

WARRINGAH LEP & DCP 2011
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BASIX™ Certificate
Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 17334405_02

Date of issue: Tuesday, 12 August 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.

 **NSW**
GOVERNMENT



FOR DETAILS: SEE THE BASIX CERTIFICATE NO. 1733445S

The applicant must install a rainwater tank of at least 4000 litres.
The rainwater tank to collect rain runoff from at least 170 m² of the roof.
The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer
- at least one outdoor tap in the development

- Shower heads 3 star (>7.5 but ≤ 9.0 L/min)
- Toilets.....4 star
- Kitchen tap.....5 star
- Basin Taps.....5 star

Heating/Cooling: In at least 1 living area and 1 bedroom: 3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

-At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light with timer off

switch on/off
-Laundry: natural ventilation only, or no laundry; Operation control: n/a

·The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

the development for natural lighting.

The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

development.

- The swimming pool must not have a volume greater than 56 kilolitres.
- The swimming pool must be outdoors.

pool.

development, or a pump with higher energy rating: single speed with a performance of 3 stars.

development.

The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.

to generate at least 2 peak kilowatts of electricity, installed at an angle of 0 degrees to the horizontal facing north.

The Basix certificate should be read in conjunction with the Nat hers certificate (including the additional notes pages 4 & 5).

FOR DETAILS: SEE THE NatHERS CERTIFICATE NO.
0009198466

A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs. The dwelling design has been assessed with NatHERS software from an accredited assessor

- Tilt up Concrete, No Insulation
- Tilt Up Concrete, Lined Timber Stud Frame, R2.5 Bulk Insulation
- Cavity Brick, Foil Sided Bubble Wrap, Anti-glare One Side

- Single Skin Brick, R2.5 Bulk Insulation, No Air Gap (Against Garage)

External Floor

- Suspended Floor (Open to Air)- R2.5

Concrete Timber Framed Above Plasterboard, R2.0 Bulk Insulation (Above Garage)

Others)

Concrete, Plasterboard with Timber Frame R5.0 Bulk Insulation
Unventilated roofspace

Waterproofing Membrane, No Insulation, Only an Air Gap

Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

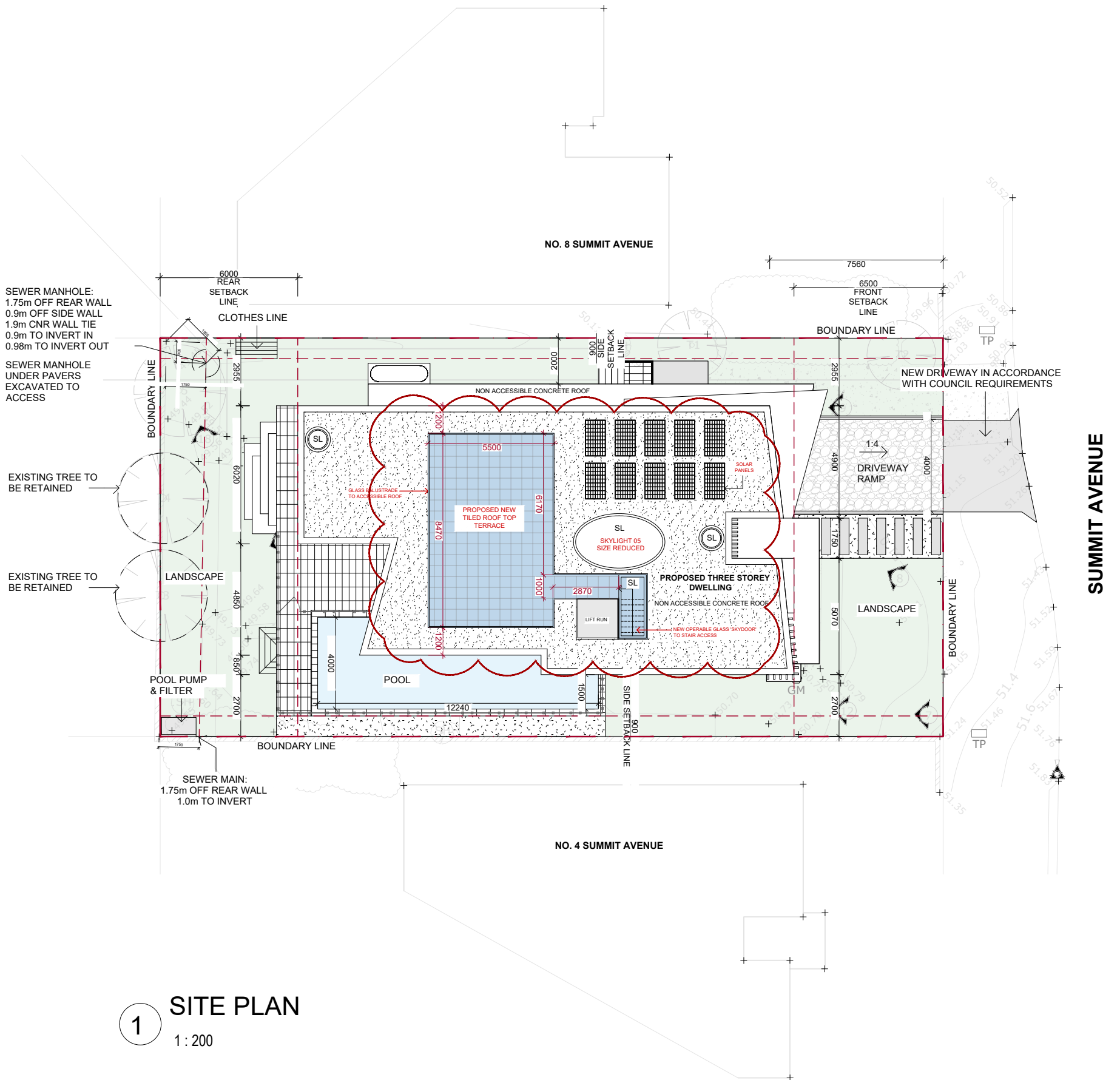
Note: All downlights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992, European IEC 60509:1989

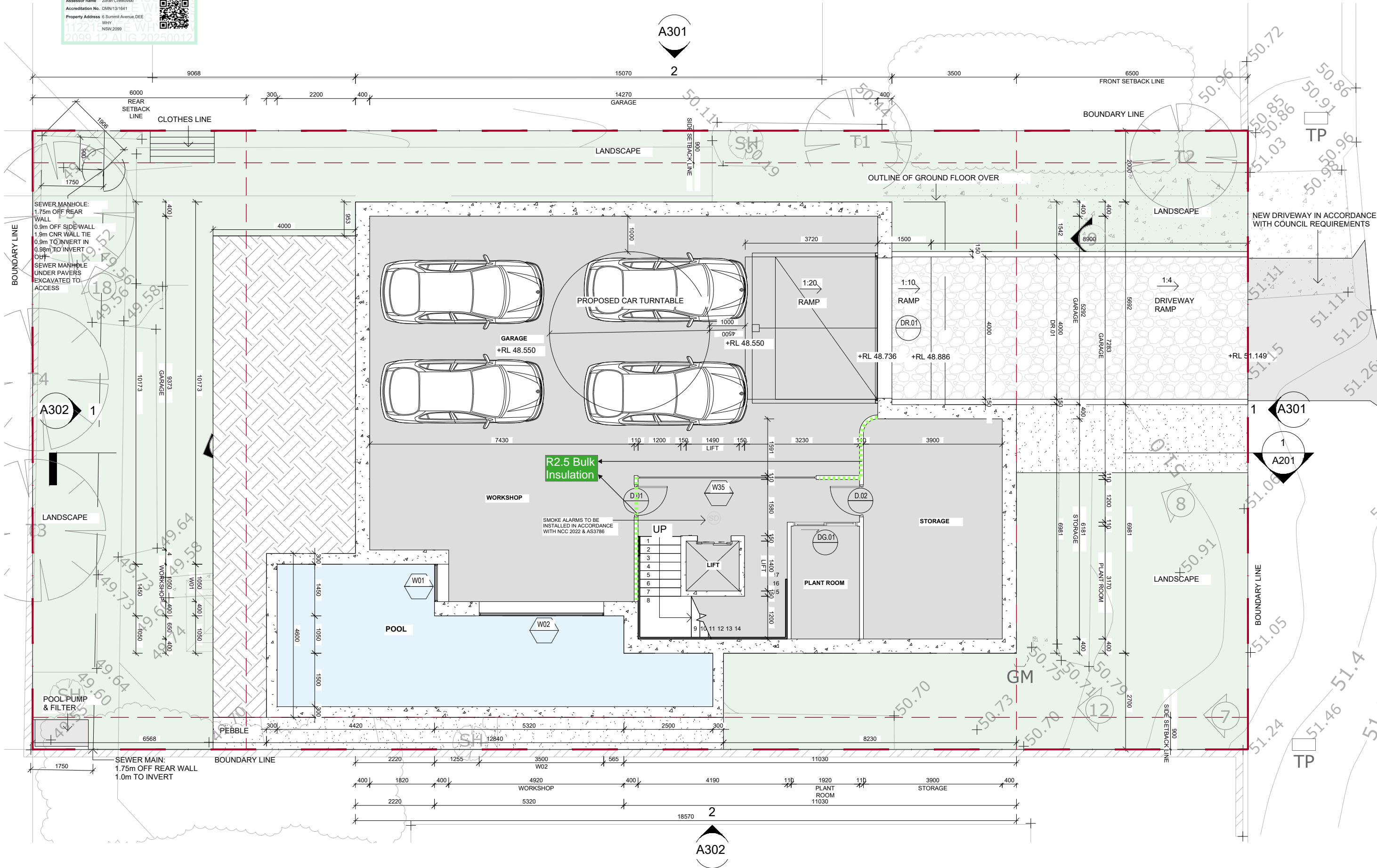
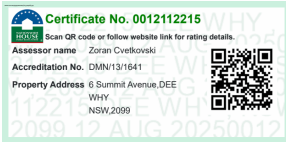
Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.

Note-Ceiling fans: For the number and the location, see the Nathers certificate.

For additional information please refer to the additional notes on the Nathers certificate.

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WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

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							DRAWING TITLE BASEMENT FLOOR PLAN	

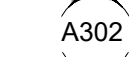


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A ISSUED FOR MODIFICATION 27.07.25		P: (02) 8003 5885 E: info@resolute.com.au		maggie@mharchitects.net.au www.mharchitects.net.au +61 416113221		MICHAEL HRONOPOULOS & VANESSA ROWED		6 SUMMIT AVE, DEE WHY		PLOT DATE : 29.07.2025	
										DRAWN BY: MAGGIE HASSOUN	
								DRAWING TITLE		Dee Why- MD01 MD-102 A	
								GROUND FLOOR PLAN			



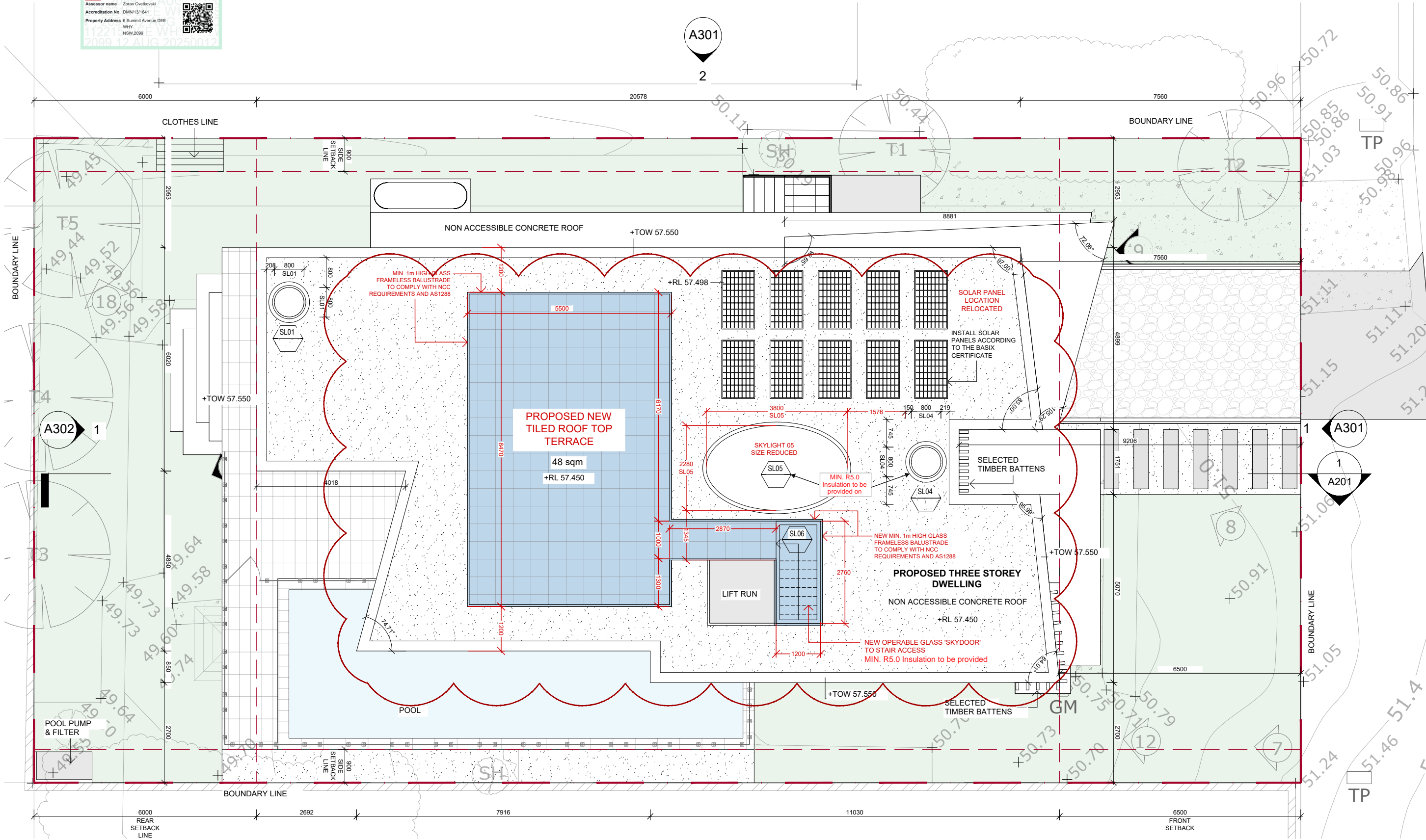
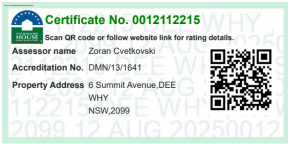
2



-Ceiling fan (1200mm)

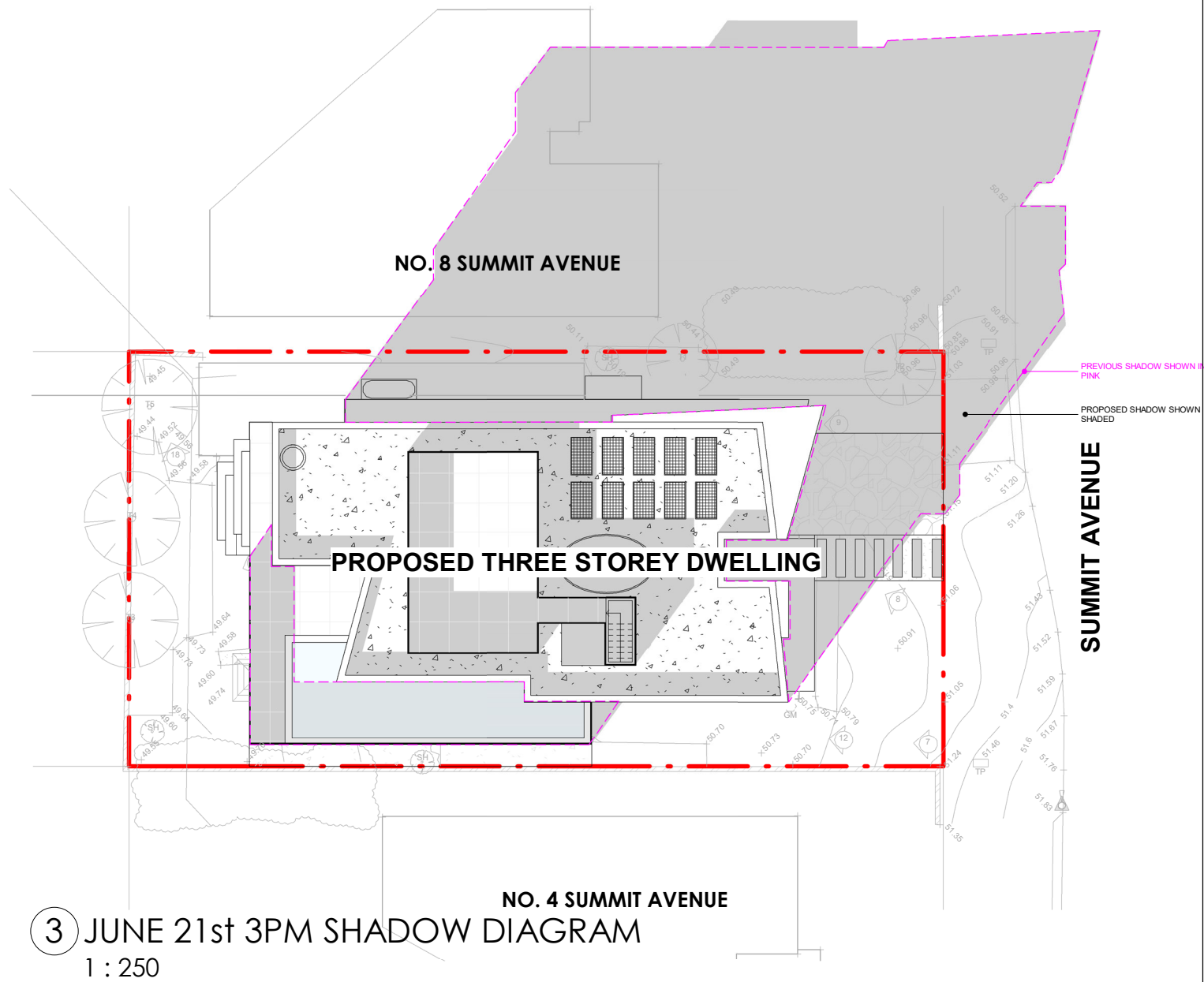
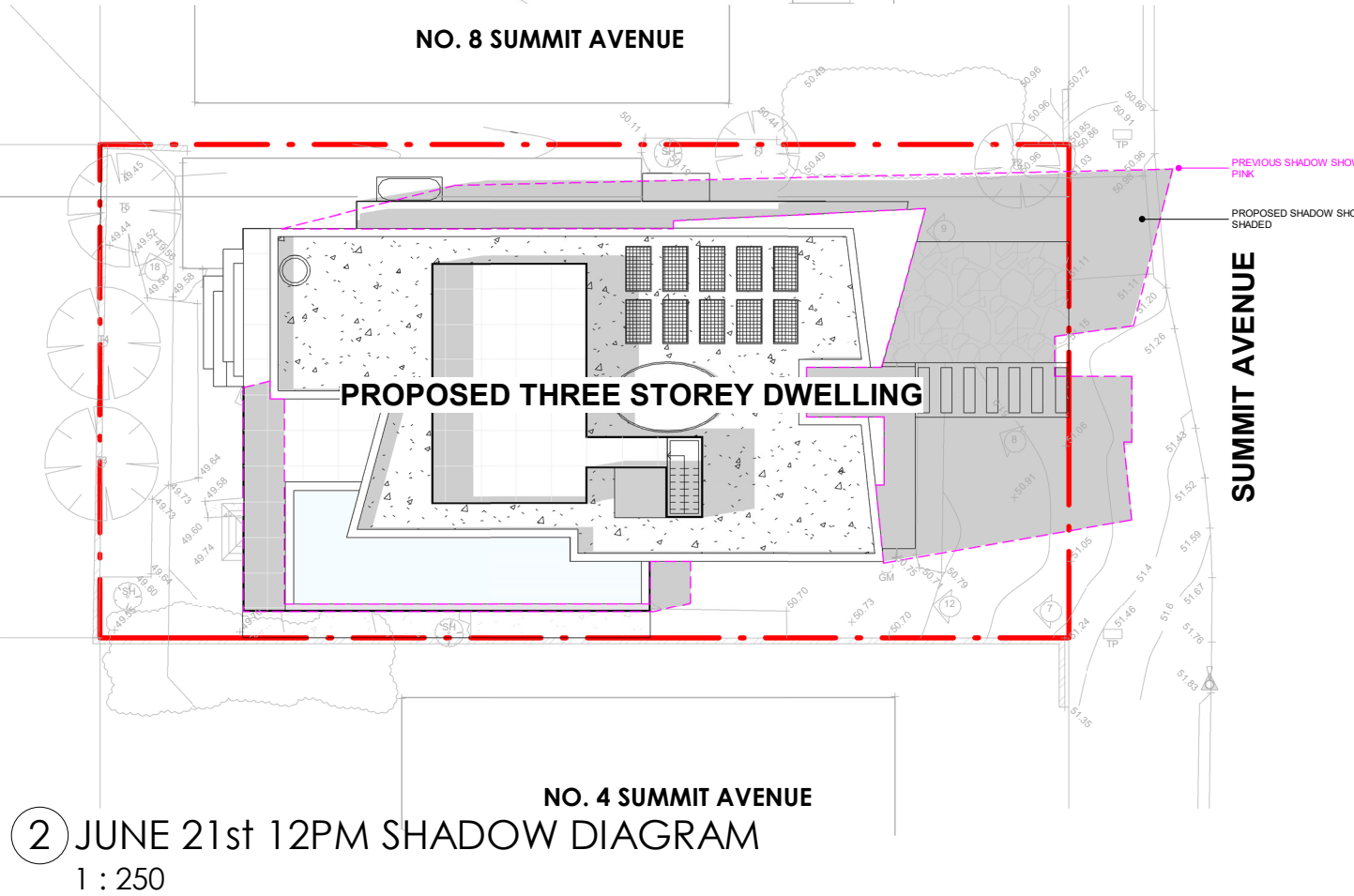
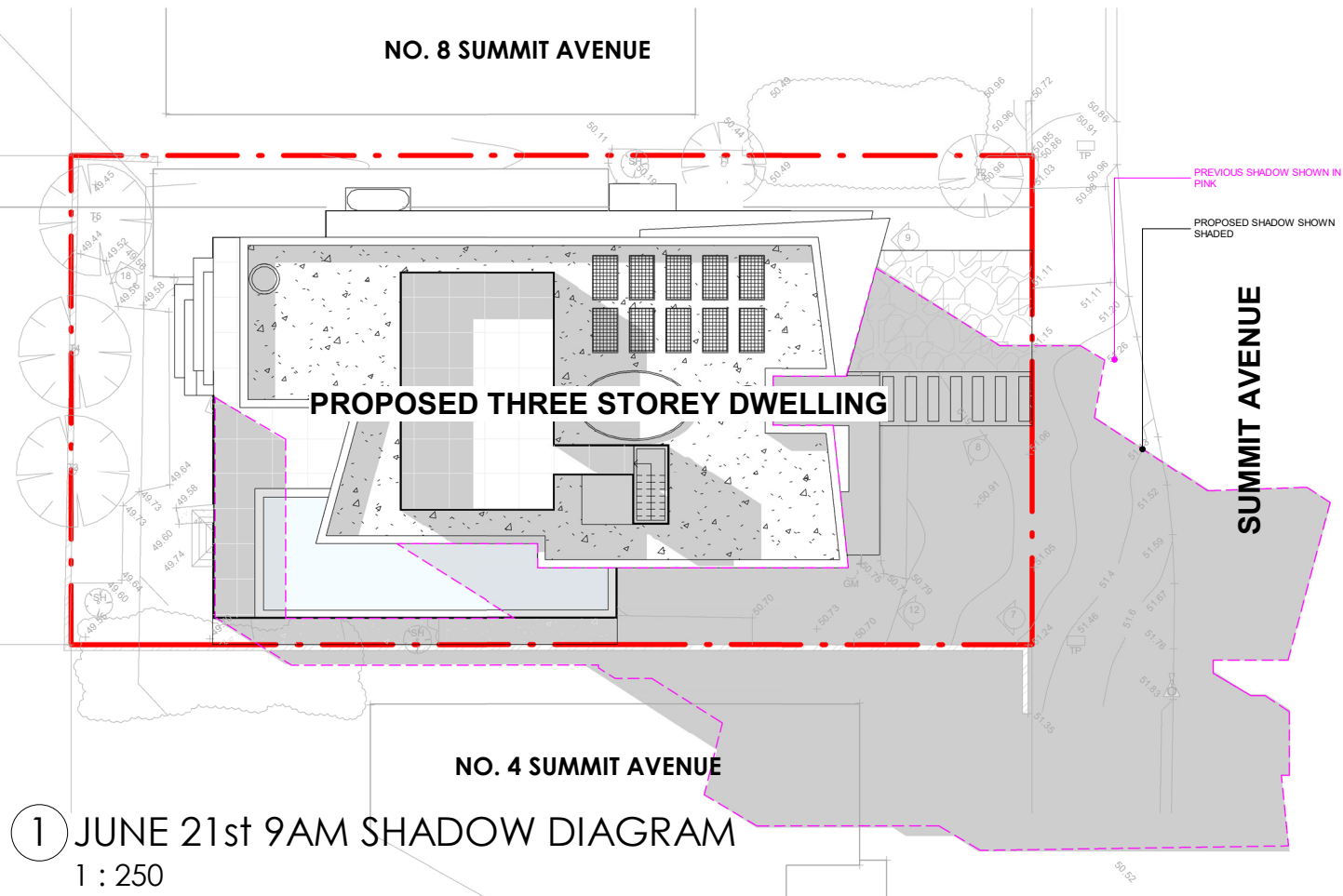
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	A	ISSUED FOR MODIFICATION	27.07.25	RESOLUTE	MH ARCHITECTS Pty Ltd		MICHAEL HRONPOULOS & VANESSA ROWED	MODIFICATIONS TO PROPOSED NEW DWELLING 6 SUMMIT AVE, DEE WHY
				P: (02) 8003 5885 E: Info@resolute.com.au	 maggie@mharchitects.net.au www.mharchitects.net.au +61 416113221			DRAWING TITLE ROOF PLAN
<div><div>00.511.522.55m</div><div>SCALE: 1 : 100 @ A3 PLOT DATE : 07.08.2025 DRAWN BY: MAGGIE HASSOUN</div><div>Dee Why- MD01MD-104 A</div></div>								



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NOTE FOR CONSTRUCTION DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK & VERIFY LEVELS AND DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. THE PREPARATION OF SHOP DRAWINGS OR THE FABRICATION OF COMPONENTS ALL CONSTRUCTION WORKS TO AS AND NCC STANDARDS. THIS DRAWING IS THE COPYRIGHT OF BESPOKE PROJECTS NSW AND IS PROTECTED UNDER THE COPYRIGHT ACT 1968. IT MAY NOT BE ALTERED, REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS PERMISSION OF	REVISIONS	 MH ARCHITECTS Pty Ltd maggie@mharchitects.net.au www.mharchitects.net.au +61 416113221	CLIENT: MICHAEL HRONOPOULOS & VANESSA ROWED		6 SUMMIT AVE, DEE WHY DRAWING TITLE SHADOWS	SCALE 1 : 250 @ A3 PLOT DATE 18.07.25 DRAWN BY KAC LOT 9 , 30019 MD-105 A
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Alternative water
The applicant must install a rainwater tank of at least 4000 litres.
The rainwater tank to collect rain runoff from at least 170 m² of the roof.
The applicant must connect the rainwater tank to:
• all toilets in the development
• the cold water tap that supplies each clothes washer
• at least one outdoor tap in the development

Fixtures

- Shower heads 3 star (>7.5 but <= 9.0 L/min)
- Toilets.....4 star
- Kitchen tap.....5 star
- Basin Taps.....5 star

Hot Water System: gas instantaneous with a performance of 5.0 stars /or a system with a higher energy rating/

Heating/Cooling: In at least 1 living area and 1 bedroom: 3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

- Ventilation
 - At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light with timer off
 - Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
 - Laundry: natural ventilation only, or no laundry; Operation control: n/a

- Natural lighting
 - The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
 - The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.
- Artificial lighting:
 - The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

OTHER

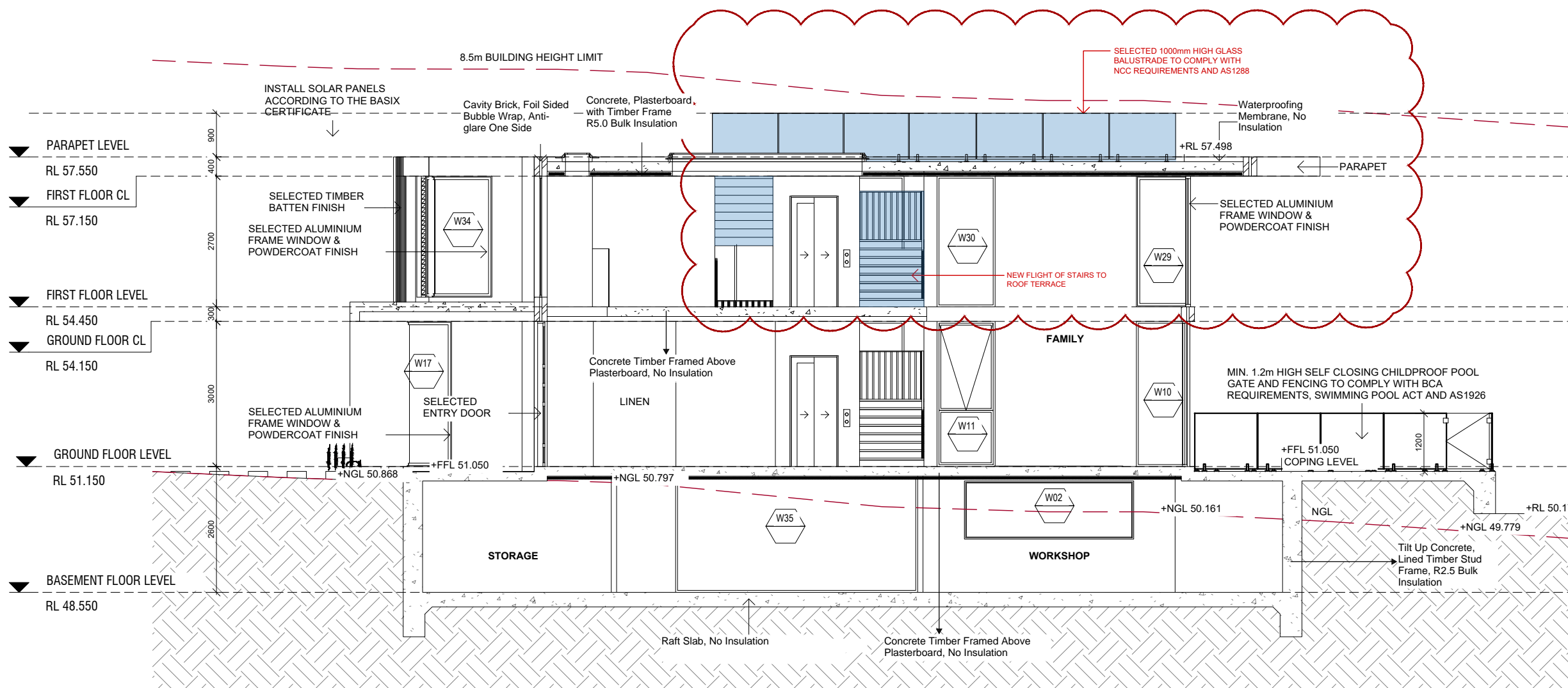
- The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
- The applicant must install fixed outdoor clothes drying line as part of the development.

- The swimming pool must not have a volume greater than 56 kilolitres.
- The swimming pool must be outdoors.
- The development must not incorporate any heating system for the swimming pool.
- The applicant must install the following pump for the swimming pool in the development, or a pump with higher energy rating: single speed with a performance of 3 stars.
- The applicant must install a timer for the swimming pool pump in the development.

Alternative energy

- The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.
- The photovoltaic system must consist of photovoltaic collectors with the capacity to generate at least 3 peak kilowatts of electricity, installed at an angle of 0 degrees to the horizontal facing north.

The Basix certificate should be read in conjunction with the Nat hers certificate (including the additional notes pages 4 & 5).



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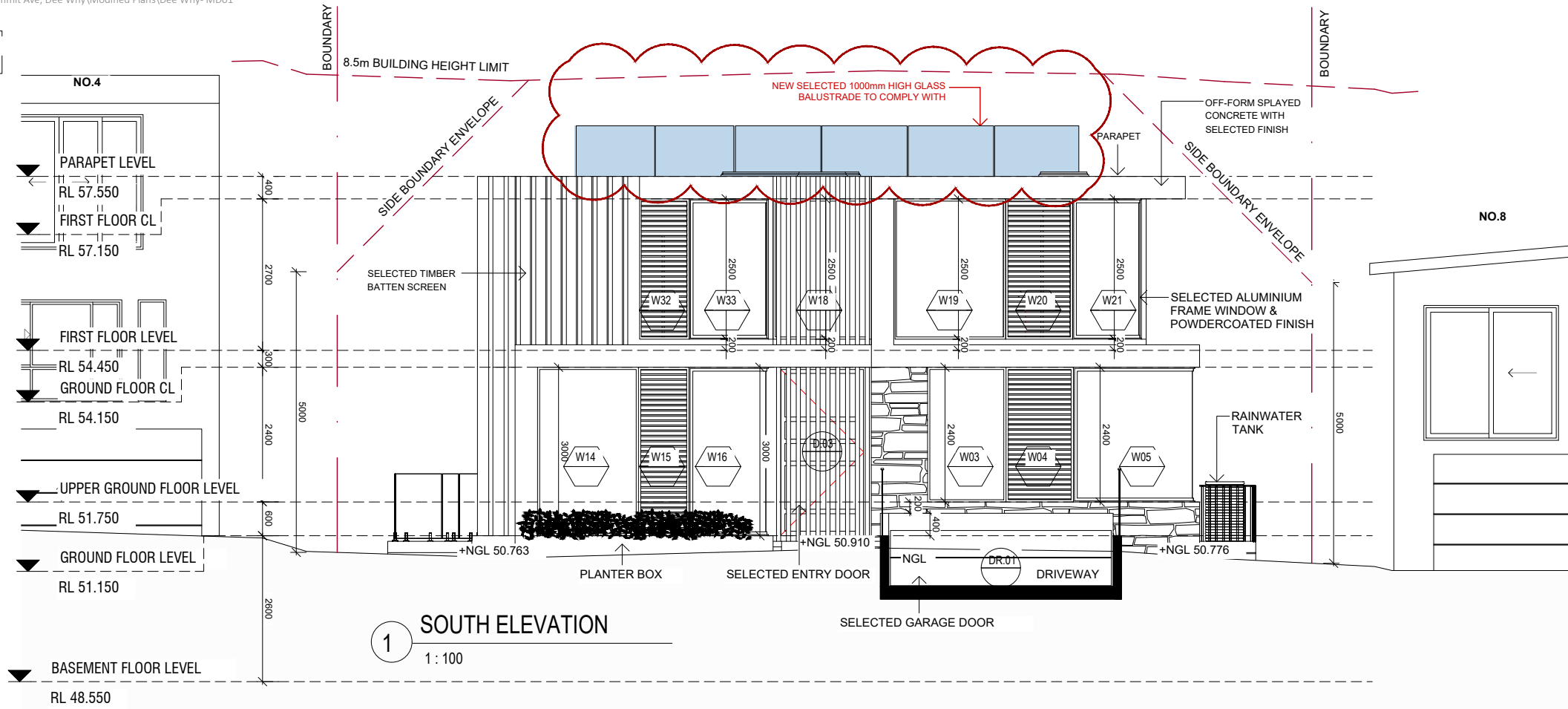
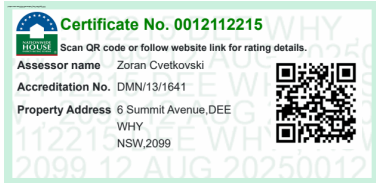
NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES

BASIX™ Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 17334455_02
Date of issue: Tuesday, 12 August 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Building Elements /For Details: see the Nathers certificate

Thermal Comfort-Simulation method
A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.
The dwelling design has been assessed with NATHERS software from an accredited assessor

External Walls

- Tilt up Concrete, No Insulation
- Tilt Up Concrete, Lined Timber Stud Frame, R2.5 Bulk Insulation
- Cavity Brick, Foil Sided Bubble Wrap, Anti-glare One Side

Internal Wall

- Single Skin Brick, R2.5 Bulk Insulation, No Air Gap (Against Garage)
- Single Skin Brick, No Insulation (All Others)

External Floor

- Concrete Slab on Ground
- Suspended Floor (Open to Air)- R2.5

Internal Floor/Ceiling

- Concrete Timber Framed Above Plasterboard, R2.5 Bulk Insulation (Above Garage)
- Concrete Timber Framed Above Plasterboard, No Insulation (All Others)

External Ceiling

- Concrete, Plasterboard with Timber Frame R5.0 Bulk Insulation Unventilated roofspace

Roof

- Waterproofing Membrane, No Insulation, Only an Air Gap

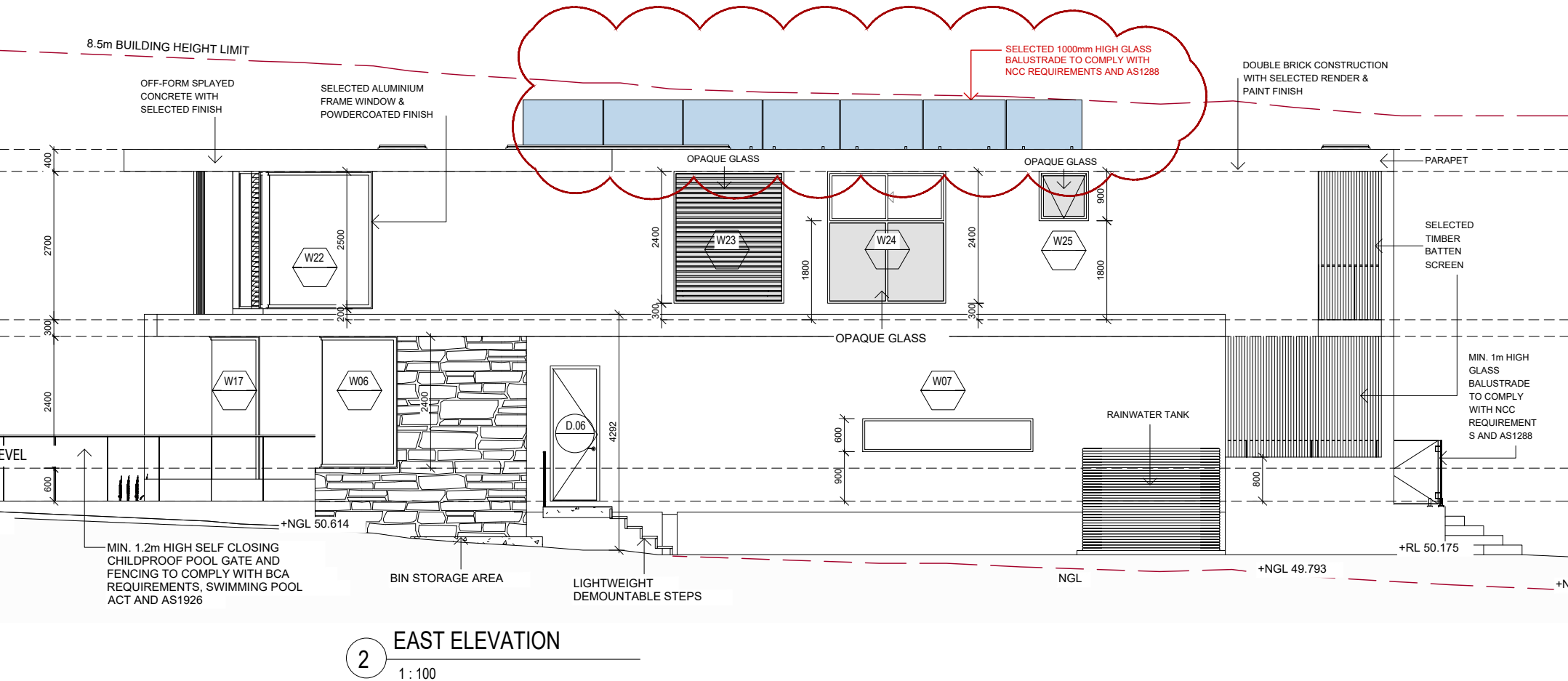
Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

Note: All downlights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992, European IEC 60509:1989

Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.

Note-Ceiling fans: For the number and the location, see the Nathers certificate.

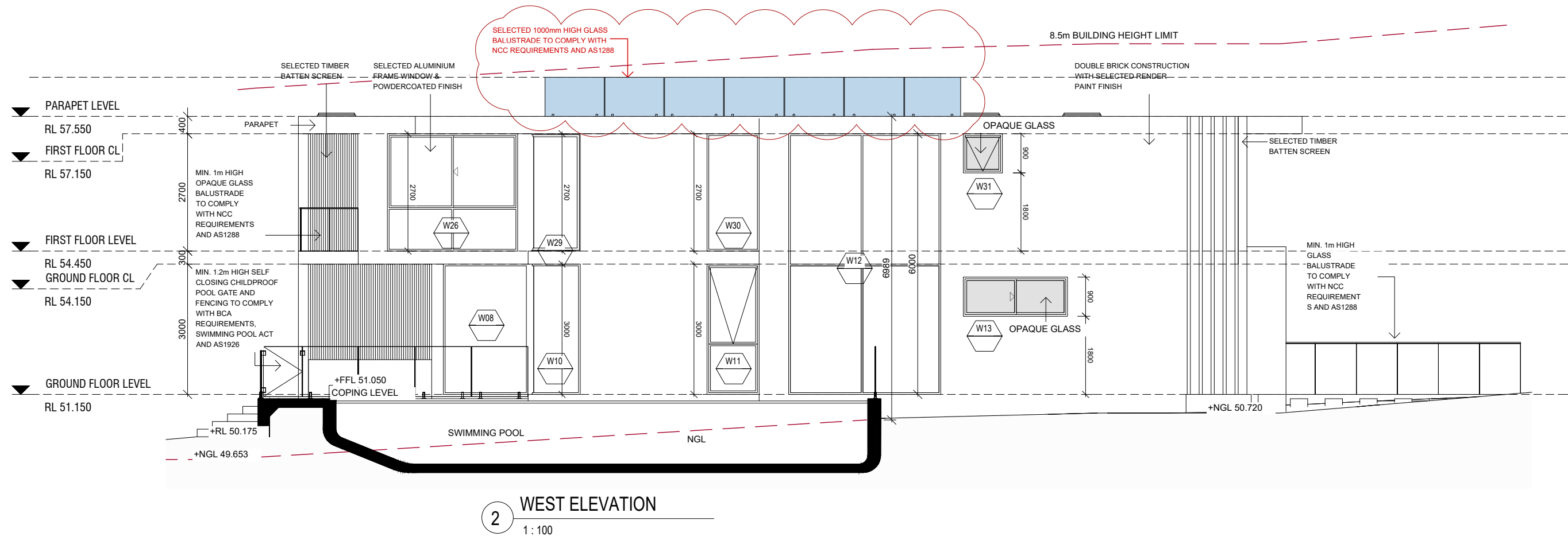
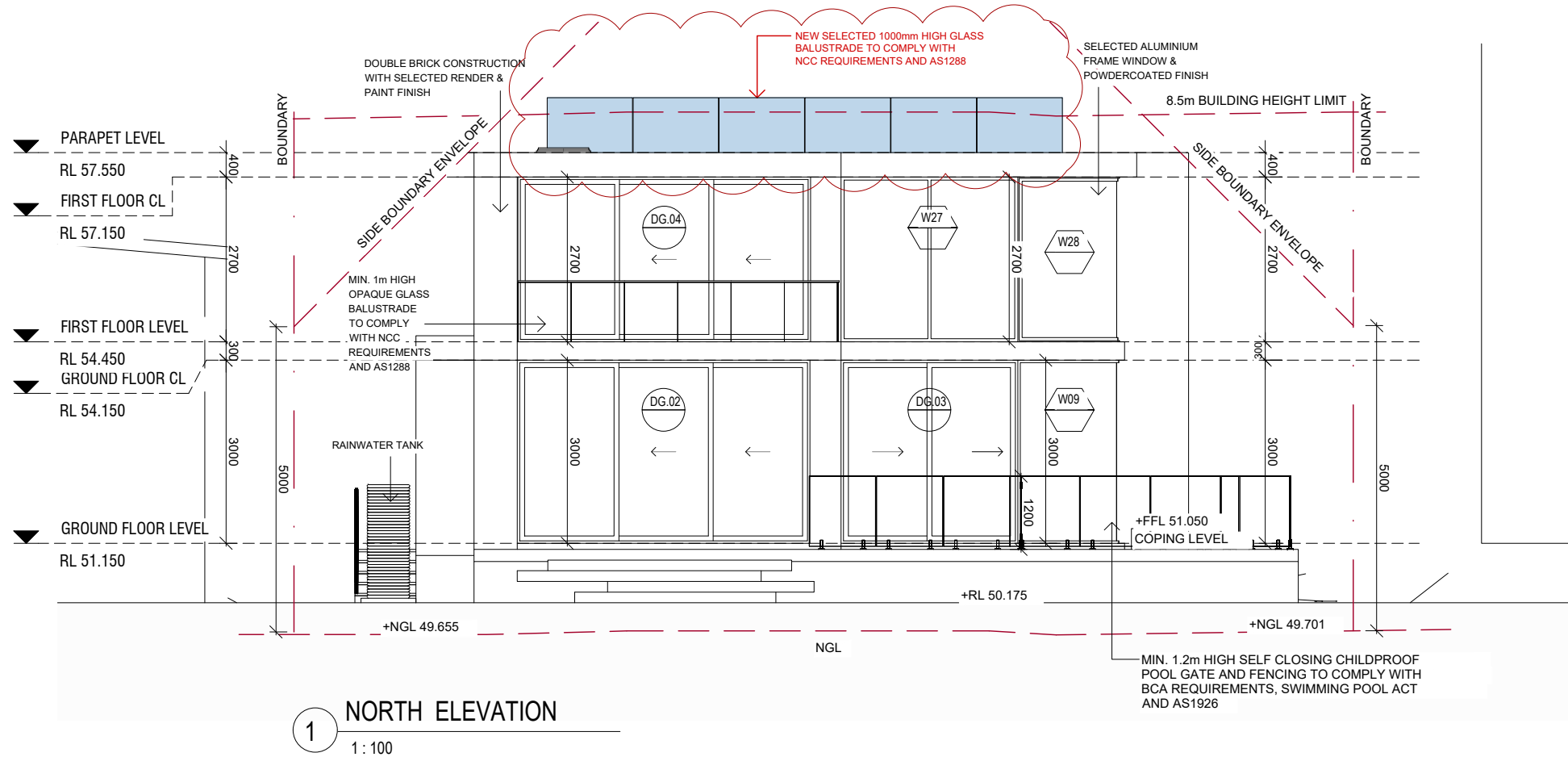
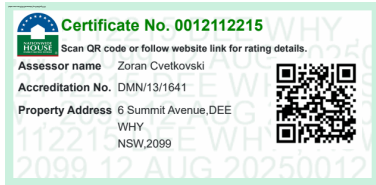
For additional information please refer to the additional notes on the Nathers certificate.



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NOTE: FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES



WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

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REVISIONS

A ISSUED FOR MODIFICATION 27.07.25

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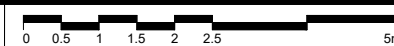
MICHAEL HRONOPOULOS &
VANESSA ROWED

PROJECT

MODIFICATIONS TO PROPOSED NEW DWELLING
6 SUMMIT AVE, DEE WHY

DRAWING TITLE

ELEVATIONS- SHEET 2



SCALE: 1:100 @ A3

PLOT DATE: 29.07.2025

DRAWN BY: MAGGIE HASSOUN

Dee Why- MD01 MD-302 A