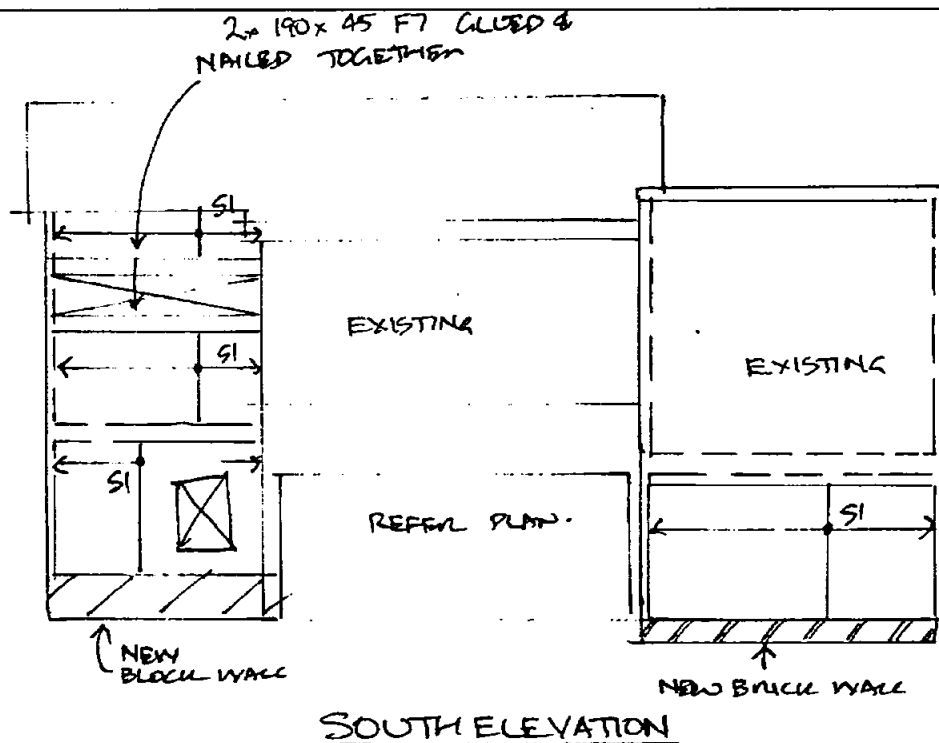
Number: CC 0324/11

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

Endorsed by: *TK*

Date: 21 SEP 2011

John Matheson & Associates Pty Ltd Consulting Civil & Structural Engineers		72 CABBAGE TREE ROAD, BAYVIEW 2104. ALTERATIONS & ADDITIONS		Job No.	1115
				Drawing No.	S21
2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061 ABN 49 061 846 795 Phone (02) 9979 6618 Fax (02) 9999 0121				Amendment	A
				Cad File No.	
Issue	Date	Designed	Scale		
A	31.08.11	JM			



REFER EAST ELEVATION FOR NOTES
& MEMBER SIZES.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC0324/11

This is a copy of submitted plans, documents or
Certificates associated with the issue of the
Construction Certificate.

Endorsed by: *[Signature]*

Date: 21 SEP 2011

John Matheson & Associates Pty Ltd Consulting Civil & Structural Engineers 2/1767 Pittwater Road Mona Vale NSW 2103 P.O. Box 1061 ABN 49 061 846 795 Phone (02) 9979 6618 Fax (02) 9999 0121 		72 CABBAGE TREE ROAD, BAYVIEW 2104. ALTERATIONS & ADDITIONS Designed JM Scale		Job No. 1115
				Drawing No. S22
				Amendment A
				Code File No.
Issue A	Date 31.08.11			

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glazing inc. frame (m ²)			Shading device		Frame and glass type
		Height (m)	Distance (m)	Area of glazing inc. frame (m ²)	Height (m)	Distance (m)	
W1	S	1	0	0	none	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W2	W	3.76	0	0	eave/verandah/pergola/balcony >=750 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W3	W	6.75	0	0	eave/verandah/pergola/balcony >=750 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glazing inc. frame (m ²)			Shading device		Frame and glass type
		Height (m)	Distance (m)	Area of glazing inc. frame (m ²)	Height (m)	Distance (m)	
W4	W	5.9	0	0	eave/verandah/pergola/balcony >=750 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W5	N	18.6	0	0	eave/verandah/pergola/balcony >=900 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W6	E	5.9	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W7	N	1.85	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W8	E	3.3	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W9	N	5.5	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W10	S	2.56	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W11	W	3.22	0	0	eave/verandah/pergola/balcony >=750 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W12	W	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W13	N	6.2	0	0	eave/verandah/pergola/balcony >=900 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W14	N	6.2	0	0	eave/verandah/pergola/balcony >=900 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
W15	E	3	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)
W16	E	1.6	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Centimeter check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Glazing requirements

Window / door no.	Orientation	Area of glazing inc. frame (m ²)			Shading device		Frame and glass type
		Height (m)	Distance (m)	Area of glazing inc. frame (m ²)	Height (m)	Distance (m)	
D1	S	2.04	0	0	eave/verandah/pergola/balcony >=900 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
D2	N	7.25	0	0	eave/verandah/pergola/balcony >=900 mm	0	standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)
D3	E	9.31	0	0	eave/verandah/pergola/balcony >=450 mm	0	standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

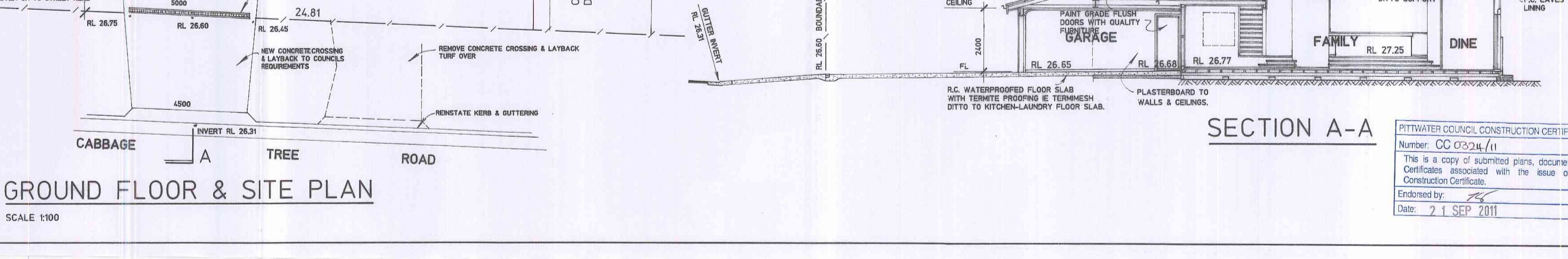
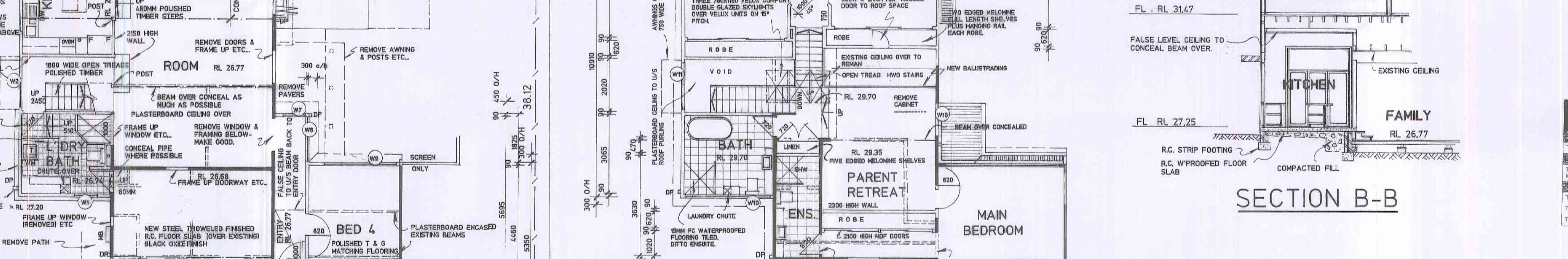
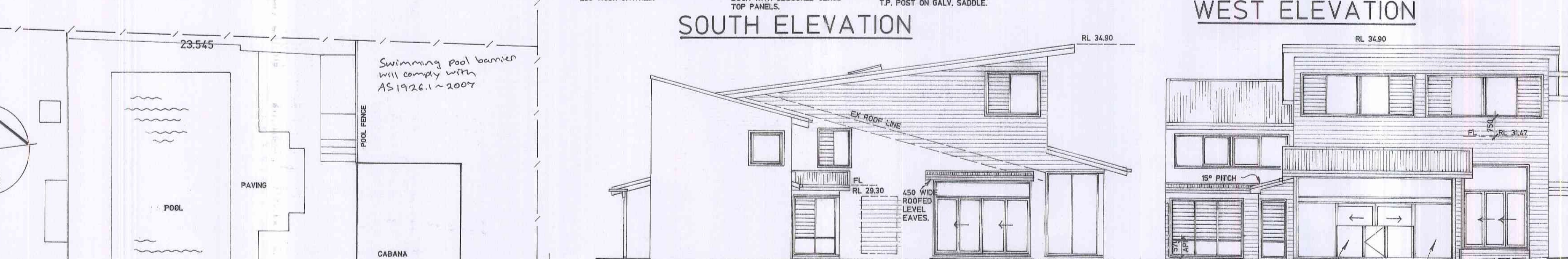
Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device		Frame and glass type
		Height (m)	Distance (m)	
S1	0.92	no shading	0	timber, low-E internal/argon fill/clear external, (or U-value 2.5, SHGC 0.456)
S2	0.92	no shading	0	timber, low-E internal/argon fill/clear external, (or U-value 2.5, SHGC 0.456)
S3	0.92	no shading	0	timber, low-E internal/argon fill/clear external, (or U-value 2.5, SHGC 0.456)

Construction

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
suspended floor with enclosed subfloor framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
external wall framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage, plasterboard (R0.36)	nil	
flat ceiling, pitched roof	ceiling R1.95 (up), roof foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof, framed	ceiling R2.24 (up), roof foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)



GENERAL NOTES

BUILDER TO INDICATE THE FOLLOWING AS S & F (SUPPLY & FIX) KITCHEN UNIT COMPLETE, LAUNDRY CABINETS & TOPS, SHOWER SCREENS, SLIDING ROBE DOORS, INTERNAL STAIRS & BALCONY GLASS BALUSTRAADING, PAINTING, ELECTRICAL, TWO FULL LENGTH VANITY MIRRORS, FOUR SHADE AWNINGS TO WEST SIDE WINDOWS, PANELFIT GARAGE DOOR.

BUILDER TO INDICATE THE FOLLOWING AS S.O. (SUPPLY ONLY)-FIXING UNDER MAIN TENDER RATH, THREE TOILET SUITES COMPLETE, TWO VANITY UNITS MGL, BASHING BATHROOM FITTINGS IE: TOILET ROL, HOLDERS, DROB FURNITURE, TAPS & SPOUTS TWO SHOWER SCREENS, CERAMIC WALL & FLOOR TILES TO 1 BATHROOMS & LAUNDRY TWO THRU THE ROOF GLESS EXHAUST FANS, ONE THRU WALL EXHAUST FAN TO LAUNDRY.

Basix also over page

100 systems

... .. in the development gas installation

... .. and will need the following: but also the following:

... .. and must maintain a minimum of 40% of new or alternate light fixtures and must have a minimum of 100 watts per sq. ft. (100 watts per sq. ft.)

... .. must maintain one or alternate showers have a flow rate of greater than 4 litres per minute or 1/2 size water using

... .. must maintain one or alternate toilets have a flow rate of greater than 4 litres per minute or 1/2 size water using

Proposed Allotment
 MRS. D. ROGLEY
 72 CABBAGE TREE ROAD.,
 BAYVIEW NSW 2104
 DRAWN : JUNE 2011
 DWG No. : 67 REV A
 SCALE : 1 : 100