

BRICK BUILDING
SERVICE STATION &
WORKSHOP
METAL ROOF

Nos 207-217

LOT 1 DP 829523

COLLINGWOOD STREET

PITTWATER ROAD



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2024/0003

2 LEVEL BRICK & TIMBER
WORKSHOP
METAL ROOF

No 2A
LOT 2 DP829523

1 & 2 LEVEL
BRICK RESIDENCE
TILE/ METAL ROOF

No2

LOT B DP 304946

2 LEVEL BRICK & CONCRETE
STUDIO LOFTS AND PARKING
METAL ROOF

ELEVATED TERRACE
RL +10.75

COURTY'D
RL +6.55

SOLAR PANELS

LOT B DP 383992
AREA: 684m²

CARPARK
RL +6.18

2 LEVEL BRICK & RENDER
SHOP TOP BUILDING
METAL ROOF

PROPOSED
VEHICULAR CROSSING

SOUTHERN BOUNDARY 38.175

WESTERN BOUNDARY 24.435

NORTHERN BOUNDARY 21.575

NE BOUNDARY 19.98

SE BOUNDARY 8.485

GOLF PARADE

ARCHITECT

CHROFI

3/1 THE CORSO MANLY NSW 2095 AUSTRALIA
T +61 2 8096 8500 E info@chrofi.com

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION,
REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON
SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN CHROFI.

REV	DATE	ISSUE
01	3/2/22	DEVELOPMENT APPLICATION
02	16/6/22	DA RFI 1
03	10/1/24	\$455 ISSUE

REV	DATE	ISSUE
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PROJECT
199-205 Pittwater Rd, Manly

PROJECT NUMBER
21057

PLOT DATE
10/1/24

DRAWN
MG

CHECKED
TR

SHEET SCALE
1:200

SHEET SIZE
A3

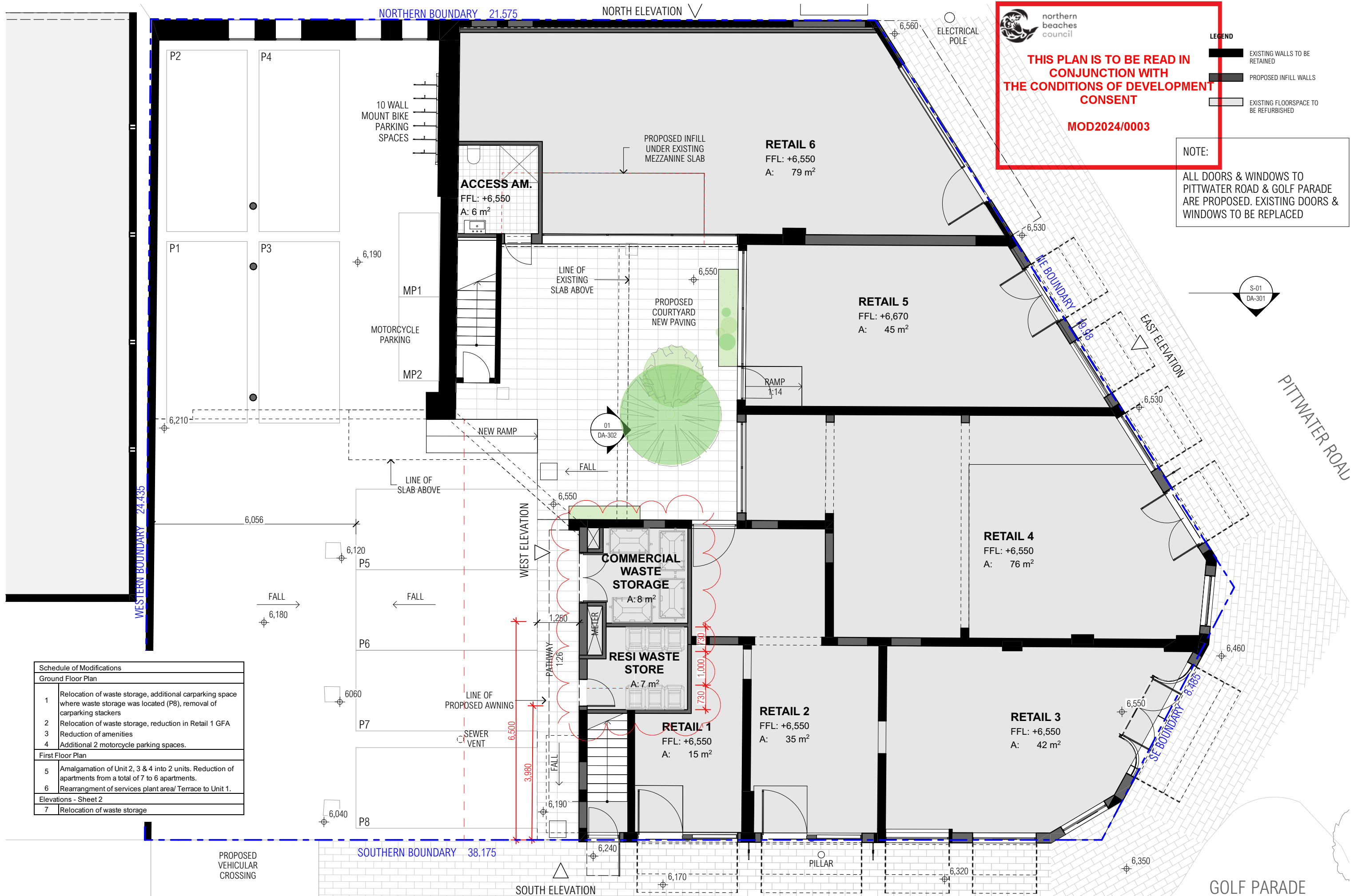
NORTH



SHEET TITLE
SITE PLAN

SHEET NUMBER
A-DA-003

REVISION
03

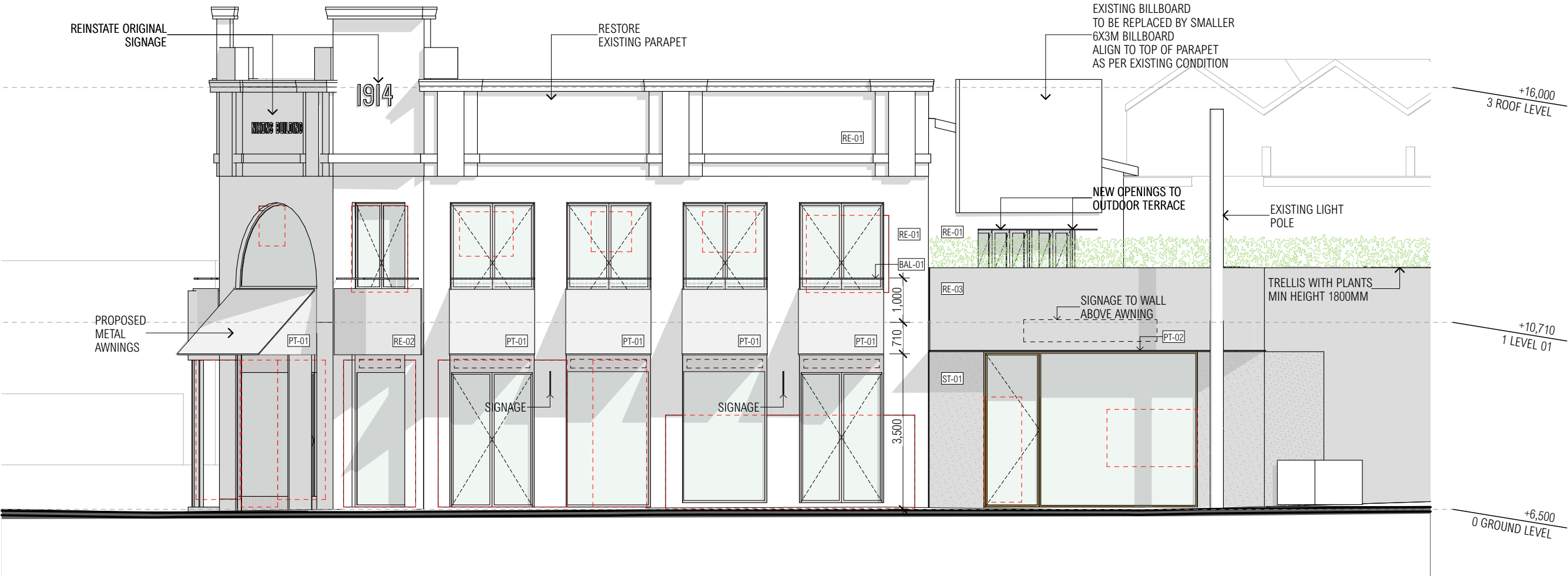


Schedule of Modifications	
Ground Floor Plan	
1	Relocation of waste storage, additional carparking space where waste storage was located (P8), removal of carparking stackers
2	Relocation of waste storage, reduction in Retail 1 GFA
3	Reduction of amenities
4	Additional 2 motorcycle parking spaces.
First Floor Plan	
5	Amalgamation of Unit 2, 3 & 4 into 2 units. Reduction of apartments from a total of 7 to 6 apartments.
6	Rearrangment of services plant area/ Terrace to Unit 1.
Elevations - Sheet 2	
7	Relocation of waste storage

- LEGEND
- EXISTING WALLS TO BE RETAINED
 - EXISTING OPENING TO BE DEMOLISHED

NOTE:

ALL DOORS & WINDOWS TO PITTWATER ROAD & GOLF PARADE ARE PROPOSED. EXISTING DOORS & WINDOWS TO BE REPLACED



E1 EAST ELEVATION
1:100

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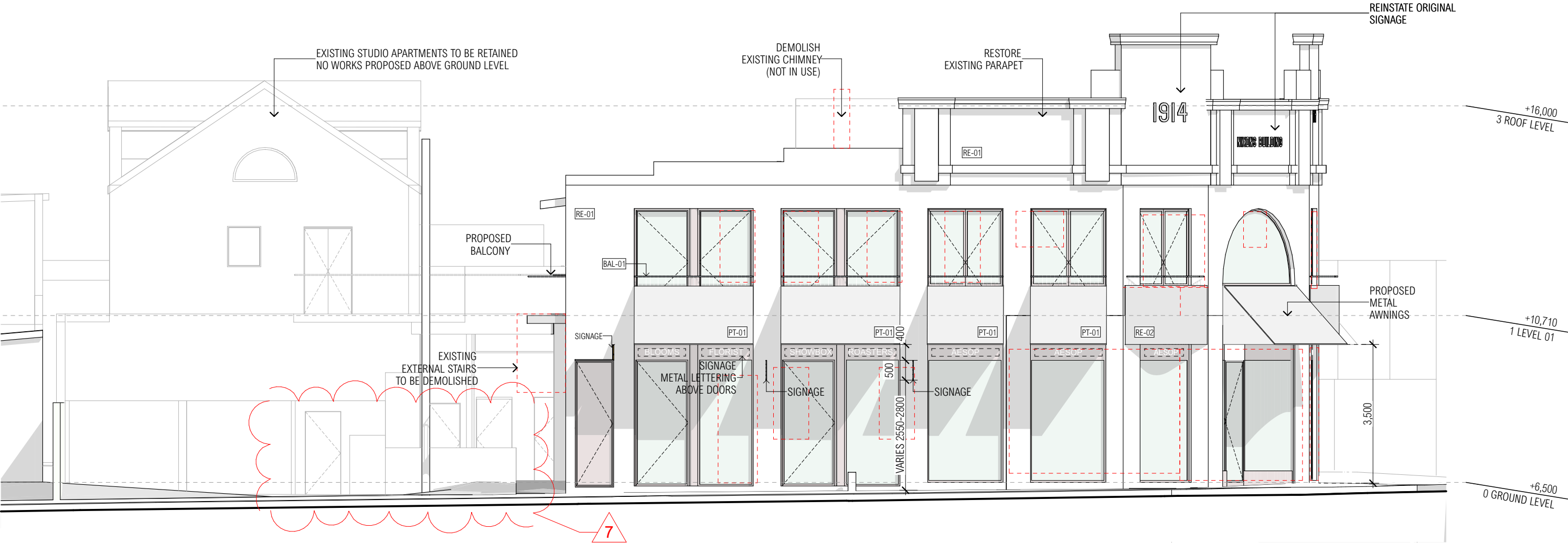
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- KEY
- BAL-01 METAL BALUSTRADE
 - BR-01 EXISTING BRICK
 - BR-02 NEW BRICK TO MATCH EXISTING
 - BRS-01 BRICK SCREEN
 - CN-01 EXISTING EXPOSED CONCRETE
 - CN-02 PROPOSED CONCRETE AWNINGS
 - LC-01 LIGHTWEIGHT CLADDING
 - PT-01 POWDERCOATED METAL SHEET
 - PT-02 POWDERCOATED METAL SHEET
 - RE-01 RENDER OFF-WHITE
 - RE-02 RENDER TEXTURED OFF-WHITE
 - RE-03 RENDER MEDIUM DARK
 - ST-01 TERRAZZO TILE
 - TF-01 TIMBER FENCE

NOTE:
ALL DOORS & WINDOWS TO
PITTWATER ROAD & GOLF PARADE
ARE PROPOSED. EXISTING DOORS &
WINDOWS TO BE REPLACED

- LEGEND
- EXISTING WALLS TO BE
RETAINED
 - EXISTING OPENING TO BE
DEMOLISHED



E2
-
SOUTH ELEVATION
1:100

Schedule of Modifications	
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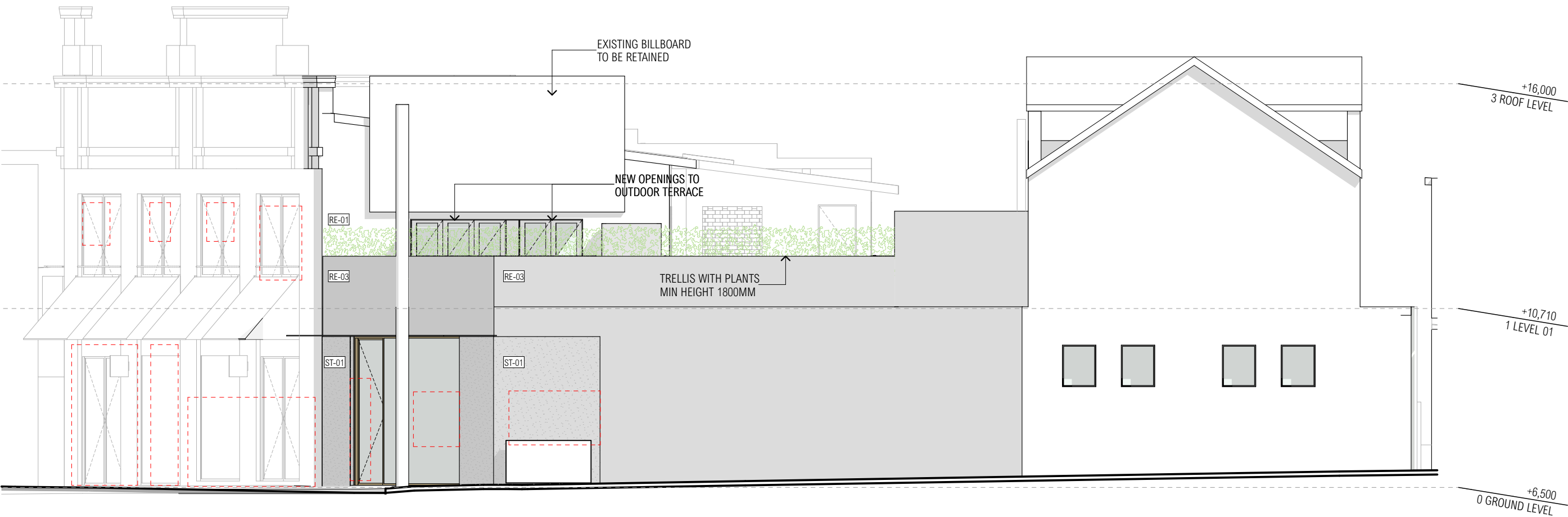
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RE-03	RENDER MEDIUM DARK
ST-01	TERRAZZO TILE
TF-01	TIMBER FENCE

- LEGEND
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 - EXISTING OPENING TO BE DEMOLISHED



E4
-
NORTH ELEVATION
1:100

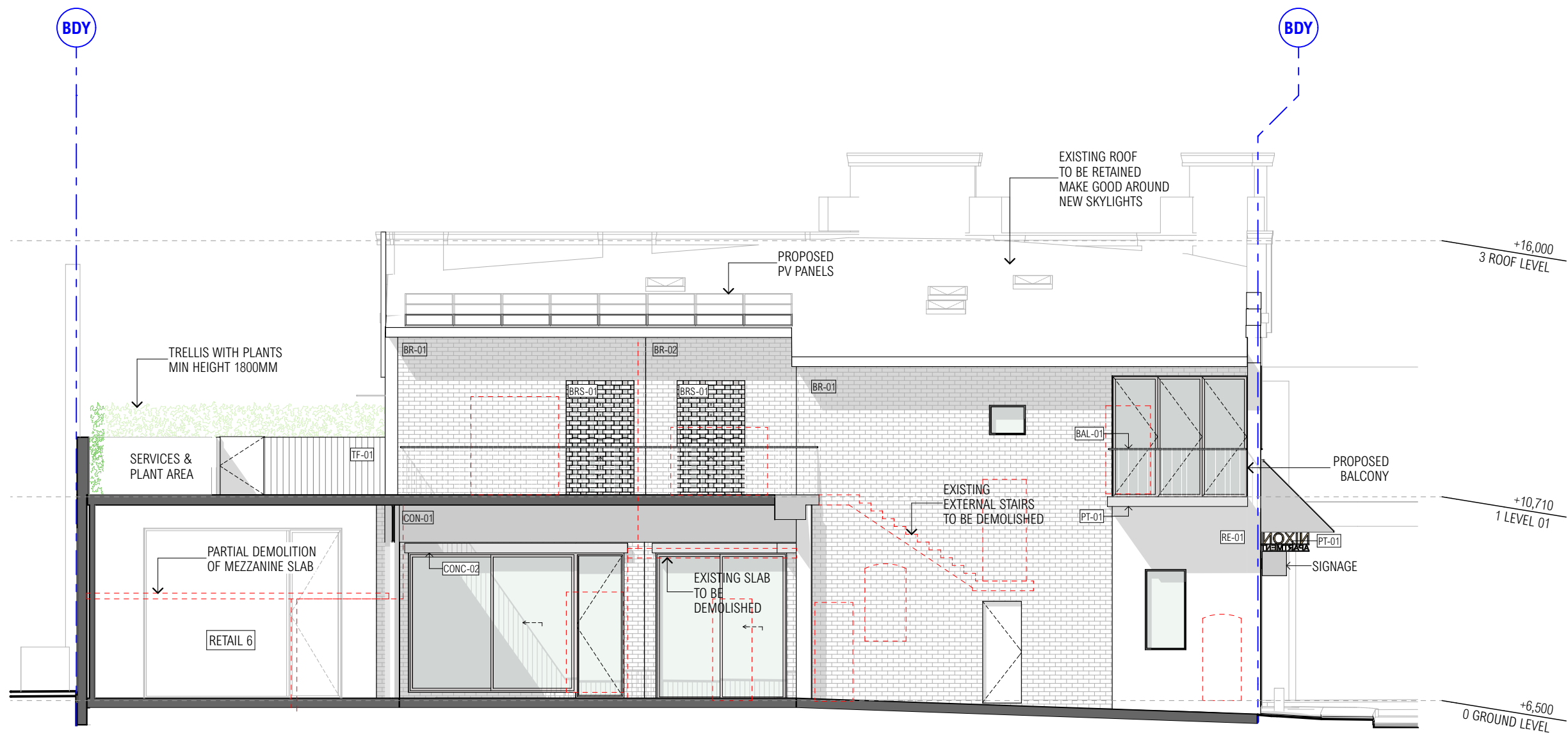
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 - RE-03 RENDER MEDIUM DARK
 - ST-01 TERRAZZO TILE
 - TF-01 TIMBER FENCE

- LEGEND
- EXISTING WALLS TO BE RETAINED
 - EXISTING OPENING TO BE DEMOLISHED



E3
WEST ELEVATION
1:100

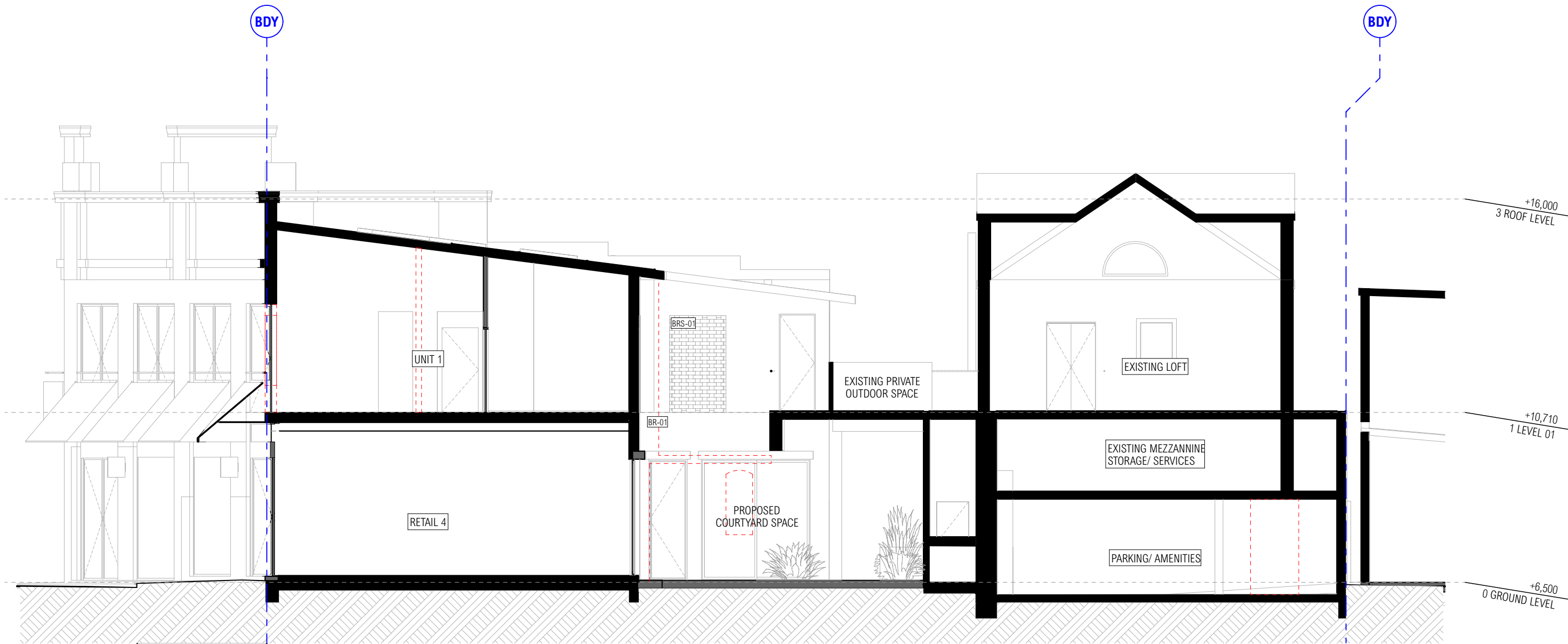
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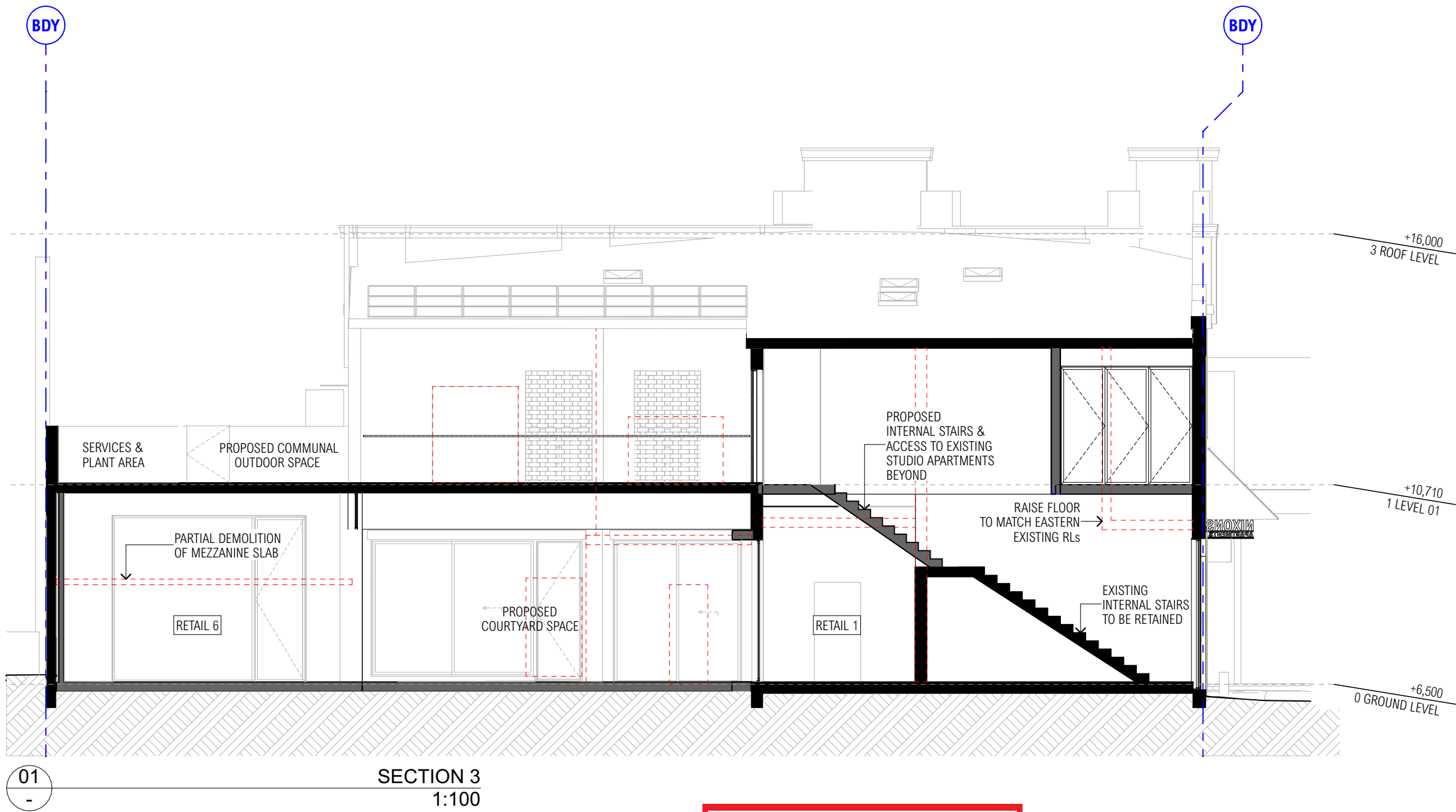
- LEGEND
- EXISTING WALLS TO BE RETAINED
 - PROPOSED INFILL WALLS
 - EXISTING FLOORSPACE TO BE REFURBISHED



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