BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A510079_04 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1006.25 LITRES ON THE SITE. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 20 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL
THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 24 KILOLITRES.
THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT.

HOT WATER:
HOT WATER SYSTEM AS IS.

LIGHTING:
ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES:
ALL NEW OR ALTERED SHOWERHEADS TO HAVE A FLOW RATE NO GREATER THAN 9 L PER MINUTE OR A 3 STAR WATER RATING. NEW OR ALTERED TOILETS TO HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING NEW OR ALTERED TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 L PER MINUTE OR MINIMUM 3 STAR WATER RATING.

INSULATION:
NEW OR ALTERED CONSTRUCTION OF FLOORS, WALLS AND CEILINGS/ROOFS TO BE:
- FLOORS: SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR: R.0.60 (OR R1.30 INCLUDING CONSTRUCTION)
- EXTERNAL WALLS: FRAMED: R1.3 (OR R1.70 INCLUDING CONSTRUCTION) & BRICK VENEER: R1.16 (OR R1.70 INCLUDING CONSTRUCTION)
- ROOFS: FRAMED: CEILING R3.00, ROOF: FOIL/SARKING ROOF COLOUR TO BE MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

WINDOWS, GLAZED DOORS AND SKYLIGHTS.
- THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE. EACH WINDOW, GLAZED DOOR OR SKYLIGHT TO HAVE A U-VALUE AND SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED. ALTERNATIVE SYSTEMS WITH COMPLYING U-VALUE ANS SHGC MAY BE SUBSTITUTED.

S4.55 MODIFICATION - LIST OF CHANGES

ANNOTATED LIST OF MODIFICATION APPLICATION CHANGES AS CLOUDED ON THE DRAWINGS & LISTED BELOW:

01. SWIMMING POOL SIZE & SHAPE AMENDED
NOW DIAM 3.5m ROUND POOL RELOCATED CLOSER TO THE HOUSE
02. REAR TERRACE & POOL DECK SUPPORT WALLS ADDED
SOIL FILL IN BETWEEN WALLS FOR PLANTER SEPARATING DECKS
03. UTILIZE VOID SPACE UNDERNEATH REAR TERRACE
ADD SERVICES AND STORAGE ROOM
04. REAR GARDEN ACCESS PATHWAY AND STEPS RELOCATED
ADDITIONAL SIDE BOUNDARY GARDEN SPACE FOR SCREEN PLANTING
05. REAR TERRACE AND POOL DECK SIZE REDUCED
FROM 10.350m TO 9m WIDE OVERALL RESULTING IN INCREASED REAR BOUNDARY SETBACK
06. EXISTING HOUSE GROUND FLOOR PLAN LARGELY RETAINED AS IS
EXISTING ROOMS, DOORS/WINDOWS & INTERIORS UNCHANGED
07. LAUNDRY DELETED
FRONT BUILDING BULK REMOVED (INCREASED STREET BDY SETBACK)
08. GUEST WC DELETED
INTERNAL CHANGE ONLY (NOTE THE EXISTING LIVING ROOM NOW WALL/DOOR ENCLOSED)
09. STAIR ACCESS TO SUBFLOOR ADDED
INTERNAL CHANGE ONLY (SPIRAL STAIR TO ABOVE CHANGE #03 SUB-FLOOR SERVICES/STORE ROOM)
10. EXISTING HOUSE GARAGE, DRIVEWAY, VEHICLE CROSSING, FRONT GARDEN ETC LARGELY RETAINED AS IS
THE FRONT OF HOUSE LEFT UNCHANGED
11. NEW 1.2m TALL STREET AND SIDE BOUNDARY FENCE & GATES
AUTO CAR SLIDING GATE AND PEDESTRIAN ENTRY GATE OPENING TO NEW WALKWAY FROM STREET
12. ROOF AND SKYLIGHT OVER STREET TERRACE DELETED
OPEN STRUCTURE ONLY WITH SLAT OR OTHER SHADE SCREENING
13. FIRST FLOOR WINDOW CHANGES
RETAIN/REPLACE WINDOWS AND EXTERNAL SHADE HOODS ADJUSTED ACCORDINGLY
14. SKYLIGHT CHANGES
TWO SMALLER SKYLIGHTS REPLACED WITH ONE LARGER VELUX SKYLIGHT
15. EXTERNAL FINISHES REVISED
WALL CLADDING AMENDED [CFC PANELS INSTEAD OF R&P WALLS]
16. ROOF COVERING OVER EXISTING REAR OF HOUSE BALCONY AMENDED
CHANGED FROM OPEN/CLOSE VERGOLA TO FLAT METAL ROOFING
17.LANDSCAPE DESIGN AMENDED
SIMPLIFIED DESIGN. FRONT GARDEN UNCHANGED 'AS IS'. REFER TO UPDATED LANDSCAPE PLAN

PROJECT TEAM

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DRAWING SYMBOLS

U1 W33	WINDOW LABEL
G02 GF	DOOR LABEL
G J05	JOINERYREFERENCE
U1 PS1	LABELS
S.S 03	PLAN/SECTION REFERENCE
2	INTERNAL BLD SECTIONS
X	SECTION LINES
courtyard TIMBER	ROOM LABELS & FLOOR FINISH
RL:34.00 [FIRST FLOOR]	FLOOR LEVEL RL'S
TOP OF ROOF RL:37.30	TOP OF STRUCTURE RL'S

DRAWING LIST

DWG NO.	ARCHITECTURAL DRAWING NAME	ISSUE	REVISION	DATE ISSUED
GENERAL				
DA.1	TITLE PAGE & ROOF/SITE PLAN	MOD	L	11.08.2025
DA.2	EXISTING LOWER GROUND FLOOR DEMOLITION PLAN			
DA.3	EXISTING GROUND FLOOR DEMOLITION PLAN			
DA.4	EXISTING FIRST FLOOR DEMOLITION PLAN			
DA.5	EXISTING ROOF TERRACE DEMOLITION PLAN			
DA.6	PROPOSED LOWER GROUND FLOOR PLAN			
DA.7	PROPOSED GROUND FLOOR PLAN			
DA.8	PROPOSED FIRST FLOOR PLAN			
DA.9	PROPOSED ROOF TERRACE PLAN [AS IS]			
DA.10	SECTION X-X & Y-Y			
DA.11	NORTH & WEST ELEVATIONS			
DA.12	SOUTH & EAST ELEVATIONS			
~~DA.13~~	~~NEW VEHICLE CROSSING PLAN & SECTION~~			
A.100	AREA CALCULATION PLANS			
LA.001	LANDSCAPE PLANS			

SURVEY NOTE

SUBJECT TO NBC CONDITION OF CONSENT:

THE BUILDER TO PROVIDE A SURVEY CERTIFICATE PREPARED BY A REGISTERED SURVEYOR AT THE FOLLOWING STAGES OF CONSTRUCTION:

(a) COMMENCEMENT OF PERIMETER WALLS COLUMNS AND OR OTHER STRUCTURAL ELEMENTS TO ENSURE THE WALL OR STRUCTURE, TO BOUNDARY SETBACKS ARE IN ACCORDANCE WITH THE APPROVED DETAILS.

(b) AT COMPLETION DEMONSTRATING ALL PERIMETER WALLS COLUMNS AND OR OTHER STRUCTURAL ELEMENTS, FLOOR LEVELS AND THE FINISHED ROOF/RIDGE HEIGHT ARE IN ACCORDANCE WITH THE APPROVED PLANS.

DETAILS DEMONSTRATING COMPLIANCE ARE TO BE SUBMITTED TO THE PRINCIPAL CERTIFYING AUTHORITY TO DETERMINE THE HEIGHT OF BUILDINGS UNDER CONSTRUCTION AND THAT IT COMPLIES WITH THE LEVELS SHOWN ON THE COUNCIL APPROVED DA PLANS.

LEGEND

- **EXISTING HOUSE WALLS AS IS** — MASONRY & BRICK VENEER WALLS TO BE RETAINED
- **MASONRY WALLS** — NEW BRICK or BRICK VENEER WALLS
- **WALL [INTERNAL]** — FRAMED LIGHT-WEIGHT SELECTED PLASTERBOARD WALLS
- **WALL [EXTERNAL]** — FRAMED LIGHT-WEIGHT WALL FINISH REFER SCHEDULES
- **CONCRETE** — REINFORCED CONCRETE OR OTHER TO ENGINEER DETAILS
- **FLOOR** — SELECTED CARPET OVER ACOUSTIC UNDERLAY
- **FLOOR** — TIMBER FLOORS SELECTED HARDWOOD FLOORING
- **FLOOR** — SELECTED TILES TO FALLS SET-OUT TO DETAIL
- **FLOOR** — SELECTED SLIP FREE EXTERNAL PAVER TILES
- **ROOF** — SELECTED COLORBOND METAL ROOFING
- **PROPOSED DA ADDITION** — ADDITIONAL BUILDING BULK
- **NEIGHBOURING PROPERTIES** — ADJOINING HOUSES AS PER SURVEY PLAN
- **DEMOLITION** — AS INDICATED
- RL 71.40 LEVELS

NOTES

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+ COORDINATION:
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+ EXECUTION OF THE WORKS:
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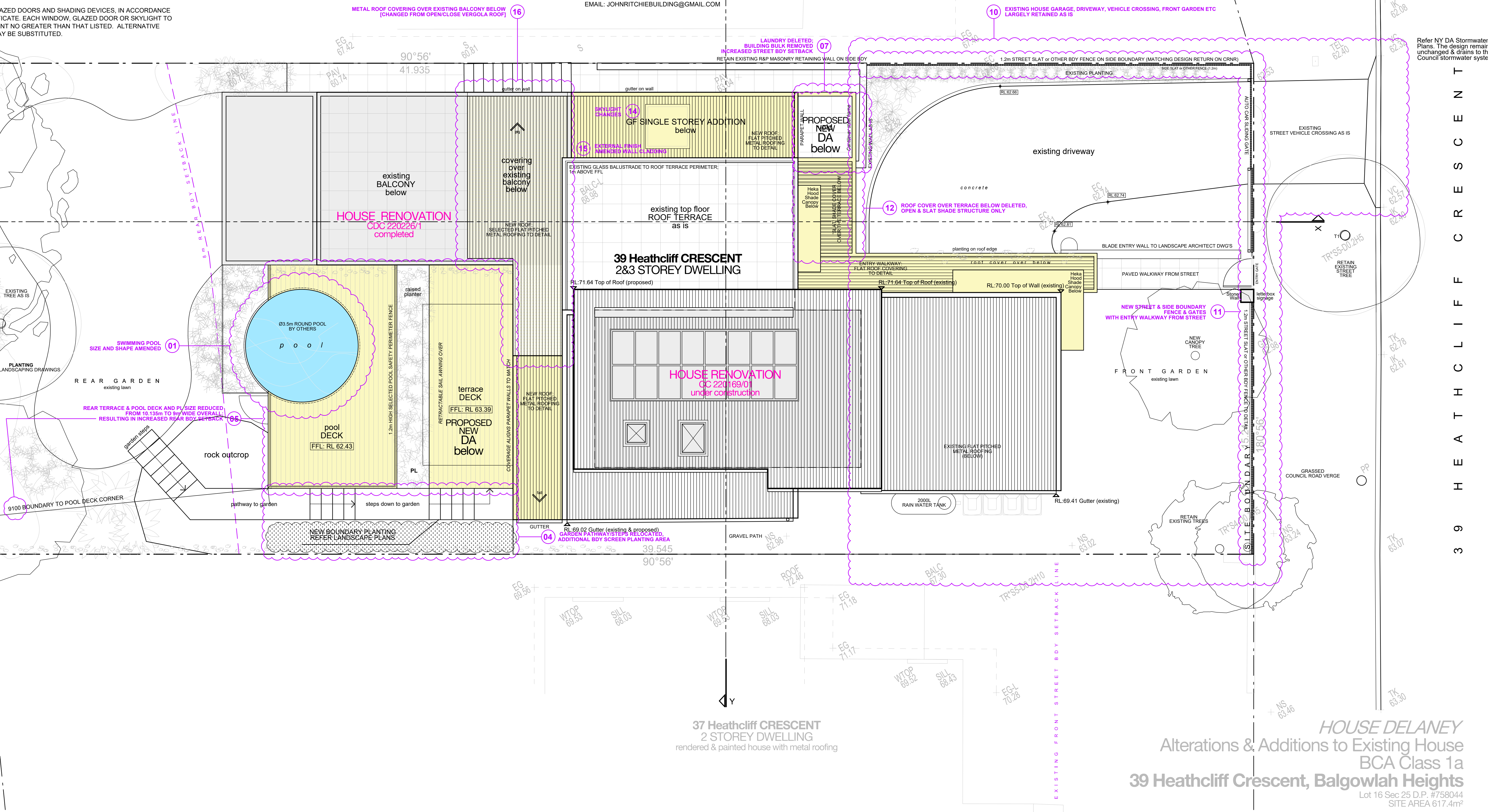
REV	DATE	ISSUE
I	08.08.2023	CDC
J	25.01.2024	Development Application II
K	12.02.2024	
L	11.08.2025	Modification Application



Roof / Site Plan

SCALE 1:100/A2

ABBREVIATIONS

AC	AIR CONDITIONED
AHD	AUSTRALIAN HEIGHT DATUM
ADH	ADHESIVE
AG	AGGREGATE
AL	ALUMINIUM
AW	AWNING
B	BALUSTRADE
BK	BRICK WALL
BHD	BULKHEAD
BOW	BOTTOM OF WALL
BM	BENCHMARK
BW	BLOCKWORK WALL
C	CONCRETE
CLMN	COLUMN
CPT	CARPET
DIM	DIMENSION
DP	DOWNPIPE
EJ	EXPANSION JOINT
EX	EXISTING
F	FALL TO SCREED
FG	FIXED GLAZING
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE
G	GLASS
GALV	GALVANIZED
HWS	HOT WATER SYSTEM
LS	LANDSCAPING
LV	LOUVRE
MR	METAL ROOFING
MV	MECHANICAL VENTILATION
NGL	NATURAL GROUND LEVEL
NTS	NOT TO SCALE
OG	OBSCURE GLAZING
OH	OVER HEAD
P	SELECTED PAVING
PB	PLASTERBOARD
PFC	PARALLEL FLANCE CHANNEL
PL	PLANTER
PS	PRIVACY SCREEN
PW	PLASTERBOARD WALL
REF	REFERENCE
RW	RENDERED & PAINTED WALL
RWH	RAIN WATER HEAD
RWP	RAIN WATER PIPE
RL	REDUCED LEVEL
RC	REINFORCED CONCRETE
SB	MAIN ELECTRICAL SWITCH BOARD
SC	STEEL COLUMN
SHR	SHOWER
SPEC	SPECIFICATION
SS	STAINLESS STEEL
SW	STONE WALL
SWP	STORM WATER PIT
T	TILE
TD	TIMBER DECKING
TOW	TOP OF WALL
UB	UNIVERSAL BEAM
US	UNDERSIDE
V	VENTILATION
W	WINDOW
WPM	WATER PROOFING MEMBRANE

N

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m, 0.5m, 0
1 : 50 — 2.5m, 2m, 1m, 0
1 : 100 — 5m, 4m, 3m, 2m, 1m, 0

A2 SHEET

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:	39 Heathcliff Crescent House Alterations & Additions
CLIENT:	Todd & Janelle Delaney
ADDRESS:	39 Heathcliff Crescent Balgowlah Heights NSW 2093
DRAWING TITLE:	TITLE PAGE SITE PLAN
DRAWN:	E DU PLESSIS
CHECKED:	H DU PLESSIS
SCALE:	1:100 [A2]
DRAWING NO:	DA.1
ISSUE:	L
DATE:	11.08.2025
DRAWING STATUS:	MODIFICATION APPLICATION

DEMOLITION NOTES

- CONTRACTOR TO VERIFY ON SITE ALL EXISTING HOUSE BUILDING, SOIL & OTHER CONDITIONS PRIOR TO STARTING DEMOLITION.
- REMOVE ALL WALLS, WINDOWS, DOORS, FRAMES, FIXTURES, FITTINGS, FINISHES ETC AS INDICATED ON DEMO DRAWINGS INCLUDING CEILINGS, LIGHTS, UTILITIES, ETC AS REQUIRED AND AS TYPICAL THROUGHOUT DEMOLITION ZONE.
- REFER TO STRUCTURAL ENGINEER DRAWINGS & DETAILS FOR ALL BEAM & OTHER STRUCTURAL SUPPORT OF THE EXISTING BUILDING .
- PLAN ALL DEMOLITION WORK FOR MINIMAL DISRUPTIONS TO PARTS OF THE EXISTING BUILDING STRUCTURES TO BE RETAINED AS IS.
- NOISE DURING DEMOLITION AND CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- DEMOLITION WORK DURING HOURS AS STIPULATED BY DEVELOPMENT CONDITIONS OF CONSENT.
- THE OWNER WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER OR HIS REPRESENTETIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF STORAGE AREA FOR VARIOUS ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE BUILDING ALL DEMOLISHED MATERIALS PLUS CONSTRUCTION DEBRIS.
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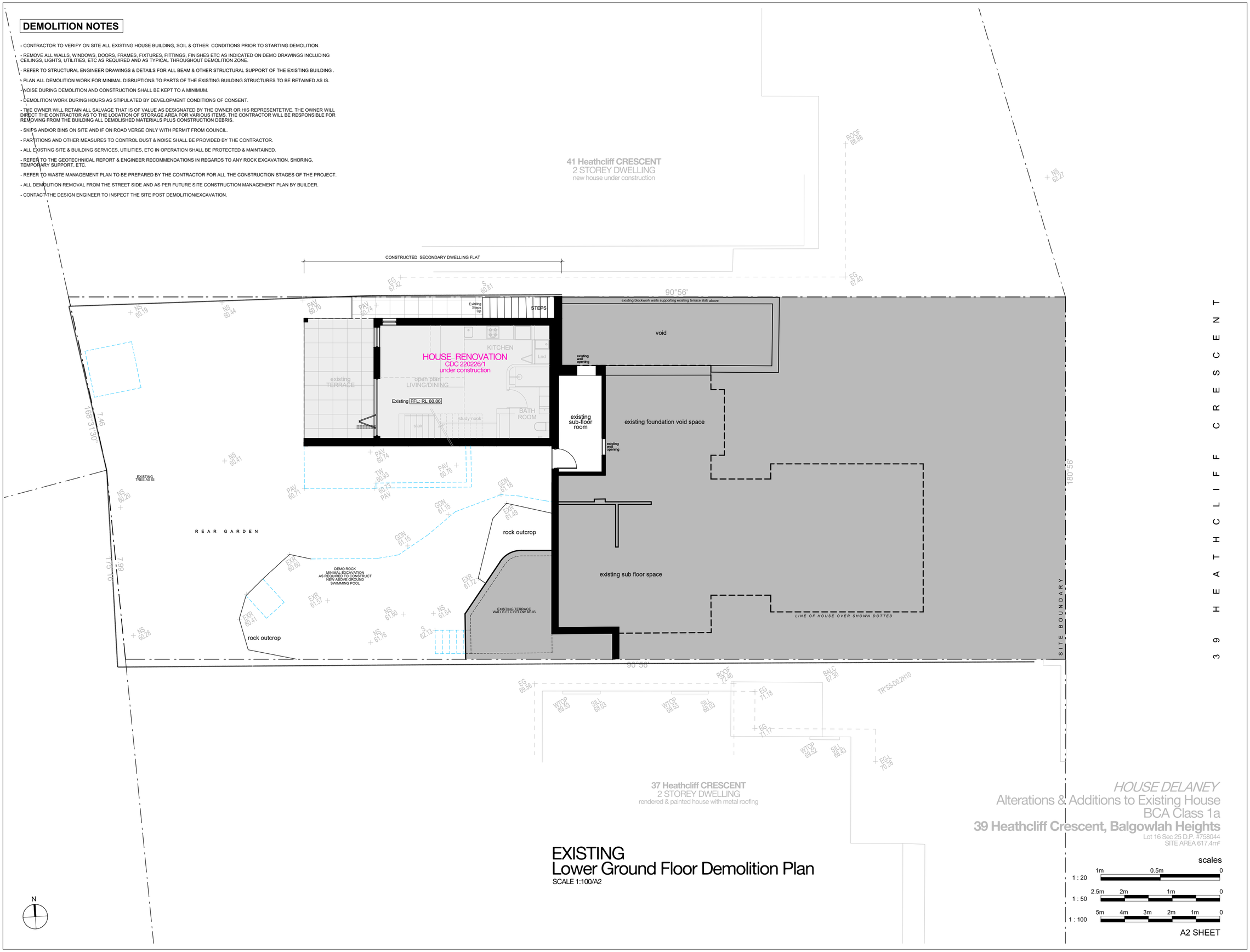
- REFER TO WASTE MANAGEMENT PLAN TO BE PREPARED BY THE CONTRACTOR FOR ALL THE CONSTRUCTION STAGES OF THE PROJECT.
- ALL DEMOLITION REMOVAL FROM THE STREET SIDE AND AS PER FUTURE SITE CONSTRUCTION MANAGEMENT PLAN BY BUILDER.
- CONTACT THE DESIGN ENGINEER TO INSPECT THE SITE POST DEMOLITION/EXCAVATION.



EXISTING
Lower Ground Floor Demolition Plan
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0

A2 SHEET

LEGEND

EXISTING HOUSE WALLS, ROOFS, ETC AS IS
MASONRY & BRICK VENEER WALLS TO BE RETAINED

DEMOLITION
AS INDICATED

NOTES

+ SITE SURVEY INFORMATION:
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I	08.08.2023	CDC
J	25.01.2024	Development Application II
K	12.02.2024	
L	11.08.2025	Modification Application

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
EXISTING LOWER GROUND FLOOR DEMOLITION PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.2

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

DEMOLITION NOTES

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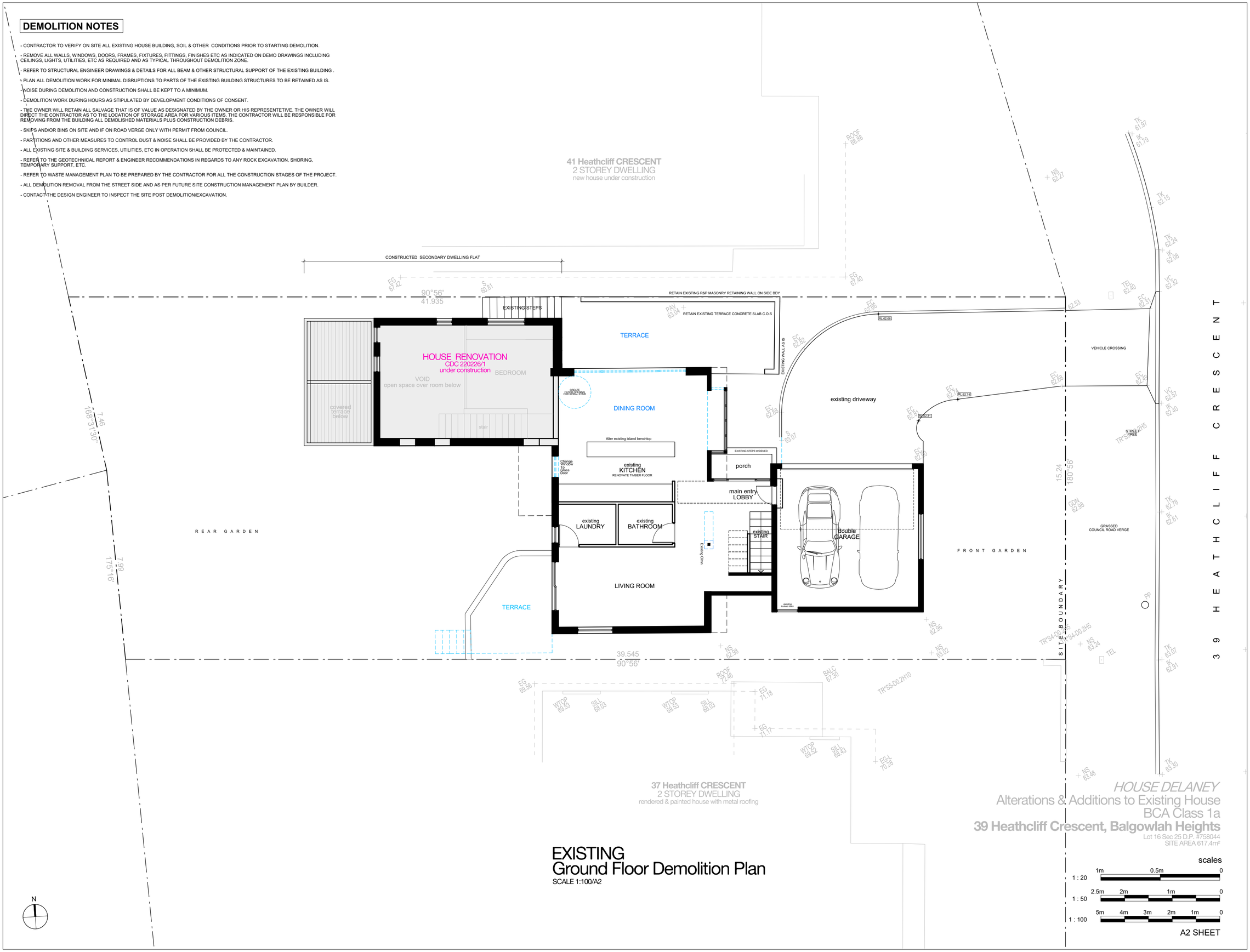

EXISTING
Ground Floor Demolition Plan

SCALE 1:100/A2

LEGEND

- **EXISTING HOUSE WALLS, ROOFS, ETC AS IS**
  MASONRY & BRICK VENEER WALLS TO BE RETAINED
- **DEMOLITION**
  AS INDICATED

NOTES

+ SITE SURVEY INFORMATION:
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ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
EXISTING GROUND FLOOR
DEMOLITION PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.2

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

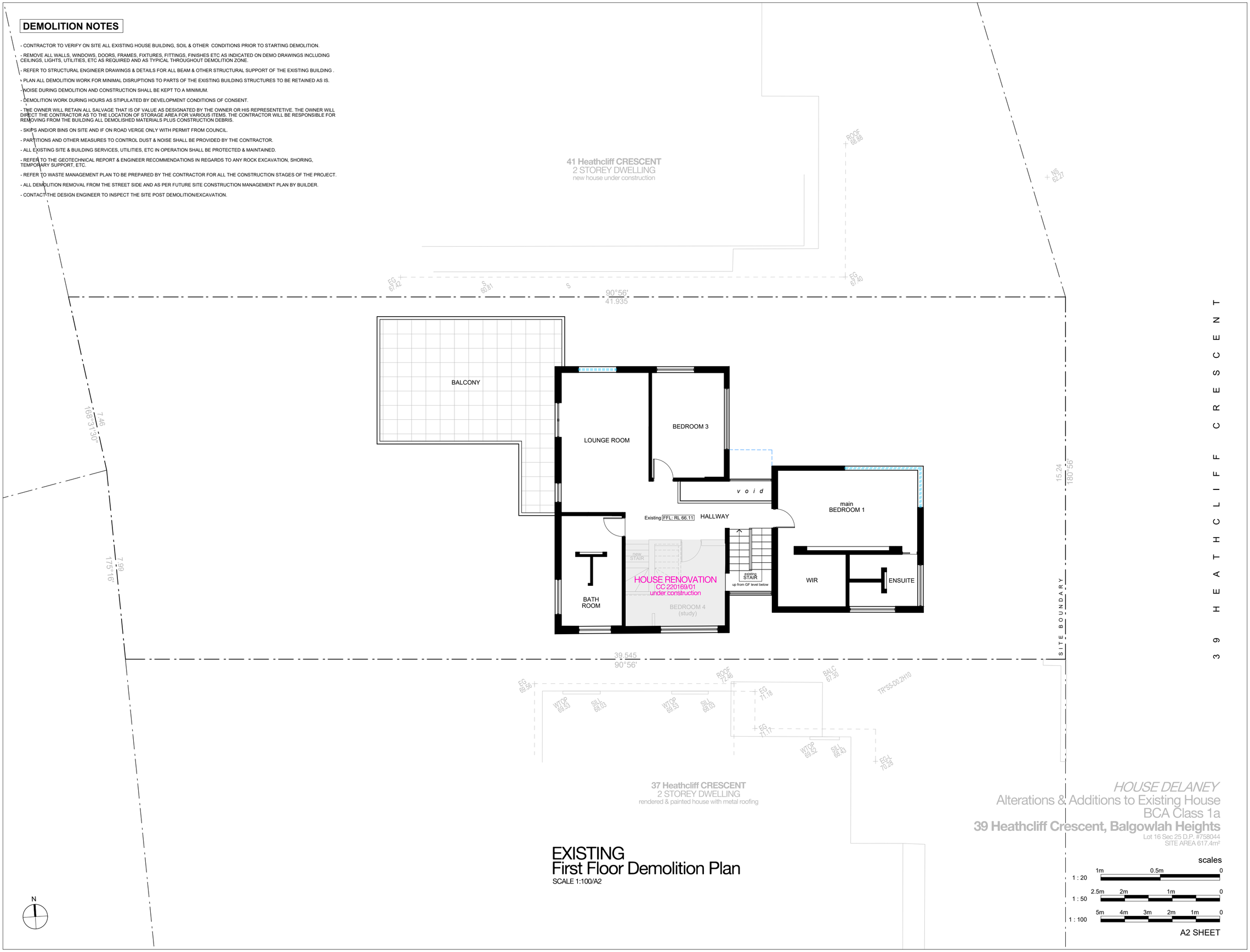
HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0

A2 SHEET

DEMOLITION NOTES

- CONTRACTOR TO VERIFY ON SITE ALL EXISTING HOUSE BUILDING, SOIL & OTHER CONDITIONS PRIOR TO STARTING DEMOLITION.
- REMOVE ALL WALLS, WINDOWS, DOORS, FRAMES, FIXTURES, FITTINGS, FINISHES ETC AS INDICATED ON DEMO DRAWINGS INCLUDING CEILINGS, LIGHTS, UTILITIES, ETC AS REQUIRED AND AS TYPICAL THROUGHOUT DEMOLITION ZONE.
- REFER TO STRUCTURAL ENGINEER DRAWINGS & DETAILS FOR ALL BEAM & OTHER STRUCTURAL SUPPORT OF THE EXISTING BUILDING .
- PLAN ALL DEMOLITION WORK FOR MINIMAL DISRUPTIONS TO PARTS OF THE EXISTING BUILDING STRUCTURES TO BE RETAINED AS IS.
- NOISE DURING DEMOLITION AND CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- DEMOLITION WORK DURING HOURS AS STIPULATED BY DEVELOPMENT CONDITIONS OF CONSENT.
- THE OWNER WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER OR HIS REPRESENTETIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF STORAGE AREA FOR VARIOUS ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE BUILDING ALL DEMOLISHED MATERIALS PLUS CONSTRUCTION DEBRIS.
- SKIPS AND/OR BINS ON SITE AND IF ON ROAD VERGE ONLY WITH PERMIT FROM COUNCIL.
- PARTITIONS AND OTHER MEASURES TO CONTROL DUST & NOISE SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL EXISTING SITE & BUILDING SERVICES, UTILITIES, ETC IN OPERATION SHALL BE PROTECTED & MAINTAINED.
- REFER TO THE GEOTECHNICAL REPORT & ENGINEER RECOMMENDATIONS IN REGARDS TO ANY ROCK EXCAVATION, SHORING, TEMPORARY SUPPORT, ETC.
- REFER TO WASTE MANAGEMENT PLAN TO BE PREPARED BY THE CONTRACTOR FOR ALL THE CONSTRUCTION STAGES OF THE PROJECT.
- ALL DEMOLITION REMOVAL FROM THE STREET SIDE AND AS PER FUTURE SITE CONSTRUCTION MANAGEMENT PLAN BY BUILDER.
- CONTACT THE DESIGN ENGINEER TO INSPECT THE SITE POST DEMOLITION/EXCAVATION.



EXISTING
First Floor Demolition Plan

SCALE 1:100/A2

HOUSE DELANEY

Alterations & Additions to Existing House

BCA Class 1a

39 Heathcliff Crescent, Balgowlah Heights

Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales

1 : 20 — 1m, 0.5m, 0

1 : 50 — 2.5m, 2m, 1m, 0

1 : 100 — 5m, 4m, 3m, 2m, 1m, 0

A2 SHEET

LEGEND

EXISTING HOUSE WALLS, ROOFS, ETC AS IS
MASONRY & BRICK VENEER WALLS TO BE RETAINED

DEMOLITION
AS INDICATED

NOTES

+ SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM C&A SURVEY PLAN #18236-21. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM, HOUSE INTERNAL WALL MEASUREMENTS AS PER SURVEY AND/OR BY THE ARCHITECT [WALL, WINDOW & DOOR LOCATION + SIZE ACCURACY T.B.C ON SITE BY THE BUILDER].

+ COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE 'SPECIFICATION FOR BUILDING WORKS'. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

+ DETAIL DRAWINGS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

+ EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

REV	DATE	ISSUE
I	08.08.2023	CDC
J	25.01.2024	Development Application II
K	12.02.2024	
L	11.08.2025	Modification Application

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
EXISTING FIRST FLOOR
DEMOLITION PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.3

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

DEMOLITION NOTES

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- REMOVE ALL WALLS, WINDOWS, DOORS, FRAMES, FIXTURES, FITTINGS, FINISHES ETC AS INDICATED ON DEMO DRAWINGS INCLUDING CEILINGS, LIGHTS, UTILITIES, ETC AS REQUIRED AND AS TYPICAL THROUGHOUT DEMOLITION ZONE.
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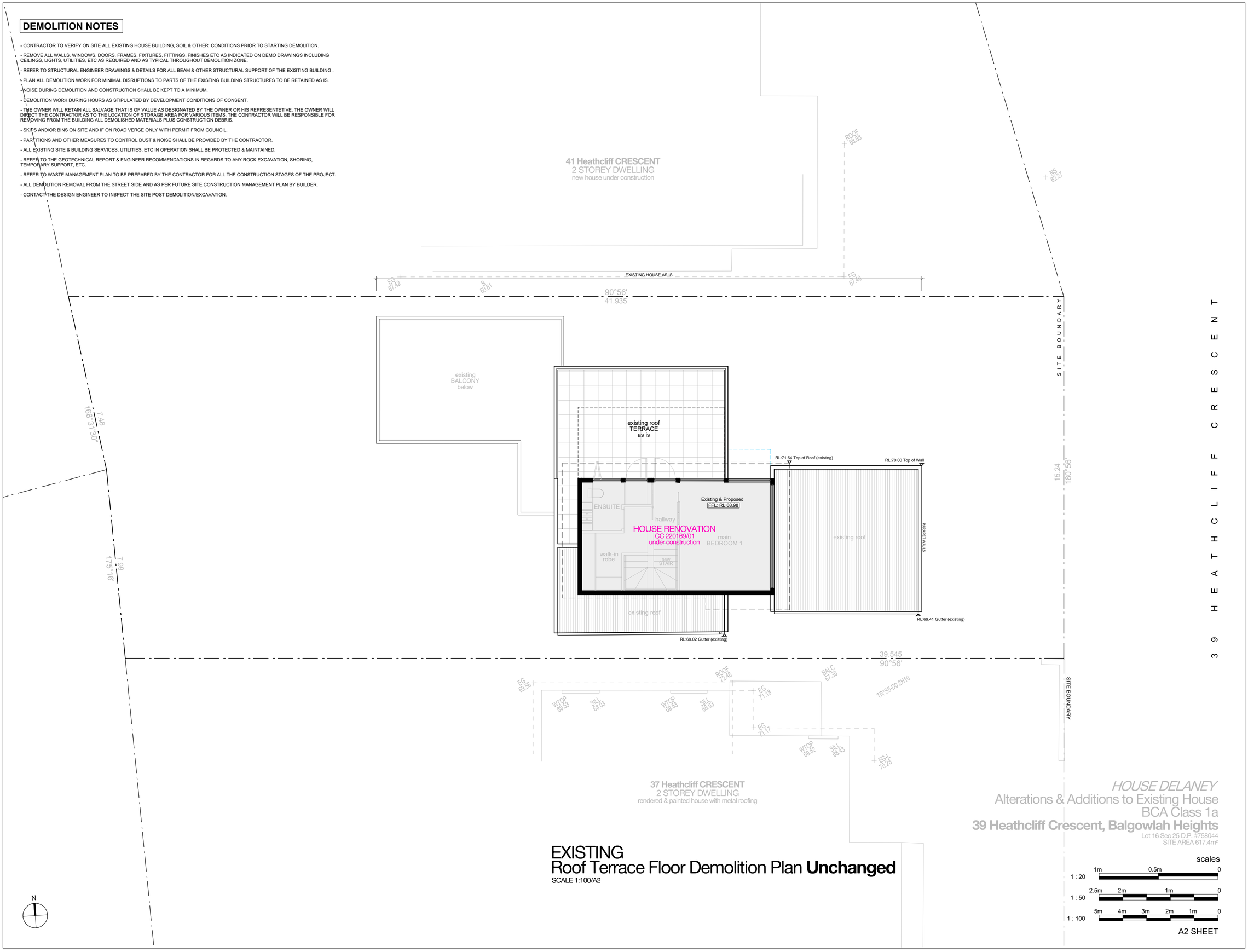

EXISTING
Roof Terrace Floor Demolition Plan **Unchanged**

SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m, 0.5m, 0
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1 : 100 — 5m, 4m, 3m, 2m, 1m, 0

A2 SHEET

LEGEND

EXISTING HOUSE WALLS, ROOFS, ETC AS IS
MASONRY & BRICK VENEER WALLS TO BE RETAINED

DEMOLITION
AS INDICATED

NOTES

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J	25.01.2024	Development Application II
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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
EXISTING ROOF TERRACE
FLOOR DEMOLITION PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.5

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A510079_04 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1006.25 LITRES ON THE SITE. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 20 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL
THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 24 KILOLITRES.
THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT.

HOT WATER:
HOT WATER SYSTEM AS IS.

LIGHTING:
ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES:
ALL NEW OR ALTERED SHOWERHEADS TO HAVE A FLOW RATE NO GREATER THAN 9 L PER MINUTE OR A 3 STAR WATER RATING. NEW OR ALTERED TOILETS TO HAVE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING NEW OR ALTERED TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 L PER MINUTE OR MINIMUM 3 STAR WATER RATING.

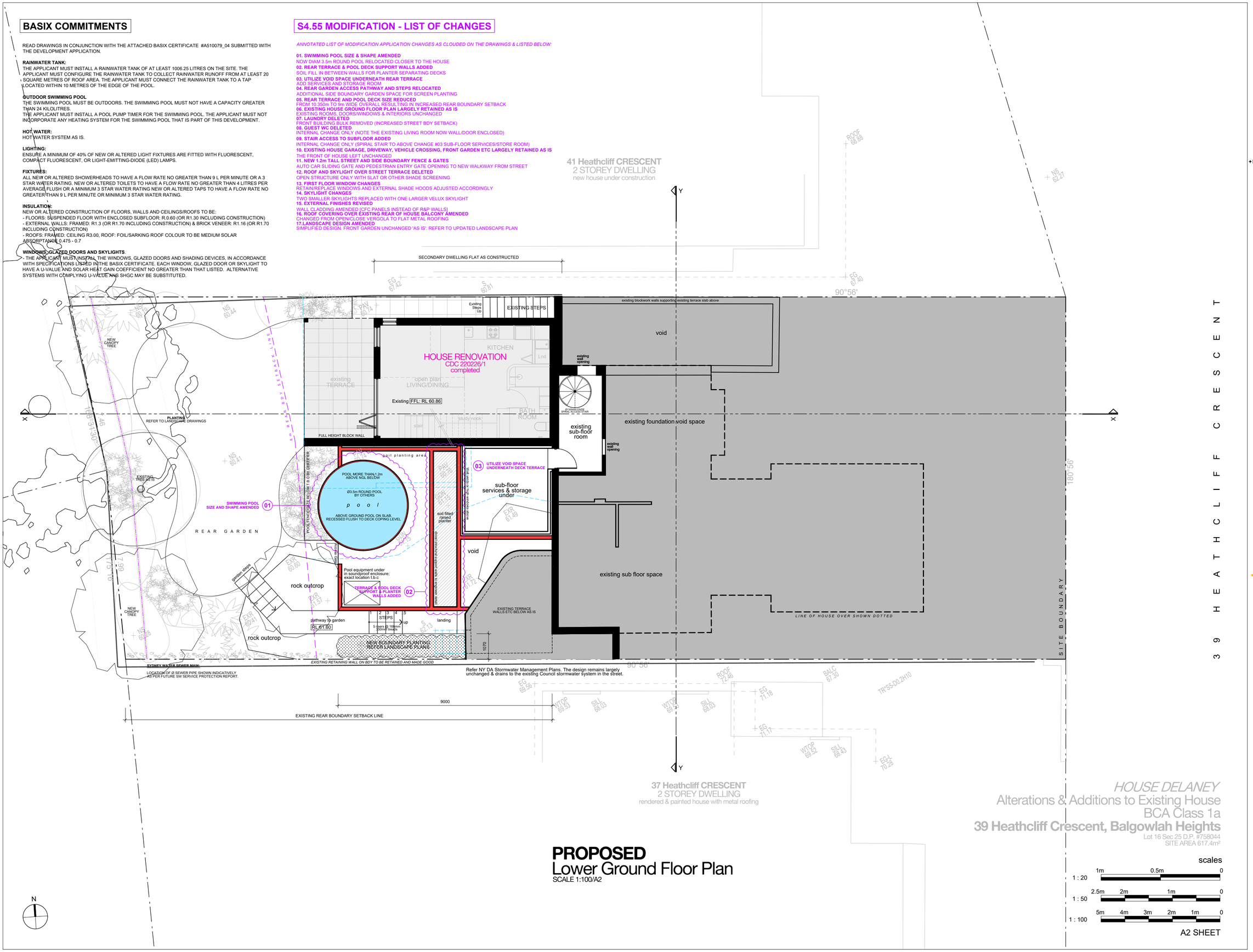
INSULATION:
NEW OR ALTERED CONSTRUCTION OF FLOORS, WALLS AND CEILINGS/ROOFS TO BE:
- FLOORS: SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR: R.0.60 (OR R1.30 INCLUDING CONSTRUCTION)
- EXTERNAL WALLS: FRAMED: R1.3 (OR R1.70 INCLUDING CONSTRUCTION) & BRICK VENEER: R1.16 (OR R1.70 INCLUDING CONSTRUCTION)
- ROOFS: FRAMED: CEILING R3.00, ROOF: FOIL/SARKING ROOF COLOUR TO BE MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

WINDOWS, GLAZED DOORS AND SKYLIGHTS.
- THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE. EACH WINDOW, GLAZED DOOR OR SKYLIGHT TO HAVE A U-VALUE AND SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED. ALTERNATIVE SYSTEMS WITH COMPLYING U-VALUE AND SHGC MAY BE SUBSTITUTED.

S4.55 MODIFICATION - LIST OF CHANGES

ANNOTATED LIST OF MODIFICATION APPLICATION CHANGES AS CLOUDED ON THE DRAWINGS & LISTED BELOW:

01. SWIMMING POOL SIZE & SHAPE AMENDED
NOW DIAM 3.5m ROUND POOL RELOCATED CLOSER TO THE HOUSE
02. REAR TERRACE & POOL DECK SUPPORT WALLS ADDED
SOIL FILL IN BETWEEN WALLS FOR PLANTER SEPARATING DECKS
03. UTILIZE VOID SPACE UNDERNEATH REAR TERRACE
ADD SERVICES AND STORAGE ROOM
04. REAR GARDEN ACCESS PATHWAY AND STEPS RELOCATED
ADDITIONAL SIDE BOUNDARY GARDEN SPACE FOR SCREEN PLANTING
05. REAR TERRACE AND POOL DECK SIZE REDUCED
FROM 10.350m TO 9m WIDE OVERALL RESULTING IN INCREASED REAR BOUNDARY SETBACK
06. EXISTING HOUSE GROUND FLOOR PLAN LARGELY RETAINED AS IS
EXISTING ROOMS, DOORS/WINDOWS & INTERIORS UNCHANGED
07. LAUNDRY DELETED
FRONT BUILDING BULK REMOVED (INCREASED STREET BDY SETBACK)
08. GUEST WC DELETED
INTERNAL CHANGE ONLY (NOTE THE EXISTING LIVING ROOM NOW WALL/DOOR ENCLOSED)
09. STAIR ACCESS TO SUBFLOOR ADDED
INTERNAL CHANGE ONLY (SPIRAL STAIR TO ABOVE CHANGE #03 SUB-FLOOR SERVICES/STORE ROOM)
10. EXISTING HOUSE GARAGE, DRIVEWAY, VEHICLE CROSSING, FRONT GARDEN ETC LARGELY RETAINED AS IS
THE FRONT OF HOUSE LEFT UNCHANGED
11. NEW 1.2m TALL STREET AND SIDE BOUNDARY FENCE & GATES
AUTO CAR SLIDING GATE AND PEDESTRIAN ENTRY GATE OPENING TO NEW WALKWAY FROM STREET
12. ROOF AND SKYLIGHT OVER STREET TERRACE DELETED
OPEN STRUCTURE ONLY WITH SLAT OR OTHER SHADE SCREENING
13. FIRST FLOOR WINDOW CHANGES
RETAIN/REPLACE WINDOWS AND EXTERNAL SHADE HOODS ADJUSTED ACCORDINGLY
14. SKYLIGHT CHANGES
TWO SMALLER SKYLIGHTS REPLACED WITH ONE LARGER VELUX SKYLIGHT
15. EXTERNAL FINISHES REVISED
WALL CLADDING AMENDED [CFC PANELS INSTEAD OF R&P WALLS]
16. ROOF COVERING OVER EXISTING REAR OF HOUSE BALCONY AMENDED
CHANGED FROM OPEN/CLOSE VERGOLA TO FLAT METAL ROOFING
17.LANDSCAPE DESIGN AMENDED
SIMPLIFIED DESIGN. FRONT GARDEN UNCHANGED 'AS IS'. REFER TO UPDATED LANDSCAPE PLAN



PROPOSED
Lower Ground Floor Plan
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0

A2 SHEET

LEGEND

- **EXISTING HOUSE WALLS AS IS** — MASONRY & BRICK VENEER WALLS TO BE RETAINED
- **MASONRY WALLS** — NEW BRICK or BRICK VENEER WALLS
- **WALL [INTERNAL]** — FRAMED LIGHT-WEIGHT SELECTED PLASTERBOARD WALLS
- **WALL [EXTERNAL]** — FRAMED LIGHT-WEIGHT WALL FINISH REFER SCHEDULES
- **CONCRETE** — REINFORCED CONCRETE OR OTHER TO ENGINEER DETAILS
- **FLOOR** — SELECTED CARPET OVER ACOUSTIC UNDERLAY
- **FLOOR** — TIMBER FLOORS SELECTED HARDWOOD FLOORING
- **FLOOR** — SELECTED TILES TO FALLS SET-OUT TO DETAIL
- **FLOOR** — SELECTED SLIP FREE EXTERNAL PAVER TILES
- **ROOF** — SELECTED COLORBOND METAL ROOFING
- **PROPOSED DA ADDITION** — ADDITIONAL BUILDING BULK
- **NEIGHBOURING PROPERTIES** — ADJOINING HOUSES AS PER SURVEY PLAN
- **DEMOLITION** — AS INDICATED
- RL 71.40 LEVELS

NOTES

+ SITE SURVEY INFORMATION:
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+ COORDINATION:
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REV	DATE	ISSUE
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J	25.01.2024	Development Application II
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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
LOWER
GROUND FLOOR PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.6

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A510079_04 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1006.25 LITRES ON THE SITE. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 20 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL
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HOT WATER:
HOT WATER SYSTEM AS IS.

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- ROOFS: FRAMED: CEILING R3.00, ROOF: FOIL/SARKING ROOF COLOUR TO BE MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

WINDOWS, GLAZED DOORS AND SKYLIGHTS.
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S4.55 MODIFICATION - LIST OF CHANGES

ANNOTATED LIST OF MODIFICATION APPLICATION CHANGES AS CLOUDED ON THE DRAWINGS & LISTED BELOW:

01. SWIMMING POOL SIZE & SHAPE AMENDED
NOW DIAM 3.5m ROUND POOL RELOCATED CLOSER TO THE HOUSE
02. REAR TERRACE & POOL DECK SUPPORT WALLS ADDED
SOIL FILL IN BETWEEN WALLS FOR PLANTER SEPARATING DECKS
03. UTILIZE VOID SPACE UNDERNEATH REAR TERRACE
ADD SERVICES AND STORAGE ROOM
04. REAR GARDEN ACCESS PATHWAY AND STEPS RELOCATED
ADDITIONAL SIDE BOUNDARY GARDEN SPACE FOR SCREEN PLANTING
05. REAR TERRACE AND POOL DECK SIZE REDUCED
FROM 10.350m TO 9m WIDE OVERALL RESULTING IN INCREASED REAR BOUNDARY SETBACK
06. EXISTING HOUSE GROUND FLOOR PLAN LARGELY RETAINED AS IS
EXISTING ROOMS, DOORS/WINDOWS & INTERIORS UNCHANGED
07. LAUNDRY DELETED
FRONT BUILDING BULK REMOVED (INCREASED STREET BDY SETBACK)
08. GUEST WC DELETED
INTERNAL CHANGE ONLY (NOTE THE EXISTING LIVING ROOM NOW WALL/DOOR ENCLOSED)
09. STAIR ACCESS TO SUBFLOOR ADDED
INTERNAL CHANGE ONLY (SPIRAL STAIR TO ABOVE CHANGE #03 SUB-FLOOR SERVICES/STORE ROOM)
10. EXISTING HOUSE GARAGE, DRIVEWAY, VEHICLE CROSSING, FRONT GARDEN ETC LARGELY RETAINED AS IS
THE FRONT OF HOUSE LEFT UNCHANGED
11. NEW 1.2m TALL STREET AND SIDE BOUNDARY FENCE & GATES
AUTO CAR SLIDING GATE AND PEDESTRIAN ENTRY GATE OPENING TO NEW WALKWAY FROM STREET
12. ROOF AND SKYLIGHT OVER STREET TERRACE DELETED
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13. FIRST FLOOR WINDOW CHANGES
RETAIN/REPLACE WINDOWS AND EXTERNAL SHADE HOODS ADJUSTED ACCORDINGLY
14. SKYLIGHT CHANGES
TWO SMALLER SKYLIGHTS REPLACED WITH ONE LARGER VELUX SKYLIGHT
15. EXTERNAL FINISHES REVISED
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16. ROOF COVERING OVER EXISTING REAR OF HOUSE BALCONY AMENDED
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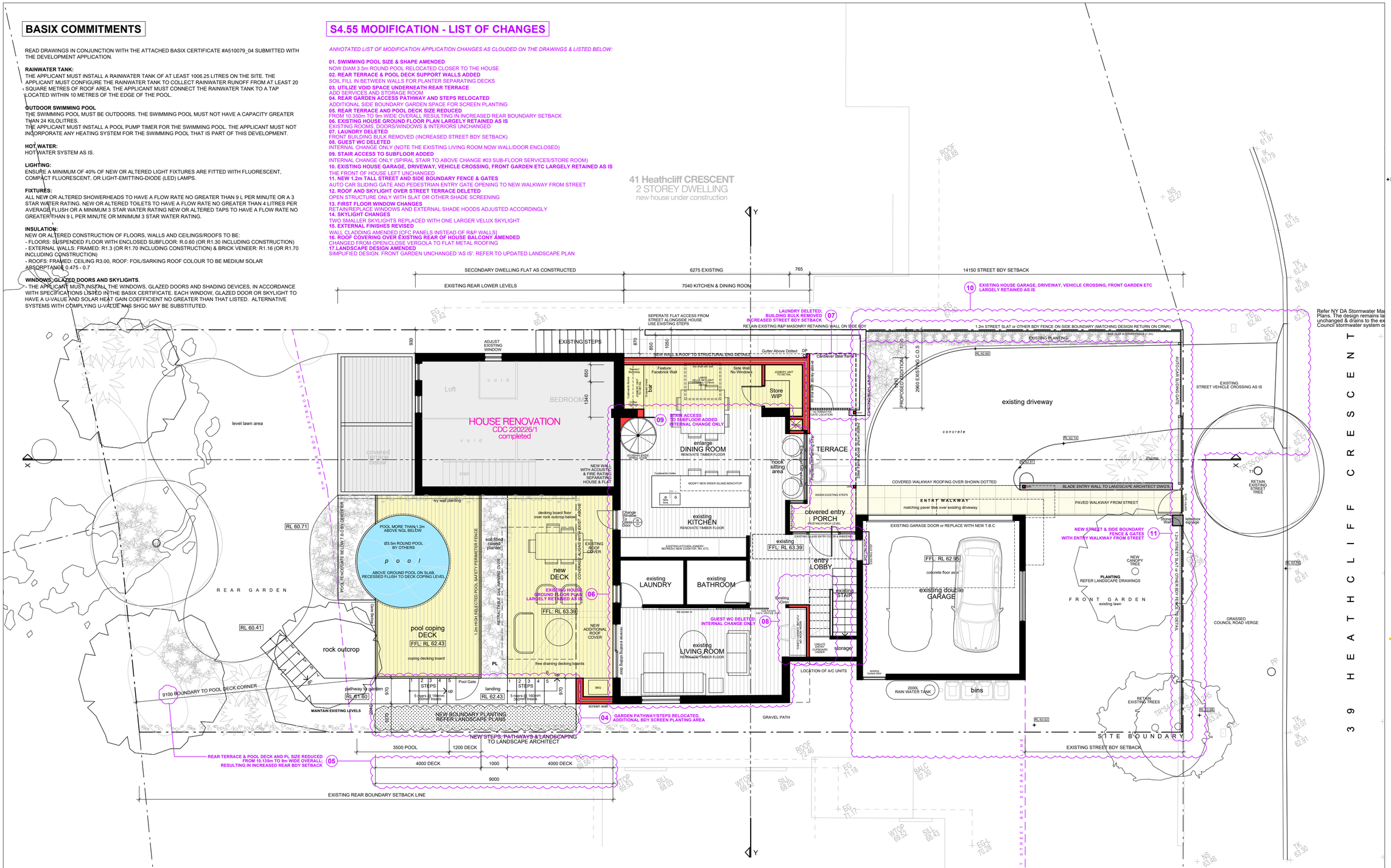
17.LANDSCAPE DESIGN AMENDED
SIMPLIFIED DESIGN. FRONT GARDEN UNCHANGED 'AS IS'. REFER TO UPDATED LANDSCAPE PLAN



PROPOSED
Ground Floor Plan
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
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A2 SHEET

LEGEND

- EXISTING HOUSE WALLS AS IS — MASONRY & BRICK VENEER WALLS TO BE RETAINED
- MASONRY WALLS — NEW BRICK or BRICK VENEER WALLS
- WALL [INTERNAL] — FRAMED LIGHT-WEIGHT SELECTED PLASTERBOARD WALLS
- WALL [EXTERNAL] — FRAMED LIGHT-WEIGHT WALL FINISH REFER SCHEDULES
- CONCRETE — REINFORCED CONCRETE OR OTHER TO ENGINEER DETAILS
- FLOOR — SELECTED CARPET OVER ACOUSTIC UNDERLAY
- FLOOR — TIMBER FLOORS SELECTED HARDWOOD FLOORING
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- DEMOLITION — AS INDICATED
- RL 71.40 LEVELS

NOTES

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THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM C&A SURVEY PLAN # 118036-01. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM, HOUSE INTERNAL WALL MEASUREMENTS AS PER SURVEY AND/OR BY THE ARCHITECT WALL/WINDOW & DOOR LOCATION + SIZE ACCURACY T.B.C ON SITE BY THE BUILDER].

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+ DU PLESSIS
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0433408368
www.droom.com.au
NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
PROPOSED
GROUND FLOOR PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.7

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

BASIX COMMITMENTS

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HOT WATER:
HOT WATER SYSTEM AS IS.

LIGHTING:
ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

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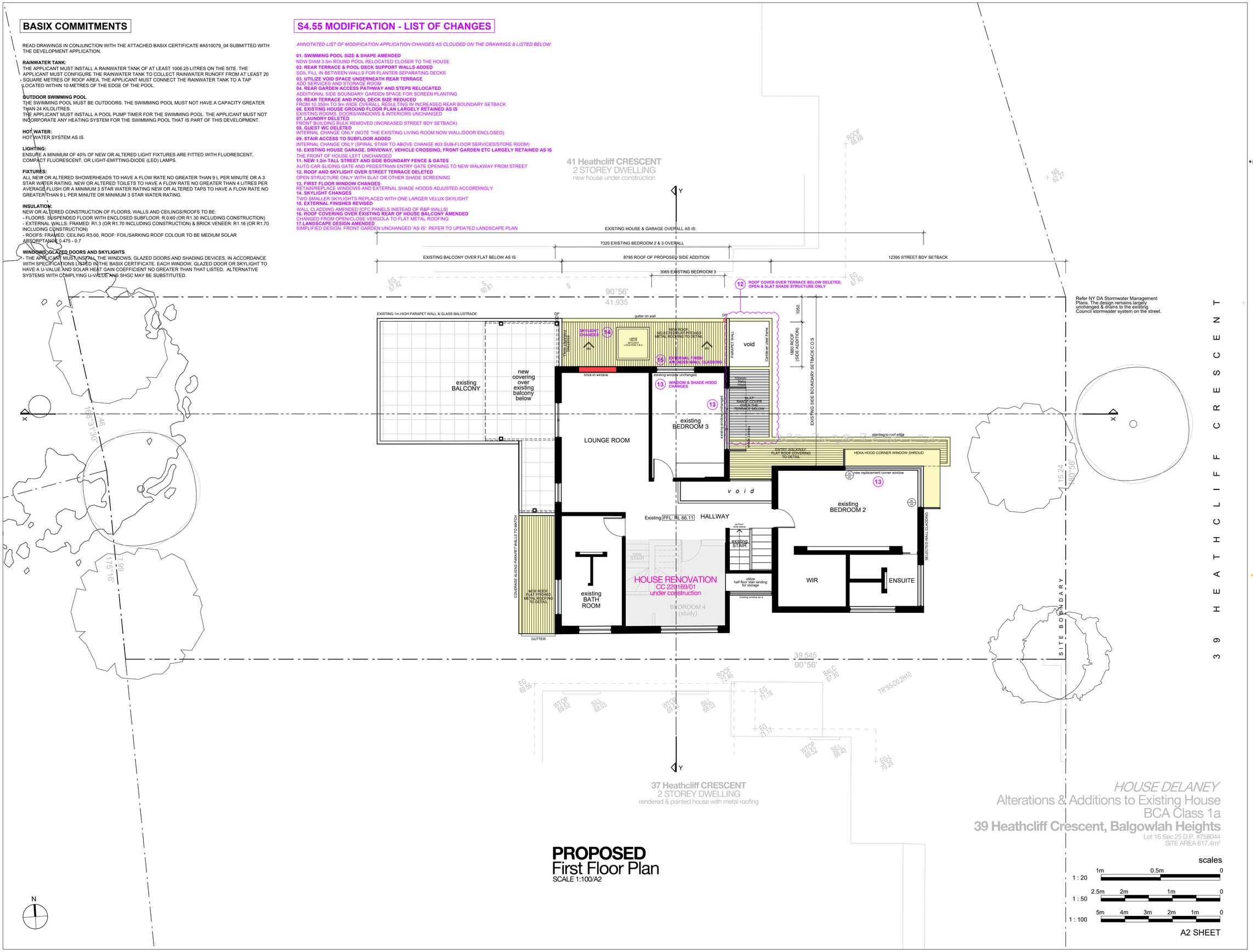

PROPOSED
First Floor Plan
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

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- **DEMOLITION** AS INDICATED
- RL 71.40 LEVELS

NOTES

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DU PLESSIS ARCHITECTS

h@droom.com.au
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www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
PROPOSED
FIRST FLOOR PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.8

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

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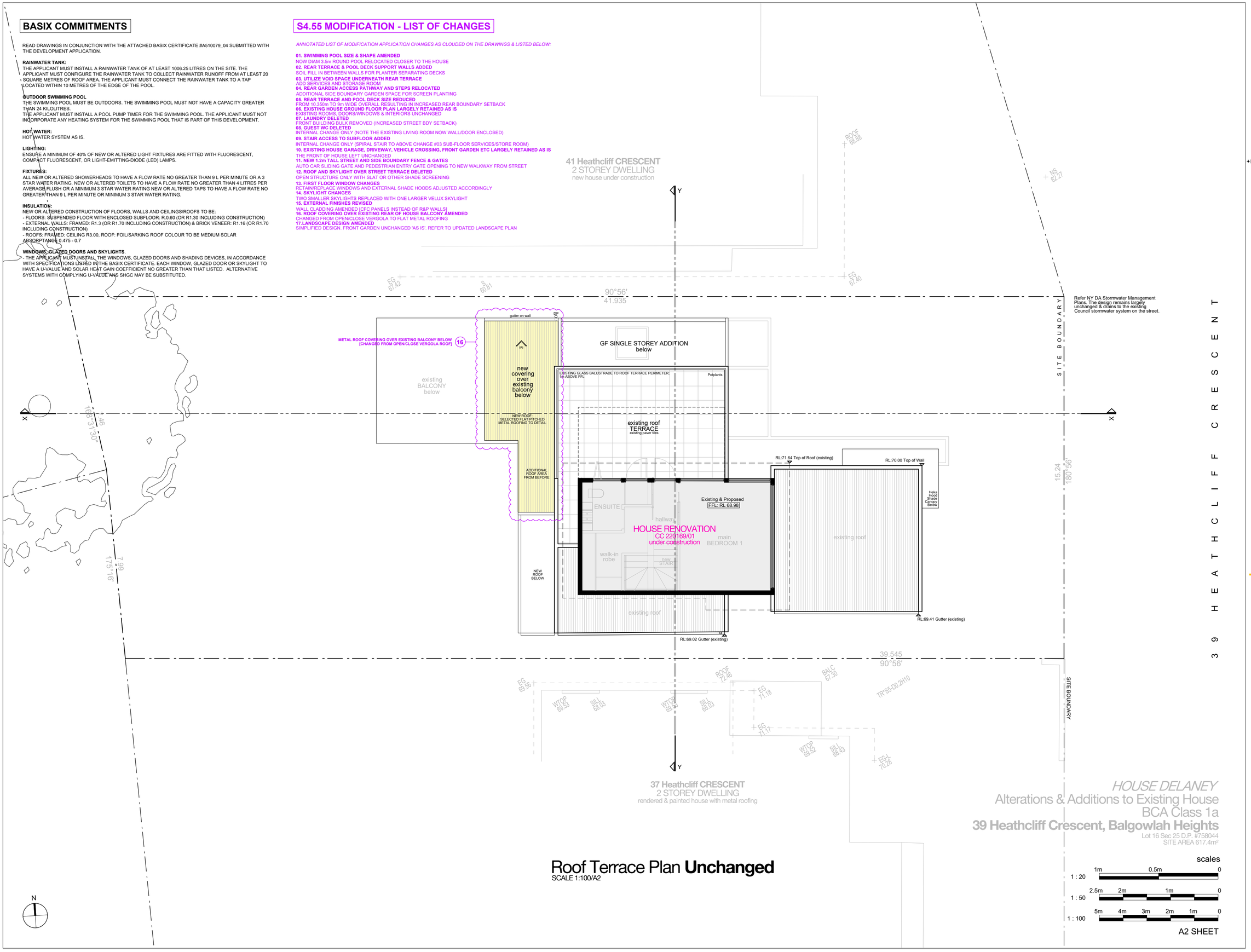

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L	11.08.2025	Modification Application

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DU PLESSIS
DU PLESSIS ARCHITECTS

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0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
ROOF
TERRACE PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.9

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

BASIX COMMITMENTS

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RAINWATER TANK:
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OUTDOOR SWIMMING POOL
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THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT.

HOT WATER:
HOT WATER SYSTEM AS IS.

LIGHTING:
ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES:
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- EXTERNAL WALLS: FRAMED: R1.3 (OR R1.70 INCLUDING CONSTRUCTION) & BRICK VENEER: R1.16 (OR R1.70 INCLUDING CONSTRUCTION)
- ROOFS: FRAMED: CEILING R3.00, ROOF: FOIL/SARKING ROOF COLOUR TO BE MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

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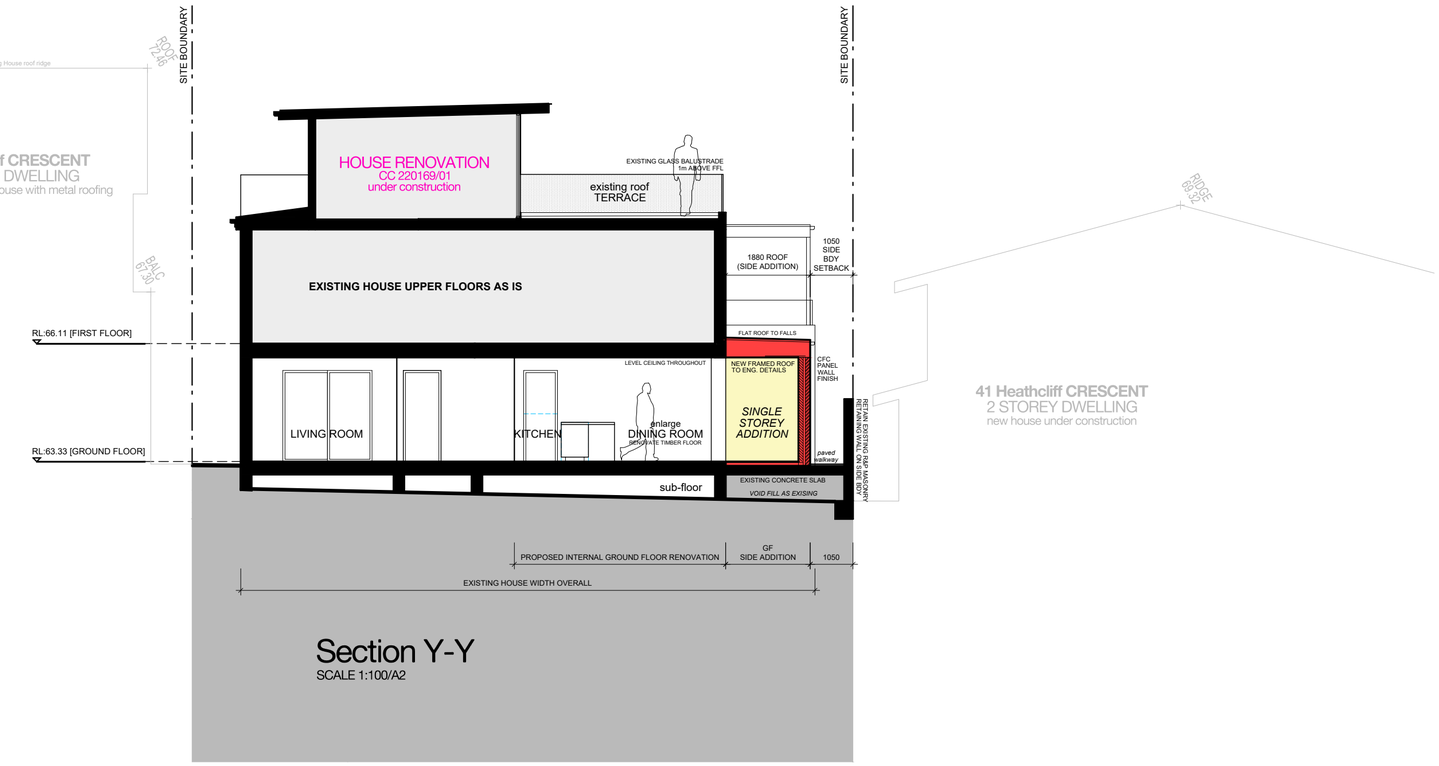
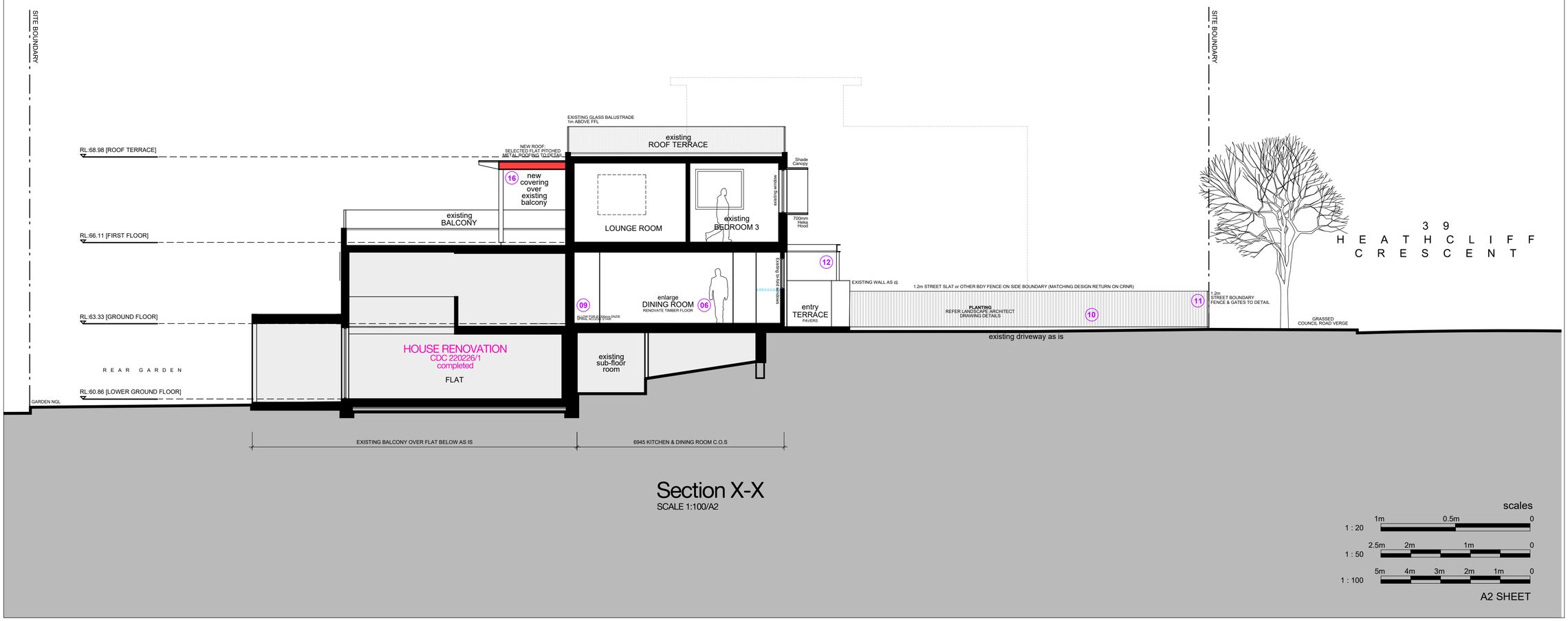


Section Y-Y
SCALE 1:100/A2



Section X-X
SCALE 1:100/A2

scales
1 : 20 — 1m, 0.5m, 0
1 : 50 — 2.5m, 2m, 1m, 0
1 : 100 — 5m, 4m, 3m, 2m, 1m, 0

A2 SHEET

LEGEND

- **EXISTING HOUSE WALLS AS IS** MASONRY & BRICK VENEER WALLS TO BE RETAINED
- **MASONRY WALLS** NEW BRICK or BRICK VENEER WALLS
- **WALL [INTERNAL]** FRAMED LIGHT-WEIGHT SELECTED PLASTERBOARD WALLS
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- **FLOOR** SELECTED CARPET OVER ACOUSTIC UNDERLAY
- **FLOOR** TIMBER FLOORS SELECTED HARDWOOD FLOORING
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- **FLOOR** SELECTED SLIP FREE EXTERNAL PAVER TILES
- **ROOF** SELECTED COLORBOND METAL ROOFING
- **PROPOSED DA ADDITION** ADDITIONAL BUILDING BULK
- **NEIGHBOURING PROPERTIES** ADJOINING HOUSES AS PER SURVEY PLAN
- **DEMOLITION** AS INDICATED
- RL:71.40 LEVELS

NOTES

+ SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM C&A SURVEY PLAN #18236-21. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM, HOUSE INTERNAL WALL MEASUREMENTS AS PER SURVEY AND/OR BY THE ARCHITECT [WALL, WINDOW & DOOR LOCATION + SIZE ACCURACY T.B.C ON SITE BY THE BUILDER].

+ COORDINATION:
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REV	DATE	ISSUE
I	08.08.2023	CDC
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ADDRESS:
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Balgowlah Heights NSW 2093

DRAWING TITLE:
SECTION X-X
SECTION Y-Y

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.10

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

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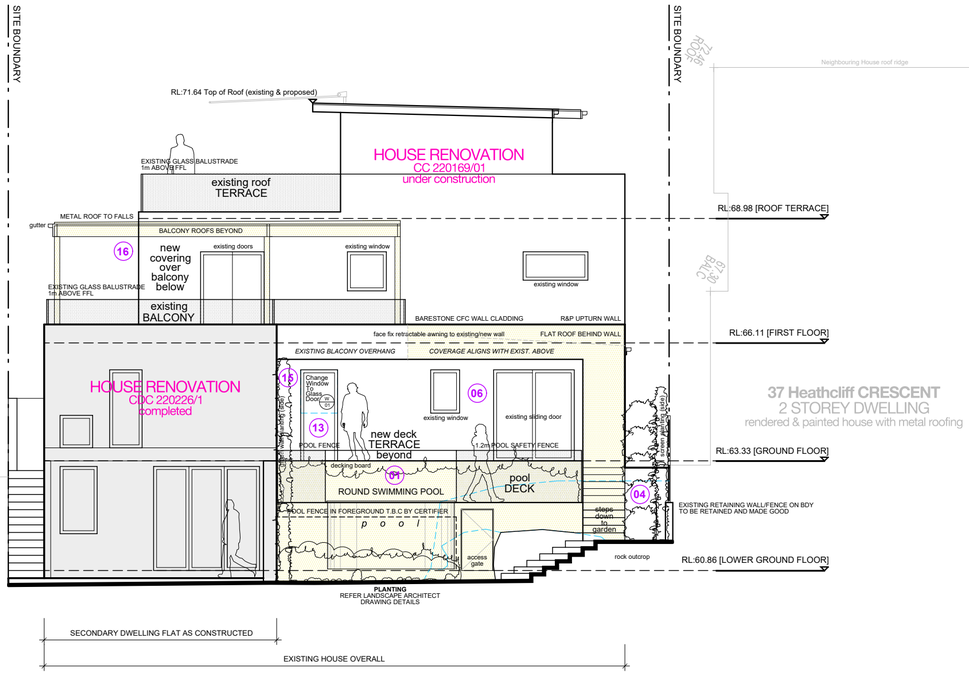
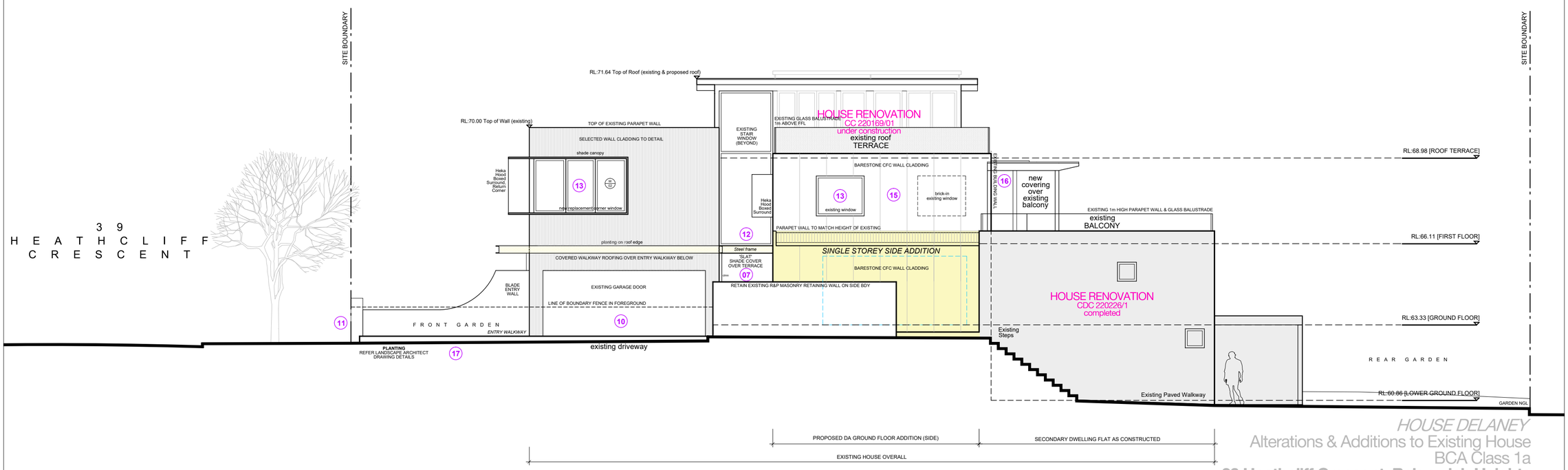


West Rear Elevation SCALE 1:100/A2



North Side Elevation
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0
A2 SHEET

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- **DEMOLITION** AS INDICATED
- RL:71.49 LEVELS

NOTES

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REV	DATE	ISSUE
I	08.08.2023	CDC
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L	11.08.2025	Modification Application

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CLIENT:
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Delaney

ADDRESS:
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Balgowlah Heights NSW 2093

DRAWING TITLE:
WEST ELEVATION
NORTH ELEVATION

DRAWN: E DU PLESSIS
CHECKED: H DU PLESSIS

SCALE: 1:100 [A2]

DRAWING NO: DA.11

ISSUE: L
DATE: 11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

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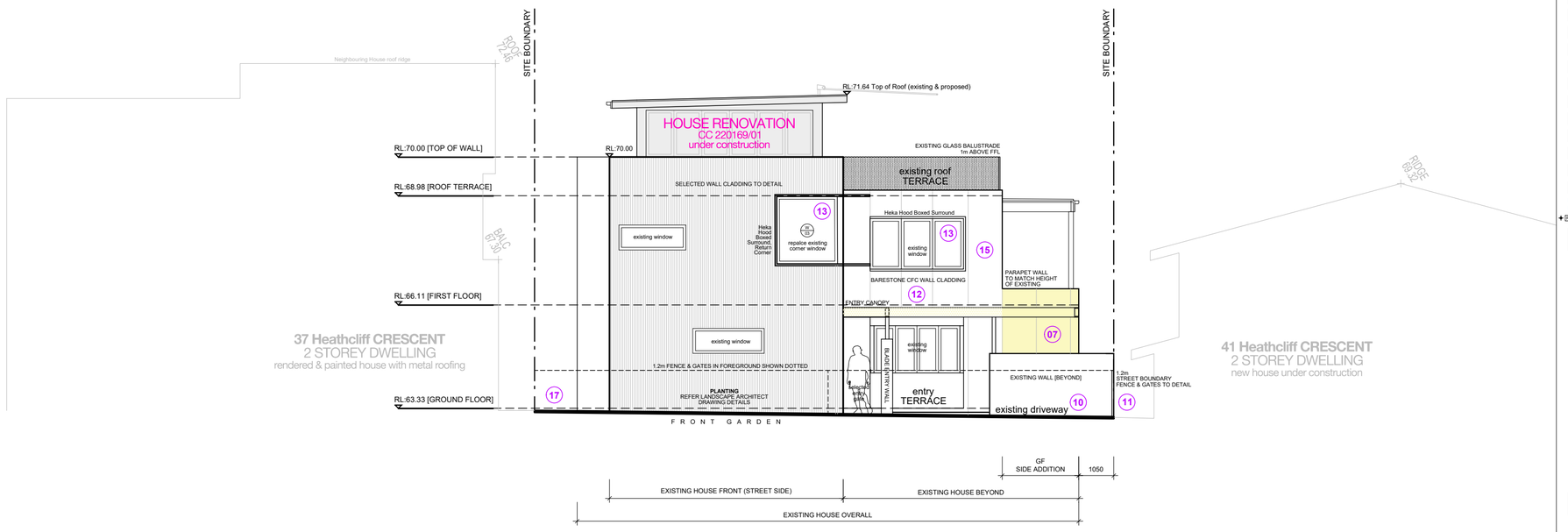
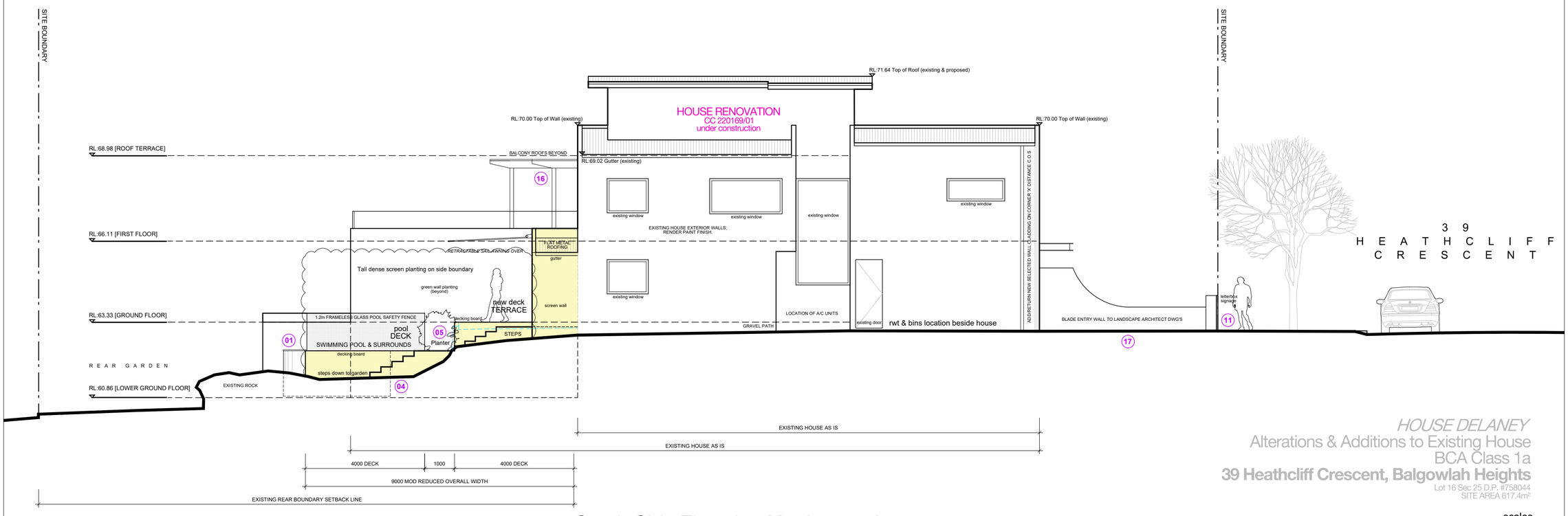


East Street Elevation
SCALE 1:100/A2



South Side Elevation **Unchanged**
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
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A2 SHEET

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- **ROOF** — SELECTED COLORBOND METAL ROOFING
- **PROPOSED DA ADDITION** — ADDITIONAL BUILDING BULK
- **NEIGHBOURING PROPERTIES** — ADJOINING HOUSES AS PER SURVEY PLAN
- **DEMOLITION** — AS INDICATED
- RL:71.49 LEVELS

NOTES

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DRAWING TITLE:
EAST ELEVATION
SOUTH ELEVATION

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.12

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

FSR CALCULATIONS

AS PER MANLY COUNCIL LEP
MAP FSR_001 ZONE C = MAXIMUM **FSR = 0.45:1**

FLOOR AREA CALCULATIONS

34.1m² Lower Ground Level HOUSE GFA
[excludes sub-floor house storage area, etc]
+
116.0m² Ground Level HOUSE GFA
[excludes 36m² two parking spaces, voids, stairs, etc]
+
108.2m² First Floor Level HOUSE GFA
[excludes stairs, voids, etc]
+
32.6m² Top Roof Terrace Level HOUSE GFA
[excludes stairs etc]

293.2m² TOTAL HOUSE GFA (to the internal face of enclosing walls)
SITE AREA 617.4m²

PROPOSED FSR = 0.47:1

OPEN SPACE CALCULATIONS

AREAS AS PER MANLY COUNCIL DCP 2013.7
MAP ZONE OS3 AT LEAST 55% OF THE SITE AREA REQUIREMENT = 339.5m² OS

OPEN SPACE CALCULATIONS

158m² Lower Ground Level REAR Yard [excludes areas less than 3m]
+
65.0m² Ground Level FRONT Yard [excludes driveway]
+
54.2m² Ground Level REAR Yard [excludes pool]
+
39.5m² Level One REAR Balcony [Includes above ground Balcony]
+
34.6m² Roof Level TOP Terrace [Includes above ground Balcony]

Balconies = 12% of open space calculated

351.3m² TOTAL OPEN SPACE
SITE AREA 617.4m²

Total Open Space = 57% of the Site Area

LANDCSAPE AREA CALCULATIONS

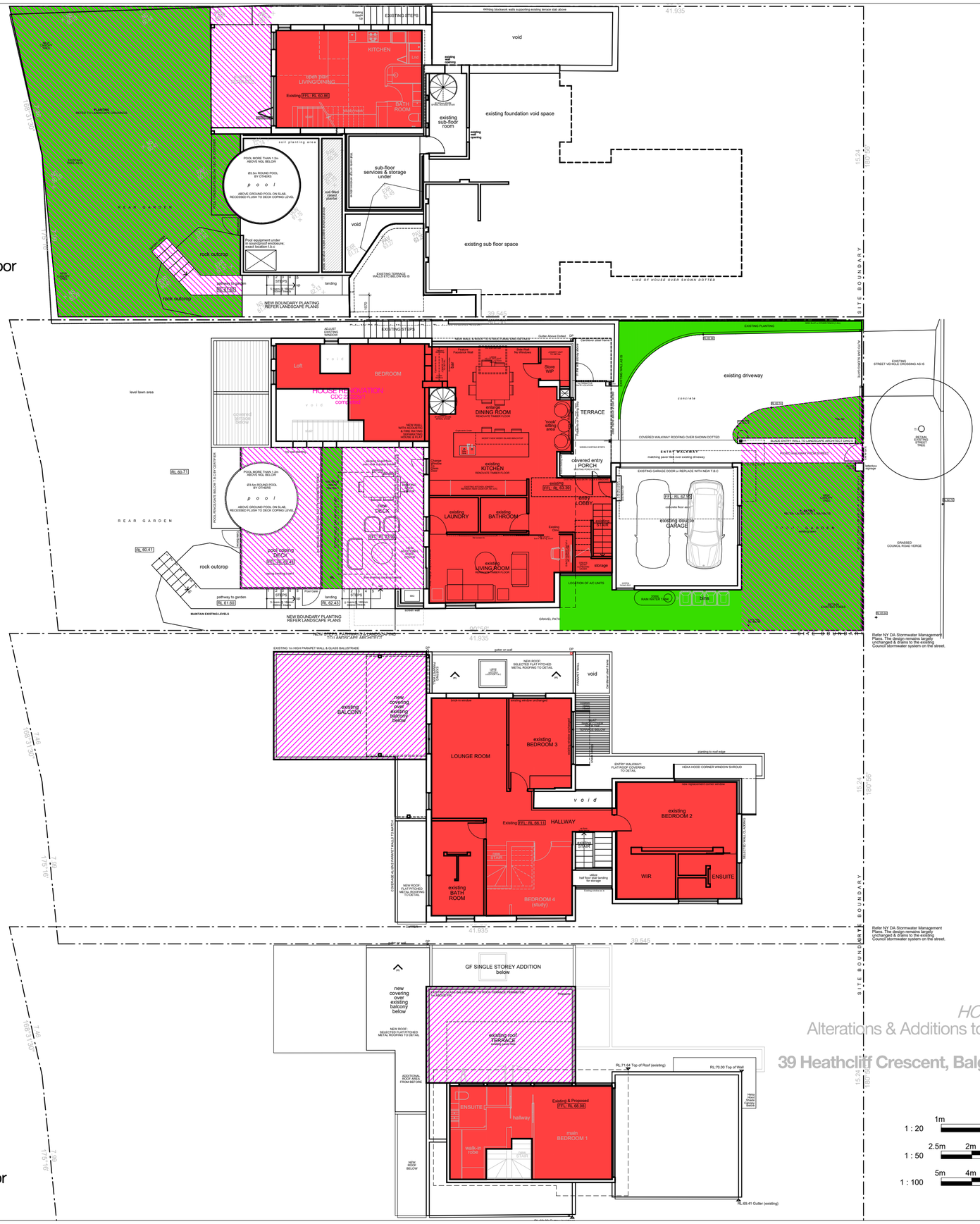
AREAS AS PER MANLY COUNCIL DCP 2013.7
MAP ZONE OS3 AT LEAST 35% OF THE TOTAL OPEN SPACE REQUIREMENT = 216m² LOS

LANDSCAPE AREA CALCULATIONS

135.3m² Lower Ground Level REAR GARDEN
+
78.7m² Ground Level FRONT GARDEN
+
7m² Ground Level REAR PLANTER

221.0m² LANDSCAPE AREA
351.3m² TOTAL OPEN SPACE

Landscape Area = 63% of the Total Open Space



LEGEND

- **GROSS FLOOR AREA** — AS PER MANLY COUNCIL LEP GFA DEFINITION
- **LANDSCAPED AREA** — AS PER MANLY COUNCIL LEP GFA DEFINITION
- **TOTAL OPEN SPACE** — AS PER MANLY COUNCIL DCP 2013.7 DEFINITION

NOTES

+ SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM C&A SURVEY PLAN #18036-21. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM, HOUSE INTERNAL WALL MEASUREMENTS AS PER SURVEY AND/OR BY THE ARCHITECT [WALL, WINDOW & DOOR LOCATION + SIZE ACCURACY T.B.C ON SITE BY THE BUILDER].

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle
Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
CDC AREA CALCULATION PLANS

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:150 [A2]

DRAWING NO:
A.100

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0

A2 SHEET

SWIMMING POOL NOTES

GENERAL CHILD RESISTANT BARRIER FENCE REQUIREMENTS:

OUTDOOR POOLS MUST BE SURROUNDED BY A CHILD-RESISTANT BARRIER THAT SEPARATES THE POOL FROM ANY RESIDENTIAL BUILDING SITUATED ON THE PREMISES AND FROM ANY ADJOINING PUBLIC OR PRIVATE PROPERTIES. I
T IS ENCOURAGED THAT ACCESS TO AND FROM RESIDENTIAL BUILDINGS BE OUTSIDE THE POOL ENCLOSURE, NOT THROUGH THE POOL AREA. SUBJECT TO PROVISIONS UNDER THE SWIMMING POOLS ACT, SWIMMING POOLS REGULATION AND BCA. THE CHILD-RESISTANT BARRIER MUST BE DESIGNED, CONSTRUCTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1926.1.

THE CHILD-RESISTANT BARRIER REQUIREMENTS, IN GENERAL, ARE:
• MINIMUM HEIGHT 1200mm (MEASURED OUTSIDE POOL AREA)
• MINIMUM 900mm SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL COMPONENTS TO MAINTAIN A NON-CLIMBABLE ZONE.(NCZ 1)
• MAXIMUM 100mm GAP UNDER THE FENCE
• MAXIMUM 100mm GAP IN BARRIER COMPONENTS, ALLOWING FOR ANY FLEX IN THE COMPONENT MATERIAL
• NON-CLIMBABLE ZONE EXTENDS FROM THE BARRIER 300 MM INTO POOL AREA (NCZ 4) AND 900mm OUTSIDE POOL AREA (NCZ 2 AND 3)
• STEPS, RETAINING WALL, OBJECTS OR LEVEL CHANGES ARE TO BE 500mm FROM THE BARRIER
• LANDSCAPING, ASSOCIATED LIGHTING AND OTHER FIXTURES OR FURNITURE ARE NOT TO INTRUDE INTO THE NON-CLIMBABLE ZONE
• BOUNDARY FENCE TO BE 1800mm IN HEIGHT (MEASURED INSIDE THE POOL AREA).

GENERAL CHILD RESISTANT BARRIER GATE REQUIREMENTS:

GATES MUST BE INSTALLED SO THAT:
• THEY SWING OUTWARDS ONLY, AWAY FROM THE POOL AREA
• THEY ARE CLEAR OF ANY OBSTRUCTION THAT COUILD HOLD THE GATE OPEN
• WHEN A GATE IS LIFTED UPWARD OR PULLED DOWNWARD, MOVEMENT OF THE GATE DOES NOT RELEASE THE LATCHING DEVICE, UNHINGE THE GATE, OR PROVIDE A GROUND CLEARANCE GREATERTHAN 100mm.
GATES MUST BE FITTED WITH A DEVICE THAT WILL AUTOMATICALLY RETURN THE GATE TO THE CLOSED POSITION AND OPERATE THE LATCHING DEVICE.
GATES TO THE POOL AREA MUST BE KEPT EFFECTIVELY LATCHED CLOSED WHEN NOT IN USE.
GATES SHALL BE FITTED WITH A SELF-LATCHING DEVICE THAT WILL AUTOMATICALLY OPERATE ON THE CLOSING OF THE GATE, AND WILL PREVENT THE GATE FROM BEING RE-OPENED WITHOUT MANUALLY RELEASING THE MECHANISM.
WHEN A SOLID PANEL (GLASS) OR A SHIELD IS USED THE LATCH IS POSITIONED ON THE POOL SIDE NEAR THE TOP OF THE GATE. THE SOLID PANEL/SHIELD MAKES IT NECESSARY FOR A PERSON TO REACH OVER THE GATE.

BCA POOL SAFETY BARRIER NOTE:

A BARRIER MUST BE PROVIDED TO A SWIMMING POOL AND MUST:
• BE CONTINUOUS FOR THE FULL EXTENT OF THE HAZARD
• BE OF A STRENGTH AND RIGIDITY TO WITHSTAND THE FORESEEABLE IMPACT OF PEOPLE
• RESTRICT THE ACCESS OF YOUNG CHILDREN TO THE POOL AND IMMEDIATE POOL SURROUNDS WITH REGARD TO:
I. THE HEIGHT AND RIGIDITY OF THE BARRIER
II. ANY HORIZONTAL CLIMBABLE MEMBERS
III. OPENINGS AND FOOTHOLDS IN THE BARRIER
IV. THE OPERATION OF SELF-CLOSING AND LATCHING GATES
• HAVE ANY GATES AND DOORS (INDOOR POOL) FITTED WITH LATCHING DEVICES NOT READILY OPERATED BY YOUNG CHILDREN, AND CONSTRUCTED TO AUTOMATICALLY CLOSE AND LATCH.

POOL REGISTRATION:

ALL POOLS ARE REQUIRED TO BE RECORDED IN THE NSW POOL REGISTER. ON COMPLETION REGISTRATION CAN BE CARRIED OUT:
• ONLINE AT WWW.SWIMMINGPOOLREGISTER.NSW.GOV.AU, OR
• COMPLETING AND LODGING A POOL REGISTRATION FORM AT THE LOCAL COUNCIL.

WARNING/RESUSCITATION SIGN:

ALL TYPES OF POOLS ARE REQUIRED TO DISPLAY A WARNING/RESUSCITATION SIGN, UNDER SECTION 17 OF THE SWIMMING POOLS ACT. PART 3 OF THE SWIMMING POOLS REGULATION SETS OUT THE REQUIRED
WARNING STATEMENT THAT IS TO BE CONTAINED WITHIN THE RESUSCITATION SIGN:
I. "YOUNG CHILDREN SHOULD BE SUPERVISED WHEN U SING THIS SWIMM ING POOL"
II. "POOL G ATES MU ST BE KEPT CLOSED AT ALL TIMES"
III. "KEEP ARTICLES, OBJECTS AND STRUCTUR ES AT LEAST 900mm CLEAR OF THE POOL FENCE AT ALL TIMES".
THE REQUIRED SIGN MUST BE MAINTAINED AND CLEARLY LEGIBLE FROM A DISTANCE OF AT LEAST 3m AND MUST BE WITHIN THE IMMEDIATE VICINITY OF THE POOL. IT IS RECOMMENDED THAT THE RESUSCITATION SIGN BE DISPLAYED AT THE SHALLOW PORTION OF THE POOL NEAR AN OPEN AREA AS THIS IS MOST LIKELY THE AREA WHERE RESUSCITATION WOULD BE CARRIED OUT.

COMPLIANCE WITH STANDARDS:

THE SWIMMING POOL TO COMPLY IN ALL ASPECTS WITH BCA & AS STANDARDS.

THE POOL CHILD SAFE BARRIER, GATE, FENCE & OTHER SAFETY ENCLOSURE MEASURE DESIGN BY OTHERS - NOT THE ARCHITECT [INDEPENDENT POOL COMPLIANCE CERTIFIER TO BE CONSULTED PRE & POST CONSTRUCTION OF THE POOL].

THE CONTRACTOR, POOL BUILDER & GLASS POOL FENCING INSTALLER TO PROVIDE DESIGN & COMPLIANCE STATEMENTS ON COMPLETION OF THE WORK OC STAGE.

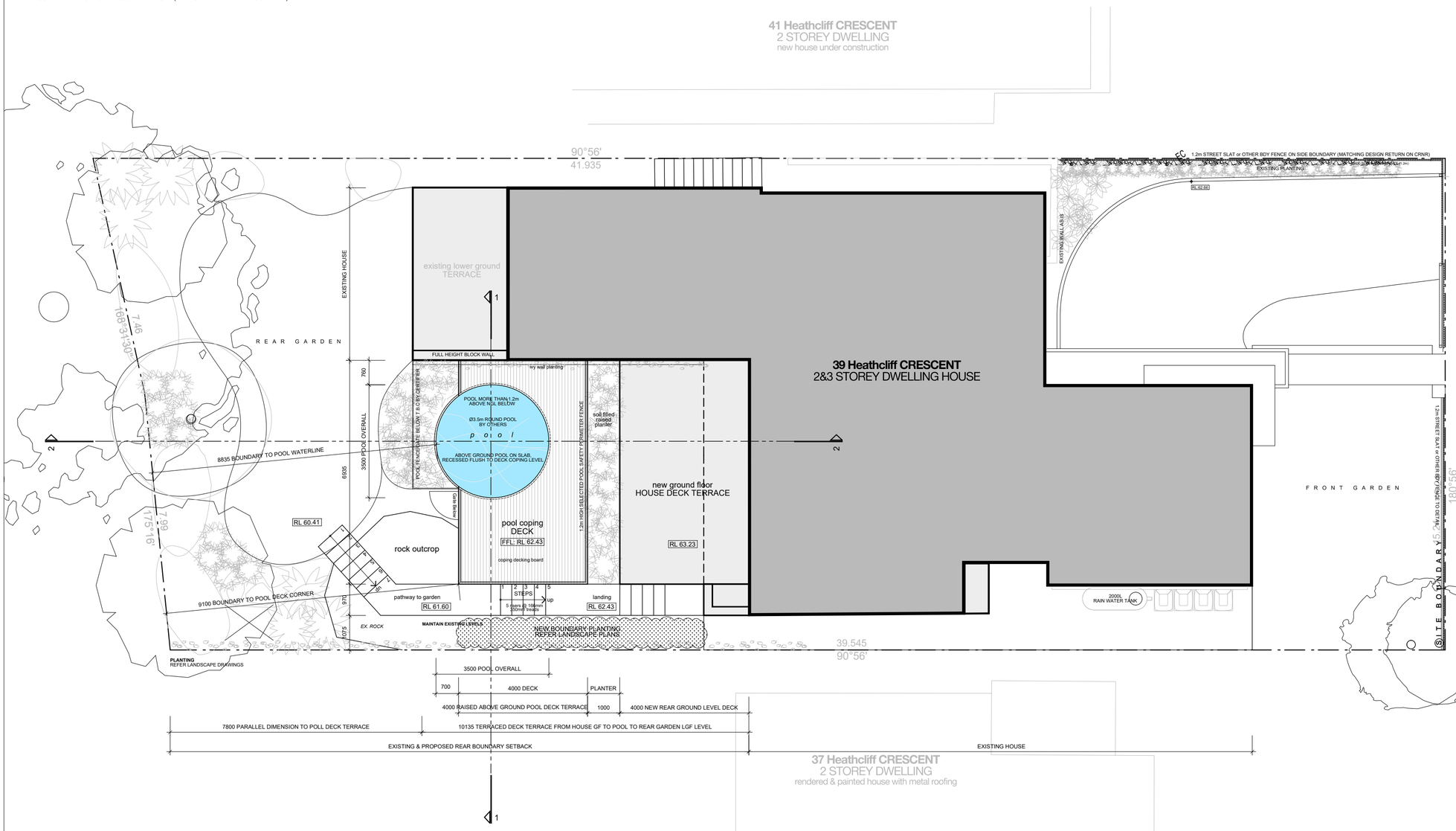
BASIX COMMITMENTS: ANY SWIMMING POOL KL VOLUME REQUIREMENTS, POOL COVER, HEATING, PUMP TIMERS, ETC IF/AS REQUIRED SPECIFICALLY STIPULATED IN THE PROJECT BASIX CERTIFICATE.

SWIMMING POOL DESIGN:

THIS DRAWING SHOW THE SWIMMING POOL DESIGN INTENT BASED ON THE LANDSCAPE POOL DESIGNER DRAWINGS.

THE ARCHITECT TO REVIEW THE POOL DETAIL DRAWINGS BY OTHERS BEFORE CONSTRUCTION. IF NOT A PRECAST POOL THEN IN-SITU POOL BY OTHERS.

POOL FINISH, WATER FEATURES & OTHER BY CLIENT.



Swimming Pool
Site LocationPlan
SCALE 1:100/A2

HOUSE DELANEY
Alterations & Additions to Existing House
BCA Class 1a
39 Heathcliff Crescent, Balgowlah Heights
Lot 16 Sec 25 D.P. #758044
SITE AREA 617.4m²

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0
A2 SHEET

39 HEATHCLIFF CRESCENT

LEGEND

PROPOSED SWIMMING POOL
LOCATION, LEVELS, ETC AS INDICATED ON THE DWG'S.

RL 71.40 LEVELS

NOTES

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle Delaney

ADDRESS:
39 Heathcliff Crescent
Balgowlah Heights NSW 2093

DRAWING TITLE:
SWIMMING POOL: PLAN

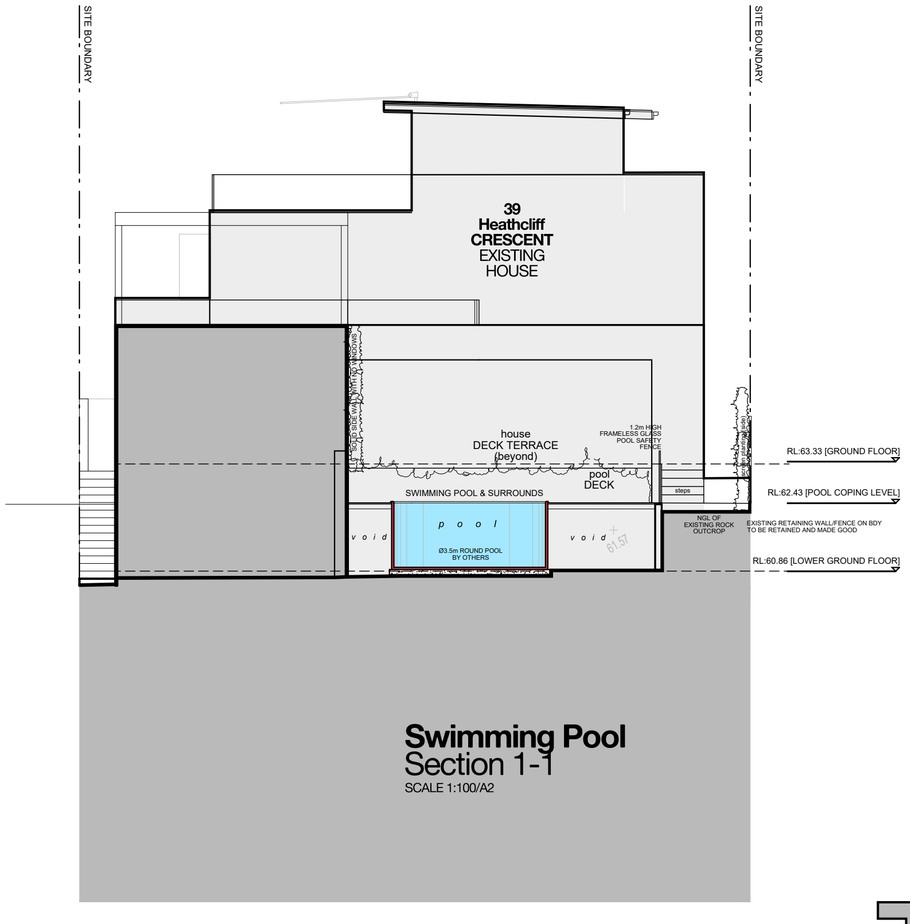
DRAWN: E DU PLESSIS
CHECKED: H DU PLESSIS

SCALE: 1:100 [A2]

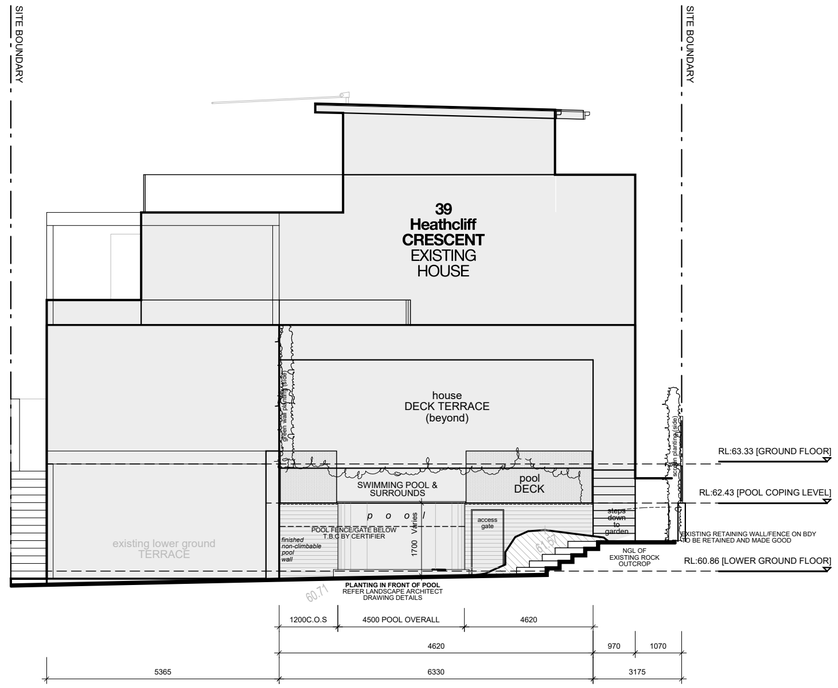
DRAWING NO: DA.200

ISSUE: L
DATE: 11.08.2025

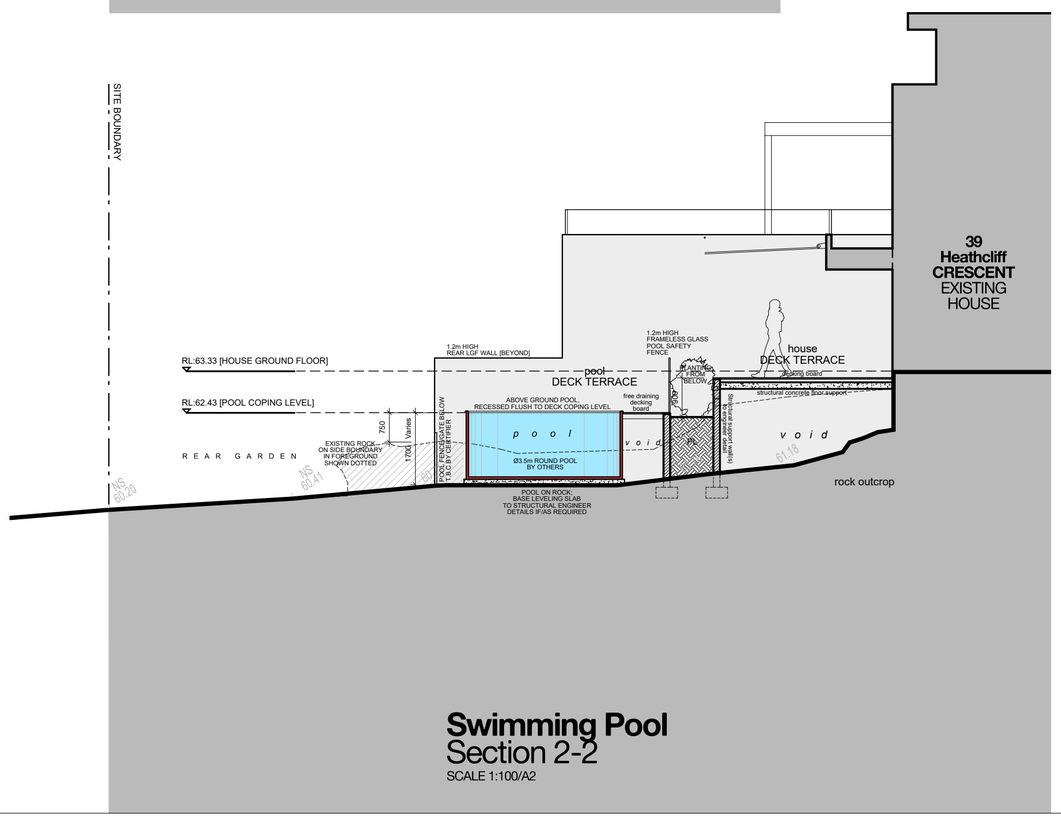
DRAWING STATUS:
MODIFICATION APPLICATION



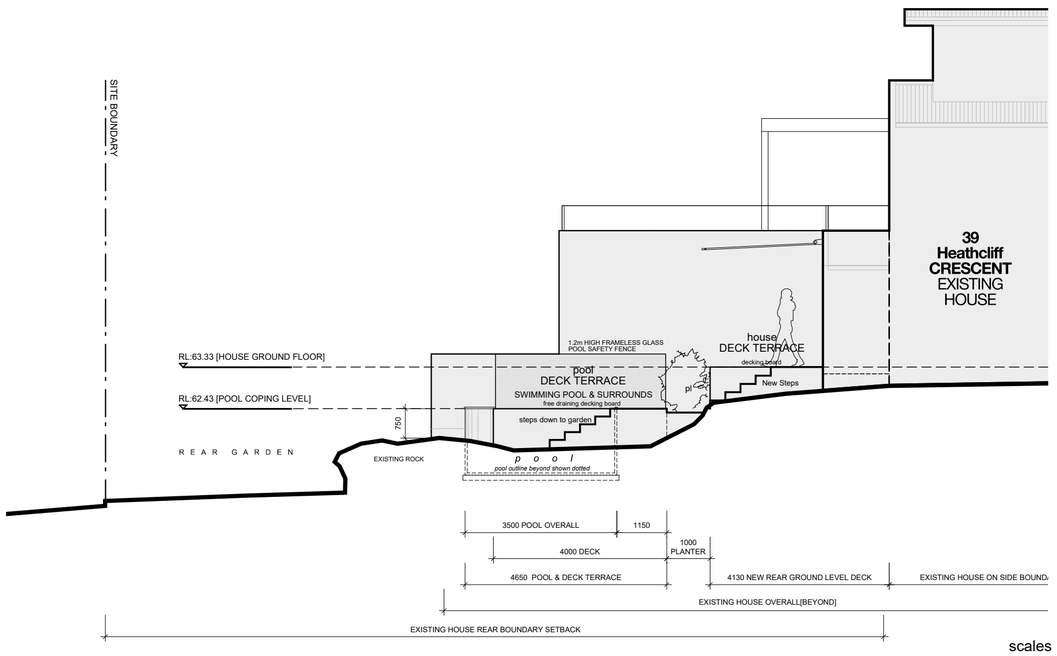
Swimming Pool
Section 1-1
SCALE 1:100/A2



Swimming Pool
Rear Elevation [West]
SCALE 1:100/A2



Swimming Pool
Section 2-2
SCALE 1:100/A2



Swimming Pool
Side Elevation [South]
SCALE 1:100/A2

scales

1 : 20 — 1m, 0.5m, 0

1 : 50 — 2.5m, 2m, 1m, 0

1 : 100 — 5m, 4m, 3m, 2m, 1m, 0

A2 SHEET

LEGEND

PROPOSED SWIMMING POOL
LOCATION, LEVELS, ETC AS INDICATED ON THE DWG'S.

✦ RL.71.40 LEVELS

NOTES

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CLIENT:
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ADDRESS:
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Balgowlah Heights NSW 2093

DRAWING TITLE:
SWIMMING POOL:
SECTIONS & ELEVATIONS

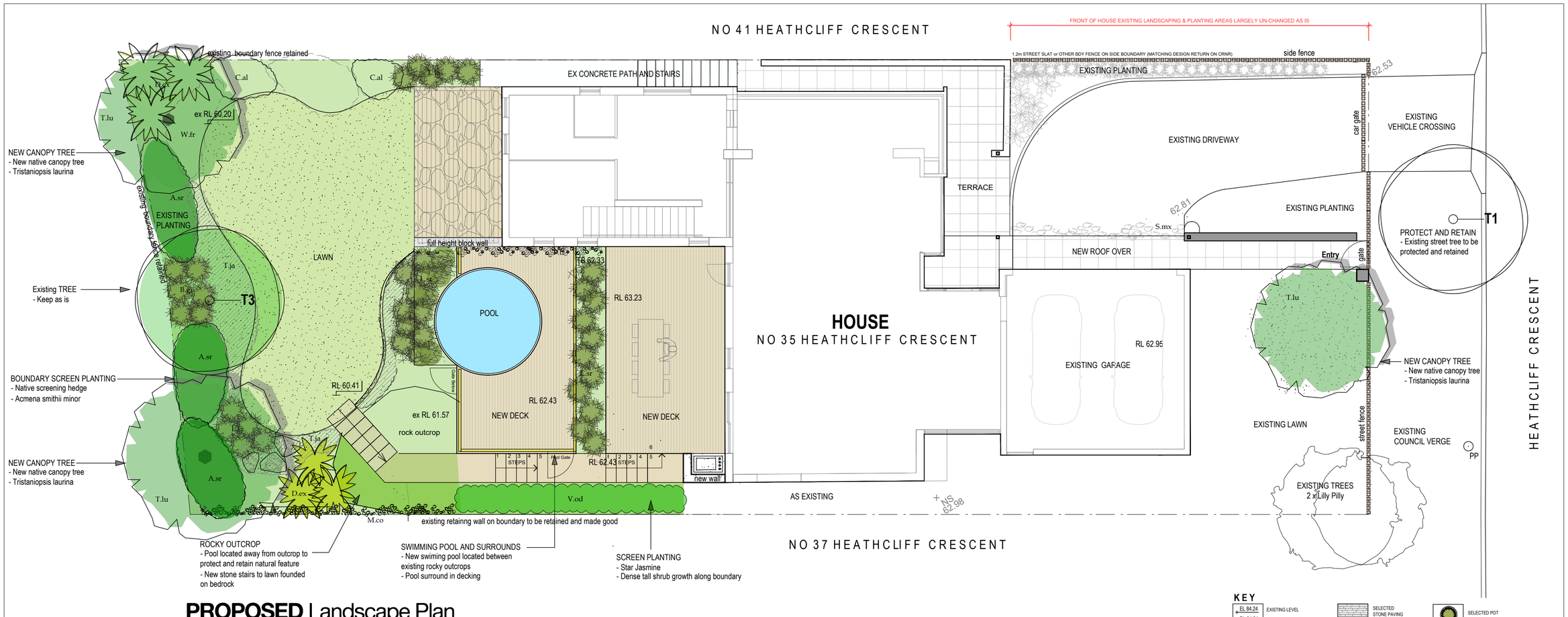
DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
1:100 [A2]

DRAWING NO:
DA.201

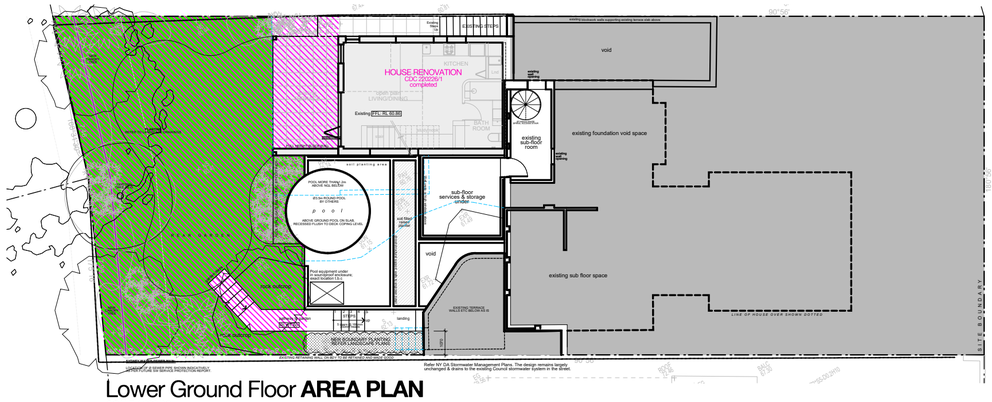
ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION



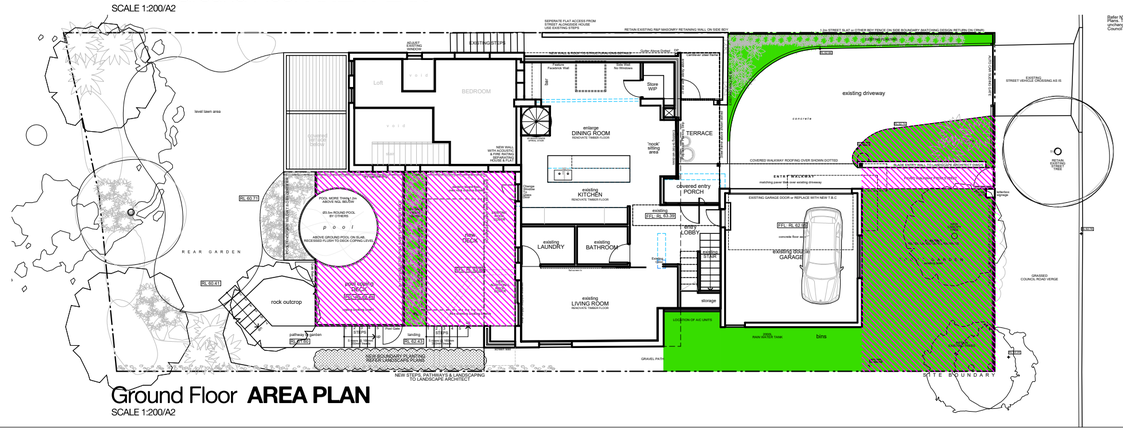
PROPOSED Landscape Plan

SCALE 1:100/A2



Lower Ground Floor AREA PLAN

SCALE 1:200/A2



Ground Floor AREA PLAN

SCALE 1:200/A2

LANDSCAPED AREA
AS PER MANLY COUNCIL LEP GFA DEFINITION

TOTAL OPEN SPACE
AS PER MANLY COUNCIL DCP 2013.7 DEFINITION

OPEN SPACE CALCULATIONS

AREAS AS PER MANLY COUNCIL DCP 2013.7
MAP ZONE OS3 AT LEAST 55% OF THE SITE AREA REQUIREMENT = 339.5m² OS

OPEN SPACE CALCULATIONS

158m² Lower Ground Level REAR Yard [excludes areas less than 3m]
+
65.0m² Ground Level FRONT Yard [excludes driveway]
+
54.2m² Ground Level REAR Yard [excludes pool]
+
39.5m² Level One REAR Balcony [Includes above ground Balcony]
+
34.6m² Roof Level TOP Terrace [Includes above ground Balcony]

Balconies = 12% of open space calculated

351.3m² TOTAL OPEN SPACE
SITE AREA 617.4m²

Total Open Space = 57% of the Site Area

LANDCSAPE AREA CALCULATIONS

AREAS AS PER MANLY COUNCIL DCP 2013.7
MAP ZONE OS3 AT LEAST 35% OF THE TOTAL OPEN SPACE REQUIREMENT = 216m² LOS

LANDSCAPE AREA CALCULATIONS

135.3m² Lower Ground Level REAR GARDEN
+
78.7m² Ground Level FRONT GARDEN
+
7m² Ground Level REAR PLANTER

221.0m² LANDSCAPE AREA
351.3m² TOTAL OPEN SPACE

Landscape Area = 63% of the Total Open Space

KEY

- EL 84.24 — EXISTING LEVEL
- RL 84.24 — PROPOSED LEVEL
- EXISTING CONTOUR
- SITE BOUNDARY
- EXISTING WALL to be retained
- MASONRY BLOCK WALL
- POOL FENCING To comply with AS1926.1
- PRIVACY FENCE To future detail
- BOUNDARY FENCE To Comply with Dividing fence Act
- SELECTED STONE PAVING
- TIMBER DECK
- SELECTED PAVING
- FINISHED CONCRETE
- STEPPING STONES
- PEBBLES
- GARDEN BED
- LAWN
- SELECTED POT
- CLIPPED HEDGE
- LOW PLANTING
- GROUNDCOVERS
- CLIMBERS
- TREES & PALMS
- E02 — EXISTING TREE TO BE RETAINED Refer to Tree Schedule
- E01 — EXISTING TREE PROPOSED FOR REMOVAL Refer to Arborist Report

INDICATIVE PLANT SCHEDULE

ID	Latin Name	Common Name	Pot Size	Mature Height	Mature Spread
TREES					
B.in	*Banksia integrifolia*	Coastal Banksia	45L	7 - 10m	3.5 - 6m
H.fo	*Howea forsterenana*	Kentia palm	100L	10 - 15m	3.5 - 6m
T.lu	*Tristaniopsis laurina 'Luscious'*	Water Gum	100L	8 - 10m	6 - 8m
V.ju	*Viminaria juncea*	Native Broom	300mm	5-6m	3-4 m
PALMS					
SHRUBS					
A.sr	*Acmena smithii 'Minor'*	Dwarf Lillypilly	25L	3 - 5m	1.2 - 2.0m
D.ex	*Doryanthes excelsa*	Gymea Lily, Giant Lily	300mm	1.5 - 3m	1.2 - 2.0m
W.fr	*Westringia fruticosa*	Coastal Rosemary	140mm	0.9 - 1.5m	0.9 - 1.2m
GRASSES					
D.br	*Dianella caerulea 'Breeze'*	Blue Flax-lily	140mm	0.45 - 0.6m	0.3 - 0.6m
L.sr	*Lomandra fluviatilis 'Shara'*	Lomandra Shara	140mm	0.8 -1.0m	0.7 - 0.9m
GROUNDCOVERS					
SUCCULENTS					
A.bb	*Aloe 'Bush Baby Yellow'*	Aloe	300mm	0.3- 0.5m	0.3 - 0.5m
FERNS					
B.gi	*Blechnum gibbum*	Silver Lady Fern	140mm	0.9 - 1.2m	0.6 - 0.9m
CLIMBERS					
M.co	*Meuhlenbeckia complexa*	Maidenhair Vine	140mm	1.5 - 3m	1.2 - 2.0m
P.tr	*Parthenocissus tricuspidata*	Boston Ivy	140mm	0.3 - 0.45m	0.0 - 0.3m
S.mx	*Solandra maxima*	Golden Chalice Vine	140mm	3 - 5m	1.2 - 2.0m
T.ja	*Trachelospermum jasminoides*	Star Jasmine	140mm	3 - 4m	2.0 - 3.5m

N

scales
1 : 20 — 1m 0.5m 0
1 : 50 — 2.5m 2m 1m 0
1 : 100 — 5m 4m 3m 2m 1m 0

A2 SHEET

LEGEND

NOTES

+ SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM C&A SURVEY PLAN #18236-21. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM, HOUSE INTERNAL WALL MEASUREMENTS AS PER SURVEY AND/OR BY THE ARCHITECT (WALL, WINDOW & DOOR LOCATION + SIZE ACCURACY T.B.C ON SITE BY THE BUILDER).

+ COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE 'SPECIFICATION FOR BUILDING WORKS'. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

+ DETAIL DRAWINGS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

+ EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN STANDARDS, OTHER PUBLISHED STANDARDS AND THE REQUIREMENTS OF COUNCIL AND/OR OTHER AUTHORITIES.

REV	DATE	ISSUE
I	08.08.2023	CDC
J	25.01.2024	Development Application II
K	12.02.2024	
L	11.08.2025	Modification Application

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.

ALL DIMENSIONS ARE IN MILLIMETRES [UNO].

PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.

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THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT & OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.

ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

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NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
39 Heathcliff Crescent
House Alterations & Additions

CLIENT:
Todd & Janelle Delaney

ADDRESS:
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Balgowlah Heights NSW 2093

DRAWING TITLE:
PROPOSED LANDSCAPE PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
VARIES

DRAWING NO:
LA.001

ISSUE:	DATE:
L	11.08.2025

DRAWING STATUS:
MODIFICATION APPLICATION