

R16.8/2.3



CONSTRUCTION CERTIFICATE APPLICATION

Made under the Environmental Planning and Assessment Act 1979 Sections 109C
(1) (b), 81a (2) and 81a (4)

Pittwater Council

Unit 9/5 Vuko Place, Warriewood NSW 2102

PO Box 882, Mona Vale NSW 1660

Tel: (612) 9970 1111

Fax: (612) 9970 7150

Internet: www.pittwaterlga.com.au

Email: pittwater_council@pittwater.nsw.gov.au

SITE DETAILS

Unit/Suite:	Street No:	Street:	
	33	Coolangatta (Ave)	
Suburb:	Lot No:		Deposit /Strata Plan:
Elanora Heights	162		13643

DEVELOPMENT CONSENT

Development Application No:	Determination Date:
N6566/04	15/10/2004

APPLICANT DETAILS

Name/Company:	Contact Person:
Postal Address:	Contact Numbers:
.....	Phone (H/B):
.....	Mobile:
.....	Fax:
Signature of Applicant:	Date:
.....	

OWNERS DETAILS

Name: Andrew Chippindall	If Company, contact person:
Postal Address:	Contact Numbers:
33 Coolangatta Ave	Phone (H/B): 99447409
Elanora Heights	Mobile: 0409 462 332
2101	Fax: 99447409

As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of Owners:

Date:

[Signature]

26/05/05
26/05/05

If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.
If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

DEVELOPMENT DETAILS

Type of Work:	☒ Building Work
OR	
	☐ Subdivision Work
Description of proposal – (Provide brief, concise details):	
Build new kitchen, rear deck, new	
above ground pool.	

WHO WILL BE DOING THE BUILDING WORKS?

☐ Owner Builder	
Owner Builders Permit No:	
Copy of Owner Builders permit attached:	☐ Yes ☐ No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i>	

OR

☒ Licensed Builder	
Builder's License Number <u>S. A. Y. Builders</u>	
Name of Builder: <u>Scott York</u>	Phone: <u>9913 8098</u>
Contact person: <u>" " "</u>	Mobile: <u>0418 400 745</u>
Address: <u>7 Wyanga Rd.</u>	Fax: <u>9970 8056</u>
<u>Elanora Heights</u>	
Insurance Company:	Insurance Certificate attached: ☐ Yes ☒ No – to be provided with Notification of Commencement form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.</i>	

VALUE OF PROPOSED DEVELOPMENT

Value of Works: \$ 45,000.00 (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?☒ Yes☐ No

Only required if the development involves building works exceeding \$25,000.00.

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	\$ 267.30
Long Service Levy Fee	QLSL	
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		
Date of Receipt: <u>16/8/23</u>	Receipt No: <u>27/5/05</u>	Accepted By: <u>8mB</u>

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council as the consent authority to assess your proposal.
Intended recipients	Council Staff and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation.
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	The Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	970
Gross floor area of existing building?	Area in square metres	180
If no existing building, write "NIL"		
What is the existing building or site used for at present?	Main uses:	Residential
	Other uses:	
Does the site contain a dual occupancy?	☐ Yes	☒ No
Gross floor area of proposed building?	Proposed floor area in square metres	As above
What will the proposed building to be used for?	Main uses:	As above
	Other uses:	
How many dwellings:		
Are pre-existing at this property?	Dwellings:	1
Are proposed to be demolished?	Dwellings:	
Are proposed to be constructed?	Dwellings:	
How many storeys will building consist of?	Storeys:	2
What are the main building materials?		
Walls		Roof
Full Brick ☐		Aluminium ☒
Brick veneer ☐		Concrete or slate ☐
Concrete, masonry ☐		Tile ☒
Steel ☐		Fibrous cement ☐
Fibrous cement ☒		Steel ☐
Timber/weatherboard ☐		Other ☐
Cladding-aluminium ☐		Unknown ☐
Curtain glass ☐		
Other ☐		
Unknown ☐		
Floor		Frame
Concrete ☐		Timber ☒
Timber ☒		Steel ☐
Other ☐		Other ☐
Unknown ☐		Unknown ☐

APPLICANTS CHECK LIST

Note: This list is intended as a guide to the type of information to be submitted. Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application.

Application Form –	☐ Owners Consent ☐ Applicant's Signature ☐ Long Service Levy ☐ Driveway/Street levels Application
Supporting Documentation - (3 copies of each)	☐ Architectural Plans ☐ Quick Check Plans endorsed by Sydney Water ☐ Construction Specifications for Building Works ☐ Structural Engineer's Plans ☐ Structural/Geotechnical Certificates ☐ Landscape Plans ☐ Driveway Level Plans ☐ On-site Stormwater Detention Plans ☐ Drainage Plans on Site Storm Management ☐ Erosion and Sediment Management Plan ☐ Sydney Water Quick Check Plans ☐ Subdivision Work Plans ☐ Schedule of External Finishes/Colours ☐ Fire Safety Measures Schedule ☐ Form No. 2 – "Geotechnical Risk Management Policy for Pittwater" ☐ Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools" ☐ Specifications for construction of buildings in Bushfire-prone areas ☐ Security Deposit / Section 94 contributions



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

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CONSENT NO: N0566/04

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address:

B HEALY & A CHIPPINDALL, 33 COOLANGATTA AVENUE ELANORA HEIGHTS NSW 2101

Being the applicant in respect of Development Application No N0566/04

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No N0566/04 for:

Alterations and additions to existing dwelling and new swimming pool

At:

Lot 162 DP 13643

33 COOLANGATTA AVENUE ELANORA HEIGHTS NSW 2101

Decision:

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with plans numbered 2802-01A, 2802-02A, 2802-03A, 2802-04A, 2802-05A dated July 2004 prepared by Susan Vincent; Landscape Plan dated August 2004 prepared by Chippindall Landscapes Pty Ltd, as amended in red (shown clouded) or as modified by any conditions of this consent.

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

Endorsement of date of consent 15/10/2004

Angus Gordon

GENERAL MANAGER

Per:



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CONDITIONS OF DEVELOPMENT CONSENT

This Consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

A. PRESCRIBED CONDITIONS

- A1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
- A2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.
- A4. To allow a principal certifying authority or another certifying authority time to carry out critical stage inspections required by the principal certifying authority, the principal contractor for the building site, or the owner- builder must notify the principal certifying authority at least 48 hours before building work is commenced at the site if a critical stage inspection is required before the commencement of the work, in accordance with clause 162 of the Environmental Planning and Assessment Regulation 2000.
- A5. Critical stage inspections are to be carried out in accordance with clause 162A of the Environmental Planning and Assessment Regulation 2000.
- A6. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
- a. showing the name, address and telephone number of the principal certifying authority for the work, and
 - b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - c. stating that unauthorised entry to the work site is prohibited.
- A7. Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- A8. Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information:
- a. in the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer by which the work is insured under Part 6 of that Act.
 - b. in the case of work to be done by an owner-builder:
 - i. the name of the owner-builder, and



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- ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

- A9. If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the updated information.
- A10. Conditions A8 and A9 do not apply in relation to Crown building work that is certified, in accordance with section 116G of the Act, to comply with the technical provisions of the State's building laws.

B. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

NOTE: The issue of partial or limited Construction Certificates is not permissible under the terms of this consent unless otherwise specifically stated. All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications/details can not be accepted.

- B4. The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to "Your Business" section of Sydney Water's web site at www.sydneywater.com.au <<http://www.sydneywater.com.au>> then see Building & Renovating under the heading Building & Developing, or telephone 13 20 92.

The consent authority or a private accredited certifier must ensure that a Quick Check agent/Sydney Water has appropriately stamped the plans before the issue of any Construction Certificate.

- B10. Three sets of detailed working drawings that comply in all respects with the Building Code of Australia and the conditions of the Development Consent are to be submitted prior to the release of the Construction Certificate.
- B12. Pool fencing is to be designed and located in accordance with the Swimming Pool Act 1992, AS 1926.1-1993 "Fencing for swimming pools", AS 1926.1 - 1995 "Location of fencing for private swimming pools". Details are to be submitted prior to the issue of a Construction Certificate.
- B20. Three sets of Drainage details showing **site stormwater management** are to be submitted prior to the release of the Construction Certificate. Such details are to be accompanied by a certificate from either a Licensed plumber or qualified practising Civil Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, that the stormwater management system complies with the requirements of section 3.1.2 "Drainage" of the Building Code of Australia Housing Provision and AS/NZS 3500.3.2 - Stormwater Drainage. The details shall include disposal of site stormwater to a public system (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Civil (Geotechnical) Engineer's report).
- B45. Three sets of detailed landscape working drawings, which comply in all respects with the conditions of development consent, are to be submitted prior to release of the Construction



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Certificate. Each plan/sheet is to be certified by a qualified landscape architect, landscape designer/environmental designer or horticulturist, confirming that the plans/details provide for the works to be carried out in accordance with Development Control Plan No 23 - Landscape and Vegetation Management.

B45a. In particular, the landscape working drawing is to provide full details of the following:

3. a plant schedule including stratum, species/common names, species' numbers, pot size and staking details;

B60. Three sets of Structural Engineering details relating to the footings, structural framing are to be submitted prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field.

C. MATTERS TO BE SATISFIED PRIOR TO COMMENCEMENT OF WORK

NOTE: It is an offence to commence works prior to issue of a Construction Certificate.

C6. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the principal certifying authority that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until the principal certifying authority has confirmed that this condition has been satisfied (see copy of form attached).

C6a. Building setout BS-1

C6b. Protection fencing (landscaping) PF-1

C10. So as to achieve safe and proper means of disposal of asbestos materials from buildings, only depots and contractors authorised by the Waste Services Authority are to be utilised. Approval must be obtained from the Service before disposal of any asbestos materials.

C19. Prior to commencement of site works, a qualified arborist, horticulturist or landscape architect is to certify that protective fencing consisting of chain wire mesh fencing, a minimum 1.5 metres high with steel pipe support posts has been provided, a minimum distance of 1 metre outside of the dripline of those trees or landscaped areas shown on the approved landscape working drawing. No further site works are to take place until this certification has been obtained and a copy forwarded to the accredited certifier or Council.

Where the project is being supervised by a private certifier, for the purposes of keeping a public record, a copy of the certification is to be forwarded by the certifier to Council within 5 working days of the date of issue.

Further, the project manager is to erect signs advising all contractors and visitors to the site that no works or storage are to take place within the dripline of existing trees.

D. CONDITIONS TO MINIMISE THE IMPACT OF THE DEVELOPMENT ON THE NATURAL AND BUILT ENVIRONMENT



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- D11. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-1991 "The Demolition of Structures".

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

1. Protection of site workers and the general public.
2. Erection of hoardings where appropriate.
3. Asbestos handling and disposal where applicable.
4. Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

- D15. Pool fencing is to be designed and located in accordance with the Swimming Pool Act 1992, AS 1926.1-1993 "Fencing for swimming pools", AS 1926.1-1995 "Location of fencing for private swimming pools".
- D20. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
- D21. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction.
- D23. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
- D37. The finished surface materials, including colours and texture of any building, shall match the detail and materials of the existing building.
- D60. The footpath and adjacent roadway is to be kept free of obstruction by building materials and/or plant. All concrete trucks, pumps and associated plant are to be kept wholly within the site. No concrete or slurry is to be discharged into the street or the street drainage system.
- D74. A sign is to be erected in a prominent position on the site stating that unauthorised entry to the work site is prohibited and showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours. No sign is required where works are internal only or where the premises are occupied continuously during and outside working hours.
- D75. Toilet facilities are to be provided at or in the vicinity of the work site during the duration of the development.
- D76. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
- D80. This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.
- D81. The installation of in-sink food waste disposal units is prohibited due to the increased loading placed on the Warriewood Sewage Treatment Plant particularly during wet weather.



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- D85. All external glazing is to have a maximum reflectivity index of 25%.
- D89. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.
- D105. The landscaping is to be maintained for the life of the development.
- D180. The pool backwash water is to be disposed of via a pump out tank system or to the approved wastewater disposal system.
- D195. Tree guards are to be provided around all trees as indicated on Plan No 2802-02A other than where Council's prior written consent has been obtained, or where after approval of the relevant Construction Certificate Application/s, trees stand within the envelope of approved buildings or within the alignment of approved permanent paved vehicular access roads and parking areas. The tree guards are to be installed prior to the commencement of any work on the site. No works, including utility installations (eg water, sewer, telephone, drainage), are to be undertaken within 4 metres of the trunk of any such trees. The tree guards shall be a minimum 1200mm high at least four (4) metres from the base of the nominated tree/s and constructed from timber posts and rails or posts and suitable plywood panels.
- D196. Guards or fences are to be provided around native vegetation as identified/ nominated on the approved plans. The guards or fences are to be installed prior to the commencement of any work on the site. No works, including utility installations (eg water, sewer, telephone, drainage), are to be undertaken within 4 metres of the trunk of any such trees. The tree guards shall be a minimum 1200mm high at least four (4) metres from the base of the nominated tree/s and constructed from timber posts and rails or posts and suitable plywood panels.
- D197. In accordance with Pittwater Council's Tree Preservation and Management Order, all existing trees as indicated on Plan No 2802-02A shall be retained except where Council's prior written consent has been obtained, or where after approval of the relevant Construction Certificate Application/s, trees stand within the envelope of approved buildings or within the alignment of approved permanent paved vehicular access roads and parking areas.
- D198. The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, sewerage and stormwater drainage services. In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted unless part of the development as approved, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted.

NOTE: Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences.

Failure to comply with the requirements of the Pittwater Council Tree Preservation and Management Order may result in a penalty up to a maximum of \$20,000.00.

- D199. All works within 5 metres of the existing trees to be retained including pruning, demolition,



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excavation, civil works, fencing and the like must be carried out by hand under the supervision of an experienced and qualified Arborist. Should roots larger than 50mm be encountered all excavation works are to cease immediately and a qualified Arborist is to advise on the impacts of the roots' removal on the tree's survival and report to Council's Landscape Architect.

If tree roots are present a pier and beam method of footing construction is to be adopted so as to bridge/span any identified lateral roots.

- D200. When working within the drip line of the trees, hand digging is to occur in sensitive areas. Liaison on a daily basis is to be maintained during the excavation works between the Builder and Arborist. No filling or compaction shall occur over tree roots within the area defined by the outer drip line of the crown. Root protection/ compaction mitigation in the form of planks or metal decking supported clear of the ground fixed to scaffolding is to be installed as required.
- D206. A qualified arborist (AQF5 or AGF6) is to supervise the excavations for the posts for the rear deck and any other disturbing works for the existing eucalyptus tree in the rear yard nominated on Plan 2802-02A.
- D219. No skip bins or materials are to be stored on Council's Road Reserve.
- D220. A clearly legible "Site Management Sign" is to be erected and maintained throughout the course of works on the site. The sign is to be centrally located on the main street frontage of the site and is to state in clearly legible lettering the following:
- Builder's name, builder's telephone contact number during work hours.
 - No skip bins or materials are to be stored on Council's Road Reserve.

E. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF OCCUPATION CERTIFICATE

NOTE: The issue of interim or partial Occupation Certificates is not permissible within the terms of this consent unless otherwise specifically stated. Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

NOTE: It is an offence to occupy the building or part thereof to which this consent relates prior to issue of an Occupation Certificate.

- E10. A certificate prepared by an appropriate qualified person is to be submitted for the following building components, certifying to the principal certifying authority that the nominated works have been carried out in accordance with the Building Code of Australia, relevant Australian Standards and any conditions of Development Consent. Works are not to progress past this point until the principal certifying authority has confirmed that this condition has been satisfied (see copy of form attached).
- E10a. Ground floor levels FL-1



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E10b. Subsequent floor levels FL-2

E10c. External Finishes EF-1

E10d. Roof ridge levels RL-1

E75. Backwash water from the pool filter is to be connected to the sewer prior to issue of the Occupation Certificate.

E76. A Resuscitation and External Cardiac Compression Chart is to be affixed in a prominent location adjacent to the pool / spa, prior to issue of the Occupation Certificate.

E84. The **pool/spa** is not to be used until an Occupation Certificate has been issued, confirming that the project complies with the relevant standards and the conditions of development consent. The request for an Occupation Certificate is to be accompanied by a copy of all of the Compliance Certificates required by the conditions of development consent (see copy of form attached).

E86. The **building** is not to be occupied or used until an Occupation Certificate has been issued, confirming that the project complies with the relevant standards and the conditions of development consent. The request for an Occupation Certificate is to be accompanied by a copy of all of the Compliance Certificates required by the conditions of development consent (see copy of form attached).

F. MATTERS TO BE SATISFIED PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE

Nil

G. ADVICE

G23. Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.

G24. The applicant is also advised to contact the various supply and utility authorities, ie Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.

G25. It is the Project Manager's responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with Council. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent Council from issuing the Occupation Certificate or the Building Certificate.

G26. In accordance with Section 80A(1)(d) and (e) of the Act, any consent given shall be void if the development to which it refers is not commenced within two (2) years after the date of approval, provided that Council may, if good cause be shown, grant an extension of renewal of such consent beyond such period.

NOTE: Council may be prepared to consider an extension of this Consent period for a further 12 months, however, the request for extension would have to be received during the initial 2 year



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102

Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107

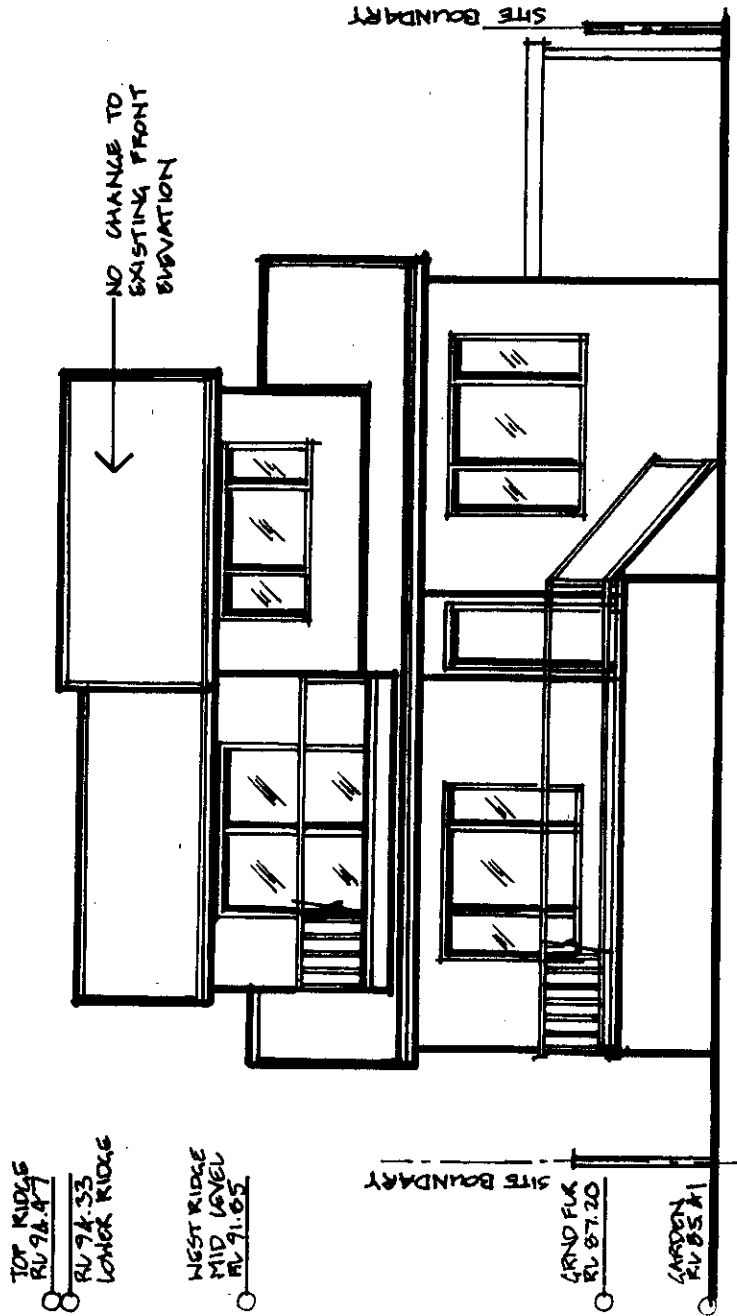
Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

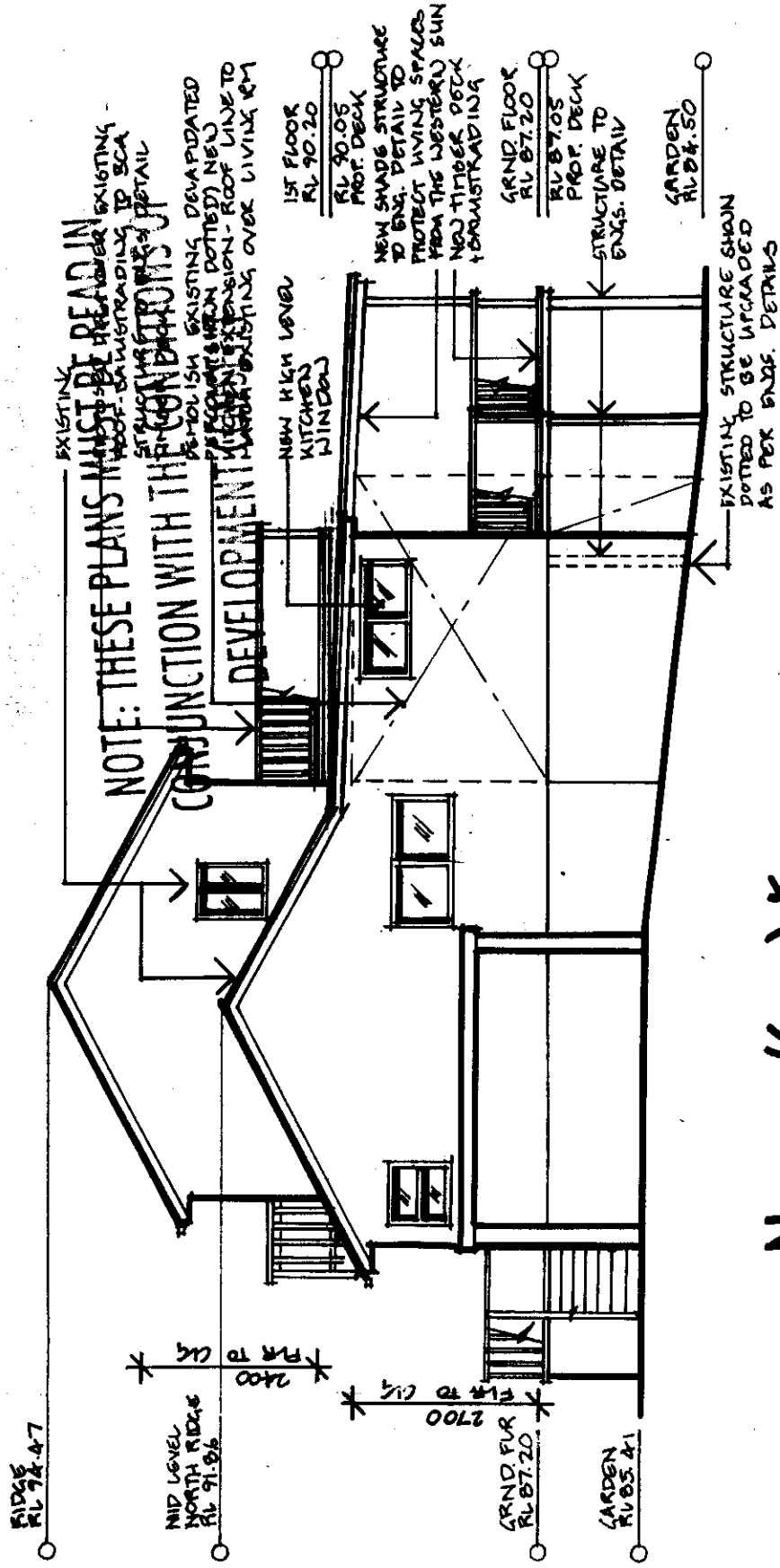
period.

- G27. To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended).
 - G28. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing together with a \$500 fee, within 1 year from the date of determination.
 - G29. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
-

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS



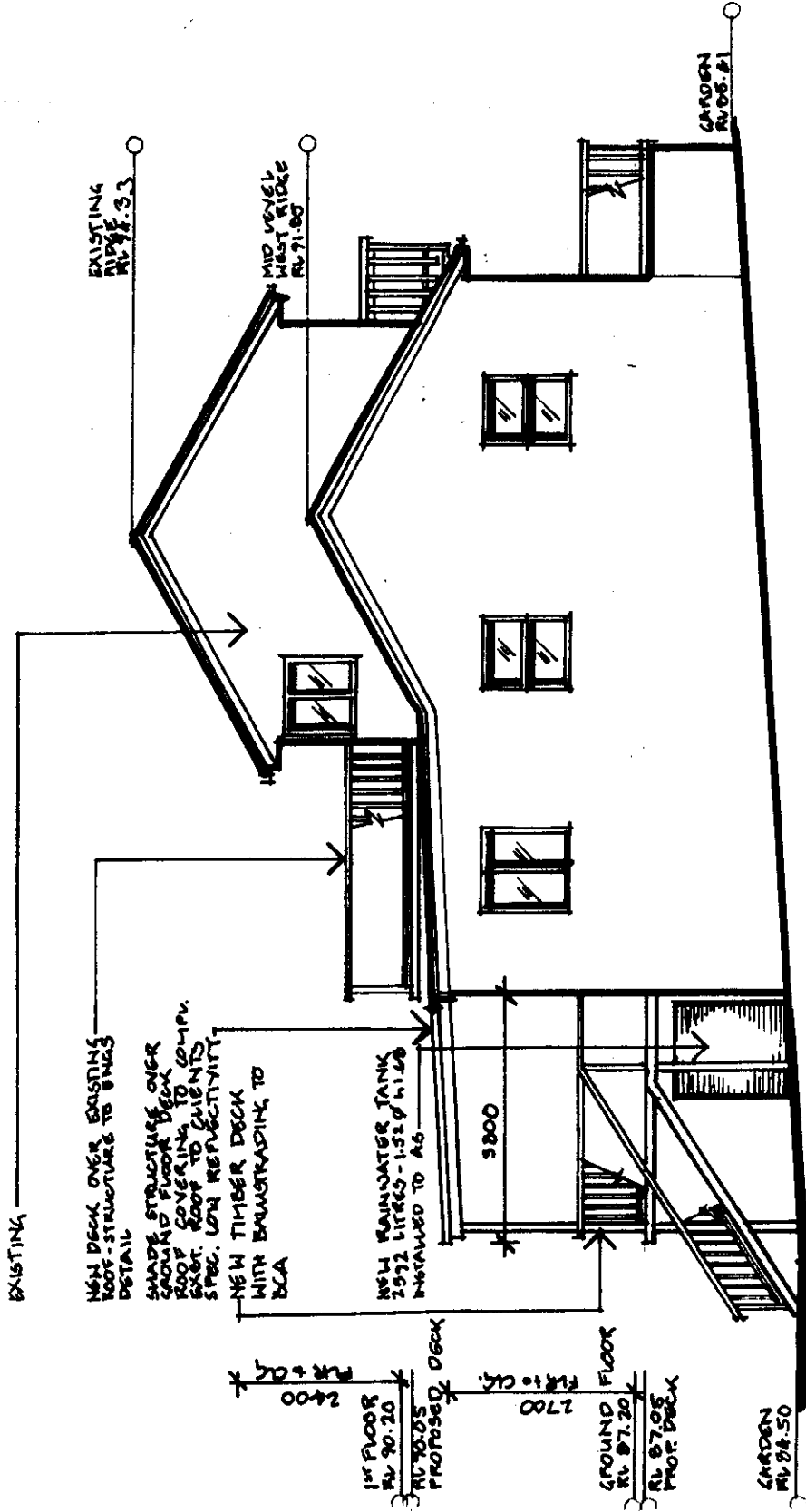
FRONT ELEVATION



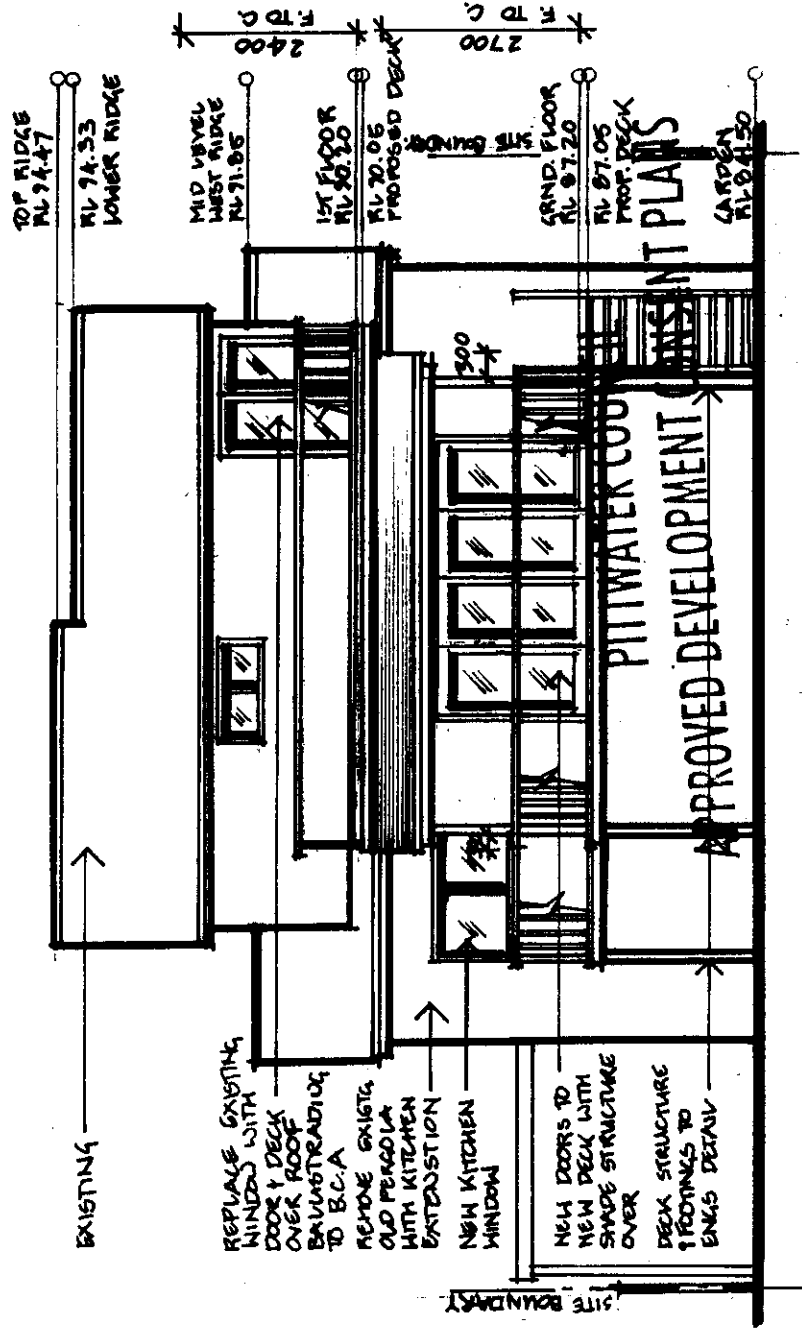
NORTH (SIDE) ELEVATION

33 COOLANGATTA AVE.
ELANORA HEIGHTS

PROPOSED NEW REAR DECK,
KITCHEN EXTENSION & POOL FOR
B. HEAVY & A. CHIPPINDALE 9944-7409
ELEVATIONS SCALE 1:100
DRG NO 2002-03A JULY 04
ARCHITECT: SUSAN VINCENT
TEL: 9960 7941; 0411 870 052



SOUTH (SIDE) ELEVATION SCALE 1:100



GARDEN (WEST) ELEVATION MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF

35 DEVELOPMENT CONSENT
356000 VAN CATTIA AVE.
FLANORA HEIGHTS
PROPOSED NEW REAR DECK, KITCHEN EXTENSION + POOL FOR B. HEAVY + ACHIPPINDALL RD 99447409
ELEVATIONS SCALE 1:100
DRG NO: 2002-04 A JULY 04
ARCHITECT: SUGAN VINCENT
TEL: 9960 7941; 0411 070 052

EXISTING
TOP RIDGE
RL 94.27

EXISTING RESIDENCE

PROPOSED NEW TIMBER DECK
WITH 1M HIGH BALUSTRADE
IN ACCORDANCE WITH BCA

EXISTING
1ST FLOOR
RL 90.20

EXISTING 1ST
FLOOR
RL 90.28

RL 90.05
PROPOSED DECK

EXISTING
GROUND FLOOR
RL 87.20

EXISTING
GROUND FLOOR
RL 87.20

EXISTING
GARDEN LEVEL
RL 86.41

RL 87.06
PROPOSED DECK

EXISTING
GARDEN LEVEL
RL 86.46

NEW TIMBER DECK OFF EXISTING
LIVING AREA WITH SHADE STRUCTURE
OVER ON FRAMES TO MATCH EXISTING
ROOF PITCH TO MATCH EXISTING
PITCH OVER LIVING ROOM

BALUSTRADE 1M HIGH IN
ACCORDANCE WITH BCA

NEW EXISTING NEW STRUCTURE
TO MATCH DETAIL

NEW 2592 LITRE RAINWATER
TANK INSTALLED AS PER
MANUF. INSTRUCTIONS
1600 HIGH 1520 Ø

NEW DECK

EXISTING
LIVING

EXISTING
LIVING

EXISTING
BEDROOM

EXISTING
BEDROOM

EXISTING
BEDROOM

EXISTING
BEDROOM

EXISTING
STORAGE
AREA

EXISTING
CLOSET
AREA

EXISTING
UNDER

EXISTING
GARDEN

SECTION A SCALE 1:100

1.8-1.2m DEEP ALONG
GROUND POOL INSTALLED TO
MATCH INSTRUCTIONS
BED TO MATCH DETAIL

HARDWOOD TIMBER DECK
AROUND POOL, POOL FENCE
IN ACCORDANCE WITH BCA

HARDWOOD BOARDWALK +
SANDSTONE STEPS TO
LANDSCAPE PLAN DETAILS

TREE AT MATURITY

TIMBER FENCING FENCE
1.8 ABOVE GROUND LEVEL

LOW WALL-REFER LANDSCAPE
PLANS FOR DETAILS

EXISTING LEVEL
SHOWN DOTTED

RL 83.00

RL 83.15

RL 84.35

RL 84.55

PITTSWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT

33 COOLANGATTA AVE.
DEERANORA HEIGHTS

PROPOSED NEW REAR DECK,
KITCHEN EXTENSION + POOL FOR
B. HEAVY + A. CHIPPINDALL TEL: 99447409

SECTIONS SCALE: AS SHOWN
Dwg NO: 2002-05A JULY 04

ARCHITECT: SUSAN VINCENT
TEL: 9960 7941; 0411 870052

SECTION B SCALE 1:100

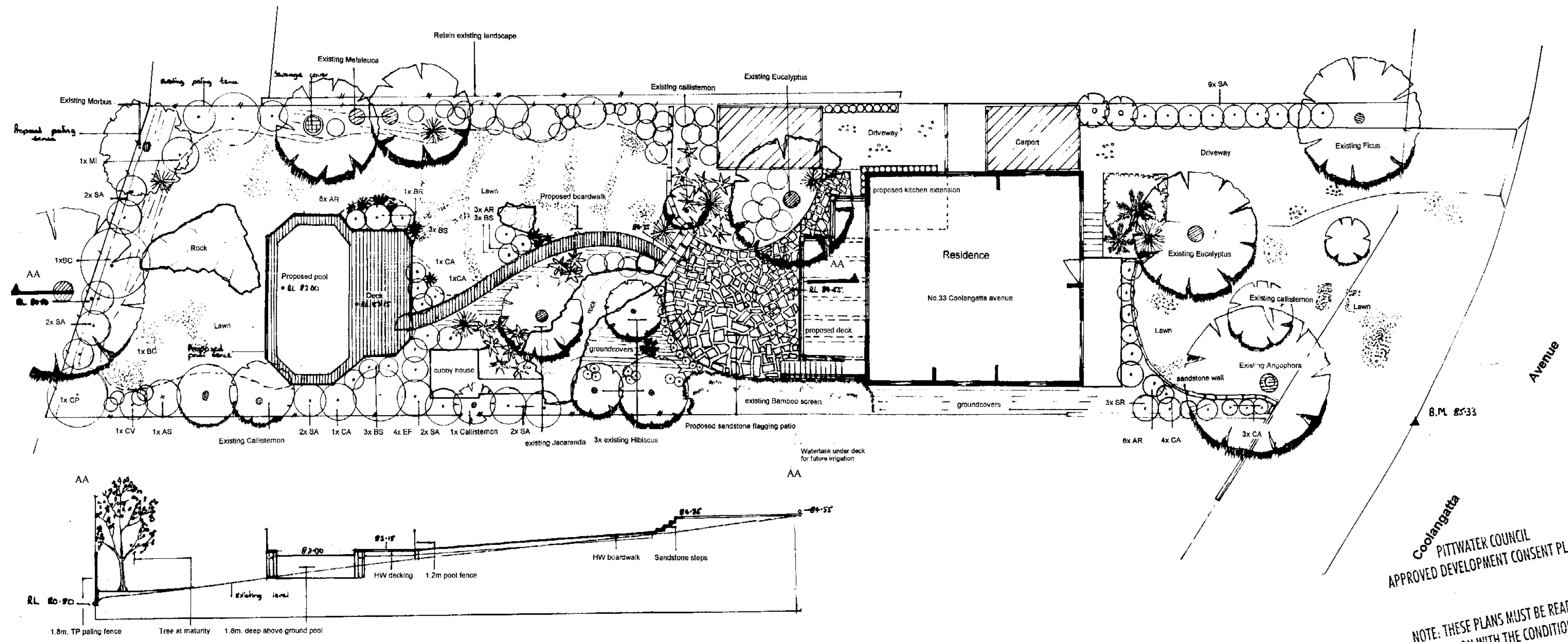
I, Andrew Chippindall, certify that the works to be carried out will conform to D.C.P. No.23
17/04/05.
Associate, Australian Institute of Landscape Designers & Managers (A/LDM),
Dipl. Applied Science (Landscape).

Landscape plan 1:100

*Exact positioning of structural landscape items may vary due to sub surface rock outcrops.

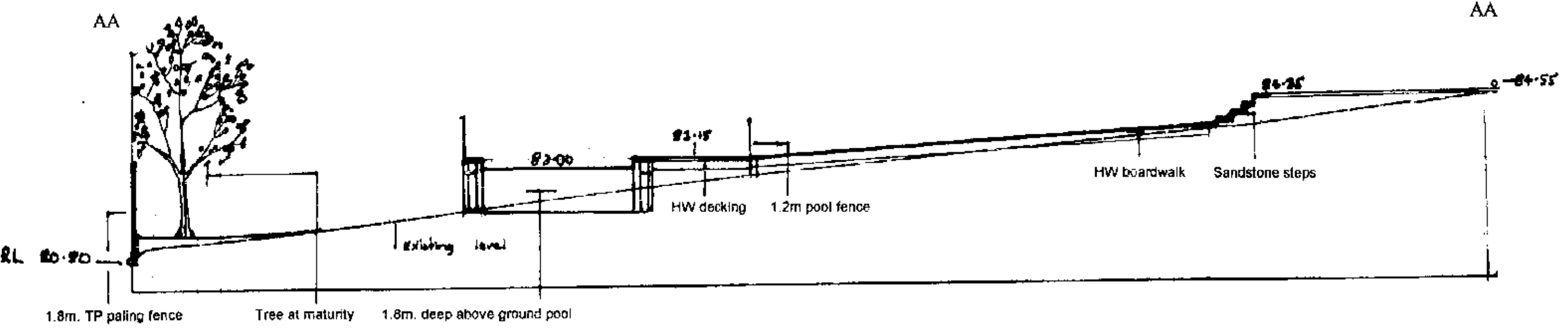


- LEGEND
- Existing trees
 - Flagging
 - Rock
 - Proposed plantings
 - Groundcovers
 - Lawn
 - Garden edge



Swimming Pool Stamp
Permits are required to fill all new swimming pools with a capacity greater than 10,000L. Contact Sydney Water on 13 20 92 during business hours. Fines of \$220 will apply for filling pools without a permit.

Section 1:100



Tree Protection Notes

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Protection
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Type of enclosure
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Excavation
If excavation is required near trees to be retained use hand methods to locate, expose and cleanly remove the roots on the line of excavation.

The following actions are prohibited beneath the canopy of any trees which are to be protected:

- Stockpiling or dumping soil
- Stockpiling of construction materials, waste or refuse
- Parking or driving of construction vehicles or equipment
- Disposal of any form of liquid waste
- Placement of waste collection bins
- Removal or stripping of site topsoil.

PLANT SCHEDULE - 33 Coolangatta Ave, Elenora Heights

Botanical name	Common name	Quantity	Size	Mature height
Key Trees/Palms				
BC	Banksia cinnamomea	3	25l	4m
BR	Banksia robur	1	25l	3m
CP	Cornostylis apicalis	3	5l	6m
MI	Magnolia indica	1	100l	12m
CV	Callistemon viminalis	1	15l	4m
HM	Howea forsteriana	8	15l	8m
SA	Syzygium australe	15	25l	4m
Shrubs				
AR	Anigozanthos Regalflow	15	5l	1m
BS	Banksia spinulosa	8	5l	1m
CF	Cordylis fruticosa	4	5l	2m
CA	Correa alba	5	15l	1m
CC	Cyathra cooperi	8	1.0m	3m
EF	Echium Hybrid	7	5l	1m
GB	Grevillea buxifolia	5	5l	1m
GS	Grevillea speciosa	3	5l	1m
MC	Macrozamia communis	8	15l	5m
PT	Phormium tenax	9	5l	1.2m
SR	Sprentzia reginae	5	5l	2m
Groundcovers				
AA	Adiantum aethiopicum	10	150mm	2m
BN	Blechnum nudum	16	150mm	4m
H.A	Hardy's Begonia	15	40mm	2m
GP	Grevillea pinnatifida	25	150mm	2m

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Development Application

Chippindall Landscapes Pty Ltd

33 Coolangatta Ave, Elenora Heights NSW 2101

Mobile: 0408 462 332 Fax: 02 8844 7420 Email: a.chippindall@chippindall.com.au

Job

33 COOLANGATTA AVENUE
Elenora Heights NSW 2101

DATE

LANDSCAPE PLAN

SCALE DATE

1:100 August 2004

DRAWN

AJC

Drawing Number:

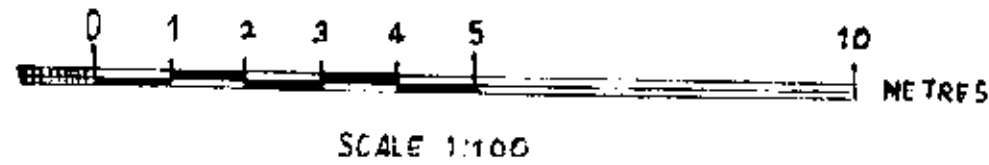
LA01 A

I, Andrew Chippindall,
certify that the works
will conform with L.C.A. No 23

Andrew Chippindall
Associate Australian Institute of
Landscape Designers + Managers
(AAILDM),
Diploma Applied Science (Landscapes).

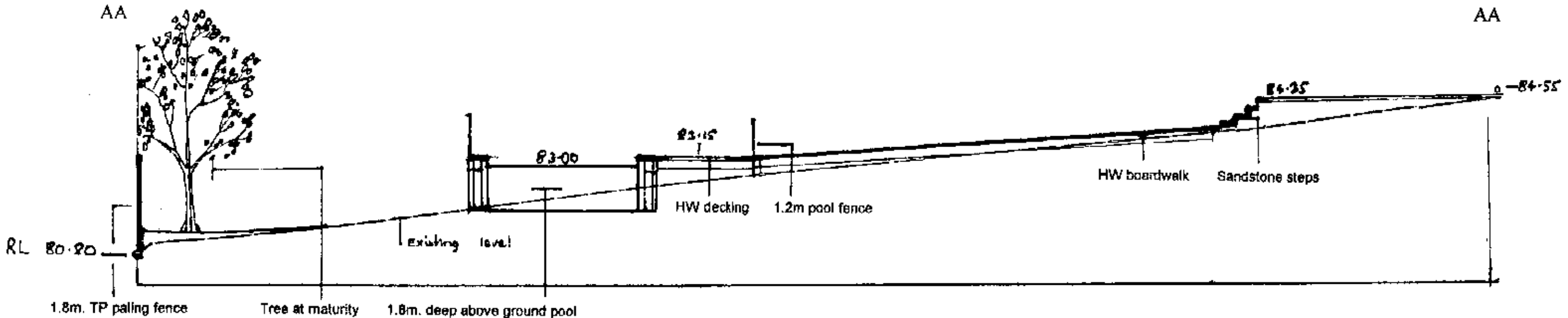
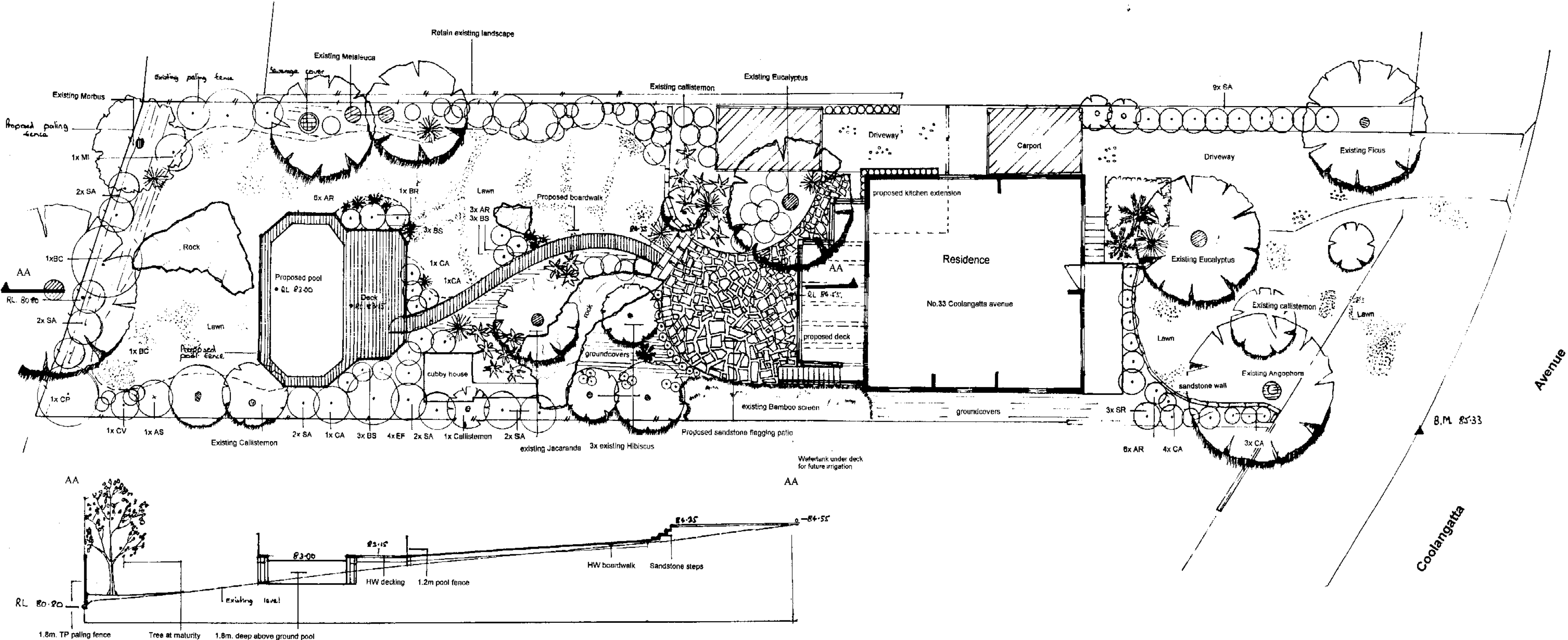
Landscape plan 1:100

*Exact positioning of structural landscape items
may vary due to sub surface rock outcrops.



LEGEND

Existing trees	
Flagging	
Rock	
Proposed plantings	
Groundcovers	
Lawn	
Garden edge	



Section 1:100

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PLANT SCHEDULE - 33 Coolangatta Ave, Elenora Heights

Botanical name	Common name	Quantity	Size	Mature height	
Key					
Trees/Palms					
BC	Banksia cuneolata	Myrtle	3	25'	4m
BR	Banksia rostrata	Old man Banksia	1	25'	3m
CP	Ceratopetalum apetalum	NSW Christmas bush	3	5'	6m
MI	Magnolia indica	Mango	1	100'	12m
CV	Callistemon viminalis	Bottlebrush	1	15'	4m
HM	Howea forsteriana	Kentia palm	6	15'	5m
SA	Syzygium australe	Lilly pilli	15	25'	4m
Shrubs					
AR	Anigozanthus 'Regalglow'	Kangaroo paw	15	5'	1m
BS	Banksia spinulosa	Hairpin Banksia	6	5'	1m
CF	Cordyline fruticosa	Red Ti Cordyline	4	5'	2m
CA	Correa alba	White Correa	5	15'	1m
CC	Cyathocha cooperi	Straw tree fern	6	1.0m	3m
EF	Echium Hybrid	Pride of Madiera	7	5'	1m
GB	Grevillea buxifolia		5	5'	1m
GS	Grevillea speciosa		3	5'	1m
MC	Macrozamia communis	Burrawang	6	15'	5m
PT	Phormium tenax		9	5'	1.2m
SR	Streptocarpus reginae	Bird of paradise	5	5'	2m
Groundcovers					
AA	Aspidistra elatiorum	Maidenhair fern	10	150mm	2m
BN	Blechnum nudum	Water fern	15	150mm	4m
HA	Hardenbergia sp		15	40mm	2m
GP	Grevillea pinnatifida	"Royal mantle"	25	150mm	2m

Development Application

Chippindall Landscapes Pty Ltd
33 Coolangatta Ave,
Elenora Heights 2101
Tel: 09447409
Email: Chippindall@aol.com.au

JOB

33 COOLANGATTA AVENUE
NORTH NARRABEEN

TITLE

LANDSCAPE PLAN

SCALE DATE

1:100 JUNE 2004

DRAWN

AJC

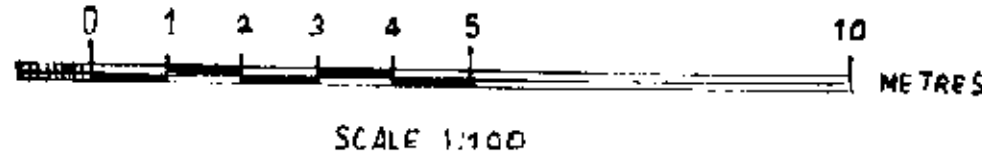
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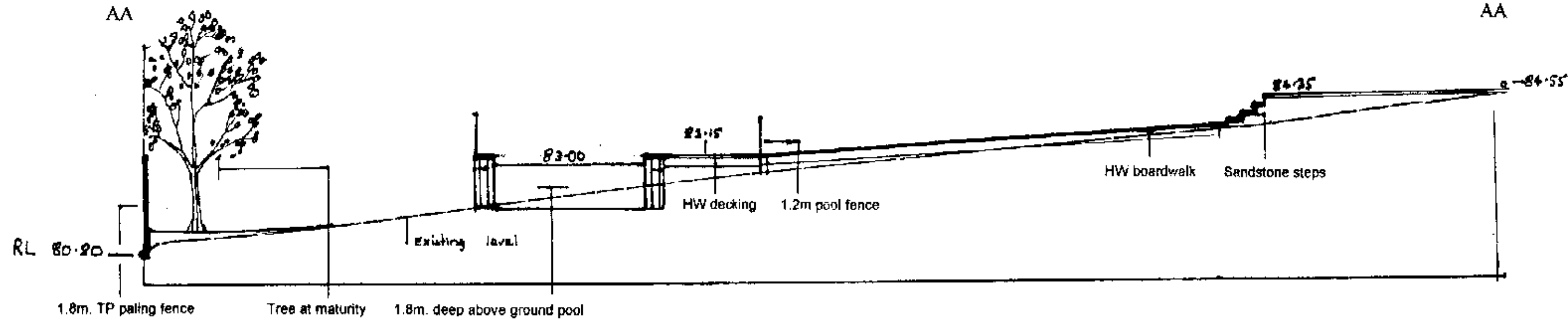
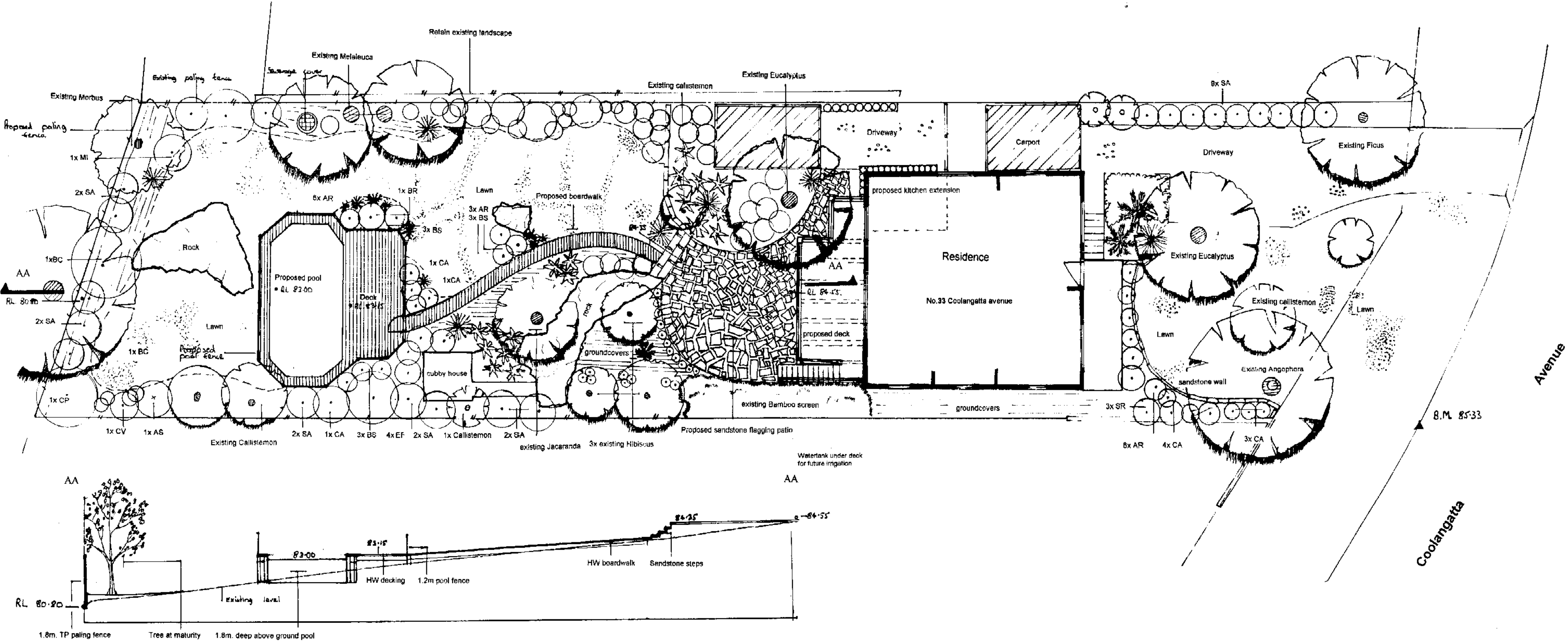
Landscape plan 1:100

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LEGEND

- Existing trees
- Flagging
- Rock
- Proposed plantings
- Groundcovers
- Lawn
- Garden edge



Section 1:100

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AA	Adiantum aethiopicum	10	150mm	2m
BN	Blechnum nudum	15	150mm	4m
HA	Hardenbergia sp	15	40mm	2m
GP	Grevillea pterocarya	25	150mm	2m

Development Application

Chippindall Landscapes Pty Ltd
33 Coolangatta Ave,
Elenora Heights 2101
Tel: 98447409
Email: Chippindall@adl.com.au

JOB

33 COOLANGATTA AVENUE
NORTH NARRABEEN

TITLE

LANDSCAPE PLAN

SCALE DATE

1:100 JUNE 2004

DRAWN

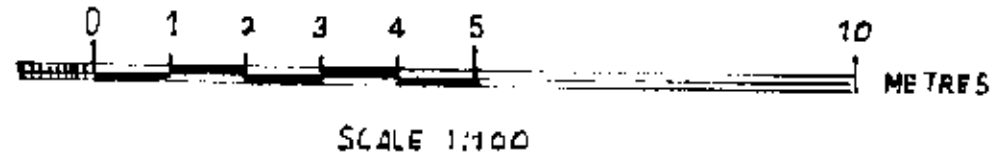
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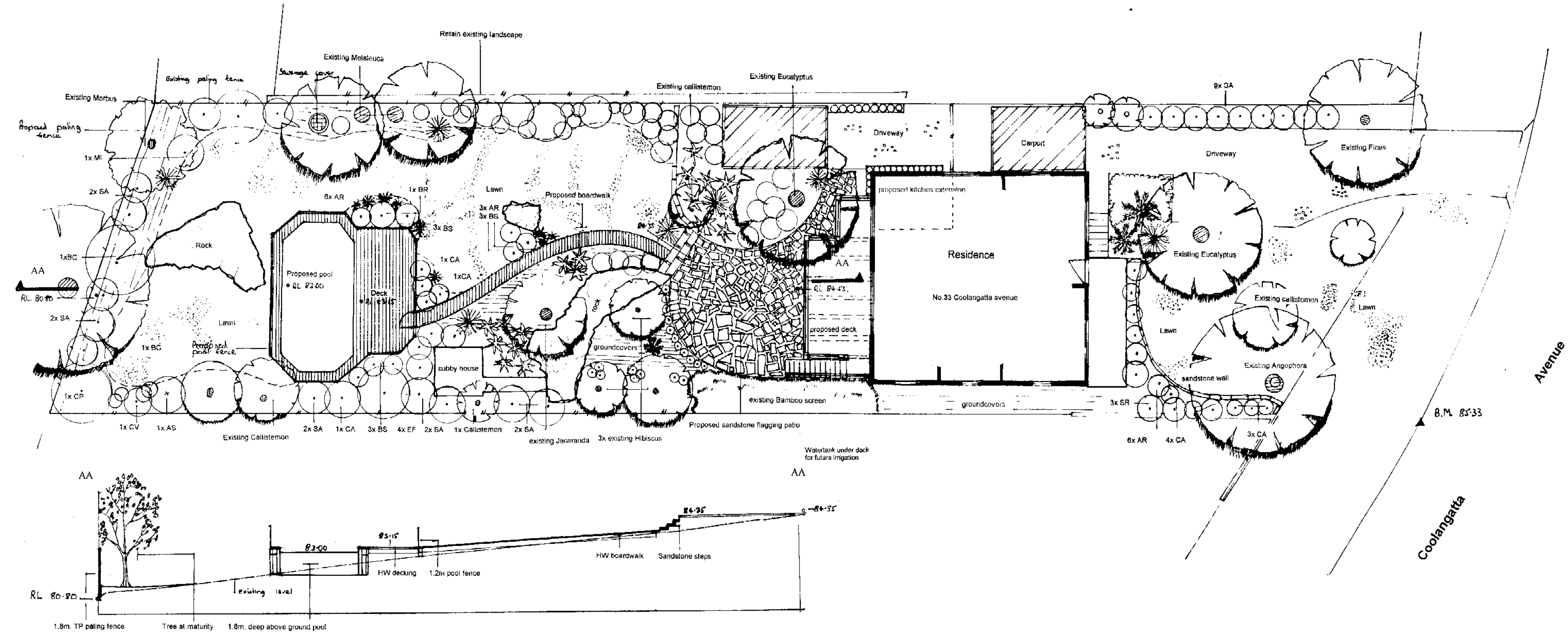
Landscape plan 1:100

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LEGEND

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- Flagging
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EH	Echium Hybrid	Pride of Madiera	7	5l 1m
GB	Grevillea buxifolia		5	5l 1m
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MC	Macromia communis	Burrewong	6	15l 3m
PT	Phormium tenax		9	5l 1.2m
SR	Streptocarpus reginae	Bird of paradise	5	5l 2m
Groundcovers				
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HA	Hardenbergia sp		15	40mm 2m
GP	Grevillea pinnatifida	'Royal mantle'	28	150mm 2m

Development Application

Chippindall Landscapes Pty Ltd
33 Coolangatta Ave,
Elanora Heights 2101
Tel: 99447469
Email: chippindall@eol.com.au

JOB

33 COOLANGATTA AVENUE
NORTH NARRABEEN

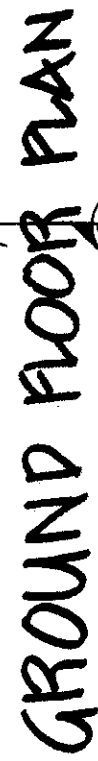
TITLE

LANDSCAPE PLAN

SCALE DATE
1:100 JUNE 2004

DRAWN

AJC



WORKING DRUGS

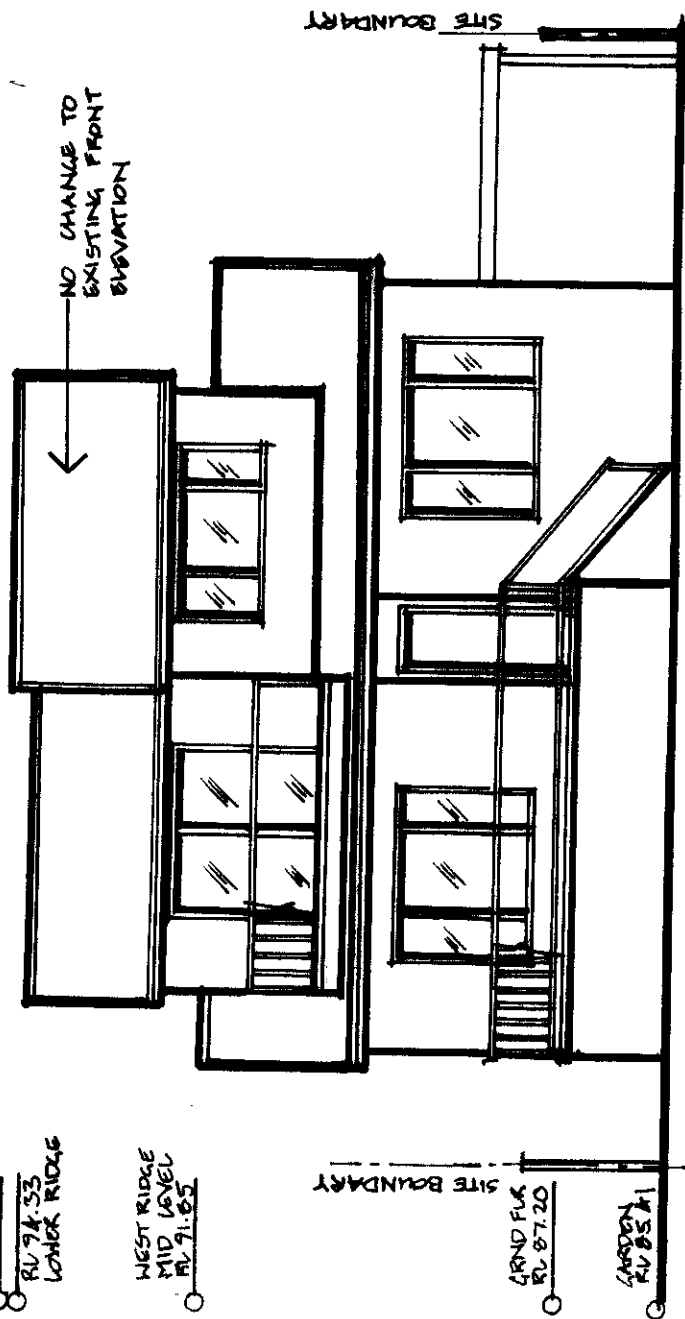
FLOOR PLANS SCALE 1:100
 DRG. NO 2802-01A JULY 04
 DRN: S VINCENT - TEL 9960 7941

TOT RIDGE
RL 94.47
RU 94.33
LONGER RIDGE

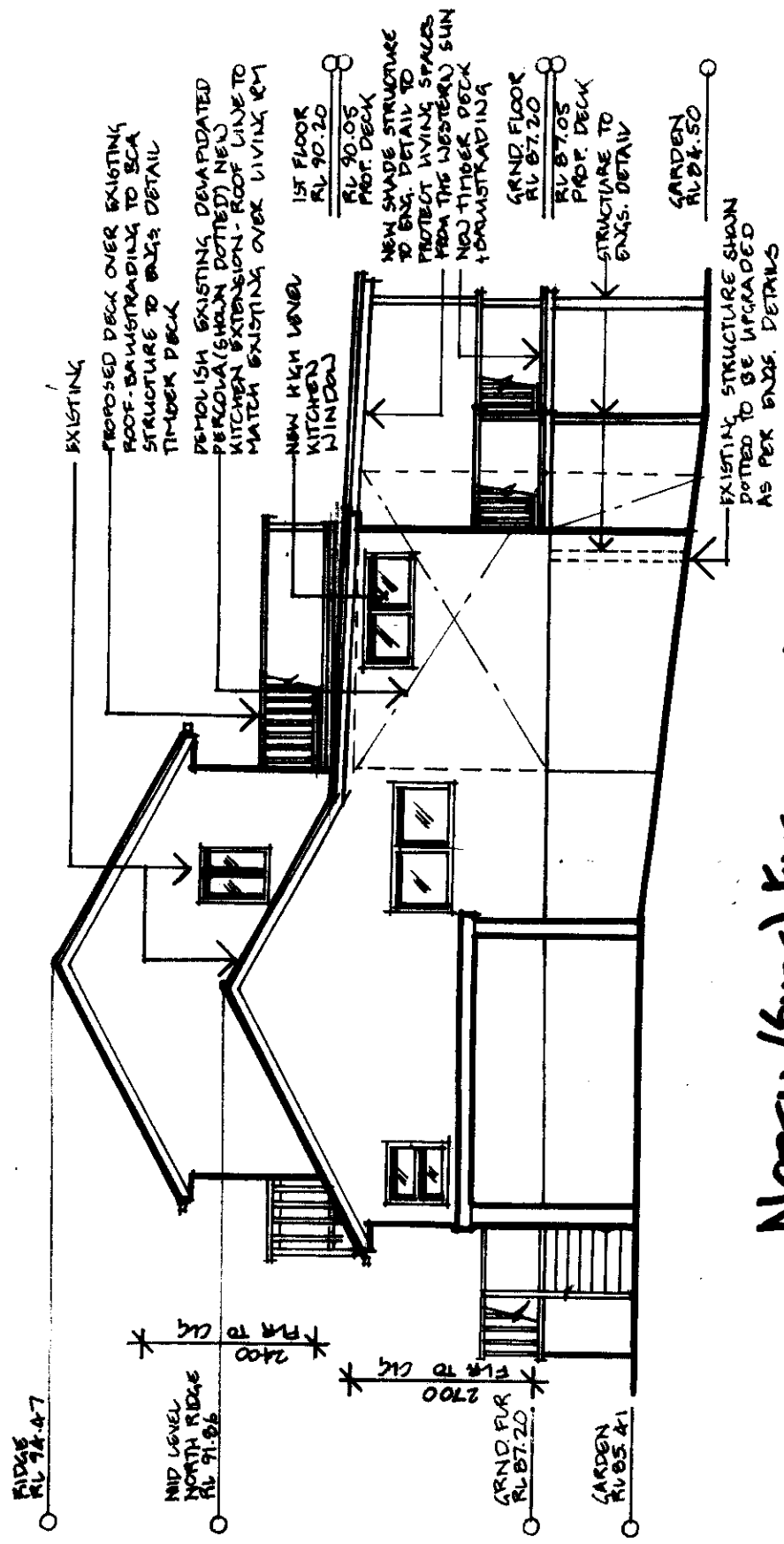
WEST RIDGE
MID LEVEL
RL 91.85

GRND FLR
RL 87.20

GARDEN
RL 85.41



FRONT ELEVATION



NORTH (SIDE) ELEVATION

33 COOLANGATTA AVE. ELANORA HEIGHTS

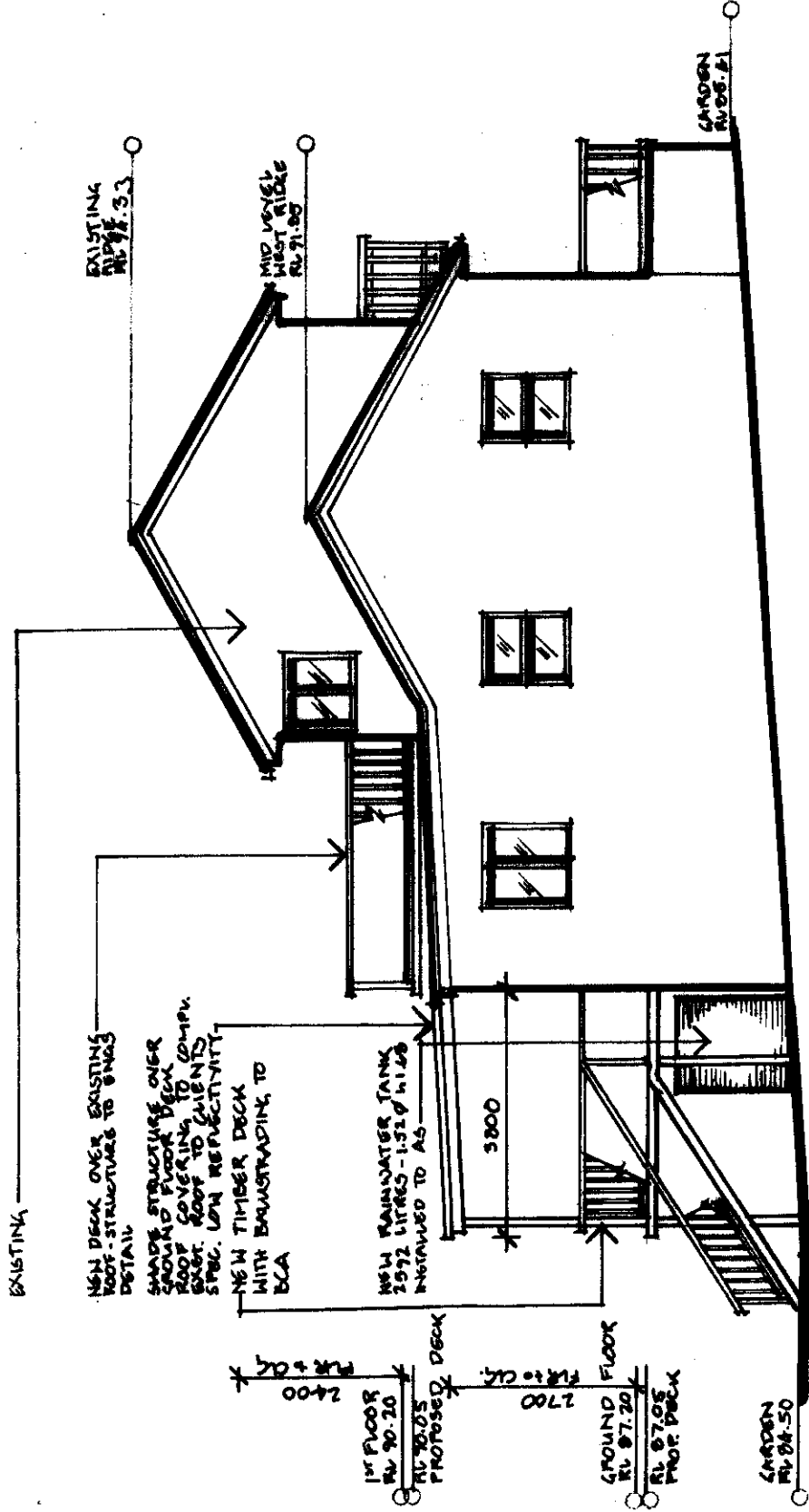
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DRG NO 2002-03 A JULY 04
ARCHITECT: SUSAN VINCENT
TEL: 9960 7941; 0411 870 052

ISSUED FOR CONSTRUCT.
06/01/04 DEC 04

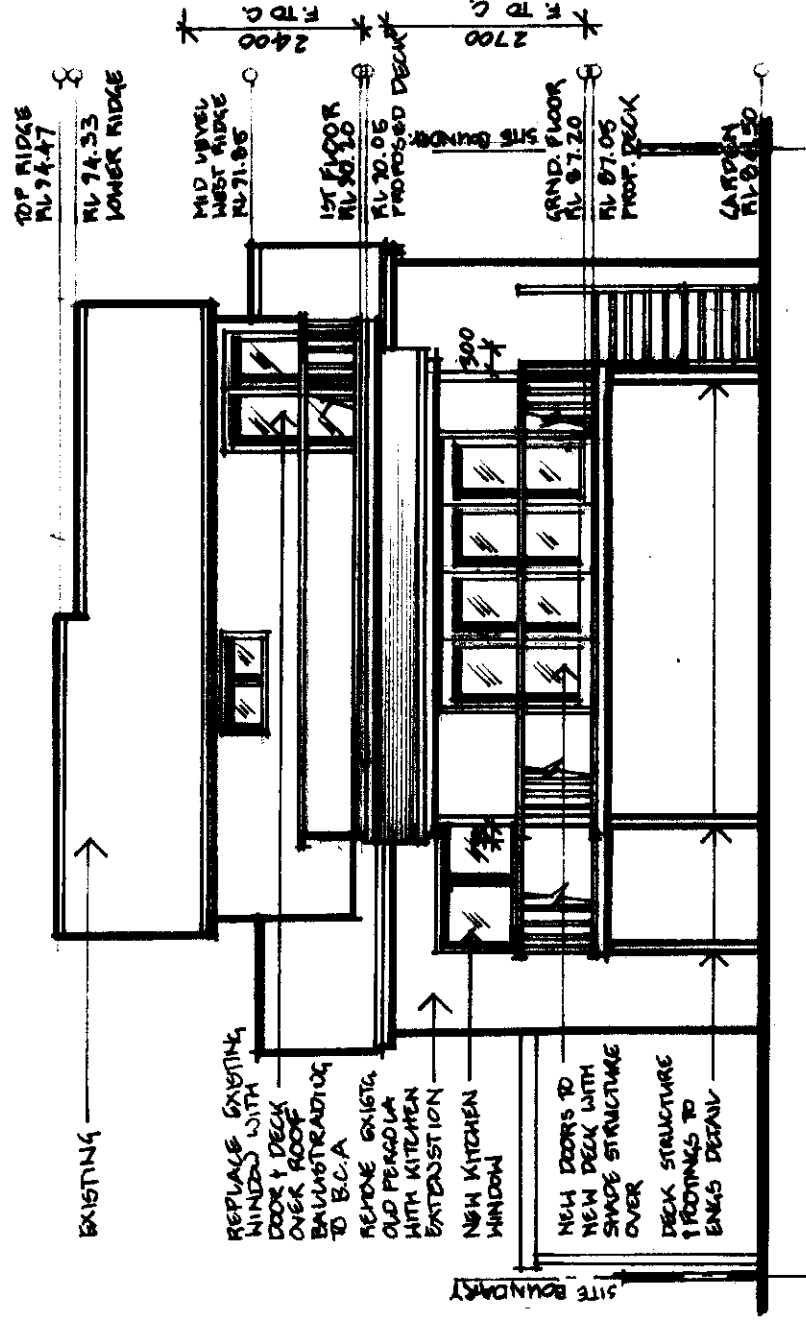
SITE MEASURE CHECK ALL DIMENSIONS
PRIOR TO MANUFACTURE &
COMMENCEMENT OF WORK 12/DEC/04

READ IN CONJUNCTION WITH ENGS.
DRAWINGS & LANDSCAPE PLANS

WORKING DRAWGS.



SOUTH (SIDE) ELEVATION SCALE 1:100



GARDEN (WEST) ELEVATION

ISSUED FOR CONSTRUCTION
CERT DEC 04

SITE MEASURE, CHECK ALL DIMENSIONS PRIOR TO MANUFACTURE FOR MAXIMUM OF WORK

READ IN CONJUNCTION WITH ENDS DRUGS & LANDSCAPE PLANS

WORKING DRUGS

33 COOLANGATTA AVE.
FLANORA HEIGHTS

PROPOSED NEW REAR DECK,
KITCHEN EXTENSION & POOL FOR
B. HEAVY & A. CHIFFINDALL RD 99447409

ELEVATIONS SCALE 1:100

DRG NO: 2002-04 A JULY 04

ARCHITECT: SUSAN VINCENT
TEL: 9960 7941; 0411 870 052

EXISTING
TOP FLOOR
RL 92.47

EXISTING RESIDENCE

EXISTING
1st FLOOR
RL 90.20

EXISTING
GROUND FLOOR
RL 87.20

EXISTING
GARDEN LEVEL
RL 85.41

EXISTING 1st
FLOOR
RL 90.28

RL 90.05
PROPOSED DECK

EXISTING
GROUND FLOOR
RL 87.20

RL 87.05
PROPOSED DECK

EXISTING
GARDEN LEVEL
RL 82.46

PROPOSED NEW TIMBER DECK
WITH 1M HIGH BALUSTRADE
IN ACCORDANCE WITH BCA

NEW TIMBER DECK OFF EXISTING
LIVING AREA WITH SHADE STRUCTURE
OVER ON FRAME TO EXIST DETAIL
ROOF PITCH TO MATCH EXISTING
PITCH OVER LIVING ROOM

BALUSTRADE 1M HIGH IN
ACCORDANCE WITH BCA

NEW EXISTING NEW STRUCTURE
TO EXIST DETAIL

NEW 2572 LITRE RAINWATER
TANK INSTALLED AS PER
MANUFACTURER'S INSTRUCTIONS
1600 HIGH 1520 Ø

SECTION A

SCALE 1:100

1.8-1.2 M DEEP ALONG
GARDEN POOL INSTALLED TO
MATCH INSTRUCTION.
BED TO EXIST DETAIL

HARDWOOD TIMBER DECK
AROUND POOL. POOL FENCE
IN ACCORDANCE WITH BCA

HARDWOOD BOARDWALK &
SANDSTONE STEPS TO
LANDSCAPE PLAN DETAILS

RL 84.55

RL 84.35

TREE AT MATURITY
1.5 ABOVE GROUND LEVEL

LOW WALL - REFER LANDSCAPE
PLANS FOR DETAILS

EXISTING LEVEL
SHOWN DOTTED

RL 90.80

RL 83.05

RL 83.15

SECTION B

SCALE 1:100

ISSUED FOR CONSTRUCT.
CERT. DEC 04

SITE MEASURE - CHECK ALL DIMENSIONS
PRIOR TO MANUFACTURE & COMPLEX.
MEET OF WORK 12 DEC 04

READ IN CONJUNCTION WITH ENGS.
DRAWS & LANDSCAPE PLANS.

WORKING DRWGS

33 COOLANGATTA AVE.
ELANORA HEIGHTS

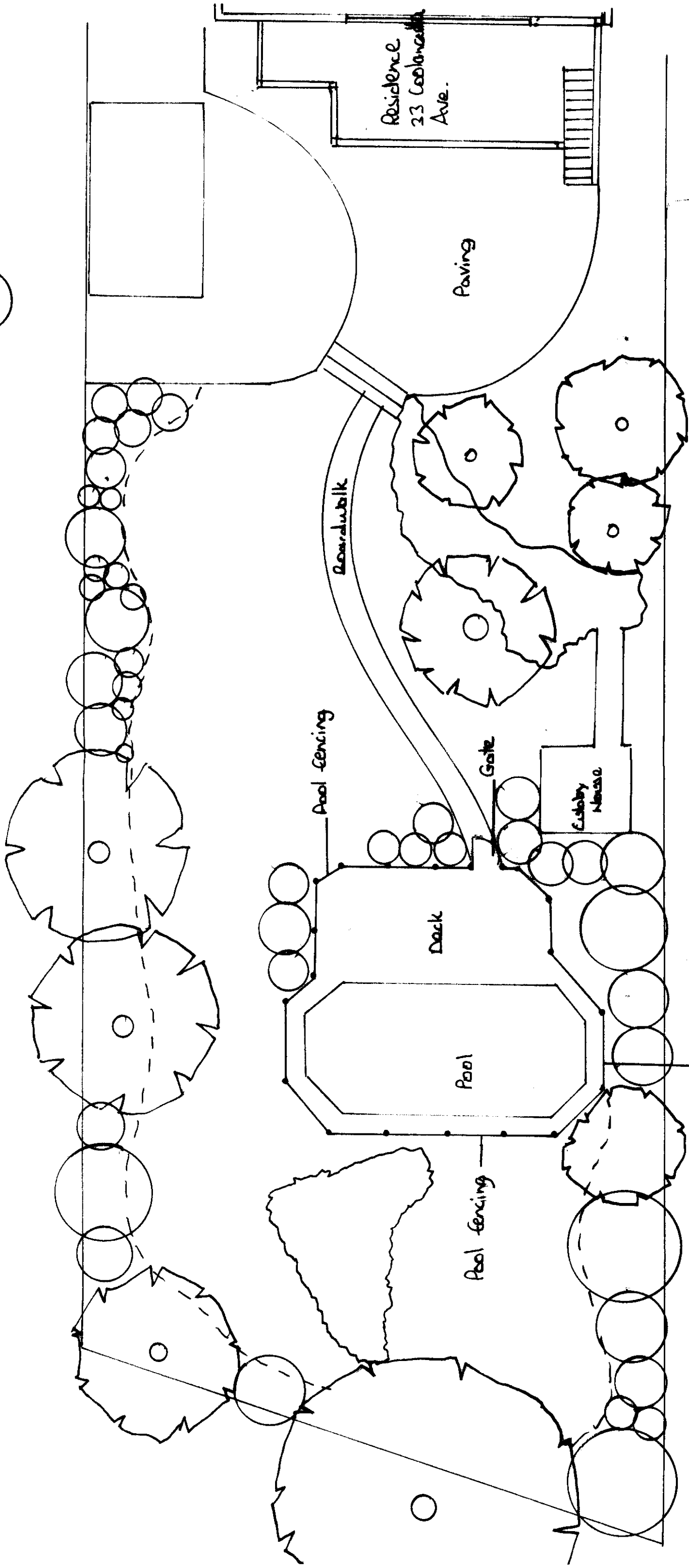
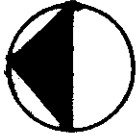
PROPOSED NEW REAR DECK,
KITCHEN EXTENSION & POOL FOR
B. HEAVY & A. CHIPPINDALE TEL: 9447407

SECTIONS SCALE: AS SHOWN

DRG NO: 2002-05A JULY 04

ARCHITECT: SUSAN VINCENT

TEL: 9960 7941; 0411 870 052



Pool Fencing Location

Diagram for C.C.

Read in conjunction
with Landscape Plan.

Jan. 2005.

Pool fence, gate + latch
to B.C.A. around pool
and deck. Located in
accordance with the
Swimming Pool Act 1992
AS 1926.1-1993.

5 January 2005

Compliance Officer
Pittwater Council
Unit 9, 11, 12 5 Vuko Place
Warriewood NSW 2102

Dear Sir or Madam

The stormwater management system will comply with section 3.1.2 "Drainage" of the Building Code of the Australia Housing Provision and AS/NZS 3500.3.2- Stormwater Drainage. The stormwater system will dispose of site storm water to a public system. The work is to be carried out by Licensed Plumber, Andrew Donovan of Donovan Plumbing Services License No L936. 3 Kay Close, Mona Vale, 2103. Please refer to attached plan.

Sincerely



Andrew Donovan
Donovan Plumbing Services



DONOVAN PLUMBING SERVICES P/L

Lic No. 936 — C.A. A1548

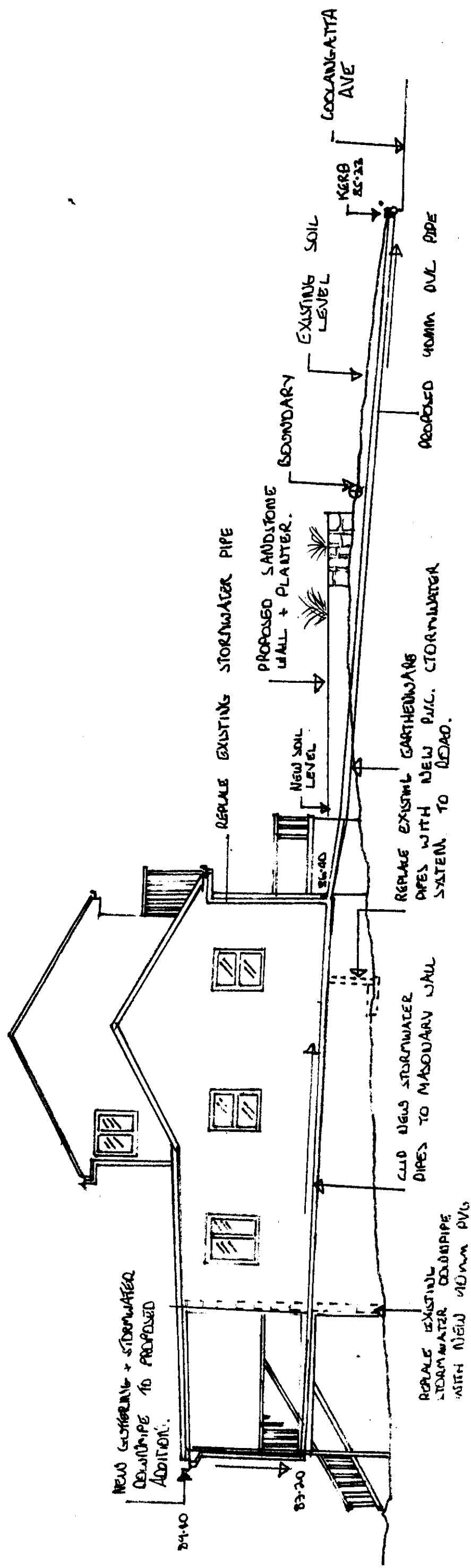
ANDREW DONOVAN

Mobile 0418 645037

PLUMBING - DRAINING - GASFITTING - LP GAS

3 KAY CLOSE, MONA VALE, N.S.W. 2103 — PH. 9997 2339

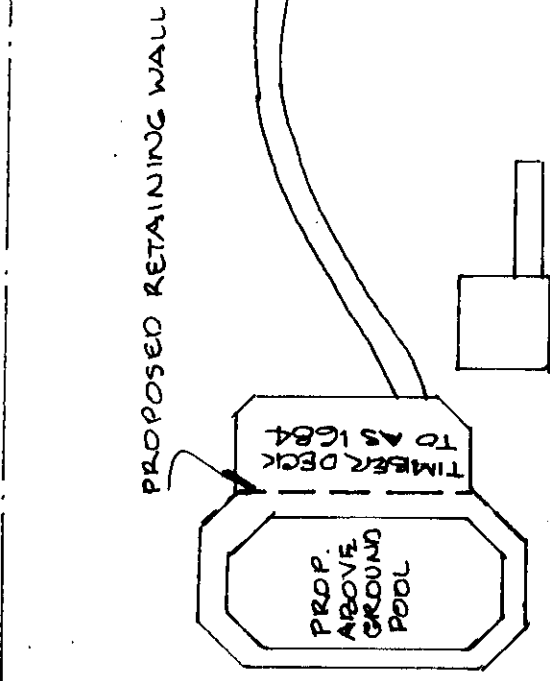
STORM WATER DRAINAGE PLAN



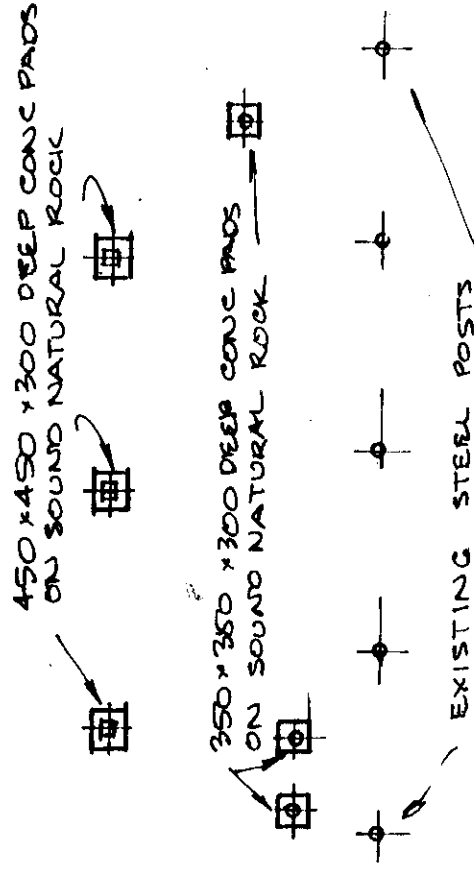
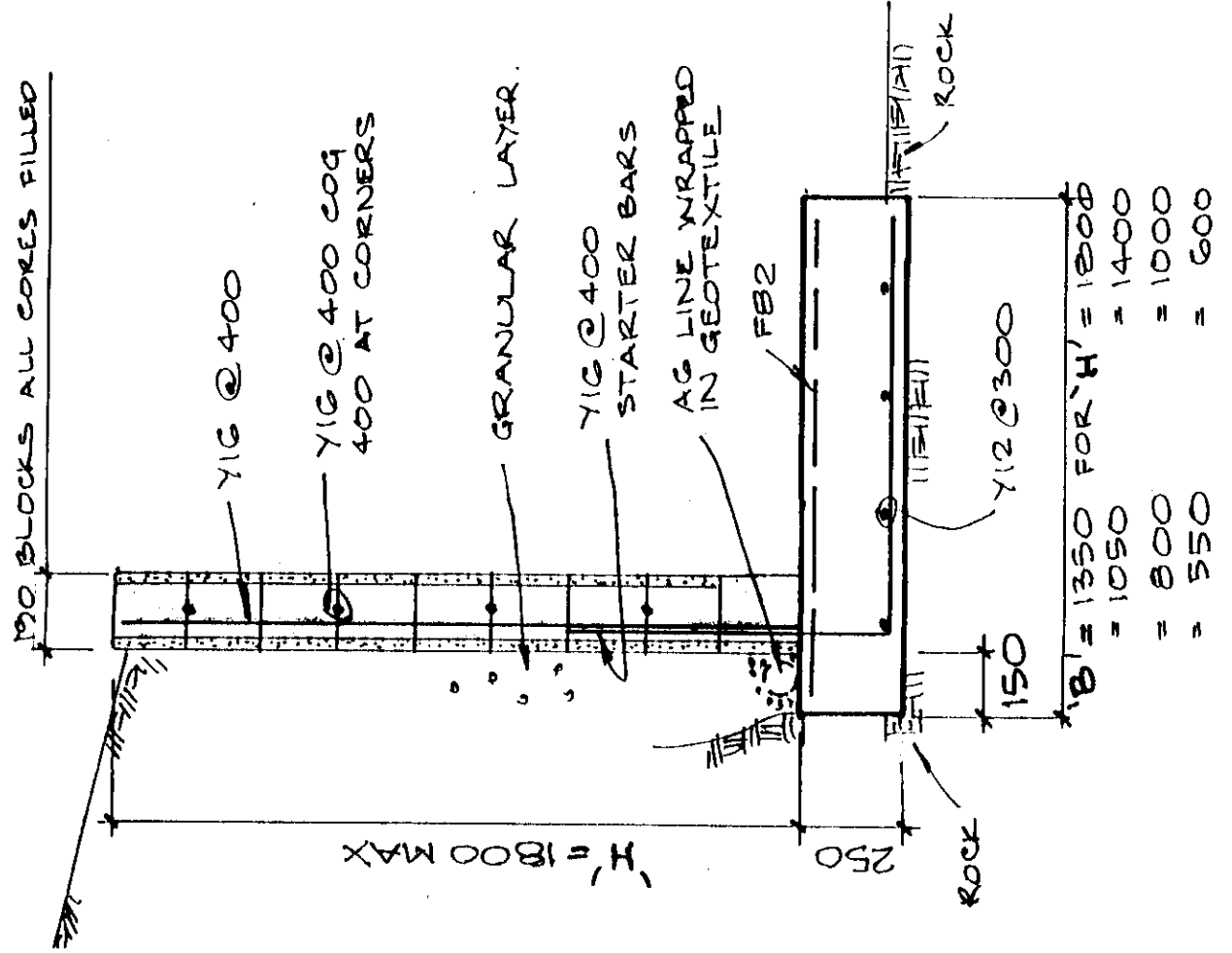
5 / 2005
 A92 onovan 1936

33 COOLANGATTA AVE
ELANORA HEIGHTS
PROPOSED STORM WATER SYSTEM FOR
B HEALY & A CHIPPINDALL
SCALE 1:100
PLUMBER: ANDREW DONOVAN TEL: 0418645037
DA NO 566704

3 COPIES WITH
DOCUMENT
CERTIFICATION
ON BACK TO BE
SUBMITTED TO
COUNCIL
CONDITION B60



SITE PLAN



PLAN ON FOOTINGS.

BRICK RETAINING WALL

IAN NEILLY PTY LTD

CONSULTING STRUCTURAL & CIVIL ENGINEER
25 UPPER CLIFF AVENUE NORTHBRIDGE 2063
PH 9558 4087 FAX 9557 3827 ABN 99 002 347 358

ALTERATIONS & ADDITIONS TO RESIDENCE

33 COOLANGATTA AVE ELANORA HEIGHTS

FOR B. HEALY & A CHIPPINDALL

FOOTINGS & RETAINING WALLS

APPROVED DATE SCALE JOB NO. DES NO.

11/11/11 1:20, 1:20 04/170 - 1

PLAN OR DOCUMENT CERTIFICATION

I am a qualified * STRUCTURAL ENGINEER

I hold the following qualifications or licences No. CP ENG 303423

MIE And DIP. TECH (STRUCTURAL ENGINEERING)

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Industry standards.

IAN NEILLY 17-12-04 [Signature] MIE And

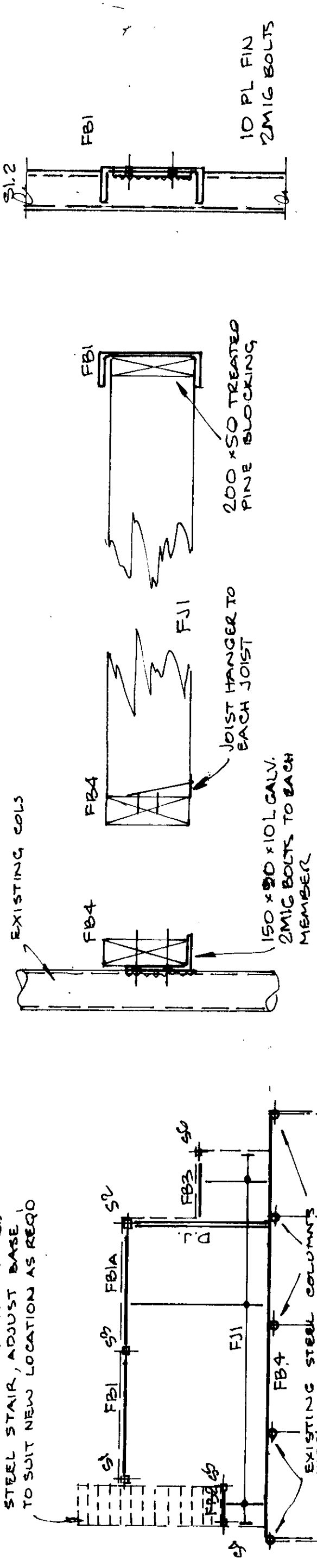
Name

Date

Signature

* eg. Licensed Builder, Electrical Contractor, Engineer, Landscape Architect, Geotechnical Engineer, etc.

REUSE EXISTING, RELOCATED
STEEL STAIR, ADJUST BASE
TO SUIT NEW LOCATION AS REQD



PLAN ON GROUND FLOOR

FB1, FB1A... 300x75 (F7) TREATED PINE OR

DELETE S3 AND USE 250 PFC OR 250 UB 31 GALV.

FB2..... 150 x 100 x 100 L GALV.

FB3..... 200 x 50 (F7) TREATED PINE

FB4..... 200 x 75 (F7) TREATED PINE PLATE BOLTED TO EXIST COLS.

FJ1..... 200 x 50 (F7) TREATED PINE FLOOR JOISTS @ 450 CTS

DJ..... DOUBLE JOISTS (BOLT TOGETHER AT 1/3 POINTS)

S1.2.3..... 100 x 100 x 5.0 SHS GALV. (DELETE S3 IF REQD)

S4.5.6..... 90 x 90 x 4.0 SHS OR 90 DIA x 4.5 CHS GALV.

IAN NEILLY PTY LTD
CONSULTING STRUCTURAL & CIVIL ENGINEER
25 UPPER CLIFF AVENUE NORTHBRIDGE 2063
PH 9958 4667 FAX 9967 3627 ABN 99 002 347 458
ALTERATIONS & ADDITIONS TO RESIDENCE
33 COOLANGATTA AVE ELANORA HEIGHTS
FOR B. HEALY & A. CHIPPINDALL

STRUCTURAL DETAILS
APPROVED DATE SCALE JOB NO. DRG NO.

Shelly msh/dec04 1:100, 1:20 04/170 - 2

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IAN NEILLY 17-12-04

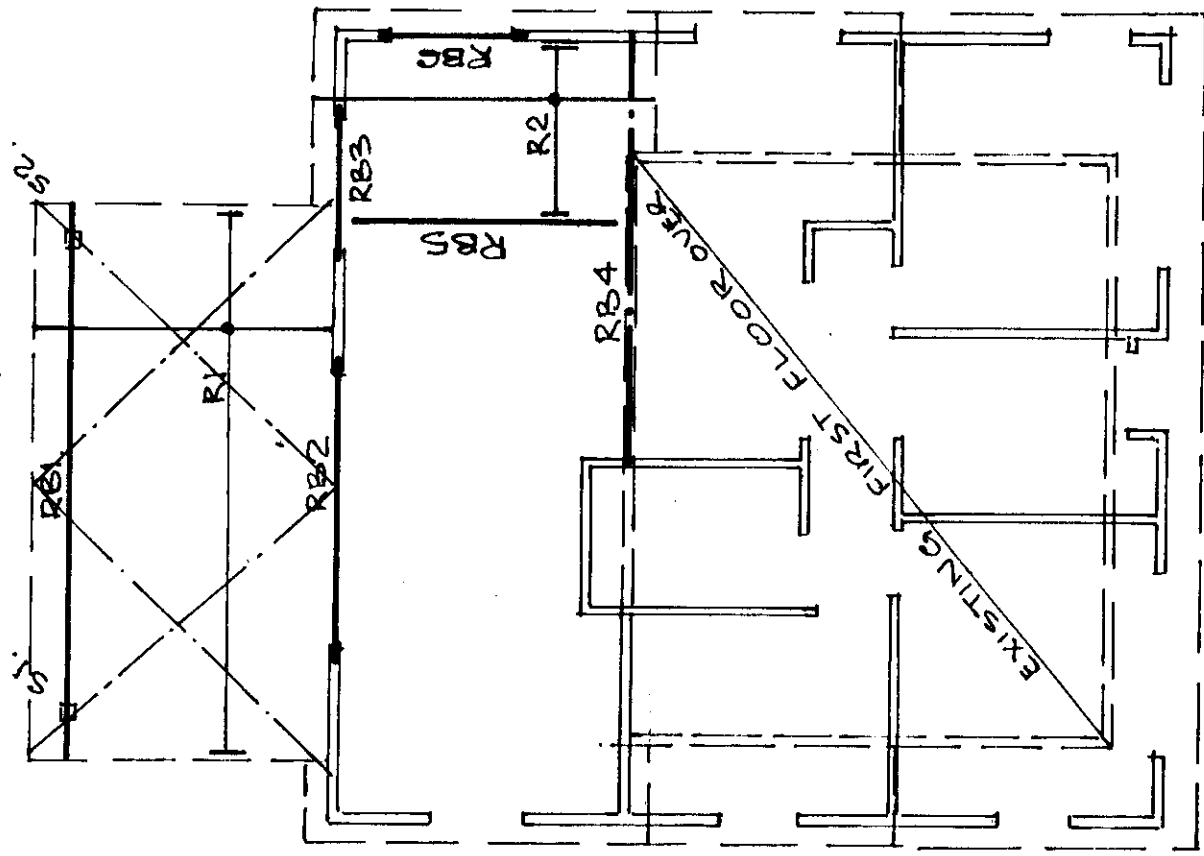
Ian Neilly MIE Aust

Name

Date

Signature

* eg. Licensed Builder, Electrical Contractor, Engineer, Landscape Architect, Geotechnical Engineer, etc.



PLAN ON ROOF

RB1.....450 x 63 HYSPAN OR 200 PFC GALV OR 200UB22 GALV.

RB2.....240 x 63 HYSPAN

RB3.....150 x 45 HYSPAN

RB4.....250 UB 37 PROVIDE 90 x 90 W/W POST EACH END

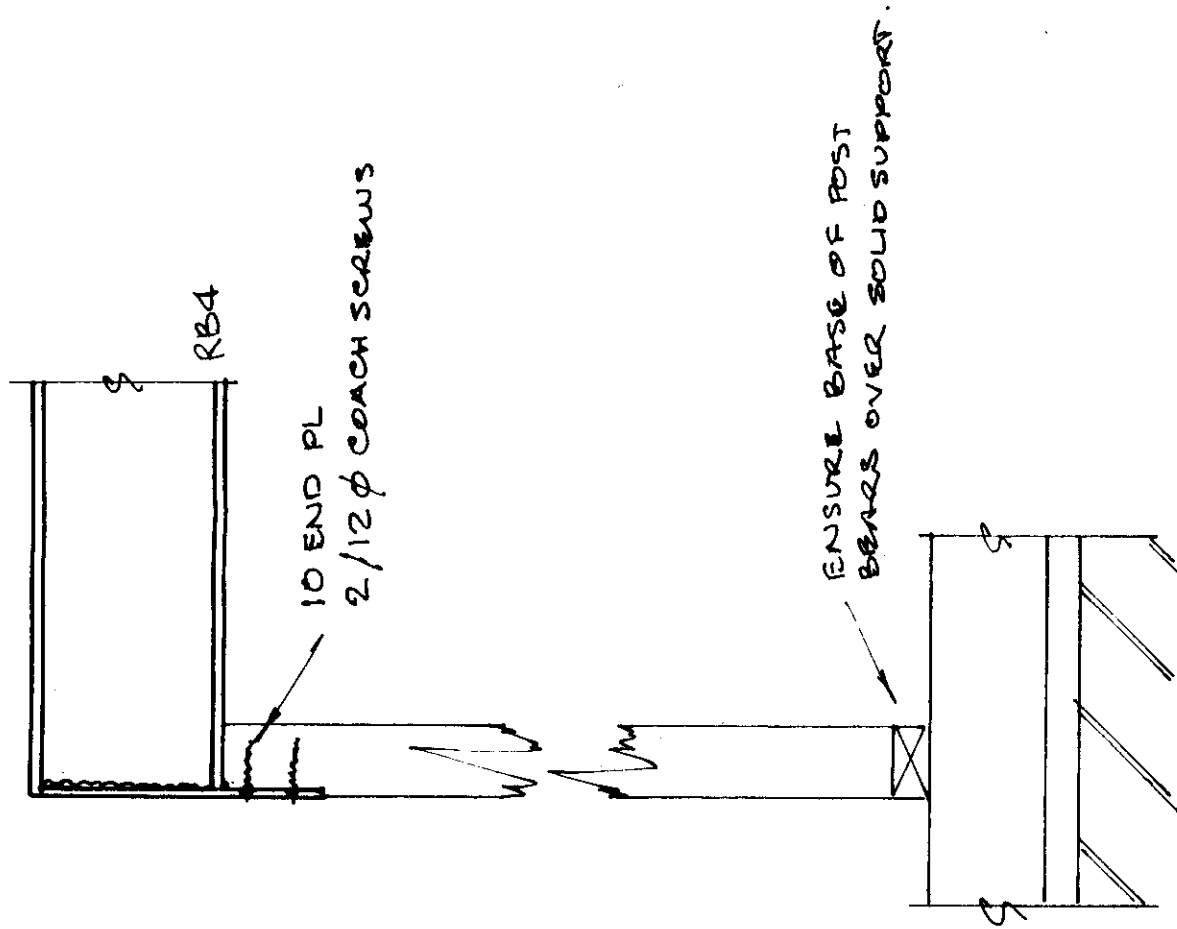
RB5.....170 x 63 HYSPAN HANGING BEAM (IF REQUIRED)

RB6.....150 x 75 (F7)

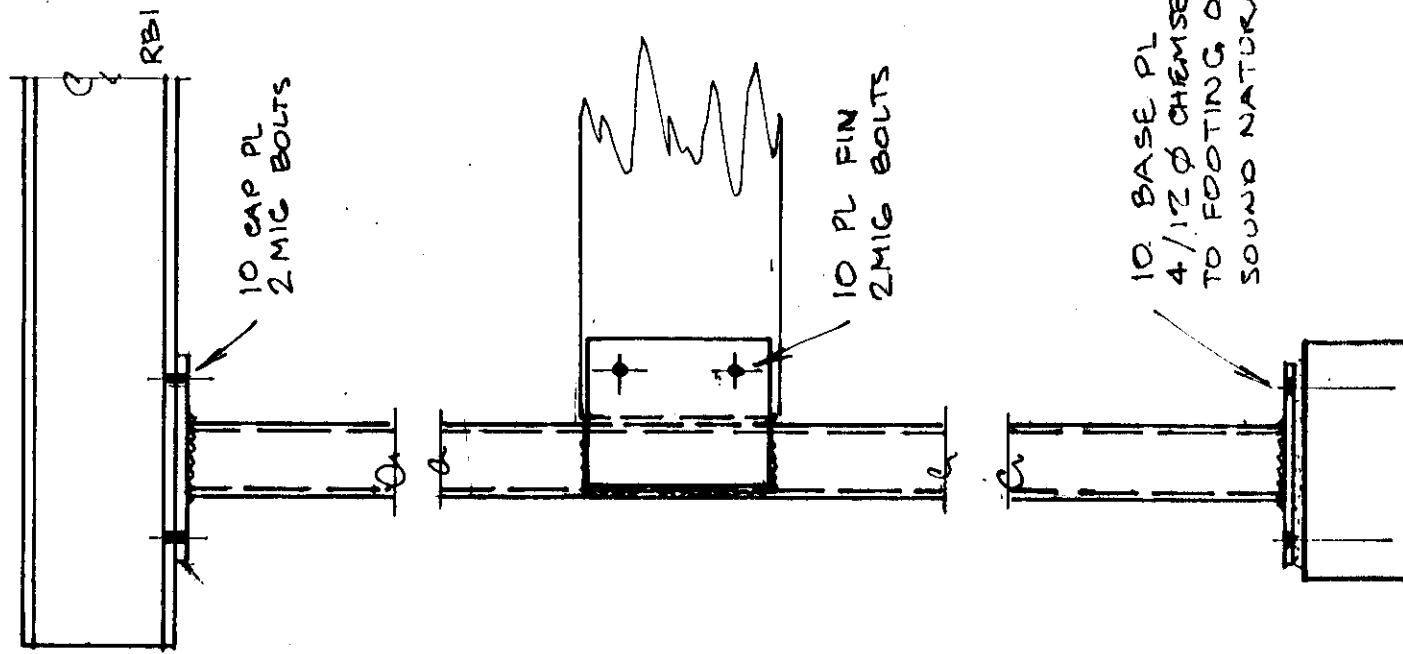
R1.....150 x 50 (F7) @ 750 CTS (LIGHTWEIGHT ROOF ONLY 20kg/m²)

R2.....200 x 50 (F7) @ 600 CTS (METALDECK ROOF & CEILING 40kg/m²)

.....GALV M.S. STRAP BRACING NAIL AT EACH RAFTER



END DETAIL RB4 TYPICAL



COL S1.2.

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25 UPPER CLIFF AVENUE NORTHBRIDGE 2063
PT 9958 4087 FAX 9967 3627 ABN 98 007 047458

ALTERATIONS & ADDITIONS TO RESIDENCE

33 COOLANGATTA AVE ELANORA HEIGHTS

FOR B. HEALY & A CHIPPINDALL

ROOF

APPROVED

DATE

SCALE

JOB NO

DRG NO

04/170 - 3

PLAN OR DOCUMENT CERTIFICATION

I am a qualified ' STRUCTURAL ENGINEER

I hold the following qualifications or licence No. C.P. ENG 303423

MIE. Aust DIP TECH STRUCTURAL ENGINEERING

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IAN NEILLY 17-12-04 Ian Neilly MIE Aust

Name

Date

Signature

* eg. Licensed Builder, Electrical Contractor, Engineer, Landscape Architect, Geotechnical Engineer, etc.

CONSTRUCTION NOTES

- GENERAL
- G1: These drawings are to be read in conjunction with Architectural and other consultants drawings and specifications. Any discrepancies are to be referred to the Architect before proceeding with the work.
- G2: Dimensions shall not be obtained by scaling the structural details and all dimensions to be verified by the builder prior to commencement of the work.
- G3: Refer to architectural drawings for slab levels and architectural details.
- G4: During construction the builder is responsible for maintaining the structure in a stable condition without overstressing any part.
- G5: Comply with AS 3660 protection of building from subterranean termites.
- G6: All workmanship and materials to be in accordance with the Building Code of Australia.

STRUCTURAL STEELWORK NOTES

- S1: All workmanship and materials to be in accordance with AS 4100, AS 1554 and for tubular members AS 1163.
- S2: Unless otherwise noted all structural steel to be $F_y = 250$ MPa in accordance with AS 1204, tubular members AS 1163, black bolts AS 1111 and high tension bolts AS 1252.
- S3: All welds to be 6mm continuous fillet unless noted otherwise. Welds in accordance with AS 1554.
- S4: All structural steelwork bearing on masonry to be bedded on 25mm cement grout pad.
- S5: Except where concrete encased or where noted otherwise, all structural steelwork to be surface cleaned to remove all loose mill scale, rust, dirt, grease, etc., and given one shop coat of red-oxide zinc-chromate primer.
- S6: Two copies of checked workshop drawings to be submitted to the Engineer and approval obtained in writing before fabrication is commenced. Approval covers structural sufficiency of joints and members and not dimensioning accuracy.

CONCRETE NOTES

- C1: All workmanship and materials to be in accordance with AS 3600 as amended, except where varied by contract documents.

C2. CONCRETE QUALITY

ELEMENT	SLUMP	MAX SIZE AGGREGATE	CEMENT TYPE	AS 3600 F_c MPa	ADVERTISE
LEVELLING COURSE	80	20	A	20	—
FOOTINGS	80	20	A	20	—

- C3: Clear concrete cover to reinforcement shall be as follows except where increased cover is required to satisfy fire rating or otherwise shown on drawings.

REQUIRED CLEAR CONCRETE COVER (mm) rationalised from A.S. 3600

EXPOSURE ELEMENTS	INTERNAL		EXTERNAL		IN CONTACT WITH GROUND		
	WET AREAS INDUSTRIAL	OTHER	COASTAL < 1 km	BEAR CONST > 1 < 50 km ON INDUST	INLAND > 50 km NON INDUST	DAMP PROOF MEMBRANE	NO WATER TABLE
ROOFINGS	—	—	—	—	—	40	50
PEDESTALS & CIL	40	40	50	40	40	40	50
SLABS	40	20	45	40	30	30	40
BEAMS	40	25	50	40	40	40	50
WALLS	40	20	50	40	40	40	50

- C4: Sizes of concrete elements do not include thickness of applied finishes.
- C5: Construction joints where not shown shall be located to the approval of the Engineer.
- C6: Beam depths are written first and include slab thickness (if any).
- C7: No holes or chases other than those shown on the structural drawings shall be made in the concrete members without the prior approval of the Engineer.
- C8: All concrete shall be consolidated using high frequency vibrations.
- C9: All concrete surfaces shall be cured by maintaining them constantly damp or wet for a minimum of 7 days. Curing to commence immediately after pouring.
- C10: Reinforcement is not to be applied until it is not necessarily shown in true projection.
- C11: Splices in reinforcement shall be made xrv in the positions shown. The written approval of the Engineer shall be obtained for any other location. Reinforcement fabric to have end and side laps of 250 minimum.
- C12: All reinforcement shall be accepted in steel chairs to maintain it at the correct levels, in no case shall the spacing of chairs exceed 300. Plastic bar chairs xrv shall be used for exposure classification B1 or worse.
- C13: Unless otherwise shown otherwise including to structural steelwork shall be 50 minimum thickness reinforced with FGW 41. Fabric shall have 25 cover and be spaced 250 at all splices.
- C14: Separate all concrete slab and beam surfaces from contact with masonry with two layers of "Methroid" or equivalent.

C15. Reinforcement symbols:

- R — Grade 230 plain bar in accordance with AS 1302.
- Y — Grade 410 Tempcore deformed bar in accordance with AS 1302.
- F — Hard drawn wire fabric in accordance with AS 1304.

The number following the reinforcement bar symbol is the number of millimetres in the bar diameter.

- C16: Formwork workmanship and materials shall be in accordance with the S.A.A. Formwork Code AS 1509.

- C17: The Engineer is to be given 48 hours notice of all impending pours.

BRICKWORK NOTES

- B1: All workmanship and materials to be in accordance with AS 3700, ASA 1123, BCA 1990 and AS 1316 as amended, except where varied by contract documents.
- B2: Bricks to have minimum Compressive Strength of 23 MPa and to be laid in 1 : 4 1/2 mortar unless noted otherwise.

BLOCKWORK NOTES

- BL1: All workmanship and materials to be in accordance with AS 3700, AS 1500.
- BL2: All structural blocks for retaining walls to be grade 12 double-u blocks.
- BL3: Blocks to be fully bedded using 1 : 1/2 : 3 (cement:lime: fine aggregate by volume) mortar.
- BL4: Blocks to be provided with openings in base for inspection and cleaning.
- BL5: Block cores to be cleaned and filled with grout having a slump of 230 ± 30mm, 10mm aggregate and a F_c of not less than 12 MPa.
- BL6: Block control joints 16mm wide to be provided at 8 metre centres maximum U.O.N. Dowels, R20 @ 400 c/c's, 600 long, one end greased and wrapped to be placed across control joints.

FOUNDATIONS ROCK

- F1: Foundation material to be consistent with uniform moisture content throughout, and have a minimum safe bearing capacity of 600 kPa.
- F2: All residential slabs & footings to comply with AS2870 unless detailed otherwise.

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ALTERATIONS & ADDITIONS TO RESIDENCE
33 COOLANGATTA AVE ELANORA HEIGHTS
FOR B. HEALY & A. CHIPPINDALL

APPROVED DATE SCALE JOB NO. DRG NO.
J. Neilly 15/01/04 04/170 - N

PLAN OR DOCUMENT CERTIFICATION

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IAN NEILLY 17-12-04 Iilly MIE And

Name

Date

Signature

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