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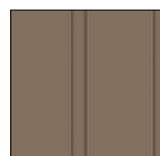
private residence

2C edgecliffe esplanade, seaforth

additions & alterations
clause 4.55 (DA270/2016)

architectural perspectives

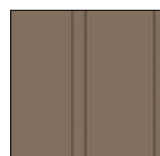
METAL CLADDING
JASPER
or similar



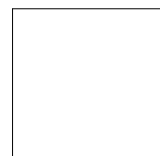
WALLS PAINTED
WHITE
or similar



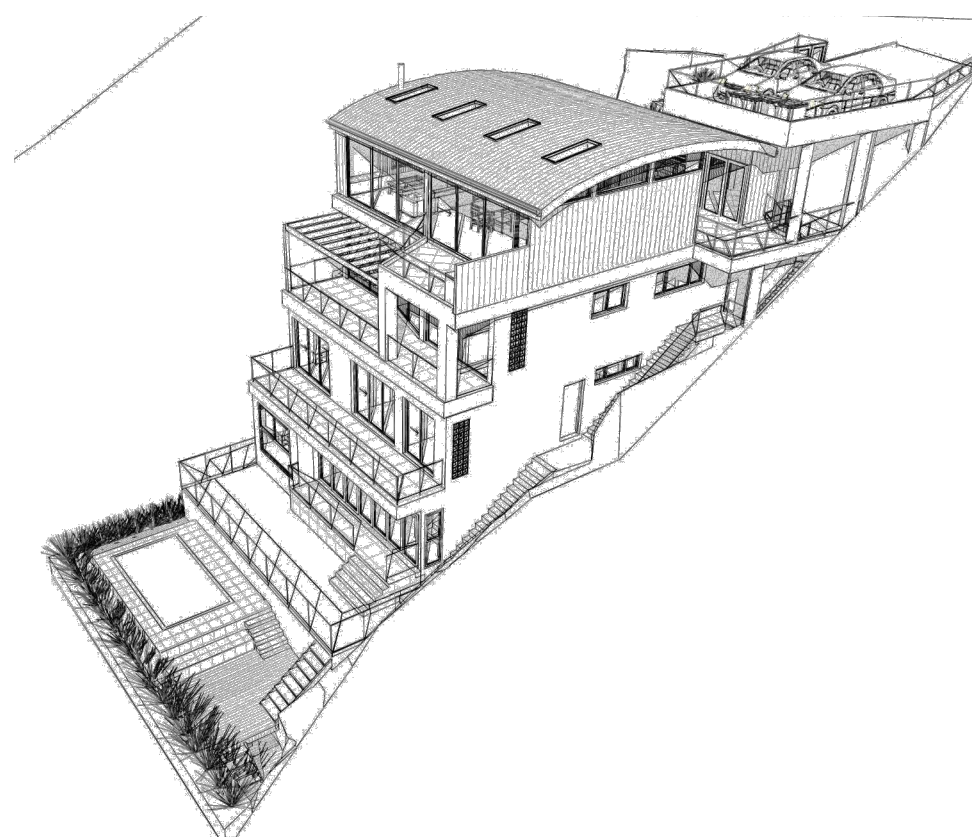
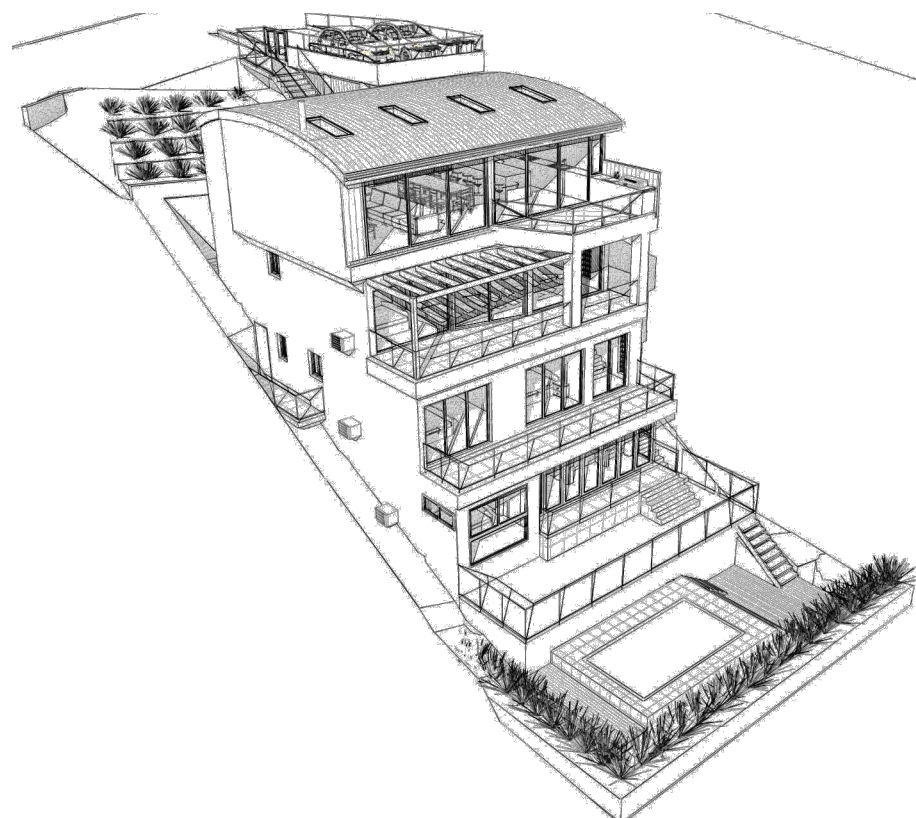
ROOF METAL
JASPER
or similar












WINDOWS
POWDERCOATED
WHITE
or similar
to match existing



TILES
TO DECK
or similar



	PROPOSED
	PRIVATE OPEN SPACE
	EXISTING DWELLING
	MATERIAL STOCKPILE

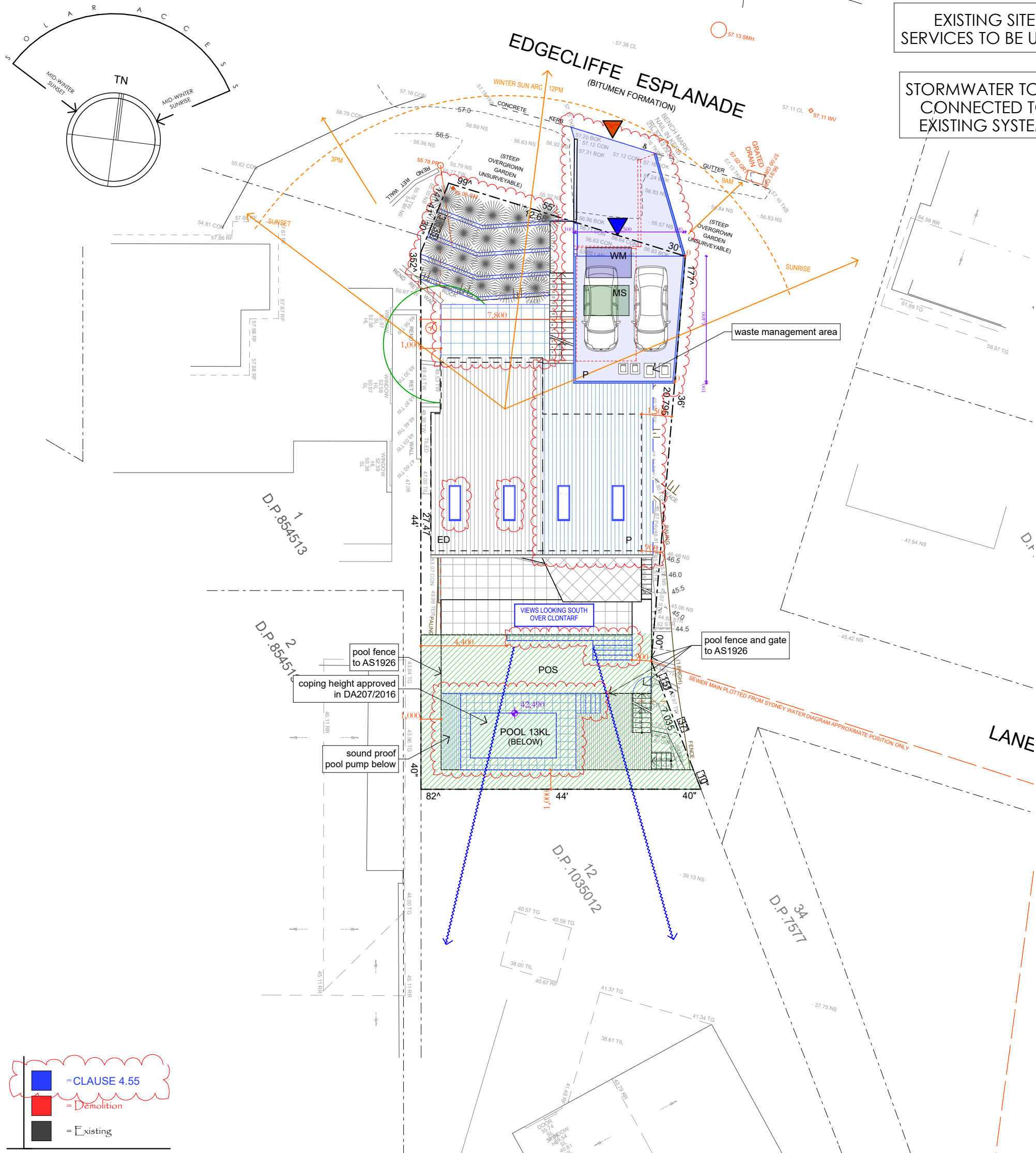
 EXISTING LEVELS
 CAR ENTRY POINT
 CARPORT ENTRY POINT
 BOUNDARY
 WASTE MANAGEMENT

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
NOT FOR
CONSTRUCTION

ALL TIMBER FRAMING AND FOOTINGS TO ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



Site Analysis Plan

1:200

Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

PHIL BROWN
D R A F T I N G

a 1/65 CARAWA RD
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NSW 2099
p 0414 978 499
e philby2010@gmail.com

Project : Additions & Alterations
Clause 4.55 (DA270/2016)
2C Edgecliffe Esplanade, Seaforth
Lot 11 DP 1035012 - 373.7m2

Client : Private Residence

Drawing : - **Site, Site Analysis & Waste Management Plan**

Drawn/Designed : PB

Date : 100919

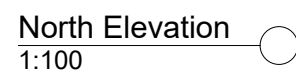
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Scale : 1:200 @ A3

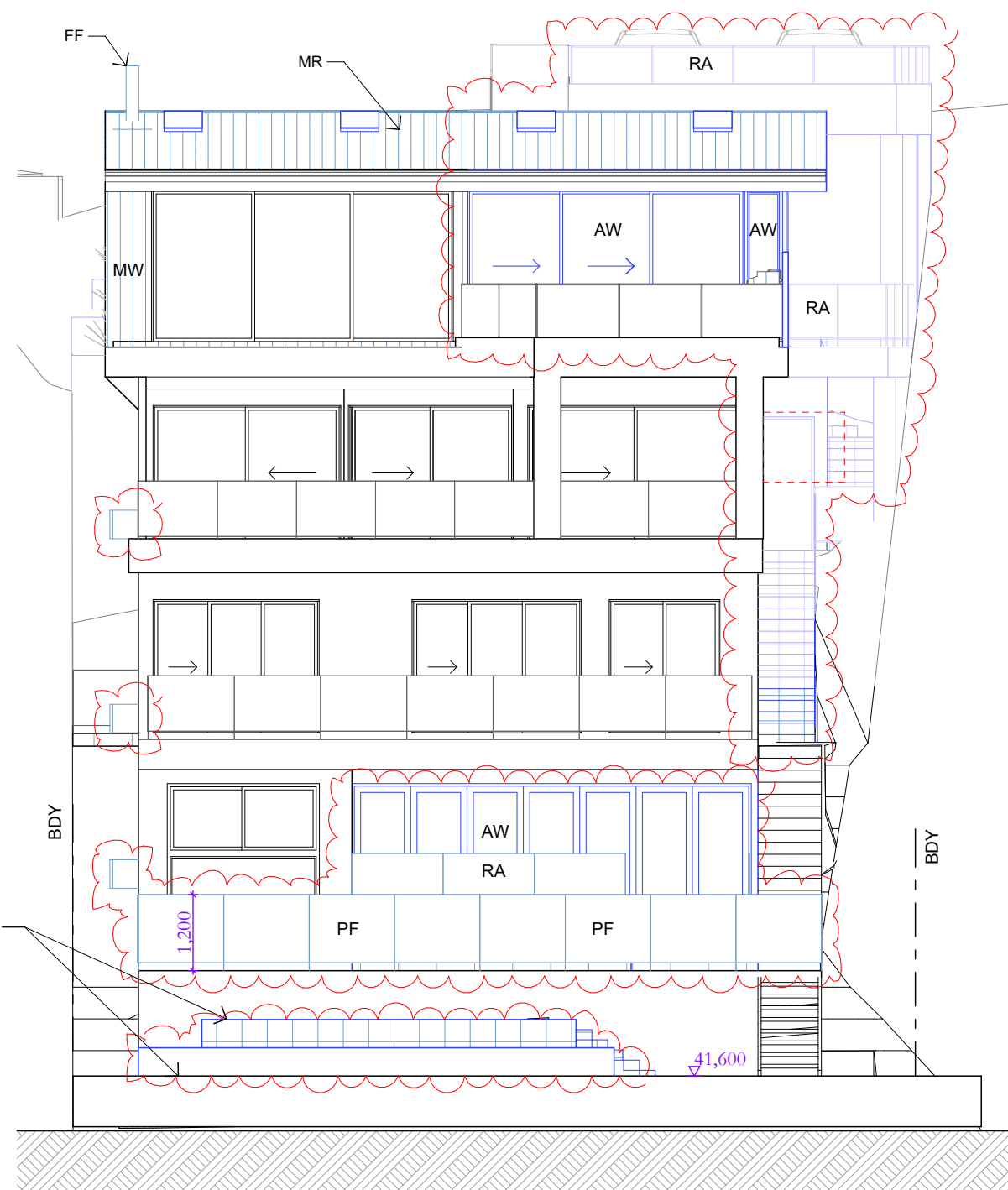
Drawing No. **C4 55-3**

Issue :

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



MR	Roof with metal cladding
MW	Wall with metal cladding
AW	Aluminium window
RA	Rail to BCA and AS
PF	Pool fence to AS1926
FF	Fireplace flue
PS	Pricavy screen



South Elevation

1:100



Date :	Issue :	Description :

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P H I L B R O W N

D R A F T I N G

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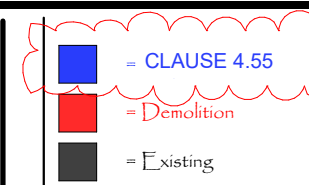
p 0414 978 499

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Project : Additions & Alterations
Clause 4.55 (DA270/2016)
2C Edgecliffe Esplanade, Seaforth
Lot 11 DP 1035012 - 373.7m2

Client : Private Residence

Drawing : - Elevations, N S



Drawn/Designed : PB

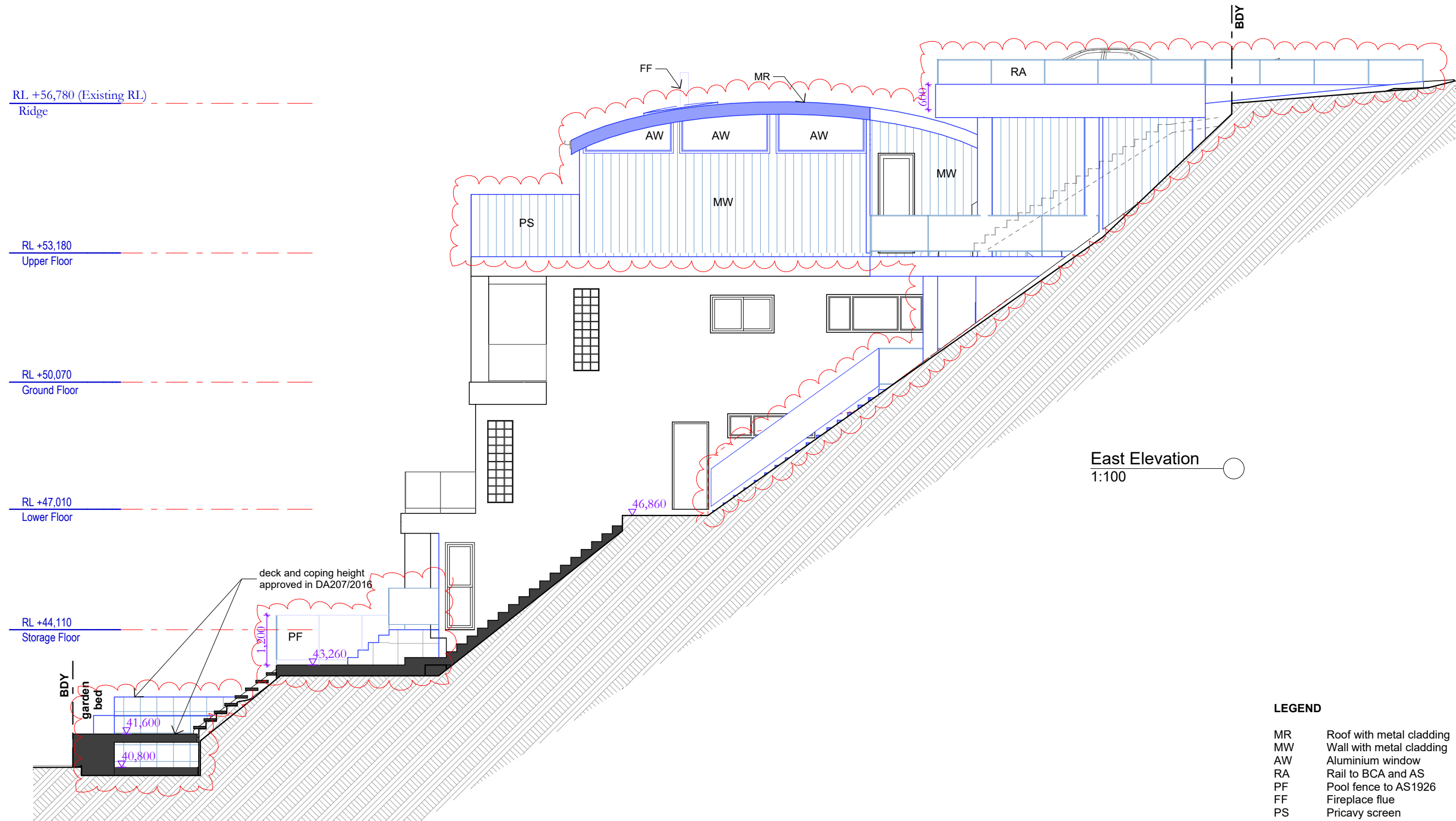
Project Number : 1614

Drawing No. **C4.55-10**

Date : 100919

Scale : 1:100 @ A3

Issue :



FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
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ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM

East Elevation
1:100




- LEGEND**
- MR Roof with metal cladding
 - MW Wall with metal cladding
 - AW Aluminium window
 - RA Rail to BCA and AS
 - PF Pool fence to AS1926
 - FF Fireplace flue
 - PS Privacy screen

Date :	Issue :	Description :

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Clause 4.55 (DA270/2016)
2C Edgecliffe Esplanade, Seaforth
Lot 11 DP 1035012 - 373.7m2
Client : Private Residence
Drawing : - Elevations, E

 = CLAUSE 4.55
 = Demolition
 = Existing

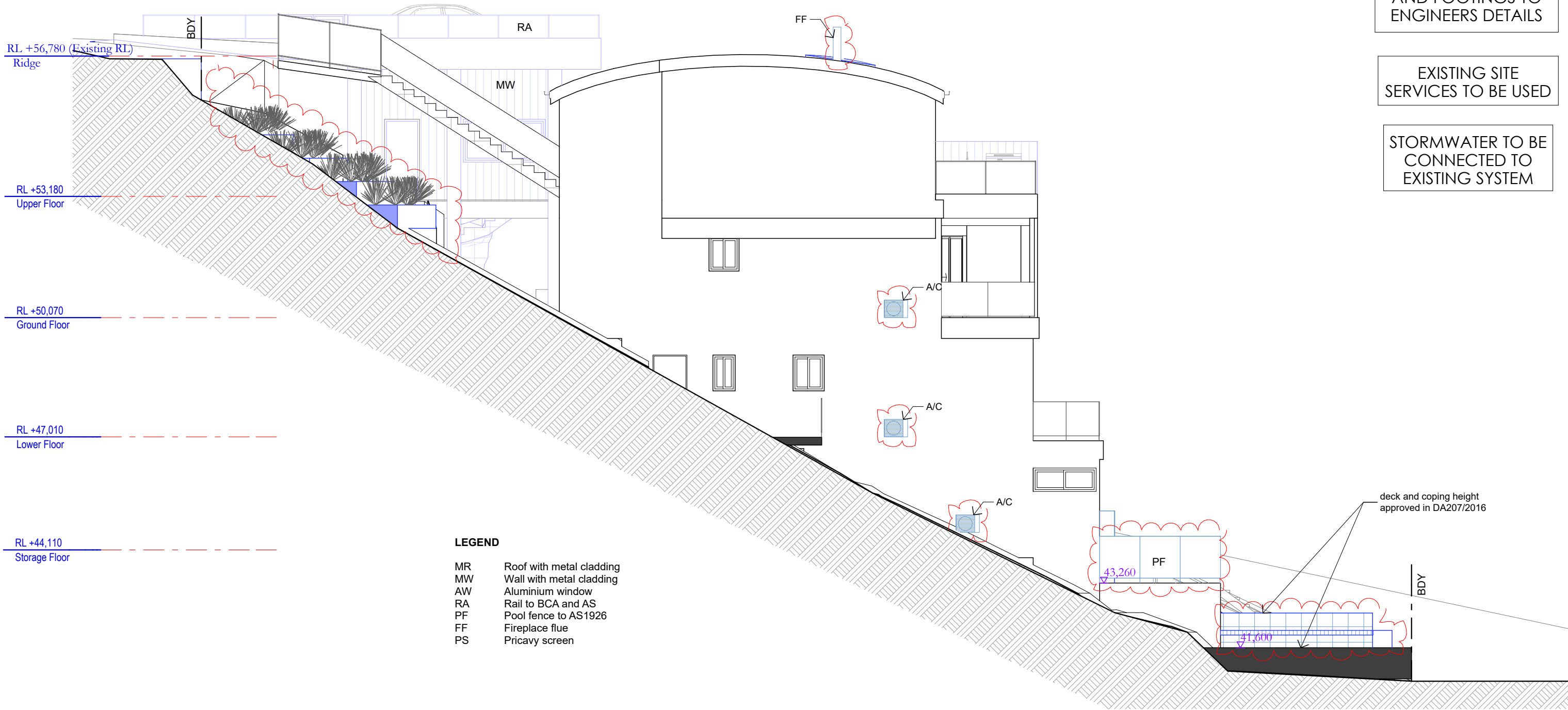
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Project Number : 1614	Scale : 1:100 @ A3
Drawing No. C4.55-11	Issue :

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
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CONSTRUCTION

ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



LEGEND

- MR Roof with metal cladding
- MW Wall with metal cladding
- AW Aluminium window
- RA Rail to BCA and AS
- PF Pool fence to AS1926
- FF Fireplace flue
- PS Privacy screen

West Elevation
1:100



Date :	Issue :	Description :

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Clause 4.55 (DA270/2016)
2C Edgecliffe Esplanade, Seaforth
Lot 11 DP 1035012 - 373.7m2
Client : Private Residence
Drawing : - Elevations, W

CLAUSE 4.55
= Demolition
= Existing

Drawn/Designed : PB
Project Number : 1614
Drawing No. **C4.55-12**

Date : 100919
Scale : 1:100 @ A3
Issue :

FOR DEVELOPMENT
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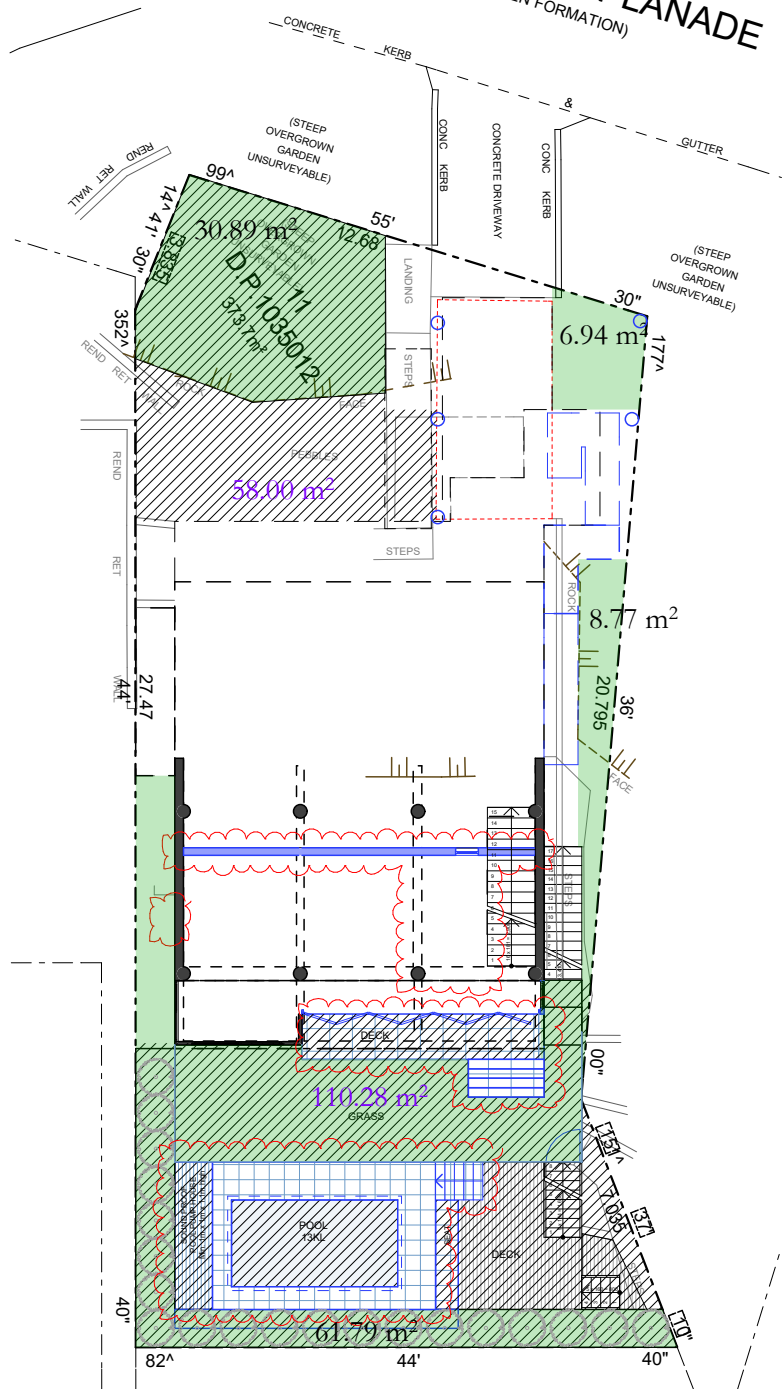
ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

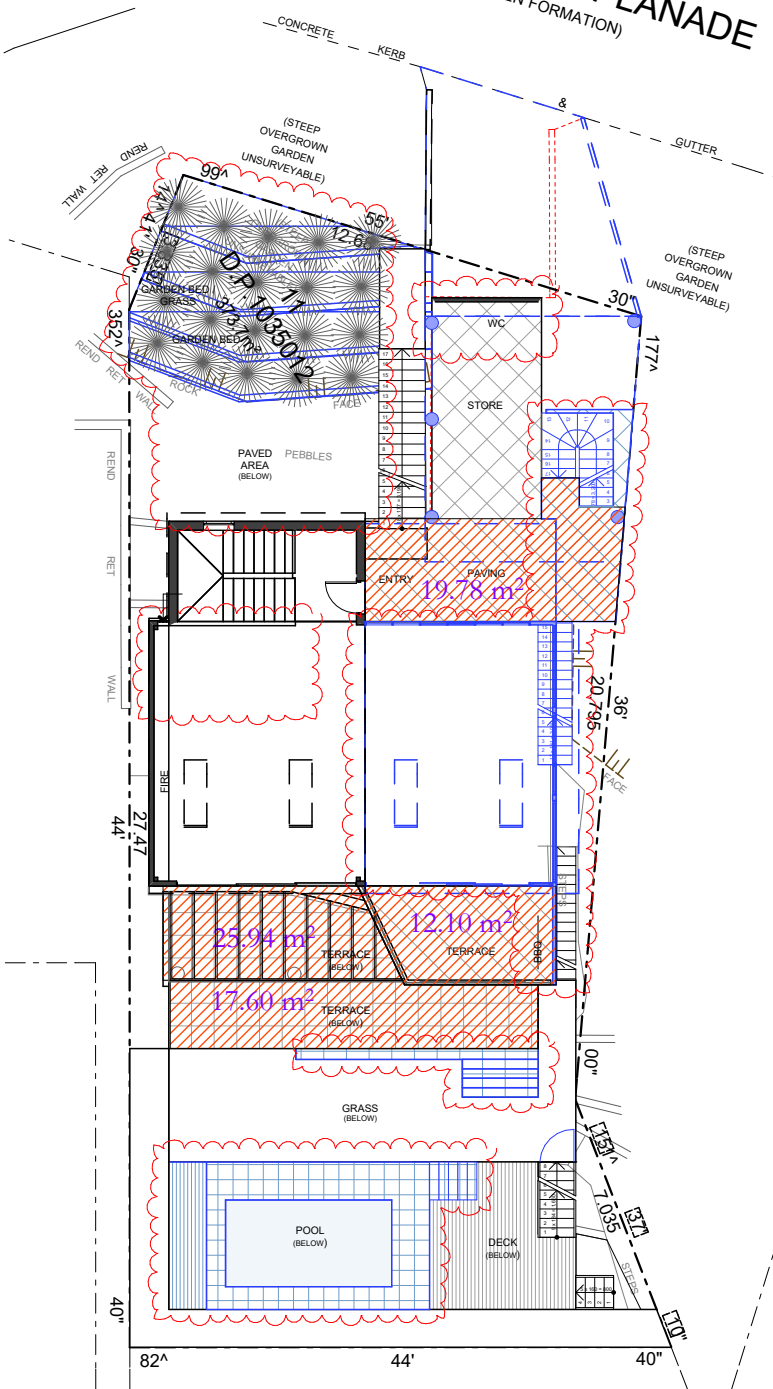
STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM

EDGECLIFFE ESPLANADE
(BITUMEN FORMATION)

EDGECLIFFE ESPLANADE
(BITUMEN FORMATION)



Open Space Storage Floor Plan
1:200



Open Space Upper Floor Plan
1:200

SITE AREA = 373.7m²

OPEN SPACE Area OS 4 Min 60%/40% = 224.22m² / 98.48m²



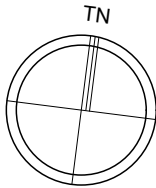
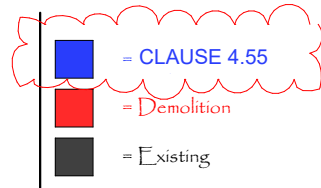
PROPOSED OPEN SPACE = 243.7m² (65.2%)



OPEN SPACE ABOVE GROUND = 75.42m² (30.9%)



SOFT OPEN SPACE = 108.39m² (44.5%)



Date :	Issue :	Description :

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Clause 4.55 (DA270/2016)
2C Edgecliffe Esplanade, Seaforth
Lot 11 DP 1035012 - 373.7m2

Client : Private Residence

Drawing : **C4.55-17** Open Space & Soft Open Space Plan

Drawn/Designed : PB

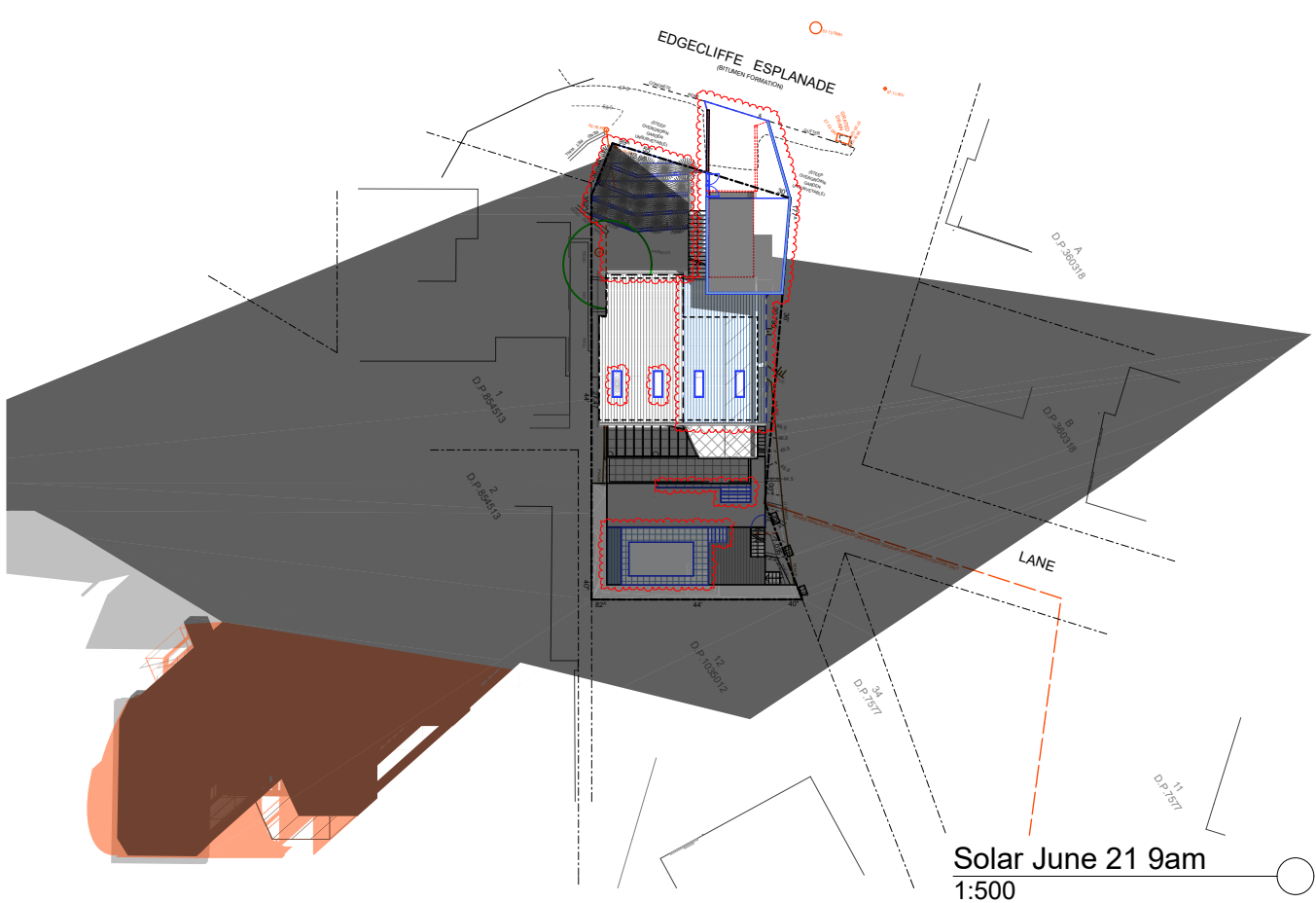
Project Number : **1614**

Drawing No :

Date : 100919

Scale : 1:100 @ (A3)

Issue :

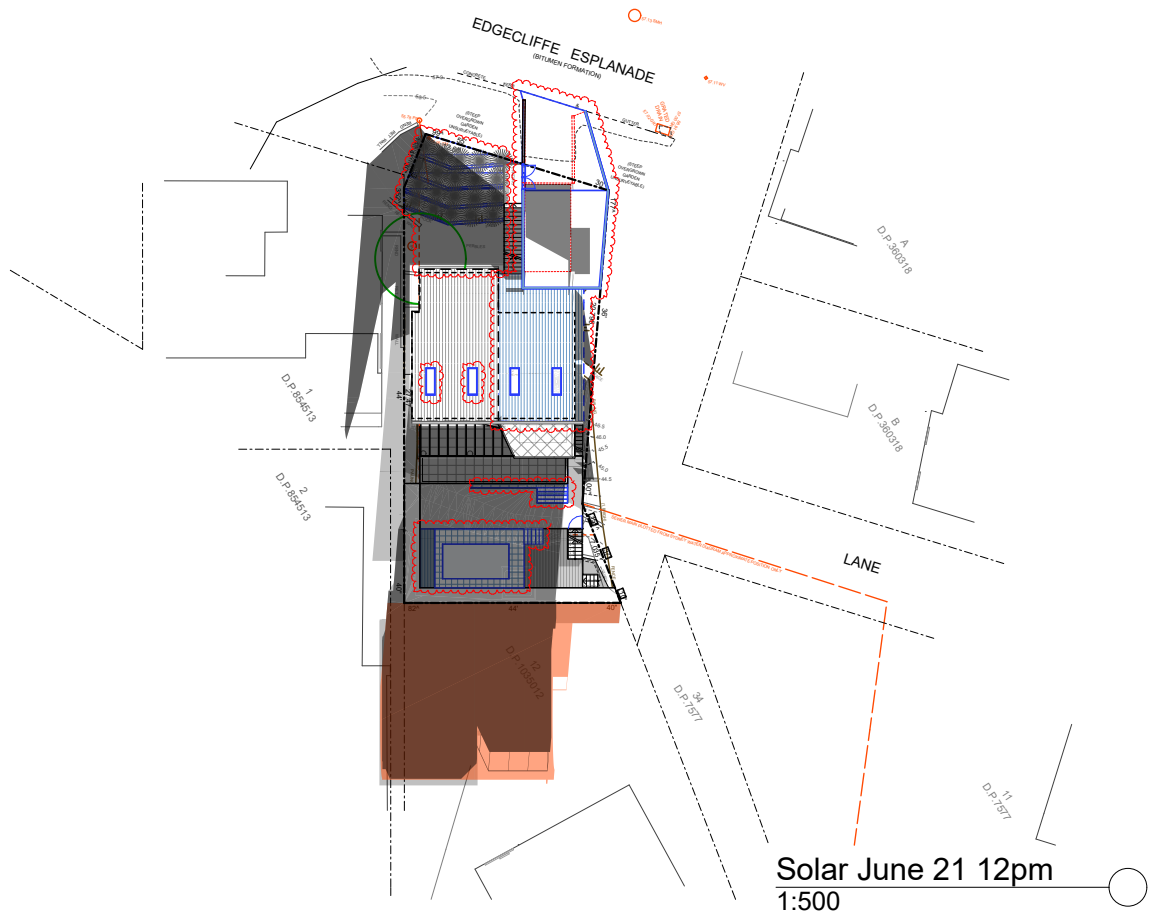


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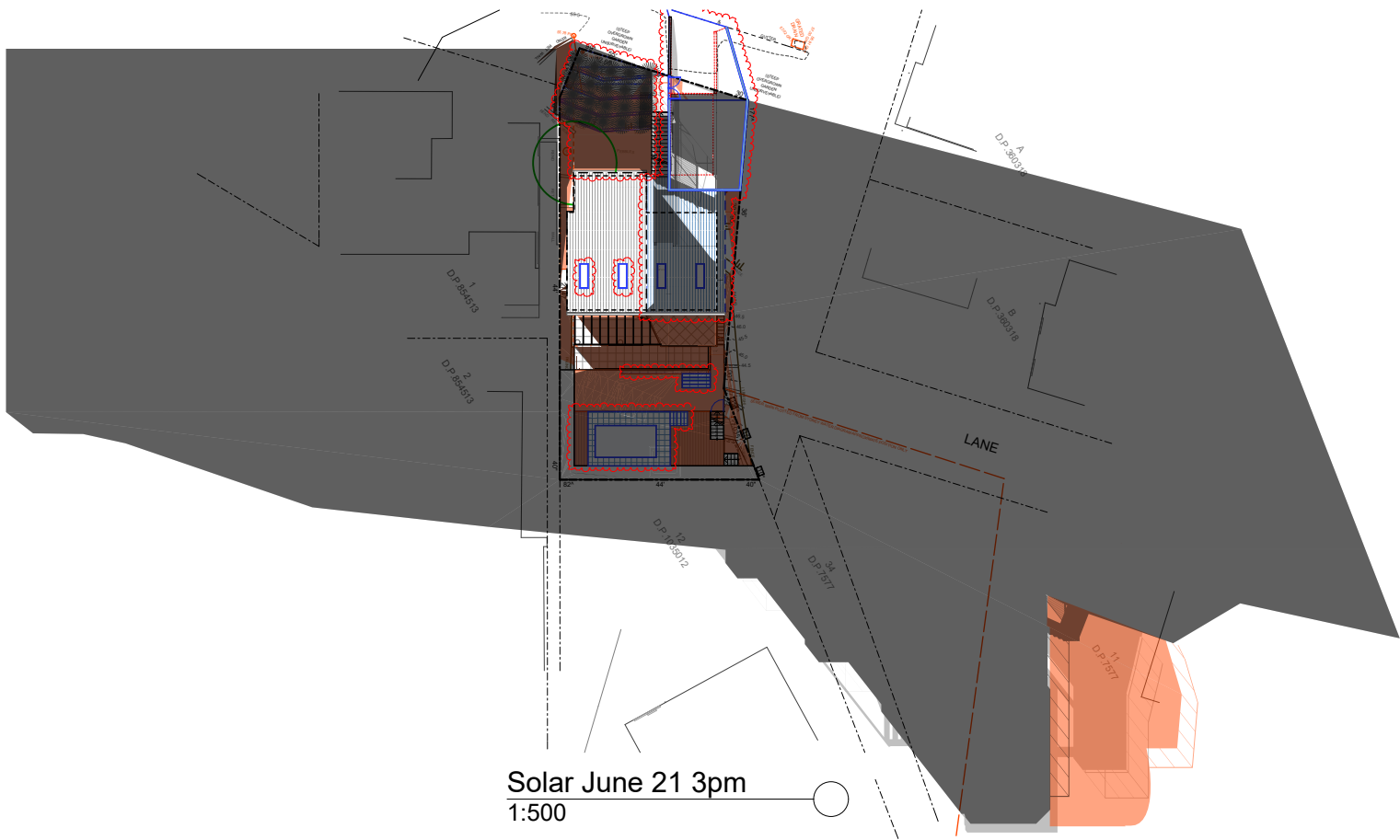
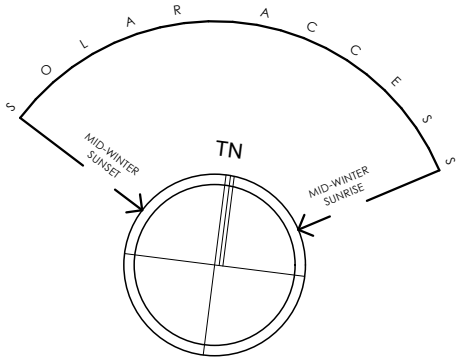
ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



- Existing shadow
- Approved DA shadow
- Clause 4.55 shadow



- CLAUSE 4.55
- Demolition
- Existing



Date :	Issue :	Description :

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Project : Additions & Alterations
Clause 4.55 (DA270/2016)
2C Edgecliffe Esplanade, Seaforth
Lot 11 DP 1035012 - 373.7m2
Client : Private Residence
Drawing : Solar June 21 Plans

Drawn/Designed : PB
Project Number : 1614
Date : 100919
Scale : 1:100 @ (A3)
Issue :
C4.55-18

Alterations and Additions

Certificate number: A257785_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A257785_02 lodged with the consent authority or certifier on 04 Oct 2016 with application DA0270/2016.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Tuesday, 10, September 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning & Environment

Project address	
Project name	2C Edgecliffe DA_03
Street address	2c Edgecliffe Esplanade Seaforth 2092
Local Government Area	Manly Council
Plan type and number	Deposited Plan 1035012
Lot number	11
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Phil Brown Drafting
ABN (if applicable): 16164362569

	DA Plans	SCSDB Plans & specs	Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor.	nil			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)			
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)		

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W1	S	13.2	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W2	N	0.3	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W3	N	1.7	3.1	3	projection/height above sill ratio >=0.23	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W4	S	10.4	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W5	S	0.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W6	E	1	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W7	E	1.9	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W8	E	2	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W9	N	10.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W10	N	2.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✔" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

			The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.	<div style="text-align: center;"> P H I L B R O W N <hr/> D R A F T I N G a 1/65 CARAWA RD CROMER NSW 2099 0414 978 499 philby2010@gmail.com </div>	Project : Additions & Alterations Clause 4.55 (DA270/2016) 2C Edgecliffe Esplanade, Seaforth Lot 11 DP 1035012 - 373.7m2 Client : Private Residence Drawing : - BASIX		Drawn/Designed : PB Project Number : 1614 Drawing No. C4.55-19	Date : 100919 Scale : Issue :
Date :	Issue :	Description :						