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RELATED FILES

TIME PERIOD

TIME PERIOD
Long Day Care Centre

FOR ACTION		ACTION TAKEN		FOR ACTION		ACTION TAKEN	
REF	DT	INITIALS	DATE RETND RECORDS	RESUB DATE	REF	DT	INITIALS
DG	20/7/11			20/11			
D Greenaw	30/10/11			13/11			
D Greenaw	23/11						
File							
D Greenaw	19/12			19/1			
GM	23/1						
FILE	23/1			23/1			
Lane, P	24/1/05			3/2/05			
Cavanagh, T	3/11/05						
A SANSON	21/3						
Re cover	4/04						

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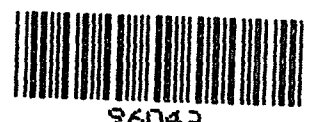
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96042



150m Planning -
WARRINGAH COUNCIL

48537
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File No PF 1887/50 KC kmck/6426D
Enquiries

Telephone (02) 982 0333

CONSENT NO 95/122

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant s Name and Address Mr and Mrs J Evans 49 Essilia Street,
COLLARROY PLATEAU NSW 2097

Being the applicant in respect of Development Application
No 1994/772

Pursuant to section 92 of the Act, notice is hereby given of the
determination by Warringah Council, as the consent authority, of the
Development Application No 1994/772 relating to the land described
as follows -

Lot 2, DP 223409, No 50 Glen Street, Belrose

For the following development -

A Child Care Centre (with attached residence) to accommodate 18
children

The Development Application has been determined by granting of
consent subject to the following conditions -

- 1 Development being generally in accordance with plans numbered
94136-1DA and 94136-2DA, dated December 1994 submitted
09 12 94 as amended in red and modified by any conditions of
this consent/approval (A1)
- 2 No signs to be displayed without a separate approval under the
Local Government Act (A3)
- 3 Landscaping plans to be submitted for approval with the
Building Application, indicating all existing trees specifying
those to be retained/removed as well as details of proposed
planting plus details of names/height and mature spread (J1)
- 4 Plant and building materials should not be placed or stored
within the public road reserve, and shall be stored within
the boundaries of the site during building works Failure to
comply with this condition may result in Council taking action
to remove the offending items from the public road reserve and
all costs incurred by Council will be deducted from any
deposit monies held in relation to the subject property (D18)

All correspondence to be addressed

General Manager
Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



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- 5 The development shall not harm the environment by way of denudation of the land, soil erosion or the transmission of soil and sediment from the land. Appropriate mitigation measures are to be implemented during the construction of the development and the future use of the land (L1)
- 6 All works on the site shall be undertaken to prevent erosion and transport of soil and sediment off the site and onto adjoining properties. Measures shall be taken in accordance with the requirements of Council's Specification for Erosion and Sediment Control. An erosion and sediment control plan shall be submitted for Council's approval prior to Building Approval (L2)
- 7 The payment of \$1000 to account Reg 009-*TF 036 prior to issue of building approval or approval for subdivision works as security to ensure that
 - a) all silt and sediment control measures are installed and maintained
 - b) there is no transmission of material, soil etc off the site and onto the public road and/ or drainage systems and
 - c) maintenance of all facilities in accordance with Council's Specification for Erosion Control and Sediment Control (L3)
- 8 Restoration and maintenance to approved levels and safe condition of the footway reserve/s adjoining the site in Glen Street to Council's reasonable satisfaction (S4)
- 9 The public footways and roadways adjacent to the site shall be maintained at all times during the course of the work in a safe condition to the satisfaction of Council (S7)
- 10 Provision of one vehicle crossing, 6m at kerb, 6.5m wide at boundary to Council's satisfaction and in accordance with Council Drawing No A43330 to approved levels and specifications. An application for street levels is to be made with the Building Application (T1)
- 11 Construction of approved kerb laybacks in accordance with the details shown on Council Plan A4 2276 (T2)
- 12 Reinstatement of redundant crossings and laybacks (T3)

All correspondence to be addressed

General Manager

Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



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CONSENT NO 95/122

- 13 All fences, letter boxes and any other structures erected on the street alignment to conform to the approved back of footpath levels (V2)
- 14 Building waste containers or skips and the like are not to be placed within the public road reserve unless prior approval from Council has been obtained and appropriate fees paid (V6)
- 15 Vehicles entering and leaving the site shall do so in a forward direction Provision shall be made on-site to ensure that this can be achieved (V8)
- 16 Demolition of existing pool and removal of all debris from the site (U8)
- 17 All rooms in the building being ventilated in accordance with the provision of Part F4 of the Building Code of Australia (W4)
- 18 Wall between occupancies to have a Fire Resistance Level of not less than 60/60/60 This wall is to be taken to the floor above having a Fire Resistance Level not less than 30/30/30, in accordance with Part C of the Building Code of Australia Details to be submitted with the Building Application (W13b)
- 19 Sound attenuation of soil/waste pipes above habitable rooms shall achieve an STC of 45 Details being provided with the Building Application from a suitably qualified acoustic engineer, or a previously certified system from an accredited testing authority (W14)
- 20 The building being constructed in Type B construction (W17)
- 21 The windows/doors in the western walls being protected in accordance with the provision of Part C3 of the Building Code of Australia Details being submitted with the Building Application (W18)
- 22 Walls/Floor/Ceilings between occupancies are to have an STC in accordance with Part F and an FRL also in accordance with Part C of the Building Code of Australia Details being provided with Building Application (W29)
- 23 Compliance with the requirements of Council's Checklist for Childcare Services Details to be provided with Building Application

All correspondence to be addressed

General Manager

Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



WARRINGAH COUNCIL

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CONSENT NO 95/122

- 24 Where the applicant cannot demonstrate to Council's satisfaction that the proposed development will not increase the rate of stormwater discharge from the site, the design and construction of an on site stormwater detention system in accordance with Council's requirements Details to be submitted with the Building Application
- 25 Compliance with the requirements of the NSW Department of Community Services
- 26 Operating hours are to be confined to 7 30am to 6 00pm, Monday to Friday
- 27 The maximum number of children that are to be accommodated at the centre at any time shall not exceed 18
- 28 The three open car spaces adjacent to the front property boundary shall remain open No structures shall be permitted over these spaces

The reason for the imposition of the above consent conditions is as follows -

To ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act, pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 90 of the Act and the Environmental Planning Instrument applying to the land, as well as section 91(3) of the Act which authorises the imposing of the consent conditions

Endorsement of date of consent **2 MAR 1995**

IMPORTANT You are advised to read these notes in addition to the Conditions of your consent

- (1) It is to be clearly understood that the above consent is not an approval to carry out any structural work A formal building application must be submitted to Council and be approved before any structural work is carried out to implement the above consent -Also- the applicant is not relieved of any obligation to obtain any other approval required under any other Act

All correspondence to be addressed

General Manager
Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



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CONSENT NO 95/122

- (2) Section 97 of the Environmental Planning and Assessment Act confers on the applicant who is not satisfied with the determination of the consent authority a right of appeal to the Land and Environment Court exercisable within 12 months of receipt of this notice
- (3) This consent shall be effective and operative from the endorsement date of this consent, however should an appeal be lodged against Council's determination of the application, the consent shall cease to be, or shall not become, operative, until that appeal is determined See section 93 of the Act
- (4) For information about the circumstances in which this consent may lapse, about commencement of a development granted consent, about extension of the consent, and about the circumstances in which Council may require completion of the development, see Section 99 of the Act
- (5) For information about the procedure for the modification of this consent by Council, see Section 102 of the Act
- (6) Any person who contravenes this notice of determination of the abovementioned development application shall be guilty of a breach of the Environmental Planning and Assessment Act, 1979, and shall be liable to a monetary penalty and for a restraining order which may be imposed by the Land and Environment Court

R Symons

R Symons
DIRECTOR FINANCE AND
CORPORATE SERVICES

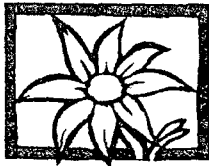
per *Re*

Date 2 MAR 1995

All correspondence to be addressed

General Manager

Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



**Warringah
Council**

Civic Centre 725 Pittwater Road
(enter Civic Drive)
DEE WHY NSW 2099
DX 9118 Dee Why
Ph (02) 9942 2111
Fax (02) 9942 2612

**Notice to Applicant of Determination of an Occupation
Certificate Application**

Made under the Environmental Planning and Assessment Act 1979

Certificate No 1685/95

Deborah Evans
12 Seychelles Court
Burleigh Heads QLD 4220

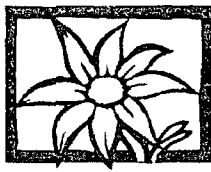
Description of Land Lot 2 DP 223409 (50 Glen Street Belrose)

Class Class 4 and 9b Two Storey Building comprising a Day Care Centre and First Floor Residence

Warringah Council pursuant to Sections 109C(1)(c) and 109H of the Environmental Planning and Assessment Act hereby **CONSENTS** to the issue of a Final Occupation Certificate for the land described above

DATED This Ninth day of February 2005

Gordon Maccallum
Development Inspection Officer
Planning and Assessment Services



**Warringah
Council**

Civic Centre 725 Pittwater Road
(enter Civic Drive)
DEE WHY NSW 2099
DX 9118 Dee Why
Ph (02) 9942 2111
Fax (02) 9942 2612

Determination of a Final Occupation Certificate Application

made under Sections 109C(1)(c) and 109H of the Environmental Planning and Assessment Amendment Act

Final Occupation Certificate No 1685/95

Land to which this certificate applies

Address 50 Glen Street Belrose

Lot 2

DP 223409

Class 4 and 9b

Portion subject to Final Occupation Certificate Two Storey Building comprising a Day Care Centre and First Floor Residence

Owner Deborah Gay Evans

Warringah Council certifies that

- It has been appointed as the principal certifying authority under S109E
- A development consent/complying development certificate is in force with respect to the building
- A construction certificate has been issued with respect to the plans and specifications for the building
- The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia
- Where required a final fire safety certificate has been issued for the building
- Where required a report from the Commissioner of Fire Brigades has been considered

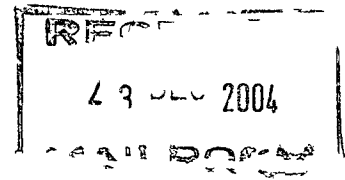
Note This Final Occupation Certificate supersedes any Interim Occupation Certificate issued previously

DATED 9 February 2005

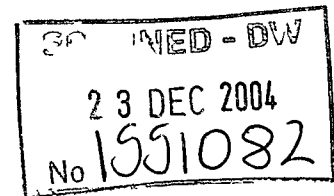
Gordon Maccallum
Development Inspection Officer
Planning and Assessment Services

Deborah Evans
12 Seychelles Court
Burleigh Heads QLD 4220

22 December 2004



Mr Craig Hann
Warringah Council
Civic Centre
725 Pittwater Road
Dee Why NSW 2099



Dear Mr Hann

Re Compliance Certificate for 50 Glen Street, Belrose 2085

As discussed with you I have Strata Titled the abovementioned property into two lots
The Upstairs is Lot 2 and has been sold The purchasers require an occupation
certificate before they will settle

Would you kindly attend to this at your earliest convenience

I have enclosed

- BCA Compliance Report
- Fire Safety Report
- Strata Plan

Should you have any query please do not hesitate to contact me on (07) 5520 0544

Yours sincerely

A handwritten signature in cursive script that reads 'Deborah Evans'.

Deborah Evans

COPY

Building Code of Australia
Compliance Audit Report

For

Ms Debra Evans

Premises
50 Glen Street Belrose

Ref No P-04-121

Date 27th July 2004

**tom miskovich
& associates
pty ltd**

acn 094 366 873
abn 93 094 366 87

email
tma@tm a com au

all correspondence

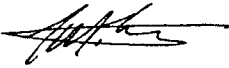
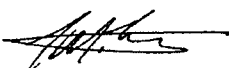
po box 189
pennant hills
nsw 1715

sydney
8 albion street
pennant hills
nsw 2120

ph 02 9484 6999
fax 02 9484 3400

bowral
ph 02 4862 5550
fax 02 4862 5551

AMENDMENT SCHEDULE

Version	Date	Description	
1 – Final	21 7 04	Final report	
		Prepared by	Checked By
			
		Tom Miskovich	
2 – Final (altered section 3 5 of report as on compliant works had been rectified)	27 7 04	Final report	
		Prepared by	Checked By
			
		Tom Miskovich	

SUMMARY

Tom Miskovich & Associates Pty Ltd have been engaged to undertake an inspection of the subject premises to ascertain compliance with relevant provision of the Building Code of Australia (BCA) 2004

It is considered that the existing building largely complies with the provisions of the Building Code of Australia with the following matters brought to your attention as the most significant anomalies

- 1 Disabled persons access being provided to and within the ground floor of the child care centre it is noted that the operation of the building has been recently approved by the local authority (Warringah Council 1995) and since that time there has been no significant alteration to the legislative provisions of the Building Code of Australia in this particular regard Accordingly it is assumed that Warringah Council has considered such and resolved that compliance was not required (refer to section 3 9 3 10 3 11 of this report)
- 2 Provision of a disabled persons WC for the ground floor child care centre as per item 1 above (refer to section 5 3 of this report)
- 3 The fire resistance level of the external walls to the residential level as item 1 above (refer to section 2 6 of this report)
- 4 Protections of windows to the front elevation of the building have been addressed in a report prepared by Holmes Fire and Safety and dated 15th July 2004 It is noted that such report was subject to a covenant being provided to the title (refer to section 2 3 of this report)

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BUILDING CODE OF AUSTRALIA ASSESSMENT

1.0 - General Description

1 0 – General Description

1 1 Building Location

50 Glen Street Belrose

1 2 Building Description

Use/Classification	Class 9b (child care) and 4 (residential)	
Rise in Storeys	Two (2)	
Floor Area	Ground floor (class 9b)	Approximately 104 m ²
	1 st floor (class 4)	Approximately (incl veranda) 162 m ²
	Total floor area	266 m ²
Volume	Total volume of building within limits set by Table C2 2	
Type of Construction (BCA)	B	
Effective Height	Approx 3m	

2 0 Fire Resistance**2 1 Separation of classifications in same storey
Clause C2 8****BCA Requirement**

Different classifications that are situated alongside one another are to be either fire separated or alternatively the higher rating of the two classifications is applied throughout. In this situation a Fire Resistance Level (FRL) of not less than /60/60 if non load bearing construction and not less than 120/ / if load bearing construction is required to separate the class 9b and 4 classifications together with any door opening being not less than a self closing fire door with a FRL of /60/30.

Situation on site

The class 9b is situated adjacent to the garage which is an auxiliary use to that of the class 4 portion situated on the 1st floor. Site inspection confirmed that fire rated material has been utilised in providing separation and confirmed by certification.

Compliance with BCA

Complies

**2 2 Separation of classifications in different storeys
Clause C2 9****BCA Requirement**

Different classifications that are situated one above the other in adjoining storeys must be fire separated by floors having an FRL of not less than that specified by the provisions of this clause. In this particular situation an FRL of not less than 30/30/30 or a resistance to the insipient spread of fire of not less than 60 minutes.

Situation on site

Certification has been provided detailing that fire rating construction achieving a minimum of 60 minutes has been installed.

Compliance with BCA

Compliance achieved

**2 3 – Openings in external walls –
Clause C3 2****BCA Requirement**

In order to prevent the spread of fire to and from a building and fire source feature (boundary) any openings that within 3m of the side boundary must be suitably protected in accordance with the provision of clause C3 4 of the BCA.

Situation on site

The front elevation has windows situated on both levels which are within 3m of the side boundary.

Compliance with BCA

Does not comply with the deemed to satisfy provisions of the BCA. However such has been addressed by a fire engineered solution which addresses the performance provision of the BCA and subsequently complies. It is noted that the report prepared by Holmes Fire and Safety is conditional and use of the subject premises is subject compliance with the terms of the report (see reference section of this report).

**2.4 Openings in
floors and ceilings
for services –
Clause C3.12**

BCA Requirement

Where a service through a floor that is required to have a FRL or a ceiling that is required to have a resistance to the insipient spread of fire such service must be protected within either a shaft complying with the fire ratings detailed in section 2.13 of this report or alternatively comply with clause C3.15

Situation on site

No information has been provided in this regard however noted that new ceiling which has been installed achieved relevant fire rating

Compliance with BCA

Compliance achieved by way of fire rated ceiling

**2.5 Openings for
service
installations
Clause C3.15**

BCA Requirement

Where an electrical, electronic, plumbing, mechanical ventilation or other service penetrates a building element that is required to have a FRL then it must be protected in accordance with the provisions of specification C3.15 of the BCA (eg. use of fire collars, fire pillows, fire sealant or other approved material/construction)

Situation on site

No information has been provided in this regard however noted that new ceiling which has been installed achieved relevant fire rating

Compliance with BCA

Compliance achieved by way of fire rated ceiling

BUILDING CODE OF AUSTRALIA ASSESSMENT

2.0 – Fire Resistance

2.6 – Fire Resistant Levels – Type B Construction

Building Element	Required FRL		Comment
	Class 9b (child care)	Class 4 (residential)	
External walls			Clause 2.3 also makes reference to include lintels as being fire rated
<i>Loadbearing</i>			
Less than 1.5m to side/rear boundary	120/120/120	90/90/90	
1.5m to 3.0m to side/rear boundary	120/90/60	90/60/30	
3m to 9.0m to side / rear boundary	120/30/30	90/30/30	
9 to less than 18m to side or rear boundary	120/30/	90/30/	
18 m or more	//	//	
<i>Non loadbearing</i>			
Less than 1.5 m to side or rear boundary	/120/120	/90/90	
1.5 to less than 3.0m	/90/90	/60/30	
3.0m or more	//	//	
Internal walls			
Bounding public corridors and the like			
<i>Loadbearing</i>	120/ /	60/60/60	
<i>Non loadbearing</i>	//	/60/60	
Between and bounding sole occupancy units			
<i>Loadbearing</i>	120/ /	60/60/60	
<i>Non loadbearing</i>	//	/60/60	
Other load bearing walls columns beams	120/ /	60/ /	
Floors	Not applicable	30/30/30 (or equivalent)	
Roofs	//	//	

Situation on site

The external walls to the upper level do not strictly comply with the above provisions in that the fire rating is not achieved from both sides of the external wall i.e. only achieved externally owing to brick veneer construction. Notwithstanding, it is also noted that the development has been recently approved by the Warringah Council under the provisions of the Building Code of Australia and in so doing would have utilised their discretionary powers.

Compliance with BCA

Compliance not achieved however considered acceptable by the local consent authority

3 0 Access and Egress

3 1 Number Exits required – clause D1 2

BCA Requirement

At least two (2) exits are required from the child care centre (class 9b) and one (1) from the residential portion of the building

Situation on site

Minimum two (2) from each level provided

Compliance with BCA

Compliance achieved

3 2 Exit travel distance Clause D1 4

BCA Requirement

Class 9b (child care centre)

No point on a floor must be more than 20m from an exit or a point from which travel in different directions to 2 exits is available in which case the maximum distance to one of those exits must not exceed 40m

Class 4 portion (residential)

The entrance doorway must be no more than 6m from an exit

Situation on site

Distances achieved

Compliance with BCA

Compliance achieved

3 3 Dimensions of exits and paths of travel Clause D1 6

BCA Requirement

The unobstructed width of each exit or path of travel to an exit in a public corridor within Class 9b portion and from the class 4 portion must be not less than 1000mm

Proposed works on 1st floor

1000mm width achieved

Compliance with BCA

Compliance achieved

**3 4– Discharge
from exits –
Clause D1 10****BCA Requirement**

In order to ensure that access to and from an exit are not inhibited by parked vehicles or other obstructions bollards may be required to areas which are susceptible to such (i.e. delivery bay area)

Where exit discharges to an open space access to the road must be via a 1m wide pathway with max. of grade 1 in 8

Situation on site

Travel to a public road achieved and exits not capable of being blocked

Compliance with BCA

Compliance achieved

**3 5 Treads and
risers landings &
thresholds –
Clause D2 13
D2 15****BCA Requirement**

Treads and risers in all stairs must meet specified criteria relating to the configuration of going and risers provision of non slip finish or non skid strip to the edge of the nosing

- Minimum dimensions of landing
Door thresholds must not incorporate a step unless provided with a ramp

Situation on site

Complies with above requirements

Compliance with BCA

Compliance achieved

**3 6 Balustrades
and other barriers
Clause D2 16****BCA Requirement**

Balustrades to balconies and similar areas where the floors are more than 1 m above the surface beneath should be at least 1 m in height and any openings within it should not permit a 125 mm sphere to pass

Situation on site

Balustrades comply with respect to overall height and maximum dimension of openings

Compliance with BCA

Compliance achieved

**3 7 Swing of
doors – Clause
D2 20****BCA Requirement**

Doors serving as a required exit or forming part of a required exit must be provided with doors that swing in the direction of egress. Exemptions are provided where the floor area of the area concerned is less than 200m².

Situation on site

Floor area less than the 200m² specified and accordingly these provisions do not apply.

Compliance with BCA

Not applicable.

**3 8 Operation of
latch Clause
D2 21****BCA Requirement**

Exit doors and doors in the path of travel to an exit must be provided with latching mechanisms that are single handed downward acting devices without recourse to a key located approximately 900 and 1200mm above the finished floor level.

Alternatively exit latching mechanisms may be fitted with a fail safe device which automatically unlocks the door on activation of any sprinkler system complying with Specification E1 5 or smoke or heat detectors installed throughout the building.

Situation on site

Doors which have been nominated as exit doors have been provided with approved latching mechanisms.

Compliance with BCA

Compliance achieved.

**3 9– General
building access
requirements –
Clause D3 2 and
Clause D3 3****BCA Requirement**

Access for persons with disabilities must be provided to the following areas in accordance with Table D3 2 and AS 1428 1 2001:

- To and within all areas normally used by the public, patients and staff.

Situation on site

Access generally provided within the class 9b portion however access from ground level to within the building does not comply. Notwithstanding it is also noted that the development has been recently approved by the Warringah Council under the provisions of the Building Code of Australia and in so doing would have utilised their discretionary powers.

Compliance with BCA

Compliance not achieved however considered acceptable by local authority.

**3 10–
Identification
signage for
disabled persons
facilities – Clause
D3 6**

BCA Requirement

In every building that is required to be accessible Braille & tactile signs incorporating the international symbol of access in accordance with AS 1428 1 must identify sanitary facilities

Situation on site

No disabled persons sanitary facilities provided Notwithstanding it is also noted that the development has been recently approved by the Warringah Council under the provisions of the Building Code of Australia and in so doing would have utilised their discretionary powers

Compliance with BCA

Compliance not achieved however considered acceptable by local authority

**3 11– Tactile
indicators –
Clause D3 8**

BCA Requirements

Tactile ground surface indicators must be provided to warn people with a vision impairment that they are approaching a publicly accessible stairway and a ramp (excluding kerb/step ramps) Indicators are to be in accordance with AS 1428 4

Situation on site

Tactile indicators not provided Notwithstanding it is also noted that the development has been recently approved by the Warringah Council under the provisions of the Building Code of Australia and in so doing would have utilised their discretionary powers

Compliance with BCA

Compliance not achieved however considered acceptable by local authority

4 0 – Services & Equipment

**4 1 Fire hydrant
system Clause
E1 3**

BCA Requirement

Any building with a floor area greater than 500m² needs to be serviced by a hydrant system complying with AS 2419 1 and located within 4m of an exit (if internal) or 10m from the building (if external)

Situation on site

Building is less than 500m² in floor area

Compliance with BCA

Not applicable

**4 2 Fire hose reel
system Clause
E1 4**

BCA Requirement

Fire hose reels are required within fire compartment exceeding 500m² in floor area. The location of such may be

- Internally within 4m of an exit
- Externally
- Adjacent to a fire hydrant or
- A combination of the above

Situation on site

Compartment size is less than 500m² in floor area

Compliance with BCA

Not applicable

**4 3 Portable Fire
Extinguishers
Clause E1 6**

BCA Requirement

Class 9b Child care buildings are to be provided with portable fire extinguishers which comply with AS2444 to cover Class A (fires involving carbonaceous solids) & Class E (fires involving electrical equipment) risks

Note – A Class E fire extinguisher need only be located at each nurse/supervisors station or the like

Situation on site

Portable extinguishes provided

Compliance with BCA

Compliance achieved

**4 4 Smoke
hazard
management
Table E2 2a**

BCA Requirement

Class 4 portion of the building needs to be provided with

- an automatic smoke detection and alarm system complying with BCA Specification E2 2a (AS3786)

Situation on site

An AS3786 detection system has been provided together with copies of certification to confirm such

Compliance with BCA

Compliance achieved

**4 5 Emergency
Lighting – Clause
E4 2**

BCA Requirement

In principle emergency lighting compliant with AS/NZS 2293 1 is required when the floor area of the storey concerned is more than 300m²

Situation on site

Floor area less than 300m²

Compliance with BCA

Not applicable however has been provided throughout the child care centre in the form of exit signage

**4 6 Exit signage
– Clause E4 5 &
4 6**

BCA Requirement

Exit signage (compliant with AS/NZS 2293 1) is required to any building that needs to be provided with emergency lighting

Situation on site

Noted throughout various locations on site and detailed on the list of current fire safety measures however not required

Compliance with BCA

Not applicable however has been provided throughout the child care centre in the form of exit signage

5 0 Health & Amenity

**5 1 – Water
proofing of wet
areas – Clause
F1 7**

BCA requirement

Water proofing within the building must comply with AS 3740

Situation on site

No information has been provided in this regard

Compliance with BCA

Assumed compliance achieved

**5 2 Number of
sanitary facilities
– Clause F2 2**

BCA requirement

Facilities

For each class 9b building

- (a) a closet pan and wash basin for each 20 male and 15 female employees is required
- (b) a junior closet pan and wash basin with a rim height not exceeding 600mm for each 15 children in the early childhood centre

Situation on site

Adequate facilities provided

Compliance with BCA

Assumed compliance achieved

**5 3– Construction
of sanitary
facilities for
disabled – Clause
F2 4**

BCA Requirement

Sanitary facilities for people with disabilities need to be provided at the rate of 1 pan per 100 WC s designed in accordance with AS1428 1 for every WC s

Situation on site

No disabled persons sanitary facilities provided Notwithstanding it is also noted that the development has been recently approved by the Warringah Council under the provisions of the Building Code of Australia and in so doing would have utilised their discretionary powers

Compliance with BCA

Compliance not achieved however considered acceptable by local authority

**5 4– Construction
of sanitary
facilities – Clause
F2 5**

BCA Requirement

Sanitary facilities must be constructed in a manner to enable persons to be rescued from the enclosure in the case of an emergency. Generally, in an enclosed sanitary facility, unless there is a clear space of at least 1200mm between the pan and the doorway, the door must either open outwards, slide, or must be readily openable from the outside of the sanitary compartment.

Situation on site

Door greater than 1200mm to pan

Compliance with BCA

Compliance achieved

**5 5– Ventilation of
rooms – Clause
F4 5**

BCA requirement

The internal bathrooms, ensuites, laundries should be provided with mechanical ventilation compliant with AS 1668.2 and AS/NZS 3666.1.

Situation on site

Either exhaust fan wired in phase with light switch or alternatively door opening directly to outside.

Compliance with BCA

Compliance achieved

**5 6– Sound
transmission and
insulation – Part
F5**

BCA requirement

Insulation against the transmission of airborne and impact noise generated sound is required to prevent illness and loss of amenity to the occupants. In this regard, the following weighted sound reduction indices (Rw) need to be achieved:

- Floors between sole occupancy units: Rw of not less than 45
- Walls between units separating units or unit from stairway, shafts and the like: Rw of not less than 45
- Walls separating sanitary compartment and the like from a habitable room in the adjoining unit: Rw of not less than 50

Situation on site

Certification provided confirming compliance with Council requirements at time of approval.

Compliance with BCA

Compliance achieved

**5.7– Soil and
waste pipes to be
separated –
Clause F5.6**

BCA requirement

Where soil and waste pipes pass through a sole occupancy unit they need to be separated by construction having a R_w of not less than 45 when passing a habitable room and an R_w of not less than 30 if the room is a kitchen or other room

Situation on site

Certification provided confirming compliance with Council requirements at time of approval

Compliance with BCA

Compliance achieved

BUILDING CODE OF AUSTRALIA ASSESSMENT

Annexure 1 – Copies of certification relied upon

6 0 – Reference material

- 1 Building Code of Australia 2004 and associated standards
- 2 Drawing prepared by H & C Design Pty Ltd

Drawing Number/Revision	Title	Dated
Not detailed	Proposed alterations and additions at No 50 Glen Street Belrose	June 1995

- 3 Site inspection undertaken 15th July 2004
- 4 Report prepared by Holmes Fire and Safety dated 15th July 2004

Annexure 1 – Copies of certificates relied upon



21 April 1995

95-092L1 421

Ms Deborah Evans
50 Glen Street
BELROSE NSW 2085

Dear Deborah

**RE CONVERSION OF GROUND FLOOR OF RESIDENCE INTO
CHILD CARE CENTRE**

We present a preliminary report on meeting Council's requirements. We only address Conditions 19 and the acoustic part of Condition 22 in Consent No 95/122.

Please check that no other Conditions of Consent require our attention.

Condition 19

Soil and waste pipes passing above habitable rooms must be separated from the habitable rooms by a construction providing a noise reduction of $STC\ 45$. A method to achieve this is now described.

The method used involves three elements -

- treating the pipe
- a barrier consisting of two layers of plasterboard
- acoustic absorption in the bulkhead

The pipe is tightly spiral-wrapped twice with strips of 4kg/m^2 loaded vinyl. Nominally strips 150mm wide are used. The pipe is completely wrapped once, with each turn of the spiral overlapping 75mm and all terminations and junctions overlapped and taped with pieces of loaded vinyl. Then the pipe is wrapped a second time in the same way but starting at the opposite end.

The effect of this treatment is to provide damping of the pipe walls and to increase the effective mass of the pipe walls, thereby increasing sound transmission loss by around 15-20 dB.

Two sheets of standard 13mm plasterboard will provide a barrier of around $STC\ 30$. (A sheet of 10mm plasterboard plus 13mm fire-rated plasterboard would be acceptable to achieve $STC\ 45$ overall.)

Provision of minimum 50mm glasswool or polyester insulation in the bulkhead will reduce the build-up of reverberant sound in the bulkhead and is an important part of the overall treatment

The overall effect of the above treatment is to provide an equivalent rating of STC 45-50

Condition 22

The Building Code of Australia requires a floor/ceiling between occupancies to have a rating not less than STC 45. This is a minimum standard for residential housing and generally provides unsatisfactory results. However in this case where a Child Care Centre will be located over residential and the residence is generally unoccupied during the day then STC 45 will be satisfactory.

The existing construction is rated at around STC 33 (20mm T & G flooring over 250mm joists with a 10mm plasterboard ceiling below)

To provide STC 45 will require one of the following -

- 1 Remove the existing ceiling fix CSR Gyprock Resilient Mounts to the underside of the joists, clip Rondo 129 furring channels into the mounts screw fix a ceiling of 13mm (minimum) fire-rated plasterboard to the furring channels. Also provide R2.0 insulation batts in the cavity
- 2 Retain the existing ceiling. Fix 75mm (minimum) timber battens to the ceiling. Suspend a 13mm fire-rated plasterboard ceiling from the battens using CSR Gyprock Resilient Mounts and Rondo 129 furring channels. Provide 75mm (nominal) glasswool or polyester insulation material in the cavity

Notes

The perimeter of the ceiling in each room must stop short of the room walls by at least 5mm and the gap caulked with a 10mm bead of silicone sealant or other approved (elastomeric) non-setting sealant.

We can advise on other floor/ceiling options if required. We can also advise if residential amenity is particularly important in daytime when the Child Care Centre is occupied.

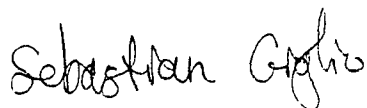
More than one layer of fire-rated plasterboard may be required in the ceiling to satisfy Council and BCA fire requirements. This is outside our area of expertise.

The above predictions assume the walls/ceilings are constructed according to good building practice and the material manufacturer's instructions with all joints sealed and no acoustic weak links. The predictions refer to the ceilings installed as described and no allowance is made for other flanking transmission, than that normally expected through structural walls.

Provided the above recommendations are followed as described or with variations approved by this office then Council's Consent Conditions will be met

We trust this information meets with your current requirements. Should you require any further details please do not hesitate to contact the writer at the number shown

Yours faithfully



Sebastian Giglio
PETER R KNOWLAND & ASSOCIATES PTY LTD

C C Geoff (Builder)
Fax C/o 970 6460



Burgess & Arnott Pty Ltd

All Correspondence
PO Box 69 Forestville 2087

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (P O BOX 69) FORESTVILLE N S W 2087
TELEPHONE 451 4411 451 6772 FAX 975 2274
A C N 001 094 855

8 January 1996
Re 7594-fswd/am

FINAL CERTIFICATE

To **STORMWATER DRAINAGE**

Job No **7594**

Project **PROPOSED CHILD CARE CENTRE ATTACHED TO RESIDENCE AT
50 GLEN STREET BELROSE**

Inspected **22 DECEMBER 1995**

An inspection was made by our firm of the work as executed
It was observed that the stormwater drainage system was
constructed in accordance with the approved plans Therefore,
it is our opinion this system will function in a satisfactory
manner

Yours faithfully
BURGESS & ARNOTT PTY LTD

D A BURGESS F I E Aust
Director

Mrs Evans
50 Evans Street
BELROSE NSW 2085

NETRA HOLDINGS PTY LTD

(Incorporated in N S W)

A C N 002 958 732

Electrical Contracting Lic No 33080
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Mining and Industrial Business Specialists
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Livestock and Cut Flowers Producers

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Head Office & Registered Office
13 Portman Place 263 Alfred Street North
North Sydney 2060
Phone (02) 959 3520 Fax (02) 955 9663

N S W Office
31 Greene Avenue Ryde N S W 2112
Phone (02) 809 3915

Plantation
96 Putty Road Reedy Creek Howes Valley via Bulga
Phone (065) 79 4527

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CLAREVILLE NSW 2107
PH 918 3434 • LIC NO R76 94

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16. - FIRECHECK BOARD

Yours Pric Karmant
for 11 days

A1 QUALITY
PLASTER LININGS
39 CHISHOLM AVENUE
CLAREVILLE NSW 2107
PH 918 3434 • LIC NO R76394

198607

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GRANT

ELECTRIC

50 GRANT'S BRIDGE

HEWE FDI BLACKBURN 05103072

59107C 25.8.96

Building No.	Size of Meter	Meter No.	Installing Date/Time	Office Issued From
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OR

Reference No.	Size of Meter	Meter No.	Installing Date/Time	Office Issued From
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Full Description of Work: At the Meter or Return Meter

NEW SEWER DRAINAGE POINTS CONNECTED

Give Full Description of Work:

Amount Paid	Amount	Receipt No.	Date of Receipt	Receipt No.
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Authorising Officer	Signature	Signature No.	Date
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Date of Completion/Installation	Estimated Value of Contribution	Actual Value of Contribution	Actual Value of Contribution
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I hereby certify that the work has been carried out by me or the approved contractor.

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I hereby certify that the work has been carried out by me or the approved contractor.

I hereby certify that the work has been carried out by me or the approved contractor.

If any defect is found in the work carried out by me within a period of twelve months from the date of completion, and the Local Authorities Inspector for Plumbing and Drainage certifies that the defect is due to a defect in the work or materials, then I undertake to rectify such work at my sole expense, if so directed by the Local Authorities Inspector.

This copy is to be forwarded to the Owner of the property.

Signature of Licensee

Certificate of Compliance

For Fire Door Assemblies

PROJECT

50 Glen Street Belrose

WE CERTIFY THAT THE FIRE DOORSETS SUPPLIED AND LABELLED BY US AND
INSTALLED IN THIS PROJECT COMPLY IN ALL RESPECTS WITH THE FOLLOWING
AUSTRALIAN STANDARDS

AS 1530 PART 4 - FIRE RESISTANCE TESTS OF STRUCTURES

AS 1590 - THERMALLY RELEASED LINK
(applicable/not applicable)

AS 1905 PART 1 - FIRE DOORS

AND THAT THE SAID DOORSETS HAVE BEEN LABELLED AND ARE HEREBY
CERTIFIED AS REQUIRED BY STATUTORY OR OTHER REGULATORY
AUTHORITIES IN ACCORDANCE WITH CLAUSES 10 AND 11 OF AS 1905 PART 1

DOOR TAG NUMBERS ISSUED

STAIR	0655	-/60/30
GARAGE	0656	-/60/30
ENTRY (PAIR)	0657/0658	-/60/30

5th January 1996
DATE OF INSTALLATION



FOR AND ON BEHALF OF
Australasian Fire Doors Pty Ltd
ACN 061 891 521



Australasian Fire Doors Pty. Ltd.

ACN 061 891 521

173 South Creek Road

Dee Why West NSW 2099

PO Box 1578

Dee Why NSW 2099

Tel: 02 9971 2600

Fax: 02 9971 2622



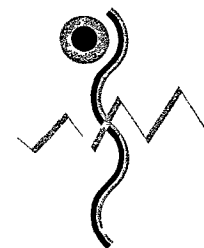
Application Reference _____
*City/Municipality/Shire of _____ WARRAGOON
Date of Certification _____ 30th JANUARY, 1994
Building No or Name _____ NO. 39
Street _____ GLEN STREET
*District/Town/Village _____ ADDERSE _____ Postcode _____ 2005
Owner's Name _____
Owner's Address _____

Nature of essential service	Date of inspection or test	Name & Address of person by whom service was inspected/ tested	Was the service found to have been designed and installed and to be capable of operating to the relevant standard? (YES NO)
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FIRE DOORS	15/01/94	STUART GALLAGHER 173 SOUTH CREEK ROAD DEE WHY WEST NSW	FULLY AVAILABLE TO AS ADD PART 1
------------	----------	--	-------------------------------------

REPORT DATA/PROF _____
I hereby certify that the information contained in this report is true and correct to the best of my knowledge and belief.

Fire Doors Steel Door Frames Solid Core Doors Acoustic Doors Security Doors Lead Lined Doors
Special Purpose Doors Louvre Doors Bullet Resistant Doors



h o l m e s
fire & safety

Fire Safety Engineering Report

ASSESSMENT OF FIRE SPREAD

50 GLEN STREET, BELROSE

For

Deborah Evans

Sydney

Telephone

+61 2 9299 5321

Facsimile

+61 2 9299 5331

Holmes Fire

& Safety Ltd

L2 30 Clarence Street

Sydney NSW 2000

PO Box Q1643

QVB Post Office

Sydney NSW 1230

Australia

ARBN 080 314 549

Offices in

Australia

New Zealand

22 July 2004

Version B

sydney@holmesfire.com



REPORT ISSUE AUTHORISATION

Project 50 Glen Street Belrose

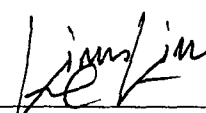
Project No 97916

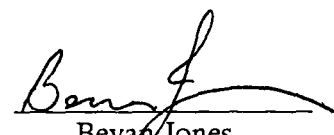
Version	Date	Status	Prepared	Reviewed
A	15 July 2004	Preliminary Issue to Client for Review	LCL	BHJ
B	22 July 2004	Final report	LCL	BHJ

Version	Extent of revision
B	Minor comment to report from PCA

This report caters specifically for the requirements for this project and this client. No warranty is intended or implied for use by any third party and no responsibility is undertaken to any third party for any material contained herein.

Fire safety solutions described in this report may be alternative solutions to those given by the BCA Deemed to Satisfy provisions. Consideration of protection of the building owner's property may not be included unless this has been specifically requested.

Written by 
Linus Lim
Fire Safety Engineer
PhD (Fire) ME (Civil) BE (Civil) Hons Grad IEAust

Reviewed by 
Bevan Jones
Fire Safety Engineer
ME (Fire) BE (Civil) Hons Grad IEAust Grad IPENZ



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1 INTRODUCTION

1.1 Report Purpose

The purpose of this fire engineering design report is to provide details of and assessment of the proposed fire protection strategy for the existing Class 2 and 9a building at 50 Glen Street Belrose NSW to demonstrate compliance with the Performance Requirements of the BCA for the existing windows at the southern elevation located perpendicular at 2800mm from the western boundary

1.2 Scope of Works

The alternative solution that is the subject of this report requires the implementation of the following scope of works in order to satisfy the Performance Requirements of the BCA

- (a) The fire engineering alternative solution in this report demonstrates that the two windows at the southern elevation of the building located 2800mm perpendicular to the western boundary with standard float glass are not required to be protected

Lot 2 }

- (b) A covenant is to be placed on the building title to notify the building owner that their building is the subject of an alternative fire engineered design with respect to the subject openings being located 2800mm from the boundary

NOTE It must be noted that should the openings of the subject building be increased in size or be located closer to the western boundary or if the requirements of this fire report are modified in anyway outside the recommendations of this report then the results contained within this report are no longer valid and a re analysis of the situation will be required by a suitably qualified fire safety engineer



2 BUILDING DETAILS

2.1 Description of Building

The subject building is an existing two storey building located at 50 Glen Street Belrose NSW. The ground floor of the subject building is a Class 9a occupancy used as a child care area. The upper floor is currently used as a single residential occupancy. However, it is proposed to strata title the building such that the upper level will be occupied by multiple residential tenancies and as such is considered a Class 2 occupancy. The building has a floor plate of approximately 140m² on each level.

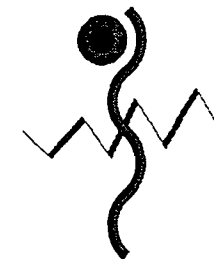
The building has existing windows on the Ground Level and Upper Level of the southern elevation which are located at 90 degrees and 2.8m from the adjacent western boundary. Each of these windows measures approximately 1.5m high by 2.6m wide. These windows, located less than 3m from the western property boundary, are considered as unprotected openings as the glazing is openable standard float glass. This forms a non-compliance with the BCA DTS provisions which is the purpose of this report.

2.2 Building Code of Australia Description Summary

The general description of and subsequent requirements for the building under the current Deemed to Satisfy provisions of the BCA are as indicated in Table 2.1.

Table 2.1 BCA General Description and Requirements

BCA CLAUSE	DESCRIPTION OR REQUIREMENT
A1.1 Effective Height	Less than 25 metres
A3.2 Classification	Ground Level – Class 9a Level 1 – Class 2
C1.2 Rise in Storeys	2 – with 2 storeys contained
C1.1 Type of Construction required	Type B construction
C2.2 Floor Area and Volume Limitations	Class 2 – Not Applicable Class 9a Max floor area 5 000 m ² Max volume 30 000 m ³ These size limitations for the Class 9a occupancy are not exceeded



3 BCA REQUIREMENTS

Table 3 1 outlines the issue of non compliance with the BCA provisions that is the subject of this report

Table 3 1 Non compliance with Deemed to Satisfy provisions

Relevant BCA Clause	DTS Non Compliance	Alternative Solution	Relevant BCA Performance Requirement	Assessment Method
C3 3 b) i)	Unprotected wall areas within 3m of a boundary fire source feature	Assessment of radiant heat spread to neighbouring property from non compliant southern windows Comparison with the Performance of the DTS provisions using a quantitative risk analysis for spread from neighbouring property	CP2	Quantitative assessment in accordance with BCA A0 5 (b)(i) & A0 9 (b)(i) Verification Method for fire spread from the subject building and BCA A0 5(b)(ii) & A0 9(c) comparison with the Deemed to Satisfy for fire spread to the subject building Evaluation Extent 2 as defined in the Fire Engineering Guidelines ^[4]



4 ALTERNATIVE SOLUTION ASSESSMENT

4.1 BCA Requirements

The main issue of non compliance for this project is spread of fire. The relevant part of Performance Requirement CP 2 as relates to this alternative solution is CP2(a)(iii) which is reproduced below

CP2

(a) A building must have elements which will to the degree necessary avoid the spread of fire —

(iii) between buildings

The above requires that both the scenario for spread of fire TO the neighbouring property given a fire in the subject building and ALSO spread of fire FROM a fire source feature on the neighbouring property to the subject building need to be addressed

Given this the events for spread of fire to neighbouring property and spread of fire from neighbouring property are two mutually exclusive events

Whilst we have control over the areas of unprotected openings and therefore the fire source feature that could emit radiant heat to a neighbouring property we have no control as to the fire source feature that could possibly occur on the adjoining property

As they are mutually exclusive events the methodology and acceptance criteria for spread of fire To and spread of fire From adjoining property will be discussed separately in Sections 4.2 and 4.3 respectively

4.2 Spread of Fire To Neighbouring Property

4.2.1 ASSESSMENT METHOD

As we have control over the unprotected openings within the subject building and therefore control of the fire source feature that could radiate to the neighbouring property the Verification Method CV1 can be used and the emitted radiant heat to the adjacent property boundary can be quantified through fire engineering calculations

One method of showing compliance with Performance Requirement CP2 is to demonstrate that the subject building satisfies the criteria of verification method CV1 of the BCA which states the following

Compliance with CP2(a)(iii) to avoid the spread of fire between buildings on adjoining allotments is verified when it is calculated that



- (a) a building will not cause heat flux in excess of those set out in Column 2 of Table CV1 at locations within the boundaries of an adjoining property set out in column 1 of Table CV1 where another building may be constructed and
- (b) when located at the distances from the allotment boundary set out in column 1 of Table CV1 a building is capable of withstanding the heat flux set out in column 2 of Table CV1 without ignition

Table 4 1 Table CV1 Reproduced from the BCA DTS Provisions

Location (Column 1)	Heat Flux kW/m ² (Column 2)
On Boundary	80
1m from Boundary	40
3m from Boundary	20
6m from Boundary	10

Therefore if as a result of the actual unprotected openings within the subject buildings the analysis demonstrates that the incident radiant heat imposed to the above locations does not exceed the maximum permitted at that respective distance then the design will satisfy CV1 in accordance with Clause A0 5(b)(1) and A0 9(b)(1) of the BCA thereby satisfying Performance Requirement CP2

4 2 2 HORIZONTAL AND VERTICAL FLAME PROJECTION

To estimate the vertical flame height z and the horizontal flame projection P the method as proposed in the Fire Engineering Design Guide^[2] is used

$$z = 12.8(m/w)^{2/3} h$$

$$P = 0.314h^{1.53}w^{0.53}$$

Where

- z is the flame height projection above soffit opening
- P is the projection length outside the window
- m is the peak rate of burning in the room
- h is the window height and
- w is the window width

In this case the flame height projection above each window z is estimated to be 2.4m and the horizontal projection is calculated as 0.35m outside the window. As the upper and lower floors are not fire separated the entire building is considered a single fire compartment and therefore the worst case scenario would be to consider a fully developed fire occurring on both levels with flames projecting from both the



upper and lower windows of the building. These calculations are given in Appendix A.

As z exceeds the 1.35m vertical separation distance between the openings, it is assumed that the vertical flame projection from the ground floor opening would overlap the height of the vertical separation. Therefore, the full flame height for this radiation assessment, assuming flame projection from the two non-compliant southern windows on the upper and ground floor, is 6.75m (i.e. 1.5m + 1.35m + 1.5m + 2.4m). This is considered conservative as it is not expected that both levels will be experiencing the same phase of fire development simultaneously. I.e. unlikely that both levels will be flashover simultaneously with external flaming.

4.2.3 COMPARISON WITH TABLE CV1 – VERIFICATION METHOD

Radiant heat calculations are carried out in this section for an assumed fire occurring on both levels of the building in order to compare the radiation levels at the distances from the boundary with the maximum levels permitted by Table CV1. Radiant heat calculations are carried out for the two windows located at the southern wall, located at 2800mm perpendicular to the western boundary.

The program FireCalc developed by CSIRO has been used to perform these calculations. In the calculations, each of the openings on the upper floor and ground floor measure 2.6m wide by 1.5m high. The flame temperature is estimated to be 800°C (which is substantially greater than the 600°C recommended by the Fire Engineering Design Guide^[2] for external flaming). As the emissivity is conservatively assumed to be 1, we believe this to be reasonable.

When the radiation calculations are determined, external flaming is considered; this is also conservative as the radiation area is often assumed to be the same as the window opening area. As external flaming is considered, the temperature of the emitting area should reflect that of an external flame rather than the temperature inside the fire room. The scenarios to be considered include fire issuing from the windows and a fire within both levels. A scenario will also be assessed for internal flaming where the windows are considered to remain intact.

For a 90 degree radiator to the boundary, the radiation on the boundary at various points along the boundary are calculated as shown in Figure 4.1. The calculated heat fluxes at various locations along the boundary are shown in Table 4.2. Full details of the calculations for different distances (1m, 3m and 6m) from the boundary are shown in Appendix B. The FireCalc calculations are available from Holmes Fire & Safety, if required. The worst case radiation values at those distances are summarised in Table 4.3.

Radiation due to the sides of the flame projecting out of the openings (350mm) has also been assessed but does not present the worst case condition. These results are also presented in Appendix B.

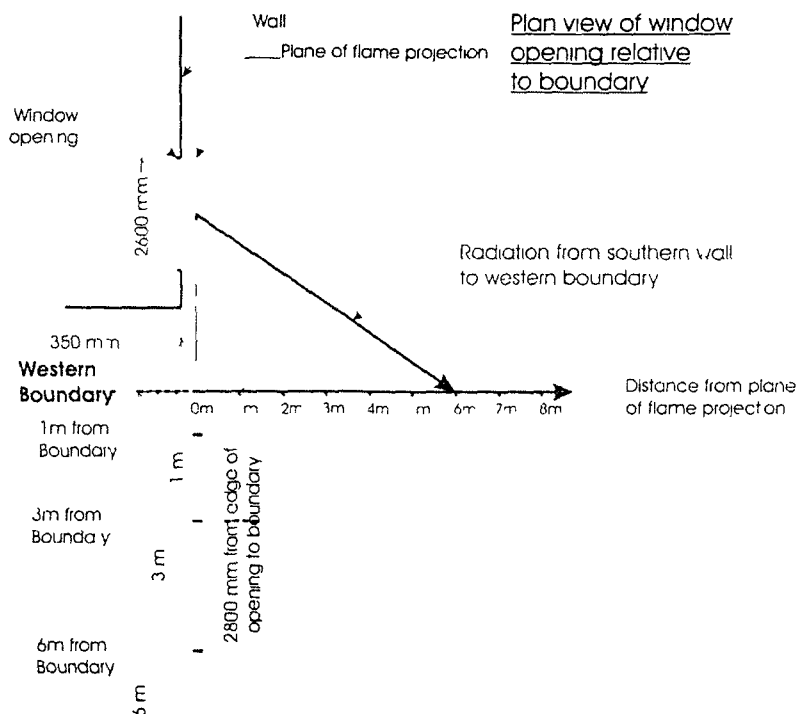


Figure 4.1 Locations Along Western Property Boundary where Radiation Heat Flux Calculations are Carried Out for a 90° Radiator from the Southern Windows

Table 4.2 Calculated Heat Flux Levels along Property Boundary due to 90° Radiator from Southern Windows with External Flaming

Distance along boundary from flame projection (m)	Heat Flux on Boundary (kW/m ²)
0 (0.1)	0.5
1	4.6
2	7.3
3	8.0
4	7.5
5	6.7
6	5.8
7	5.0
8	4.2



Table 4 3 Summary of Calculated Maximum Heat Fluxes at Different Distances from the Property Boundary with External Flaming @ 800 C

Location	Maximum Calculated Heat Flux (kW/m ²)	Maximum Permissible Heat Flux (kW/m ²)	Calculated < Maximum Permissible
On Boundary	8 0	80	YES
1m from Boundary	5 4	40	YES
3m from Boundary	3 0	20	YES
6m from Boundary	1 5	10	YES

Radiation calculations are also carried out for an internal flaming scenario where the temperature of the flame is assumed to be 1000°C and that the windows do not break. For this analysis the size of the radiators is assumed to be that of the windows since it is assumed that the windows do not break and there is not external flame projection. The heat fluxes from the two windows are evaluated at the worst case locations previously determined for the external flaming conditions (See Appendix B). The results for these analyses using FireCalc are presented in Table 4 4. The results of the analyses show that the maximum calculated heat fluxes for an internal flaming situation are well below the maximum limits permitted by CVI.

Table 4 4 Summary of Calculated Maximum Heat Fluxes at Different Distances from the Property Boundary with Internal Flaming @1000 C

Location	Maximum Calculated Heat Flux (kW/m ²)	Maximum Permissible Heat Flux (kW/m ²)	Calculated < Maximum Permissible
On Boundary	7 6	80	YES
1m from Boundary	5 1	40	YES
3m from Boundary	2 7	20	YES
6m from Boundary	1 3	10	YES



4.2.4 SUMMARY – SPREAD OF FIRE TO NEIGHBOURING PROPERTY

The analysis undertaken in Appendix B and summarised in Table 4.3 demonstrates that the radiant heat levels received at various locations on and from the boundary from the subject windows acting as a 90° radiator are less than the maximum permitted values outlined in the Verification Method CV1 of the BCA thereby satisfying Performance Requirement CP2. Therefore it is considered that spread of fire to the neighbouring property from these two non compliant windows is unlikely.

4.3 Fire Spread to the Subject Building From Neighbouring Property

4.3.1 INTRODUCTION

Verification Method CV1 applies a generic approach to fire spread to and from the boundary. It does not specifically address the variation in received radiant heat fluxes due to different orientations of openings and fire source features. Therefore it is considered a more appropriate design approach for the subject situation to take a first principle approach to calculate the received radiant heat from a variable source and compare that with a DTS compliant situation.

To consider fire spread from the neighbouring property to the non compliant unprotected openings the alternative solution approach is to compare a building design which is fully compliant to the prescriptive provisions of the BCA with the existing situation of the subject building. The prescriptive situation used for comparison purposes is a similar Class 2 & 9a building set back 3000mm from the relevant boundary and 6000mm from a neighbouring building located on the opposite side of the boundary. The buildings are of combustible construction as permitted by the BCA (refer to Figure 4.2). The DTS case permits combustible construction to within 3000mm of the relevant boundary therefore two combustible structures with operable window openings may be located a minimum distance of 6000mm from each other.

The alternative solution will consider the existing case for the subject building where the separation between the unprotected opening located at 90° to the western boundary and to a neighbouring building are 2800mm and 5800mm respectively (refer to Figure 4.3). The subject building is located 2800mm from the relevant allotment boundary with a fire rated wall construction as required by the BCA DTS provisions. The adjacent neighbouring building is set back at least 3000mm from the boundary and is assumed to be compliant with the BCA DTS.



Figure 4 2 Plan view showing a DTS comparison case with 3000mm Set Back to Both Buildings

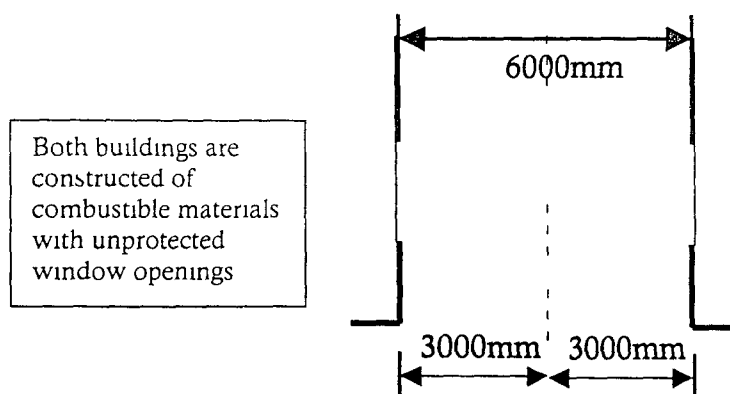
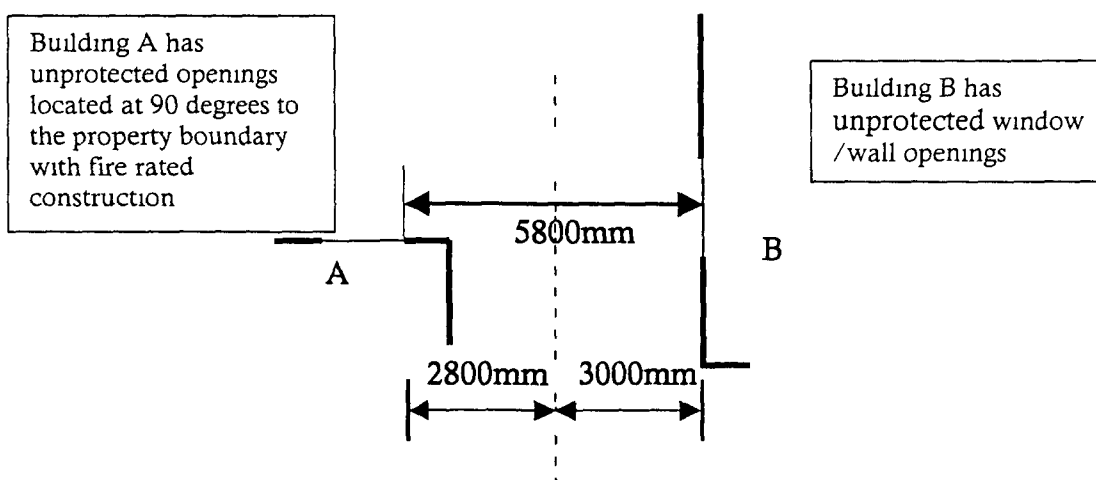


Figure 4 3 Plan view showing existing situation where non compliant openings of subject building (Building A) are located 2800mm from boundary and Building B set back 3000mm from property boundary



The assessment undertaken is a comparison of the above cases with regards to the spread of fire via radiation from a fire located at the boundary and from adjacent building openings to the window areas of the subject building

4 3 2 RESULTS OF COMPARISON WITH DEEMED TO SATISFY

The analysis detailed in Appendix C compares the radiant heat flux transmitted through the windows for both a DTS compliant situation and the subject building



as the alternative solution. The radiant heat flux calculation is performed 10 000 times in each simulation, with 10 simulations in total. In each calculation a different value is chosen from the distribution assigned to the input variables. Therefore, the full range of possible outcomes is assessed. The result from the analysis is the likelihood that the allowable heat flux through the windows is exceeded.

Results from Appendix C reveal that the probability that fire spread will occur for the DTS compliant case is greater than that for the alternative solution. Therefore, it is more likely that fire spread will occur from the unprotected openings of a building located 3000mm from the boundary or from a fire located at the boundary to the unprotected window openings of a DTS compliant building also located 3000mm from the boundary, than the subject building with unprotected windows located at 2800mm perpendicular to the western property boundary.

As such, it is considered less likely that fire will spread to the existing building compared to a DTS compliant situation. Therefore, it is considered that the alternative solution for the existing building provides a level of safety that is at least equivalent to the DTS provisions of the BCA.

4.3.3 SUMMARY – SPREAD OF FIRE FROM NEIGHBOURING PROPERTY

Given the above discussion and the analysis detailed herein, it is considered that the two windows located at the southern elevation, at 2.8m perpendicular to the western property boundary, is at least equivalent to the prescriptive provisions of the BCA, thereby satisfying Performance Requirement CP2.

4.4 Conclusions of Alternative Solution Assessment

The alternative solution assessment presented here shows that it is considered that spread of fire to the neighbouring property from these two non-compliant windows is unlikely and Performance Requirement CP2 has been satisfied by satisfying Verification Method CV1 of the BCA.

With regard to spread of fire from the adjacent property, it is considered that the two southern windows located at 2.8m perpendicular to the western property boundary is at least equivalent to the prescriptive provisions of the BCA.



5 REPORT BASIS INFORMATION

The report is based on the following

- (i) Communications with Deborah Evans and
- (ii) Architectural drawings by H&C Design Pty Ltd as follows

Table 5.1 Referenced Architectural Drawing

DWG No	TITLE	DATE	ISSUE
	Proposed alterations & Additions at No 50 Glen St Frenches Forest	June 1995	

6 ASSUMPTIONS AND LIMITATIONS

The following assumptions have been made for the purpose of the fire engineering assessment

- Where not addressed within this report it is assumed that all other respects of the building comply with the DTS provisions of the BCA or compliance has been waived by the Authority having Jurisdiction or has been subjected to previous alternative design
- The assessment proposed herein is specific to the window locations and geometries for the window areas of the southern elevation (where 2800mm of the western boundary) of the building. Should these change or the distances from the boundary differ from that as detailed in the above mentioned architectural drawings then the design proposed herein may not be valid and reassessment by a qualified fire engineer may be required

7 CONCLUSION

This report has assessed the provision of fire safety of the existing building located at 50 Glen Street Belrose in relation to the non compliant separation distances for the unprotected openings

The objective for the design Performance Requirement CP2 of the Building Code of Australia has been satisfied

In order that the building design can satisfy the assumptions made in this analysis the items listed in the Scope of Works Section 1.2 are to be implemented



8 REFERENCES

- 1 PALISADE @Risk
- 2 Buchanan A H Fire Engineering Design Code Second Edition Centre for Advanced Engineering University of Canterbury 2001
- 3 SFPE Handbook of Fire Protection Engineering 2^d Edition Society of Fire Protection Engineers National Fire Protection Association 1995
- 4 ABCB Fire Safety Engineering Guidelines 2001 Edition
- 5 Australian Standards AS1530.1 Methods for Fire Tests on Building Materials Components and Structures Part 1 Combustibility Test for Materials 1994
- 6 Babrauskas V Abstract for Interflam 2001 Ignition of Wood – A Review of the State of Art 2000
- 7 Babrauskas V Fire Science and Technology Inc Glass Breakage in Fires abstracted from www.doctorfire.com

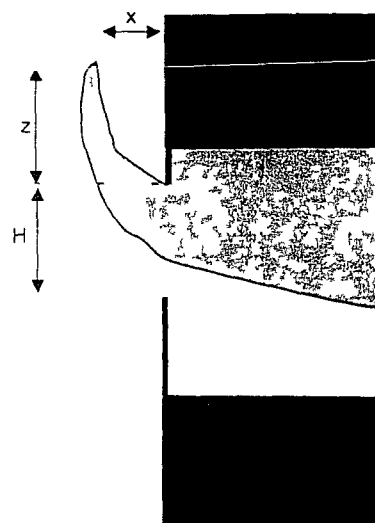


APPENDIX A –FLAME PROJECTION CALCULATIONS

Flame Projection from Window Opening

Room Depth	D	4	m
Room Width	W	6.7	m
Room Height	H	3.0	m
Fire Load Energy Density	FLED	400	MJ/m
Calorific Value of Fuel	ΔH_c	16.0	MJ/kg
Window Width	W	2.60	m
Window Height	H	1.50	m

Method of Buchanan			
Total Flame Height (window height + projection)	z _H	3.90	m
Projection above soffit of opening	z	2.40	m
Horizontal reach out from opening face	x	0.35	m





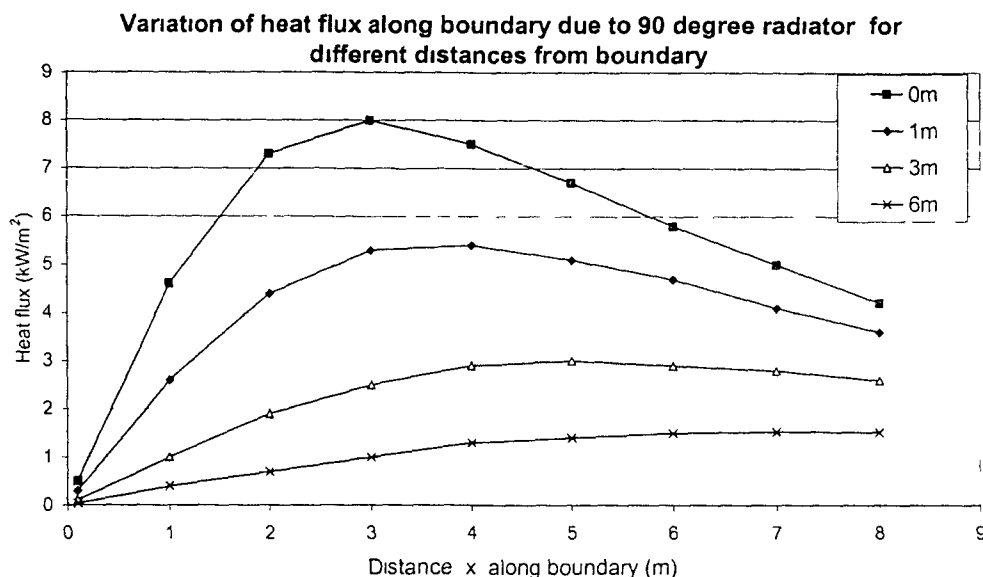
APPENDIX B –RADIATION HEAT FLUX CALCULATIONS

RADIATION CALCULATIONS FROM PLANE OF 90 DEGREE RADIATOR
(WINDOWS ON SOUTHERN ELEVATION) TO THE WESTERN PROPERTY
BOUNDARY

opening width	2.6m
opening height	6.75m (Assuming flaming from both compartments)
flame temp	800 celcius
opening factor	100%
Minimum distance of opening to bdy	2.8 m
off set to bdy from centroid of opening(Yx)	4.1 m

Heat flux values at distances along the length from 90 degree projector to
adjacent boundary Values in kW/m²

Distance from boundary	0m	1m	3m	6m
Offset from boundary	4.1	5.1	7.1	10.1
X distance from flame projection	0.1	0.5	0.3	0.1
	1	4.6	2.6	1.0
	2	7.3	4.4	1.9
	3	8.0	5.3	2.5
	4	7.5	5.4	2.9
	5	6.7	5.1	3.0
	6	5.8	4.7	2.9
	7	5.0	4.1	2.8
	8	4.2	3.6	2.6
Maximum heat flux	8.0	5.4	3.0	1.5
Summary	< 80kW/m ² ? Yes	< 40kW/m ² ? Yes	< 20kW/m ² ? Yes	< 10kW/m ² ? Yes



RADIATION FROM SIDES (350MM) OF FLAME PROJECTION TO THE WESTERN PROPERTY BOUNDARY

Radiation due to sides of flame projecting from window

opening width	0.35m	(Flame horizontal projection)
opening height	6.75m	
flame temp	800	
opening factor	100%	
Minimum distance of opening to bdy	2.8	

Heat flux values from a parallel heat source at different distances from boundary

Distance from boundary	Heat flux	Summary
0m	4.1	< 80kW/m² ? Yes
1m	2.7	< 40kW/m² ? Yes
3m	1.39	< 20kW/m² ? Yes
6m	0.67	< 10kW/m² ? Yes



APPENDIX C –RADIATION FROM NEIGHBOURING PROPERTY

PURPOSE

The purpose of the analysis described in this section is to demonstrate that although the unprotected openings in the building are as close as 2800 mm from the property boundary the radiant heat threat from the openings is less than that from an opening that satisfies the BCA DTS provisions. As such the existing residential building provides an equivalent level of safety as to that which a development complying with the BCA DTS provisions would provide. Hence this report is submitted as an alternative solution where the assessment method is a comparison with the deemed to satisfy provisions.

BACKGROUND

Under the DTS provisions a Class 2 and 9a building that is built further than 3000mm back from the property boundary will not require any fire rating to the external wall, no fire protection to openings in the external walls and permits the use of combustible eave construction if not less than 3000mm from the boundary. Further, there is no limitation on the size of an unprotected opening in an external wall if it is located further than 3000mm from the boundary. As such the entire wall of a property could be glazed or even open if it was located further than 3000mm from the property boundary.

Compliance with the BCA DTS provisions is deemed to provide an acceptable level of fire safety. Since it is not possible to know the properties of any future adjacent building, calculations have to be made for various window sizes. The temperatures in the fire compartment and any flames outside and within the building cannot be anticipated; this requires the calculation to be made for various temperatures as well. The calculations are executed by using the software @Risk⁽¹⁾. The considered scenarios are fire in adjoining building located 3000mm back from the boundary and a fire at the boundary. In accordance with the DTS provisions the opening would not require any protection of the window and the window would be permitted to be open (i.e. without glazing). The level of radiant heat threat from this opening to the adjacent property is deemed acceptable under the BCA as the design case satisfies the DTS provisions. The analysis is dependent on the separation distance between the buildings. Should the distance between the buildings be reduced to less than what has been used in this analysis, then the results of this report are void and re-analysis is required.

FIRE SCENARIOS

Two fire scenarios are considered with each scenario evaluating the performance of a building exposed to a fire located at the boundary and a fire in a building located 3000mm on the other side of the boundary. The first scenario will evaluate the DTS compliant building located 3000mm from the boundary and 6000mm from the adjacent building on the other side of the boundary. In this scenario the openings are located parallel to each other and also to the boundary.



The second scenario looks at the existing building where the unprotected openings are located at 90 degrees 2800mm from the boundary and 5800mm from the adjacent building located on the opposite side of the boundary

ASSESSMENT CRITERIA

The radiant heat threat from the boundary and neighbouring building to the window areas of the subject building will be acceptable if it can be demonstrated that the alternative solution is at least equal to the Deemed To Satisfy solution

RADIANT HEAT FLUX CALCULATIONS

Calculation Overview

A spreadsheet is set up to enable a comparison of DTS and Alternative Solution. The radiative heat flux is assessed at two locations: the boundary of the property 2800 mm and at a distance 5800 mm away to represent an external wall on a neighbouring BCA compliant building. At each location the radiant heat flux is assessed for the range of temperatures expected in a compartment fire: 400 C (early stage of fire) and 1000 C (after flashover).

Calculation Theory

The method used to determine the radiation is published in the SFPE Handbook^[3]. This method calculates the emitted heat flux from radiation sources at different positions in different planes by utilising the following equations:

$$dQ = \varepsilon \sigma T^4 \frac{\cos \alpha \cos \beta}{\pi r^2} dF_1 dF_2$$

$$Q = \varepsilon \sigma T^4 \int \frac{\cos \alpha \cos \beta}{\pi r^2} dF_1$$

Where

T is the emitter temperature (K)

Q is the heat flux incident at a point (kW/m²)

r is the distance to the radiant source (m)

α β are the angles between the source and the point (degrees)

dF₁ dF₂ are infinitesimal areas of the radiant and receptor sources (m²)

ε is the emissivity which is dependent on the thickness of the flame and the absorption coefficient

The flame height and the flame projection throughout the window is utilized by using the methods described in [2] and has been presented in Appendix A



The spreadsheet

The radiant heat flux used to anticipate if ignition of combustibles occurs in both in DTS and Alternative Solution is calculated by using the method described in SFPE Handbook^[3]. If the permitted received heat flux is exceeded for each scenario then the solution is considered to fail.

For the DTS Solution the received radiant heat flux $Q_{R,DTS}$ is calculated and compared to the radiant heat flux where ignition of combustibles within the building is assumed to occur at $(10-13 \text{ kW/m}^2)^{[2] [3] [4] [5]}$. It must be noted that the same failure criteria (incident heat flux of 10 kW/m^2 within the compartment) has been considered for both the DTS and alternative solutions. A heat flux of approximately 10 kW/m^2 is generally accepted for piloted ignition of light combustibles such as curtains.

For the simulations a safety number SN is defined by giving failure the value 1 and success the value 0. Since the window size of any future adjacent building the temperatures in the fire compartment and any flames outside and within the building cannot be anticipated SN must be executed by varying these parameters. To ensure that the level of safety is examined for every reasonable combination of window height, window width, fire height, fire radius and the temperature 10 simulations each formed by 10 000 iterations of the spreadsheet is carried out. The calculations are executed by running Latin Hypercube simulation in the software @Risk^[1]. Mean values of SN_{DTS} and SN_{AS} are determined and the comparison between the DTS and Alternative Solution is possible. If the mean values of $SN_{AS} \leq SN_{DTS}$ the Alternative Solution is considered to be at least equivalent to the DTS situation.

To take account of the possible variations within each input variable a distribution is assigned. For this comparative analysis the accuracy in which each input variable is defined by a distribution has minimal influence on the results as both the DTS and Alternative Solution use the same distributions.

Non Variable Input Values

Scenario	Incident Heat Flux (kW/m^2)	Separation Distance to Boundary (mm)	Separation Distance to Neighbouring Building (mm)
DTS	10*	3000	6000
Alternative Solution	10*	2800	5800

* Heat flux at which piloted ignition will occur for light combustible items



RESULTS

The calculation theory shown in this assessment demonstrates that the radiant heat flux incident on a surface is inversely proportional to the distance between the radiant heat source and the point being considered. This is related to the calculation of the view factor^[3]. As such, the 200 mm difference between a 90° opening located at 2800mm to the boundary as opposed to a opening located parallel to the boundary at 3000mm makes a small difference to the radiation heat flux levels that are experienced. In those cases in the Alternative Solution where the incipient radiation on the combustible items exceed the radiation limit for ignition of combustibles (10kW/m^2 in this analysis) the corresponding radiant heat flux in DTS solution will cause ignition of combustibles. This cannot be applied inversely i.e. all DTS solution that will fail does not correspond to a failure of the Alternative Solution. This is clearly illustrated by the comparison of the Safety Numbers SN_{AS} and SN_{DTS} which have the average values 0.29 and 0.84 respectively which implies that it is more likely that the DTS solution will fail than the corresponding Alternative Solution.

As such, HFS believes that the subject building with the openings located at 2800mm perpendicular to the western property boundary has a level of safety that is equivalent to the DTS provisions with regard to fire spread from a neighbouring property.

The following diagram is a printout of the analysis spreadsheet



Building class (1 10)		2	RESULTS Alternative Solution safer or equal to DTS Yes	
Offset from Boundary (m) (to window)		2 8		
Glass Breakage Radiant Flux (kW/m)		9		
Ignition Heat Flux (kW/m)		10		
Reduction Factor		1	Heat Flux Exposure	
Fire in compartment	Window Height (m)	2 87		
	Window Width (m)	8 4	Fire in Compartment	
Fire at Boundary	Fire Width (m)	3 2	$Q_{R DTS}$	$Q_{R OW} (e d g red ct facto)$
	Fire Height (m)	3 166666667	25 32	8 59
	Flame Temperature K (Boundary)	906 3333333	Heat Flux Exposure	
	Flame Temperature K (Compartment)	1056 33	Fire at Boundary	
DTS Separation Distance to Boundary (m)		3	$Q_{R DTS}$	$Q_{R OW} (e d g red ct facto)$
Assumed emissivity		1	10 01	3 41
Output from @RISK analysis				
Simulation	DTS	AS	Result	
1	0 8416	0 2911	OK	
2	0 8431	0 2909	OK	
3	0 8371	0 2998	OK	
4	0 8399	0 2883	OK	
5	0 8398	0 2892	OK	
6	0 8398	0 2972	OK	
7	0 838	0 2969	OK	
8	0 8392	0 2929	OK	
9	0 8334	0 2939	OK	
10	0 8465	0 2902	OK	
Average	0 83984	0 29304	OK	

This spreadsheet estimates the level of fire safety using toughened glass or radiant heat attenuation screens as an alternative solution when offset to boundary is less than DTS minimum permitted. Note that it is only valid if flame projection from neighbouring building does not impinge on glass. Both fire in adjacent building and fire at boundary is evaluated. The internal proportion of these fires is not considered. The glazing in the DTS solution is assumed to break and/or be open before combustion will occur. DTS solution will therefore fail when received radiant heat reaches limit for combustion with pilot flame.

Instructions

Type inputs (grey cells)
Assign distributions to white cells and ignition heat fluxes
Run simulation in @Risk for 10 simulations at 10000 iterations each
Paste mean values probability of ignition in Output entry cells (very bottom on the left)

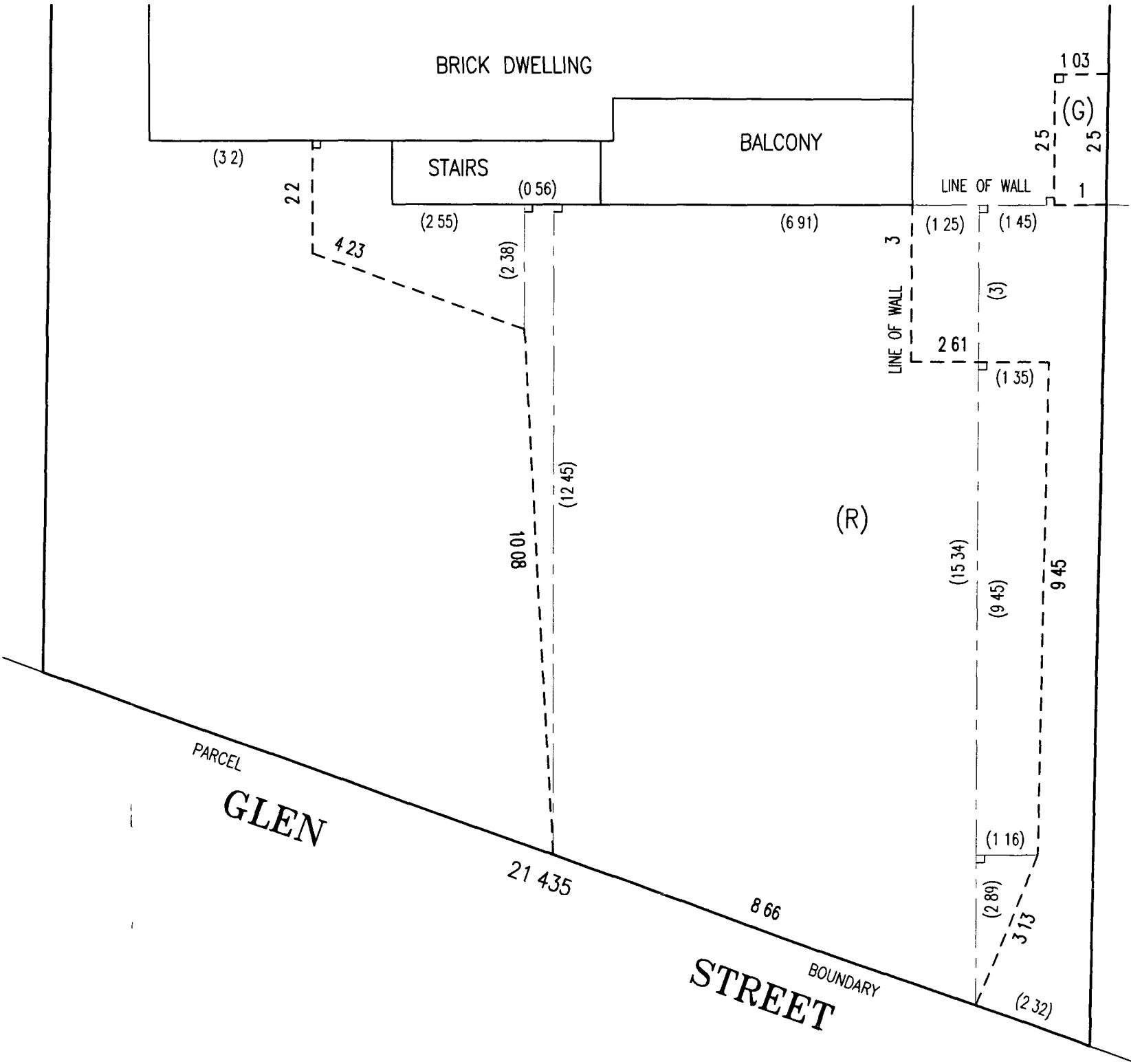
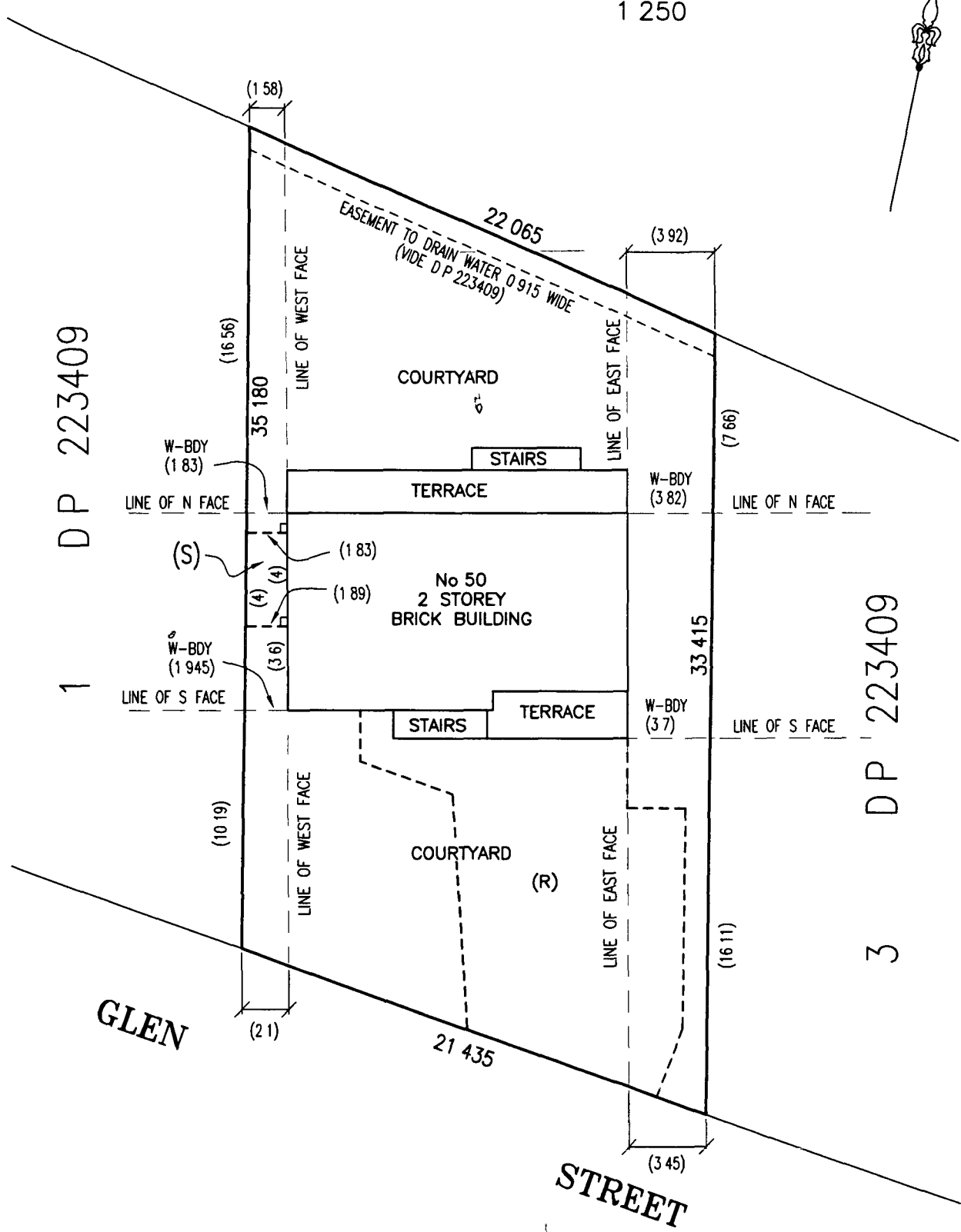
The calculation method is detailed on page 77 77 of the Fire Engineering Design Guide second Edition and Chapter 2 4 the SFPE Handbook

LOCATION PLAN

1 250

DIAGRAM

1 100



(R) - DENOTES EASEMENT FOR ACCESS & LETTER BOX
(G) - DENOTES EASEMENT FOR GARBAGE AREA
(SEE DIAGRAM FOR DIMENSIONS)
(S) - DENOTES EASEMENT FOR SERVICES

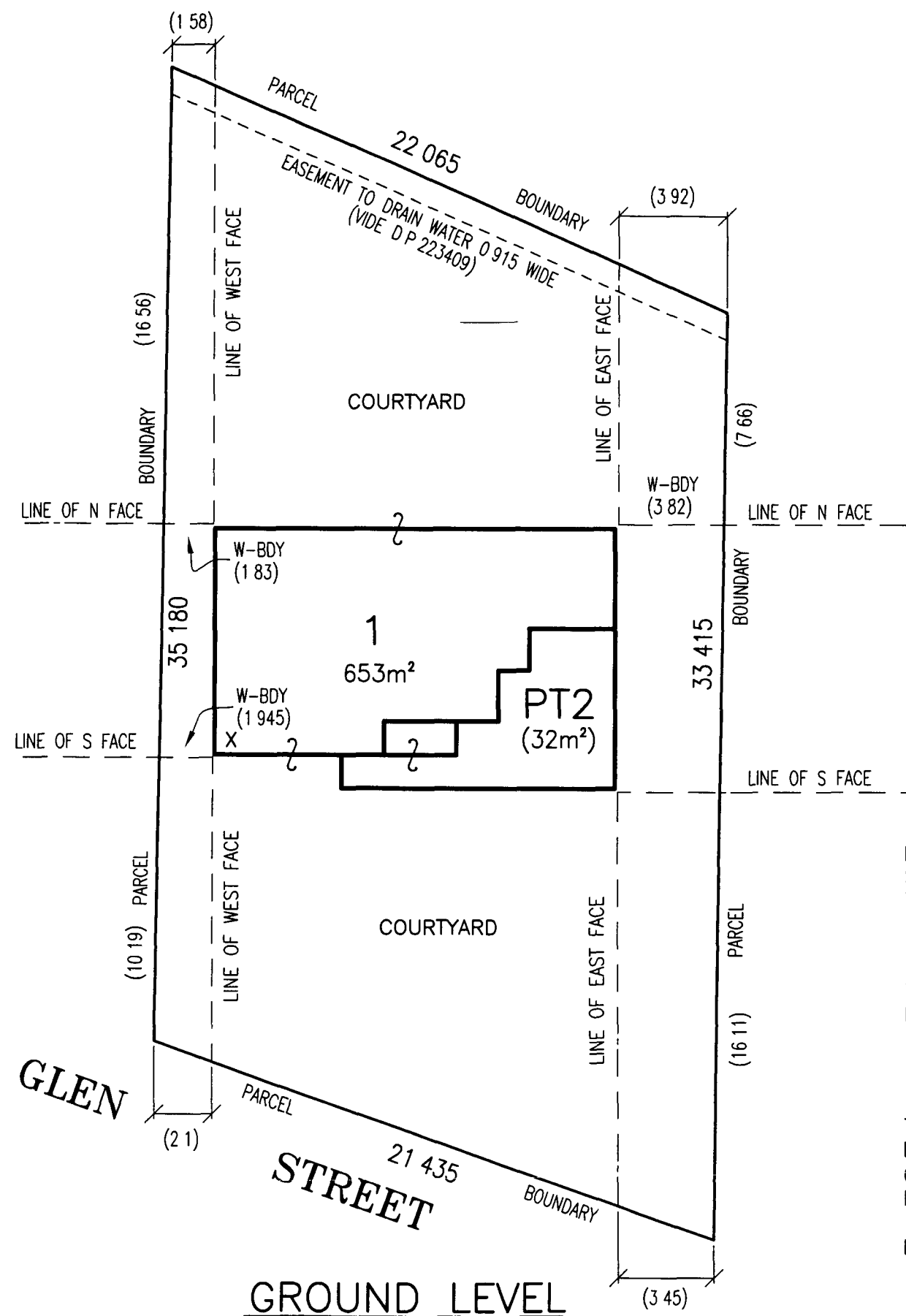
⊥ DENOTES 90 ANGLE

Reduction Ratio 4 AS NOTED

Lengths are in metres

M S Teh
Registered Surveyor

[Signature]
Authorized Person/General Manager/Accredited Certifier

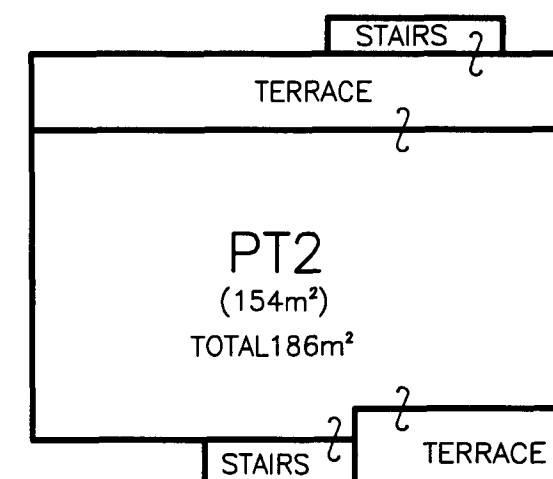


IT IS INTENDED THAT THE DRAINAGE SYSTEM INCLUDING ANY DETENTION TANK IS COMMON PROPERTY

THE STRATUM OF THE STAIRS & TERRACES WHERE NOT COVERED IS LIMITED TO 2.5 METRES ABOVE THE UPPER SURFACE OF THE ADJOINING TERRACE FLOOR

THE STRATUM OF THE COURTYARD IS LIMITED IN DEPTH TO 3 METRES BELOW GROUND FLOOR AT POINT X & 3 METRES ABOVE GROUND FLOOR AT POINT X EXCEPT WHERE COVERED AREAS ARE LESS THAN THE 3 METRE HEIGHT LIMIT

SEE SHEET 2 FOR EASEMENTS AFFECTING LOT 1 COURTYARD



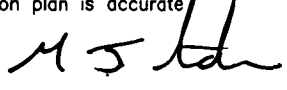
LEVEL 1

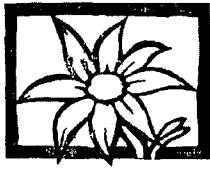
Reduction Ratio 1/200 (A3)

Lengths are in metres

Registered Surveyor

Authorised Person/General Manager/Accredited Certif

Strata Certificate ANTHONY ALLEN being satisfied that the requirements of the Strata Schemes (Freehold Development) Act 1973 or Strata Schemes (Leasehold Development) Act 1986 have been complied with in accordance with the proposed strata plan/strata plan of subdivision illustrated in the annexure to this certificate the accredited certifier is satisfied that the plan is consistent with a relevant development consent in force and that all conditions of the development consent that by its terms are required to be complied with before a strata certificate may be issued have been complied with The strata plan/strata plan of subdivision is part of a development scheme. The council/accredited certifier is satisfied that the plan is consistent with any applicable conditions of any development consent and that the plan gives effect to the stage of the strata development contract to which it relates *The council does not object to the encroachment of the building beyond the alignment of The accredited certifier is satisfied that the building complies with a relevant development consent in force that allows the encroachment *This approval is given on the condition that the use of lot(s) (being utility lot/s designed to be used primarily for the storage or accommodation of boats motor vehicles or goods and not for human occupation as a residence office shop or the like) is restricted to the proprietor or occupier of a lot or proposed lot (not being such a utility lot) the subject of the strata scheme concerned as referred to in section 39 of the Strata Schemes (Freehold Development) Act 1973 or section 68 of the Strata Schemes (Leasehold Development) Act 1986 Date 23/09/04 Subdivision No 131/2004 Accreditation No PSOA 008 Relevant Development Consent No 95/122 Issued By WARRINGAH COUNCIL Authorised Person/General Manager/Accredited Certifier *Complete or delete if applicable	Surveyors Certificate MARK JOHN ANDREW of DENNY LINKER & CO of LEVEL 5 17 RANDLE STREET SURRY HILLS NSW 2010 a surveyor registered under the Surveying Act 2002 hereby certify that (1) each applicable requirement of Schedule 1A to the Strata Schemes (Freehold Development) Act 1973 Schedule 1A to the Strata Schemes (Leasehold Development) Act 1986 has been met (2) (a) the building encroaches on a public place (b) the building encroaches on land (other than a public place) in respect of which encroachment an appropriate easement has been created by registered + s to be created under section 88B of the Conveyancing Act 1919 (3) the survey information recorded in the accompanying location plan is accurate Signature  Date 23 9 04 Delete if applicable + State whether dealing or plan and quote registered number THIS IS SHEET 1 OF MY PLAN IN 3 SHEETS *Model By-laws adopted for this scheme Keeping of Animals Option A/B/C *Schedule of By-laws in sheets filed with plan *No By-Laws apply *Strike out whichever is applicable	PLAN OF SUBDIVISION OF LOT 50 IN D P LGA WARRINGAH Suburb/Locality BELROSE Parish MANLY COVE County CUMBERLAND Name of and address for service of notices on the owners corporation (Address required on original strata plan only) THE OWNERS STRATA PLAN No No 50 GLEN STREET BELROSE 2085	Registered Purpose Ref Map Last Plan								
SCHEDULE OF UNIT ENTITLEMENT <table><tr><td>Lot No</td><td>UE</td></tr><tr><td>1</td><td>540</td></tr><tr><td>2</td><td>460</td></tr><tr><td>TOTAL</td><td>1000</td></tr></table>		Lot No	UE	1	540	2	460	TOTAL	1000	FOR LOCATION PLAN SEE SHEET 2 Signatures seals and statements of intention to create easements restrictions on the use of land or positive covenants PURSUANT TO SEC 88B OF THE CONVEYANCING ACT 1919 AND SECTION 7(3) OF THE STRATA SCHEMES (FREEHOLD DEVELOPMENT) ACT 1973 IT IS INTENDED TO CREATE 1 EASEMENT FOR ACCESS & LETTER BOX 2 EASEMENT FOR USE OF GARBAGE AREA 3 EASEMENT FOR SERVICES	
Lot No	UE										
1	540										
2	460										
TOTAL	1000										



**Warringah
Council**

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Ph (02) 9942 2111
Fax (02) 9942 2612

Determination of a Final Occupation Certificate Application

made under Sections 109C(1)(c) and 109H of the Environmental Planning and Assessment Amendment Act

Final Occupation Certificate No 1685/95

Land to which this certificate applies

Address 50 Glen Street Belrose

Lot 2

DP 223409

Class 4 and 9b

Portion subject to Final Occupation Certificate Two Storey Building comprising a Day
Care Centre and First Floor Residence

Owner Deborah Gay Evans

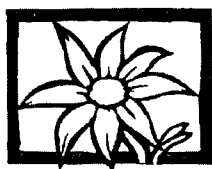
Warringah Council certifies that

- It has been appointed as the principal certifying authority under S109E
- A development consent/complying development certificate is in force with respect to the building
- A construction certificate has been issued with respect to the plans and specifications for the building
- The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia
- Where required a final fire safety certificate has been issued for the building
- Where required a report from the Commissioner of Fire Brigades has been considered

Note This Final Occupation Certificate supersedes any Interim Occupation Certificate issued previously

DATED 9 February 2005

Gordon Maccallum
Development Inspection Officer
Planning and Assessment Services



**Warringah
Council**

Civic Centre 725 Pittwater Road
(enter Civic Drive)
DEE WHY NSW 2099
DX 9118 Dee Why
Ph (02) 9942 2111
Fax (02) 9942 2612

**Notice to Applicant of Determination of an Occupation
Certificate Application**

Made under the Environmental Planning and Assessment Act 1979

Certificate No 1685/95

Deborah Evans
12 Seychelles Court
Burleigh Heads QLD 4220

Description of Land Lot 2 DP 223409 (50 Glen Street Belrose)

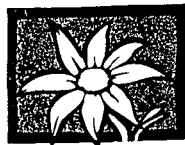
Class Class 4 and 9b Two Storey Building comprising a Day Care Centre and First Floor Residence

Warringah Council pursuant to Sections 109C(1)(c) and 109H of the Environmental Planning and Assessment Act hereby **CONSENTS** to the issue of a Final Occupation Certificate for the land described above

DATED This Ninth day of February 2005

Gordon Maccallum
Development Inspection Officer
Planning and Assessment Services

V130789



Warringah Council

HB 1887/50 C GM JB/8022h
Mr Gabriel Mafi Mobile Ph 015 664215
8 30 10am, Mon Fri

24th January 1996

D & J Evans
50 Glen Street
BELROSE NSW 2085

Dear Sir/Madam

RE Refund of Security Deposit
Premises Lot 2 No 50 Glen Street, Belrose

Reference is made to the payment of a Security Deposit of \$1 000 pursuant to condition No 7 of Development Consent No 95/122 in relation to the above project

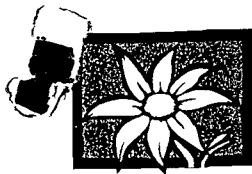
Please find enclosed a cheque for the above amount as the Security Deposit is no longer required

Yours faithfully

A CAPONAS
SENIOR DEVELOPMENT OFFICER, SOUTH

012024363

10/11/1995



Warringah Council

HB 1887/50 C GM JB/8022h
Mr Gabriel Mafi Mobile Ph 015 664215
8 30 10am, Mon Fri

24th January, 1996

D & J Evans
50 Glen Street
BELROSE NSW 2085

Dear Sir/Madam

RE Refund of Security Deposit
Premises Lot 2, No 50 Glen Street, Belrose

Reference is made to the payment of a Security Deposit of \$1 000 pursuant to condition No 7 of Development Consent No 95/122 in relation to the above project

Please find enclosed a cheque for the above amount as the Security Deposit is no longer required

Yours faithfully

A CAPONAS
SENIOR DEVELOPMENT OFFICER, SOUTH

012024363

10/11/1995

~~CONFIDENTIAL~~
MEMO TO ACCOUNTS

Please draw a cheque for \$1000 and forward with attached letter to


~~CONFIDENTIAL~~
D & J EVANS
50 GLEN ST
BELROSE 2085

G Maf
Health & Building
Surveyor

8022h.

**

SP DB/1067h
**, Health & Building Dept
8 30-10am, Mon Fri

31st May 1994

**

**

**

Dear Sir/Madam,

Re Refund of Security Deposit Premises Lot 2 (No 50)
GLEN ST BELROSE

Reference is made to the payment of a Security Deposit of \$1000 pursuant to condition No 7 of Development Consent No 95/122 in relation to the above project

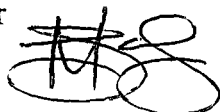
Please find enclosed a cheque for the above amount as the Security Deposit is no longer required

Yours faithfully,

D Stray

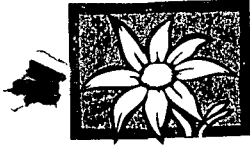
D STRAY
Manager - Development Branch 1

Per



NOTES Steps to be taken for refund of Security Deposit

- 1 Make sure that the applicant for refund is the same as the name on the receipt for the deposit
- 2 If the applicant for the refund is not the same as the receipt name then it will be necessary to obtain written authorisation from the person who paid the deposit



**Warringah
Council**

0359P

CERTIFICATE OF CLASSIFICATION

Local Government Act 1993

Certificate No No 359
Application Reference HB1887/50-C BA 1685/95
Council Warringah
Date of Certificate 19th January 1996
Building No or Name No 50 Street Glen Street
Village Belrose **Postcode** 2085
Lot 2 Section DP 223409
County Cumberland **Parish** Manly Cove
Owner's Name P & J Evans
Owner s Address 50 Glen Street Belrose NSW 2085
Applicant s Name As above
Applicant s Address

I certify that the several parts of the building described above are classified as follows

Part Class

Class 4
Class 9b

Top Floor
Ground Floor

FL Thomson

General Manager

Per D Capon

WARRINGAH COUNCIL

BUILDERS' ROAD RESERVE/KERB SECURITY DEPOSIT

REFUND APPLICATION

Street GLEN ST Suburb BELOSE
House No 50 Lot No 2 DP No 223409
Deposit paid in the name of D & J. EVANS
Amount \$200 — Receipt No 12024363 Date 10-11-95

I hereby certify the building works at the above property are now complete and request a refund of the Security Deposit

Description of Building Works Long Day Care Centre

Name of Applicant Deborah Evans Ph (H) 975 6926 (W) 335 7481
Postal Address 50 Glen St Belrose
Signed per [Signature] Date

OFFICE USE ONLY

Engineer

Account No

EF File No

**Memo to
Treasury**

The details given by the applicant are correct
Please arrange, subject to no further building work
being carried out that is liable to lead to damage
of the road infrastructure, that
(a) \$ be refunded
(b) \$ be transferred to Restoration
Account (160) 18120

Engineer

Date

Building Inspector

Building works with all relevant conditions have
now been completed

**Comments
Inspector**

Status Factory
[Signature]

Date 16-1-96

Treasury

**Voucher No
Accounts Clerk.**

Date

ENVIRONMENTAL MANAGEMENT DIVISION COMMENT FORM

MEMO TO: TOWN PLANNING COMPUTER NO. 30984

FROM: _____ EXT. _____ DATE: 5/1/96

YOUR COMMENTS ARE REQUESTED IN RESPECT OF _____

FINAL INSPECTION - CHILD CARE CENTRE

CONSENT NO. 95/122

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE) _____

SUBJECT LAND/ADDRESS LOT _____ DP _____

STREET NO 50 STREET ELLEN STREET

SUBURB DELROSE INSPECTION 15/1/96

COMMENT FURTHER TO TOWN PLANNING MEMO DATED 5/1/96 AN
ADDITIONAL INSPECTION WAS CARRIED OUT AND THE OUTSTANDING
LANDSCAPING WORKS HAVE BEEN COMPLETED

THEREFORE TOWN PLANNING RAISES NO FURTHER OBJECTIONS
TO ISSUE OF FINAL

SIGNATURE  DATE 15/1/1996

**REGULATION OF BUILDING STANDARDS
FORM 6
CERTIFICATE OF COMPLIANCE
MAINTENANCE OF ESSENTIAL SERVICES
AS2444**

Local Government (Approval) Regulation 1993

City/Municipality/Shire of

Date of Certificate 5 DECEMBER 1995

Building No / Name POSSUMS IN THE GLEN
KINDERGARTEN

Street 50 GLEN STREET

District/Town/Village BELROSE **Postcode** 2085

Owners Name *Deborah Evans*

Owners Address *50 Glen Street, Belrose*

Nature of Essential Services	Date of Inspection	Name & Address of person by whom inspected	Was the service found to have been maintained to the relevant standard (YES/NO)
FIRE BLANKET	5 1 96	MERRILYN JACKSON	YES
EXTINGUISHERS	5 1 96		YES
For and on behalf of Automatic Fire Services 2/44 Boorea Street Lidcombe NSW 2141			

I *Deborah Evans* of *50 Glen St, Belrose*
certify that to the best of my knowledge and belief the information contained in this Certificate is true and accurate and that each service has been inspected and tested by a person who is competent to carry out such an inspection and test

Signed



(Owner/Agent)



Burgess & Arnott Pty Ltd

All Correspondence
PO Box 69 Forestville 2087

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (P O BOX 69) FORESTVILLE N S W 2087
TELEPHONE 451 4411 451 6772 FAX 975 2274
A C N 001 094 855

20 December 1995
Re 7594 01/ba

STRUCTURAL CERTIFICATE

Job No 7594

Project **PROPOSED CHILD CARE CENTRE ATTACHED TO
RESIDENCE AT 50 GLEN STREET BELROSE**

Date **18 DECEMBER 1995**

We wish to advise that the following structural components were inspected by our firm and approved

ITEMS INSPECTED

REINFORCEMENT TO DETENTION TANK BASE

Based on the above it is our opinion that this construction will be structurally adequate

APPROVED BY

D A Burgess M I E Aust
Chartered Engineer
Director

Mr & Mrs J Evans
50 Glen St
BELROSE NSW 2085

1887/50 -

ENVIRONMENTAL MANAGEMENT DIVISION COMMENT FORM

MEMO TO. Town Planning COMPUTER NO. 30984
FROM. D Greenan EXT. _____ DATE: 21/96

YOUR COMMENTS ARE REQUESTED IN RESPECT OF _____

Final Inspection
Child Care Centre.
95/122.

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE) _____

SUBJECT LAND/ADDRESS LOT _____ DP _____

STREET NO 50 STREET Glen St

SUBURB Belrose INSPECTION 5/1/96

COMMENT RND CONSENT NO. 95/122, DATED 2 MARCH 1995

IT IS NOTED THAT A PORTION OF THE LANDSCAPING WORKS ARE
STILL INCOMPLETE HOWEVER TP RAISES NO OBJECTIONS
TO ISSUE OF FINAL.

THE ADDITIONAL WORK WILL BE COMPLETED ASAP AND TP
WILL REINSPECT

SIGNATURE [Signature] DATE 5/1/96

ENVIRONMENTAL MANAGEMENT DIVISION
COMMENT FORM

MEMO TO: J Halliday COMPUTER NO: 30984.
FROM: D Gorman EXT: _____ DATE: 2/1/96.

YOUR COMMENTS ARE REQUESTED IN RESPECT OF _____

Final Inspection.
Child Care Centre
Permit 95/122

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE) _____

SUBJECT LAND/ADDRESS LOT _____ DP _____

STREET NO 50 STREET Glen St.

SUBURB Belrose

COMMENT _____

* As of 5/1/96 have not received OSD certification

* Driveway OK, need to carry out additional work on nature strip (i.e. Driveway batter + turf)

David Zonetic 5/1/96

D Gorman 8/1/96

SIGNATURE _____ DATE _____



Australasian Fire Doors Pty Ltd

ACN 061 891 521

173 South Creek Road

Dee Why West NSW 2099

PO Box 1578

Dee Why NSW 2099

Tel 02 9971 2600

Fax 02 9971 2622

FACSIMILE MESSAGE

COMPANY	Warringah Shire Council	DATE	10/01/96
ATTENTION	Gabriel Mafi	FAX NO	9982 0612
FROM	Nicole		
PAGE 1 OF	3		

IF ANY PART OF THIS MESSAGE IS ILLEGIBLE PLEASE CONTACT OUR OFFICE IMMEDIATELY

MESSAGE Re Project 50 Glen Street, BelroseAttached find Form 6 and Certificate of Compliance
for the above project

Regards


Nicole

Fire Doors	Steel Door Frames	Solid Core Doors	Acoustic Doors	Security Doors	Lead Lined Doors
	Special Purpose Doors	Louvre Doors	Bullet Resistant Doors		



Form 6

CERTIFICATE OF COMPLIANCE

DESIGN AND INSTALLATION OF ESSENTIAL SERVICES

Local Government Act 1919

Ordinance No 70



Australasian Fire Doors Pty Ltd

ACN 061 891 521

173 South Creek Road

Dee Why West NSW 2099

PO Box 1578

Dee Why NSW 2099

Tel 02 9971 2600

Fax 02 9971 2622



Application Reference _____
 *City/Municipality/Shire of _____ WARRINGAH _____
 Date of Certification _____ 5TH JANUARY, 1995 _____
 Building No or Name _____ NO 50 _____
 Street _____ GLEN STREET _____
 *District/Town/Village _____ BLAIRROSE _____ Postcode _____ 2085 _____
 Owner's Name _____
 Owner's Address _____

Nature of essential service	Date of inspection or test	Name & Address of person by whom service was inspected/ tested	Was the service found to have been designed and installed and to be capable of operating to the relevant standard? (YES/NO)
-----------------------------	----------------------------	--	---

FIRE DOORS	05/01/96	STUART GALLIMORE 173 SOUTH CREEK ROAD DEE WHY WEST 2099	FULLY OPERABLE TO AS 1905 PART 1
------------	----------	---	-------------------------------------

I, STUART GALLIMORE of AUSTRALASIAN FIRE DOORS PTY LTD
 certify that the information contained in this certificate is to
 the best of my knowledge and belief true and accurate

Signed _____

*Owner/Agent

* Delete whichever is inapplicable

Fire Doors Steel Door Frames Solid Core Doors Acoustic Doors Security Doors Lead Lined Doors
 Special Purpose Doors Louvre Doors Bullet Resistant Doors



Certificate of Compliance

For Fire Door Assemblies

PROJECT

50 Glen Street Belrose

WE CERTIFY THAT THE FIRE DOORSETS SUPPLIED AND LABELLED BY US AND
INSTALLED IN THIS PROJECT COMPLY IN ALL RESPECTS WITH THE FOLLOWING
AUSTRALIAN STANDARDS

AS 1530 PART 4 - FIRE RESISTANCE TESTS OF STRUCTURES

AS 1890 - THERMALLY STABILISED LINK
(applicable/not applicable)

AS 1905 PART 1 - FIRE DOORS

AND THAT THE SAID DOORSETS HAVE BEEN LABELLED AND ARE HEREBY
CERTIFIED AS REQUIRED BY STATUTORY OR OTHER REGULATORY
AUTHORITIES IN ACCORDANCE WITH CLAUSES 10 AND 11 OF AS 1905 PART 1

DOOR TAG NUMBERS ISSUED

STAIR	0655	-/60/30
GARAGE	0656	-/60/30
ENTRY (PAIR)	0657/0658	-/60/30

5th January, 1996
DATE OF INSTALLATION



LORANDON BEHALF OF
Australasian Fire Doors Pty Ltd
ACN 061 891 521



Burgess & Arnott Pty Ltd

All Correspondence
PO Box 69 Forestville 2087

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (P O BOX 69) FORESTVILLE NSW 2087
TELEPHONE 451 4411 451 6772 FAX 975 2274
A C N 001 094 855

8 January 1996
Re: 7594-fswd/am

FINAL CERTIFICATE

BUILDING

19 JAN 1996

1887 150 -C

DG 19/12

To **STORMWATER DRAINAGE**

Job No: **7594**

Project **PROPOSED CHILD CARE CENTRE ATTACHED TO RESIDENCE AT
50 GLEN STREET BELROSE**

Inspected **22 DECEMBER 1995**

An inspection was made by our firm of the work as executed
It was observed that the stormwater drainage system was
constructed in accordance with the approved plans. Therefore,
it is our opinion this system will function in a satisfactory
manner

Yours faithfully
BURGESS & ARNOTT PTY LTD

D A BURGESS F I E Aust
Director

Mrs Evans
50 Evans Street
BELROSE NSW 2085



Burgess & Arnott Pty Ltd.

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (PO BOX 69) FORESTVILLE NSW 2087
TELEPHONE 451 4411 451 6772 FAX 975 2274

All Correspondence
PO Box 69 Forestville 2087

F A C S I M I L E M E S S A G E

DATE 9-1-96

RE JOB 7594

FAX NO 9971-4522

FROM Don Burgess

TO General Manager

PAGES TO FOLLOW: 1

NOTE:

Final SWD Cert

FILE NO _____

HEALTH & BUILDING SURVEYOR _____

DATE _____

Owner s Name _____ Lot _____ Sec _____ DP _____

Street GREEN ST No 50 Locality F/FOREST

Subject _____

FINAL INSPECTION

REFERRED

TO

Outstanding Matters :-

- 1/ Relocate exit sign to northern external exit door, near kitchen
- 2/ Portable extinguisher to be installed near entry doors.
- 3/ Fire blanket being installed to kitchen.
- 4/ Engineers Certification of OSD to be submitted
- 5/ Certification of essential services i.e portable extinguishers & fire doors, being furnished to Council

Reinspection required, Owner advised onsite

C. Mafr

7/1/96

Reinspection on 5th January '96 revealed ~~the above matters~~ the above matters to be ~~satisfactory~~ satisfactory

**REGULATION OF BUILDING STANDARDS
FORM 6
CERTIFICATE OF COMPLIANCE
MAINTENANCE OF ESSENTIAL SERVICES
AS2444**

Local Government (Approval) Regulation 1993

City/Municipality/Shire of

Date of Certificate 5 DECEMBER 1995

Building No / Name POSSUMS IN THE GLEN
KINDERGARTEN

Street 50 GLEN STREET

District/Town/Village BELROSE **Postcode** 2085

Owners Name Deborah Evans

Owners Address 50 Glen Street, Belrose

Nature of Essential Services	Date of Inspection	Name & Address of person by whom inspected	Was the service found to have been maintained to the relevant standard (YES/NO)
FIRE BLANKET	5 1 96	MERRILYN JACKSON	YES
EXTINGUISHERS	5 1 96		YES
		For and on behalf of Automatic Fire Services 2/44 Boorea Street Lidcombe NSW 2141	

I Deborah Evans of 50 Glen St, Belrose
certify that to the best of my knowledge and belief the information contained in this Certificate is true and accurate and that each service has been inspected and tested by a person who is competent to carry out such an inspection and test

Signed 
(Owner/Agent)



Burgess & Arnott Pty Ltd

All Correspondence
PO Box 69 Forestville 2087

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (P O BOX 69) FORESTVILLE NSW 2087

20 December 1995

Re 7594 01/ba

TELEPHONE 451 4411 451 6772 FAX 975 2274

A C N 001 094 855

STRUCTURAL CERTIFICATE

Job No 7594

Project **PROPOSED CHILD CARE CENTRE ATTACHED TO
RESIDENCE AT 50 GLEN STREET BELROSE**

Date **18 DECEMBER 1995**

We wish to advise that the following structural components were inspected by our firm and approved

ITEMS INSPECTED

REINFORCEMENT TO DETENTION TANK BASE

Based on the above it is our opinion that this construction will be structurally adequate

APPROVED BY

D A Burgess M I E Aust
Chartered Engineer
Director

Mr & Mrs J Evans
50 Glen St
BELROSE NSW 2085

**A1 QUALITY
PLASTER LININGS**
39 CHISHOLM AVENUE
CLAREVILLE NSW 2107
PH 918 3434 • LIC No R76394

6 12 1995

63

M

Dr. to
RE

WHOM THIS MAY CONCERN
50 GLEN ST FORRESTVILLE

THE ABOVE DWELLING TO
THE LOWER FLOOR HAS BEEN
FIXED TO MEET AUSTRALIAN
STANDARD 1530 4/1985
IN REGARDS TO THE FIRE RATING
APPROVAL

IE 2 LAYERS STAGGERED OF
16mm FIRECHECK BOARD

Yours PAUL KAVANAGH
for A1 Quality

**A1 QUALITY
PLASTER LININGS**
39 CHISHOLM AVENUE
CLAREVILLE NSW 2107
PH 918 3434 • LIC No R76394



NETRA HOLDINGS PTY LTD

(Incorporated in N S W)

A C N 002 958 732

Electrical Contracting Lic No 33080
Mechanical & Electrical Engineers
Mining and Industrial Business Specialists
Ballet Tutron (Annette Large School of Dance)
Livestock and Cut Flowers Producers

Electrical Workshop
64 Grandview Drive
Newport N S W 2106
Phone (02) 918 8427
Fax (02) 918 9799

Head Office & Registered Office

13 Portman Place 263 Alfred Street North
North Sydney 2060
Phone (02) 959 3520 Fax (02) 955 9663

N S W Office

31 Greene Avenue Ryde N S W 2112
Phone (02) 809 3915

Plantation

96 Putty Road Reedy Creek Howes Valley via Bulga
Phone (065) 79 4527

4/1/96

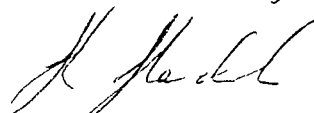
50 Glen St
Belmore

To Whom it may concern

This letter is to say that the smoke detectors are installed
as with AS 3786 1992

The exit signs are installed to the building Code of
Australia E4

The thermostat on the hot water unit is set at 55 as
recommended for children

Yours Faithfully

J. H. H. H.

LICENSEE'S CERTIFICATE OF COMPLIANCE

For Plumbing and Drainage Work

Serial No. C 198607

Please supply requested information fully and neatly to ensure the prompt issue of the permit.

PROPERTY & OWNER DETAILS

House No.	Lot No.	Street	Suburb
50		GLEN ST	BELROSE
Municipality		Postcode	Nearest Cross Street
WARRINGAH		2085	
Owner's Name		Full Address	
DEBRA EVANS		50 GLEN ST BELROSE	

LICENSEE'S DETAILS

Full Name	Address for Notices	Phone No.
PAUL WHITEFIELD	18 HEWS RD BELROSE	019163672
Licence No.	Expiry Date	Contractors Authority No.
59107C	25.5.96	
	Expiry Date	

WORK OF WATER SUPPLY / METER DETAILS

Size of Drilling/No.	Size of Pipework Main to Meter	Main Size/Size of Tee to be cut into Main	Size of Valve
		OR	
Reference No.	Size of Meter	Meter No.	Drilling Date/Time
Office Issued From			

Full Description of Work / Affix Meter or Return Meter

NEW SEWER DRAINAGE POINTS CONNECTED

WORK OF SANITARY PLUMBING / HOUSE DRAINAGE / STORMWATER

Give Full Description of Work

SEWERAGE / WATER SERVICE INSPECTION FEE

Date Fee Paid	Amount	Receipt No.	Building Fee	Receipt No.
	\$		\$	
Authorising Officer	Office	Drainage No. / Date		

Date of Commencement of Work	Estimated Date of Completion	Signature of Licensee
10/10/95	1/2/96	Paul Whitefield

Form 78-049 (Mar '90A) Water Board Print.

- In respect of authorised work carried out by me at the abovementioned property I certify that:
 - The work has been completed in accordance with the Permit issued, or deemed given by the Local Authority;
 - The completed work has been tested as required by the Local Authority and has passed such tests;
 - In my opinion the work complies with the relevant Local Authorities Act, Ordinances, Regulations, By-Laws and Codes of Practice.
 - Meter No. _____ was fixed.
 - The work was completed on _____
- If any defect is found in the work carried out by me within a period of twelve (12) months, or within the time specified by Local Authorities, from the date of completion, and the Local Authorities Inspector for Plumbing and Drainage certifies that in his opinion the defect is due to faulty workmanship or defective materials, then I undertake to rectify such work at my sole expense, if so directed by the Local Authorities Inspector/or any time specified by the Local Authority.

This copy is to be forwarded to the Local District Office within 2 working days of being completed.

Signature of Licensee



**ENVIRONMENTAL MANAGEMENT DIVISION
COMMENT FORM**

MEMO TO: D. J. Airden COMPUTER NO: _____

FROM: D. J. Airden EXT: _____ DATE: 21/96

YOUR COMMENTS ARE REQUESTED IN RESPECT OF _____

Final Inspection
Child Care Centre
Consent 95/122

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE) _____

SUBJECT LAND/ADDRESS LOT _____ DP _____

STREET NO 50 STREET Glen St.

SUBURB Belrose

COMMENT _____

SIGNATURE _____ DATE _____



ENVIRONMENTAL MANAGEMENT DIVISION COMMENT FORM

MEMO TO:

Mr. J. H. Jones

COMPUTER NO.

2-86

FROM

D. J. Jones

EXT:

DATE:

1-1-96

YOUR COMMENTS ARE REQUESTED IN RESPECT OF

Final Inspection
Child Care Centre.
95/122.

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE)

SUBJECT LAND/ADDRESS LOT

DP

STREET NO

50

STREET

Glen St

SUBURB

Belrose

COMMENT

SIGNATURE

DATE



Warringah
Council

1887/50-C

DARREN GREENOW

Phone 9982 0333 Fax 9982 0612

REQUEST FOR BUILDING INSPECTION / RESULT OF INSPECTION FORM -

Current Date 18/12/95 Date Inspection Required 21/12/95 (minimum 48hrs notice) Thurs 4/1/96
Requested by DEBRA EVANS Phone Number (s) 9975 6926

Location of the Building Site to be Inspected

BA Approval Number _____ Street Number 50 Street Name GLEN ST
Suburb BELROSE
Property Owner EVANS Builder GEOFF KAHLER
Building Type CHILD CARE CENTRE

Inspection Required (circle) Commencement Advice Footing Frame Final Other(write below)

- RESULT OF BUILDING INSPECTION / OR REINSPECTION -

This is to advise you that an inspection of _____ was carried out at the above premises and you are advised that

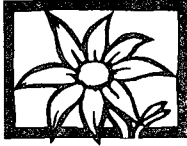
- ☐ The work inspected was **SATISFACTORY**
- ☐ **CONTACT** the Building Surveyor for the result prior to proceeding further
- ☐ **COMPLETE** the works below and then proceed with construction
- ☐ **COMPLETE** the works below and request a **FURTHER RE INSPECTION** prior to proceeding
- ☐ **STOP WORK** immediately The building is **NOT** in accordance with the approval

Building Surveyor _____ Date _____ Time _____

Please note Building Surveyors are available via mobile phone after 10 00 AM Mon Fri Council's Customer Service Centre can provide you with these numbers phone 982 0333

OFFICE USE SECTION ONLY -

- ☐ Arrange Refund of Builders Security Deposit ☐ Arrange Refund of Sediment Control Deposit
- ☐ Arrange for Site Re inspection



**Warringah
Council**

DARRIN GREENOW

Phone 9982 0333 Fax 9982 0612

REQUEST FOR BUILDING INSPECTION / RESULT OF INSPECTION FORM -

Current Date 18/12/95 Date Inspection Required 21/12/95 (minimum 48hrs notice)

Thurs 4/1/96

Requested by DEBRA EVANS Phone Number (s) 9975 6926

Location of the Building Site to be Inspected

BA Approval Number _____ Street Number 50 Street Name GLEN ST

Suburb BELROSE

Property Owner EVANS Builder GEOFF KAHLER

Building Type CHILD CARE CENTRE

Inspection Required (circle) Commencement Advice Footing Frame Final Other(write below)

- RESULT OF BUILDING INSPECTION / OR REINSPECTION -

This is to advise you that an inspection of _____ was carried out at the above premises and you are advised that

- ☐ The work inspected was SATISFACTORY
- ☐ CONTACT the Building Surveyor for the result prior to proceeding further
- ☐ COMPLETE the works below and then proceed with construction
- ☐ COMPLETE the works below and request a FURTHER RE INSPECTION prior to proceeding
- ☐ STOP WORK immediately The building is NOT in accordance with the approval

Building Surveyor _____ Date _____ Time _____

Please note Building Surveyors are available via mobile phone after 10 00 AM Mon Fri Council's Customer Service Centre can provide you with these numbers phone 982 0333

OFFICE USE SECTION ONLY -

- ☐ Arrange Refund of Builders Security Deposit ☐ Arrange Refund of Sediment Control Deposit
- ☐ Arrange for Site Re inspection



**Warringah
Council**

Phone 982 0333 Fax 982 0612

Darren Greenow -
1887/50-C.
File

- REQUEST FOR BUILDING INSPECTION / RESULT OF INSPECTION FORM -

Current Date 29.11.95 Date Inspection Required ASAP (minimum 48hrs notice).

Requested by Debra Phone Number (s) 285 5739

Location of the Building Site to be Inspected

BA Approval Number 1685/95 Street Number 50 Street Name Glen St

Suburb Belrose

Property Owner Evans Builder Kahler

Building Type Child Care Centre

Inspection Required (circle) Commencement Advice Footing Frame Final Other(write below)

Beam Inspection

- RESULT OF BUILDING INSPECTION / OR REINSPECTION -

This is to advise you that an inspection of _____ was carried out at the above premises and you are advised that:

- ☐ The work inspected was **SATISFACTORY**
- ☐ **CONTACT** the Building Surveyor for the result prior to proceeding further
- ☐ **COMPLETE** the works below and then proceed with construction.
- ☐ **COMPLETE** the works below and request a **FURTHER RE-INSPECTION** prior to proceeding.
- ☐ **STOP WORK** immediately. The building is **NOT** in accordance with the approval.

- Not inspected -

(13.12.95) Blde phased, not installing fire windows - will crick up openings & provide L & V by skylights etc.

Building Surveyor _____ Date: _____ Time: _____

Please note Building Surveyors are available via mobile phone after 10:00 AM Mon-Fri. - Council's Customer Service Centre can provide you with these numbers phone 982 0333.

- OFFICE USE SECTION ONLY -

- ☐ Arrange Refund of Builders Security Deposit. ☐ Arrange Refund of Sediment Control Deposit
- ☐ Arrange for Site Re-inspection.



**Warringah
Council**

Phone 982 0333 Fax 982 0612

- REQUEST FOR BUILDING INSPECTION / RESULT OF INSPECTION FORM -

Current Date 29.11.95 Date Inspection Required ASAP (minimum 48hrs notice).

Requested by Debra Phone Number (s) 285 5739

Location of the Building Site to be Inspected

BA Approval Number 1685/95 Street Number 50 Street Name Glen St

Suburb Belrose

Property Owner Evens Builder Kahler

Building Type Child Care Centre

Inspection Required (circle) Commencement Advice Footing Frame Final Other(write below)

Beam Inspection

- RESULT OF BUILDING INSPECTION / OR REINSPECTION -

This is to advise you that an inspection of _____ was carried out at the above premises and you are advised that:

- ☐ The work inspected was **SATISFACTORY**
- ☐ **CONTACT** the Building Surveyor for the result prior to proceeding further
- ☐ **COMPLETE** the works below and then proceed with construction.
- ☐ **COMPLETE** the works below and request a **FURTHER RE-INSPECTION** prior to proceeding.
- ☐ **STOP WORK** immediately. The building is **NOT** in accordance with the approval.

Not inspected

(13.12.95) Blde phased, not install fire windows - will work up openings & provide L & V by skylight etc.

Building Surveyor _____ Date: _____ Time: _____

Please note Building Surveyors are available via mobile phone after 10:00 AM Mon-Fri. - Council's Customer Service Centre can provide you with these numbers phone 982 0333.

- OFFICE USE SECTION ONLY -

- ☐ Arrange Refund of Builders Security Deposit. ☐ Arrange Refund of Sediment Control Deposit
- ☐ Arrange for Site Re-inspection.



**Warringah
Council**

Phone 982 0333 Fax 982 0612

- REQUEST FOR BUILDING INSPECTION / RESULT OF INSPECTION FORM -

Current Date 20.11.95 Date Inspection Required 15.12.95 (minimum 48hrs notice).

Requested by Suburb Phone Number (s) 2855739

Location of the Building Site to be Inspected

BA Approval Number 1651/95 Street Number 52 Street Name Glen St

Suburb Belconn

Property Owner Epsons Builder Kahler

Building Type Child Care Centre

Inspection Required (circle) Commencement Advice Footing Frame Final Other(write below)

- RESULT OF BUILDING INSPECTION / OR REINSPECTION -

This is to advise you that an inspection of _____ was carried out at the above premises and you are advised that:

- ☐ The work inspected was **SATISFACTORY**
- ☐ **CONTACT** the Building Surveyor for the result prior to proceeding further
- ☐ **COMPLETE** the works below and then proceed with construction.
- ☐ **COMPLETE** the works below and request a **FURTHER RE-INSPECTION** prior to proceeding.
- ☐ **STOP WORK** immediately. The building is **NOT** in accordance with the approval.

Not in fact
(100%) Work planned, not suitable for windows - will coach up openings & provide L & V by skylight etc

Building Surveyor _____ Date: _____ Time: _____

Please note Building Surveyors are available via mobile phone after 10:00 AM Mon-Fri. - Council's Customer Service Centre can provide you with these numbers phone 982 0333.

- OFFICE USE SECTION ONLY -

- ☐ Arrange Refund of Builders Security Deposit. ☐ Arrange Refund of Sediment Control Deposit
- ☐ Arrange for Site Re-inspection.

COMMERCIAL/INDUSTRIAL BUILDINGS

Description

PREMISES

Child Care Centre with Dwelling Over
50 Glen St Belmore

CLASS

429

FIRE ZONE

—

OWNER

Evans

RISE OF STOREYS

2

BUILDER

—

CONST REQUIRED

Type B

ZONING

LAND USE CONSENT NO

95/122

ISSUED

2395

TOWN PLANNING COMMENTS

No objections Memo 9895 K Finckes

ENVIROMENTAL-FOOD, POLLUTION, NOISE

SHIRE ENGINEERS COMMENTS

No objections subject to conditions
memo dated 7995 D Halliday

BUILDING LINES

CARPARKING

TREE P O

ESSENTIAL SERVICES

STORMWATER

NOTIFICATION

COMMENTS

Via DA

Approval subject to a) Essential Services form
& b) following conditions - HB 10(VII) (VIII) (X)
HB 13 HB 15 HB 20 x 60/60/60 x bottom of the ^{internal} stair well
HB 22 x B HB 23 x western ~~HB~~ (delete last sentence) HB 42
HB 43 HB 44 HB 46 HB 47 HB 50 HB 61 HB 62 HB 72 HB 73 HB 84
HB 87 HB 90 HB 122 x 95/122 x 2395 HB 159 HB 160 HB 161
HB 163 HB 167 + add conditions as attached.

OUTSTANDING FEES

SEC 94

BOND

ADD FEE

PICK UP

—

\$1000

—

POST

BLB

LSL

ENG/SEC DEP

READY DATE

—

—

\$200

~~41195~~

41195

10/11/95

10/11/95

- 21 Emergency lighting shall be installed and maintained to meet the standard expressed in Clause 55 12 (4) (5) and (6) of Ordinance 70 except that in a central battery system, sensing of the A C supply failure should occur on the load side of the device protecting the final sub-circuit supplying lighting to all the above areas Required if floor area exceeds 300 square metres

Fire Fighting Appliances

- 22 Provision of wall mounted fire blanket to the kitchen area
- 23 One x 9 litre water type fire extinguisher shall be installed on wall brackets adjacent to an exit door
- 24 One x 9 litre water type fire extinguisher shall be installed on wall brackets adjacent to an exit door in each play room
- 25 One x 3 5 kg carbon dioxide fire extinguisher to be installed on wall bracket adjoining exit door, or kitchen egress door if kitchen provided
- 26 Portable fire extinguishers shall be installed and maintained in accordance with Australian Standard 1851 as amended from time to time
- Extinguishers are to be mounted with the top about 1 2 metres from top to floor Carbon Dioxide extinguishers may be lower, but the base must not be less than 100mm from the floor
- 27 All fire extinguishers shall be serviced annually, and date of service indicated on the extinguishers
- 28 Submission of a Form 7 Essential Service Certificate in regard to the fire extinguishers
- 29 Additional means of first-aid fire extinguishing shall be provided by the installation of a garden hose The garden hose shall be of sufficient length that taking partitioning into consideration, all parts of the premises are protected At all times that persons are within the premises, the garden hose shall have a nozzle attached, be connected to suitable water supply and be maintained in a satisfactory condition on a suitable reel or wall bracket
- 30 Garden hose shall be of sufficient length that taking partitioning into consideration, the nozzle of the fully extended hose shall extend to cover all parts of the floor area within the storey
- 31 At all times persons are within the premises, the garden hose shall have a nozzle attached, be connected to suitable water supply and be maintained in a satisfactory condition on a suitable reel or wall bracket

General

32. General power outlets are to be installed out of the reach of children. Alternatively, suitable approved and/or certified safety type power outlets shall be provided. Certification is required from an electrician that these outlets have in fact been installed.

33 Fly screen doors shall open in the direction of egress wherever practicable. This can often be achieved by installing them in tandem with the egress door.

- (a) Where the above is not possible, fly screen doors may be installed to open against the direction of travel for egress.
- (b) Doors are screened for full height, ie, they shall not have solid panels. Further, where centre bars or ornamental grilles are provided, they shall be secured to the frame by clips or push fit and not by rivets, screws, welding or the like, ie, bars or grilles must be able to be easily pushed out to provide a clear opening in an emergency.
- (c) Doors shall be of lightweight aluminium construction only, and provision shall be made for the door to be automatically caught and held in the open position, (by spring, mechanical or magnetic catches), the catch in each case to be so arranged to avoid interference with the normal operation of the egress door.

34 Childcare Centres should be maintained on ground level only. Suitable door/gate to be provided at base of any stair leading to floors above ground level to prevent access by children.

35 Space heating equipment approved for use within buildings under the authority of the Department of Family and Community Services shall not include open fires, kerosene heaters or any exposed flame or exposed floor element heaters.

All wall mounted element space heaters shall be permanently fixed to a height of not less than 2.1 metres above floor level at its lowest point.

Every heating unit shall be so installed that it does not create a hazard by radiation to or by direct contact with furniture, furnishings, clothing, interior finishings or other combustible materials. Installation shall conform to the relevant Australian Standards.

All floor mounted heaters shall be permanently fixed and not be of a portable type. It is ~~also considered~~ necessary on floor mounted heaters that a safety guard be installed so as to prevent children coming into contact with the heater element. This also acts as a deterrent to placing combustibles on top of the heater.

However, heating equipment of the enclosed element type such as heat banks, sheet heaters and column heaters of an approved type may be accepted in childcare occupancies

36

Combustible artwork, decorative and teaching materials shall be attached to the walls only, and shall not exceed 20% of the area of the internal walls

37

Combustible materials shall be maintained clear of room heating appliances

38

A suitable First Aid Kit being kept on the premises

39

Provision of 1 Water Closet for the Teacher, and 1 Water Closet for every eight (8) children or part thereof

In this regard check whether the number of toilets provided is grossly inadequate and if so whether there is potential to provide more WC accommodation

40

General kitchen cleanliness

41

All material in the building ie, curtains, carpets and other furnishings to comply with Clause 16 19 of Ordinance 70 ie -

A spread-of-flame index not greater than 9, and if its spread-of-flame index is greater than 5 - a smoke-developed index not greater than 8

CONDITIONS OF BUILDING APPROVAL

ESSENTIAL SERVICES

1 The following essential services must be designed and installed in accordance with the provisions of Ordinance 70 and must be maintained in an effective working condition -

- 1 Access panels
- 2 Automatic sprinkler systems
- 3 Emergency lifts
- 4 Emergency lighting
- 5 Emergency warning and intercommunication systems
- 6 Exit signs
- 7 External wall-wetting sprinklers
- 8 Fire and smoke alarms
- 9 Fire dampers
- 10 Fire doors
- 11 Fire hydrants
- 12 Fire mains and water supply services
- 13 Fire shutters
- 14 Fire windows
- 15 Hose reels
- 16 Lightweight construction
- 17 Mechanical ventilation and air conditioning systems
- 18 Portable fire extinguishers
- 19 Pressurising systems
- 20 Required exit doors (automatic)
- 21 Self closing fire hoppers
- 22 Smoke and heat vents
- 23 Smoke control systems
- 24 Smoke dampers
- 25 Smoke doors
- 26 Solid core doors
- 27 Stand by power systems

The submission to Council of a certificate of compliance in respect to the design and installation of each listed essential service in accordance with form 6 Part 59 of Ordinance 70 before occupation of the building

The submission to Council annually of a certificate of compliance in respect that each essential service is maintained at a standard not less than that to which it was originally designed and installed

GENERAL MANAGER/SHIRE CLERK

per _____ BUILDING SURVEYOR

DATE OF APPROVAL

MAIN CONDITIONS ESS1 ESS2 ESS3

SUB CONDITIONS 1 2 3 4 etc - PF 13 to exit from sub conditions

ENVIRONMENTAL MANAGEMENT DIVISION
COMMENT FORM

MEMO TO: D Halliday COMPUTER NO. 30984
FROM: D Green EXT: 485 DATE: 24/8/95

YOUR COMMENTS ARE REQUESTED IN RESPECT OF

Hold info previous PWD
memo attached

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE)

SUBJECT LAND/ADDRESS LOT _____ DP _____

STREET NO 50 STREET Glen St

SUBURB Belrose

COMMENT _____

THE ONSITE DETENTION AND ASSOCIATED
STORMWATER DRAINAGE SYSTEMS HAS BEEN
CHECKED BY THE TECHNICAL SERVICES
DIVISION AND IS

☒ SATISFACTORY 4/9/95
☐ NOT SATISFACTORY
☐ SATISFACTORY WITH AMENDMENTS
SHOWN ON DRAWINGS

No objection to release of PA subject to Model Conditions
54, 57, T1, 6 or 16, 65 @ bdy, T2, T3, V2, V6, V8,

SIGNATURE

D Halliday

DATE

7/9/95

ENVIRONMENTAL MANAGEMENT DIVISION
COMMENT FORM

MEMO TO: D Halliday COMPUTER NO. 30984
FROM: D Green EXT: 485 DATE: 25/7/95

YOUR COMMENTS ARE REQUESTED IN RESPECT OF

Chital Cove Centre

Consent No?

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE)

SUBJECT LAND/ADDRESS LOT 2 DP 223409

STREET NO 50 STREET Glen St

SUBURB Belrose

COMMENT Mark OSD Cales

OSD NOT ACCEPTABLE 9/8/95

DO NOT RELEASE BA

OSD Unsatisfactory Applicant should
contact Len Law for additional information

D Halliday 21/8/95

SIGNATURE _____ DATE _____

PF 1887/58

ENVIRONMENTAL MANAGEMENT DIVISION
COMMENT FORM

MEMO TO Town Planning COMPUTER NO. 30984
FROM: D Greenaw EXT: 485 DATE: 25/7/95

YOUR COMMENTS ARE REQUESTED IN RESPECT OF

Child Care Centre

(Please attach copy of consent)

TYPE OF STRUCTURE PROPOSED (WHERE APPLICABLE)

SUBJECT LAND/ADDRESS LOT 2 DP 223409

STREET NO 50 STREET Glen St

SUBURB Belrose

COMMENT RE Consent 95/122 was granted 2/3/95 for
a child care centre (with attached residence) to accommodate
18 children

BA plans indicate development generally in accordance
with Consent

No TP objections to release of BA.

SIGNATURE H Jadau DATE 9/8/95



PLANNING OVERLOAD PTY • LTD

A C N 051 132 257

STATEMENT OF ENVIRONMENTAL EFFECTS

WARRINGAH COUNCIL No

FTO

FILED

FI

9 DEC 1994

SL 11

BT 11

APPLY TO DEPT OF ENVIRONMENTAL AFFAIRS

LONG DAY CARE CENTRE 50 GLEN STREET, BELROSE

Warringah Council

DECEMBER 1994

PROJECT NO 9439

STATEMENT OF ENVIRONMENTAL EFFECTS

**LONG DAY CARE CENTRE
50 GLEN STREET, BELROSE**

Warringah Council

DECEMBER 1994

PROJECT NO 9439

Prepared for
J & D Evans

Prepared by
Paul Drake B A (UNE)
Dip T & C P (Syd) Cer T & C P

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PART A

INTRODUCTION

A 1 Purpose

This report supports a Development Application for the establishment of a long day care centre on the subject site incorporating the use of the two storey dwelling (Photo 1) The ground floor of the dwelling will be utilised for the long day care centre and the upstairs will remain as residence It is proposed to operate the long day care centre from 7 30am to 6pm Monday to Friday There will be two staff at any one time with a total of three

Property Details

50 Glen Street, Belrose

Lot 2 DP 223409

A 2 Location

The site is located approximately 100 metres east from the Glenrose Shopping Centre and is on the northern side of the street It is trapezium in shape with vehicular access to Glen Street The property and dwelling is orientated north to south so that the rear yard receives quality sunlight all year This is the area to be utilised by the day care children (See Location Map & Survey Plan)

A 3 Description

Existing Site

The total site area is approximately 696 9m² with a frontage to Glen Street of 21 435m The existing residence has two bedrooms and is contained in the upstairs portion of the dwelling The downstairs was previously used as professional consulting rooms

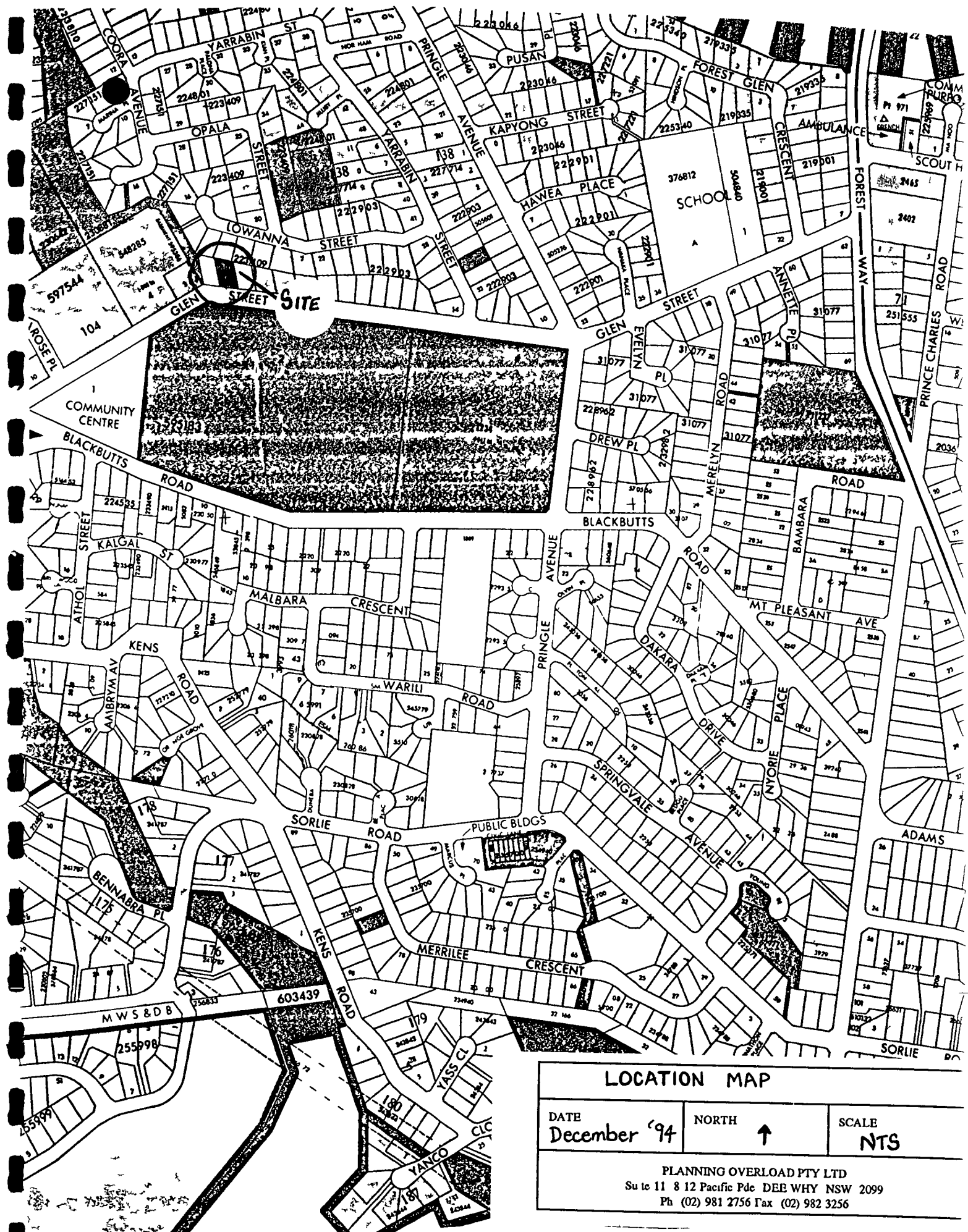
Access is from Glen Street where there is an existing gutter crossing (which will be widened) and an internal driveway to a ground level garage within the existing dwelling Overall the land is generally flat and is therefore suitable for such a proposal

Proposal

The existing two storey dwelling will retain its residential character with only internal changes at ground level proposed. The long day care centre will be confined to the ground floor and the upstairs residence is to become this applicant's home. The centre will be only a small operation catering for 18 children in the following age groups

- 8 two year olds
- 10 three to five year olds

It is proposed to open the centre 10.5 hours/day, 50 weeks/year. Two full time and one part time staff will be employed requiring a total of two off street carparking spaces. In addition a further three spaces will be provided on site for the pickup and drop off of children. Adequate turning area will facilitate entry and exit in a forward direction. The play area will be to the rear of the existing dwelling and will provide a total area of approximately 243.41m² (Photo 2). There is an existing inground swimming pool which will be filled in a safe manner and utilised as a sandpit. This approach has been agreed to by representatives of the Department of Community Services.



LOCATION MAP

DATE
December '94

NORTH



SCALE
NTS

PLANNING OVERLOAD PTY LTD
Su to 11 8 12 Pacific Pde DEE WHY NSW 2099
Ph (02) 981 2756 Fax (02) 982 3256

PART B
STATUTORY PROVISIONS

B 1 Warringah Council LEP 1985

The land is zoned 2(a) Residential A Kindergartens are a permissible use subject to compliance with Council's policies for kindergartens and childminding centres (Policy 7.1.23 on Warringah Council Policy Register)

B 2 Warringah Council Policy for Kindergartens & Childminding Centres

It is considered this proposal is permissible under the provisions of the Policy because it meets the criteria identified in Clause (a) of the *Policy Statement*. Although the site is less in area than required by Clause (c) we have been advised by Council officers that these arithmetic standards are not set and that those required by the Department of Community Services have primacy.

A relaxation of the site area requirement will not result in any adverse affects nor breach the intent of Clause (a) and the criteria identified therein.

B 3 Warringah Council Development Control Plan #2 - Carparking

This proposal will be consistent with the parking requirements set out in DCP#2 because one carparking space in the lockup garage will be retained for the use of the residence and two additional carparking spaces will be located along the eastern boundary between the east wall of the building and the boundary fence. Only two staff members will be present at any one time and stack parking can be accepted where parking relates to the same use (Photo 3). In addition a further three spaces will be provided for set down and pickup of children at the front of the site. Adequate turning area will ensure entry and exit in a forward direction.

Reference to the Roads & Traffic Authority's Policies, Guidelines and Procedures for Traffic Generating Development have assisted in ensuring that the setdown area and vehicle manoeuvring area is adequate. Further, the parking bay widths have been widened to 2.8 metres to achieve greater efficiency during peak periods of delivering and picking up children.

In addition the requirements for driveways have also been satisfied because the existing driveway will be widened to 6 metres to accommodate two way traffic at peak times

Although the three setdown and pickup carparking spaces are located within the building line it is considered that this can be accepted because they provide safe delivery of children, are only used during the peak times of delivery and pickup of children and paver type treatment will retain an outdoor texture. A perception of the frontyard open space will be retained. In addition a 750mm wide planting module will be retained along the front boundary in which suitable planting will assist in screening any cars from Glen Street. The existing hard surface concrete driveway is also to be replaced by pavement treatment. This will result in a general upgrade of all the front driveway area and an improvement in the aesthetic presentation to Glen Street.

PART C
RELEVANT SECTION 90 HEADS OF CONSIDERATION

C 1 Provisions of Planning Instruments (Section 90(1)(a))

The proposed long day care centre is permissible in the 2(a) Residential A Zone in Warringah LEP 1995. The appropriate instruments are Council Policies for Kindergartens and Childminding Centres and DC#2 Carparking. These matters have been addressed in Part B of this report.

C 2 Social & Economic Affects (Section 90(1)(d))

The applicant has obtained evidence that suggests that there exists a high demand for long day care centres in the Warringah area particularly relating to younger children. For example the Peacock Street Long Day Care Preschool at Seaforth has 130 children on its waiting list (notwithstanding it is in Manly Council), The Owl & The Pussycat Long Day Care Preschool at Collaroy Plateau has a full enrolment for 1995 and a waiting list of approximately 50 children, and the centralised waiting list for Warringah Council centres has approximately 750 registrations.

Social and economic affects are best assessed by identifying a social benefit for the wider community. A guide can be taken from Cox A T (Economic Aspects, How They Can Be Taken Into Account in the Planning Process. Reference Australian Local Planner January, 1989). Cox identified social benefit as being relevant when it is *of material consequence affecting one or more persons* and *"social benefit could be identified by assessing the net community gain or loss from a proposal"*.

Accordingly it is not difficult to anticipate a positive and cumulative benefit from this proposal. There are currently no long day care centres in Belrose and existing kindergartens primarily operate from 9am to 3pm. Current demand is for long day care particularly for full time workers and as a consequence extended hours. I am advised that the demand for long day care centres in Warringah is high and this proposal will contribute to alleviating that existing demand. It is the intention of the applicant (Mrs D Evans) to provide an extremely high standard long day care centre in a homely environment at an affordable rate.

Mrs Evans preliminary research and negotiations have been done in consultation with representatives of the Department of Community Services Accordingly any parents requiring assistance will be eligible

The social and economic affects are positive and the provision of a new long day care centre will provide employment for three childcare workers and an additional choice for working parents seeking childcare

C 3 Size and Shape of the Land (Section 90(1)(f))

The existing development of the site has resulted in a large front yard, a two storey dwelling occupying the centre of the site and a large backyard area

The front yard is presently used as access and driveway for the residence (Photo 1)

The only changes proposed are to widen the driveway access to 6 metres and to provide for the three setdown parking spaces As previously stated the front yard will be upgraded with the use of paving and new landscape modules and perimeter landscaping which will result in a better presentation to Glen Street

The ground floor of the existing dwelling will undergo minor modifications resulting in

- 1 Entry to the day care centre from the western side through existing sliding glass doors
- 2 Provision of two internal play areas
- 3 Staff and children toilets in the northwest corner of the building
- 4 Office and kitchen in the northeast corner of the building
- 5 Retention of the private garage in the southeast corner of the building

These changes are made to facilitate appropriate supervision and demarcation between play and service areas The toilets are located where there is existing plumbing and the office and kitchen area will provide for isolated use from the children attending

The backyard area will be used for play by the children and available for the residents on weekends It should be noted that child proof safety fences and gates will be provided on the western and eastern boundaries between the dwelling walls and the

boundary fences In addition the area adjoining the western wall of the existing building between the entry and the rear child proof fence will be secured with additional fencing and this will be the service area containing the hot water service and other ancillary items

As previously stated the existing inground pool will be filled and the resultant total open space will be 243 42m² The Department of Community Services requirement is 6 96m² per child of outdoor space and therefore this represents an area approximately 52 percent greater than required

C 4 Relationship to Adjoining Land (Section 90(1)(h))

The proposal will use the existing backyard as a play area at limited times on weekdays only The hours the children are permitted outside are limited because the NSW Cancer Council recommends indoor activities be carried out generally between 11am and 3pm to minimise exposure to the sun The Department of Community Services adopts this Guideline and we are advised that this will be endorsed in this case to retain high quality of care Accordingly the traditional concern for noisy children being allowed to occupy the play area for long periods is no longer applicable and playtime of limited periods only is the current practice

In relationship to the eastern boundary the existing dwelling has no windows to the east and it is proposed to retain the existing garage and to locate the day care office in this part of the dwelling In addition strong landscaping will be provided from the front boundary along the eastern boundary and from the rear of the dwelling to the rear boundary It is considered that there will be no adverse affects in relation to the adjoining property to the east

The western side of the dwelling will accommodate the proposed toilets and the secured area and this will also act as a buffer to the property on the western side The existing strong landscaping will be retained along the rear western boundary from the rear of the building to the rear boundary New landscaping to the front of the dwelling between the car setdown area and the side boundary will provide a measure of screening

All the activities of the proposal will therefore be orientated to the front and to the rear with no adverse affects to the sides. Along the rear boundary it is proposed to extensively increase the range and type of planting to increase the canopy which will improve the screening and provide a buffer between the subject site and the property to the rear.

The development plan indicates the range and extent of landscaping, the retention of existing trees and the improvements to the range and type of planting that is proposed. The total site and in particular the rear yard will remain domestic in character and therefore there will be little change in the context of its relationship to any of the adjoining properties. The residential nature of the existing property will retain its primacy.

C 5 Access, Traffic and Parking (Section 90(1)(i) and (Section 90(1)(j))

The proposed vehicular access to Glen Street has been modified to conform with RTA Guidelines and the carparking provisions have been previously described. These provisions adequately meet the requirements of Council's Policy and DCP#2. The staff stacked parking is acceptable because it will only be used by staff members.

Although the three setdown/pickup areas are located within the building line it is considered that this is important because it achieves three objectives of Council's DCP#2 in that:

- a) It maintains safe internal traffic management,
- b) It provides an area that is convenient and efficient,
- c) It achieves a balance between the needs of the day care centre and other vehicular and pedestrian traffic.

Glen Street is a collector road which experiences heavy traffic flows during peak hours on weekdays. However this proposal will not generate any significant increase to that traffic. By comparison the RTA Guidelines suggest that professional consulting rooms can generate up to 7.6 vehicles per hour as opposed to a maximum of 20 vehicles visiting this site per day. There is no reason to suspect that this site cannot accommodate a long day care centre in relation to traffic generation and parking requirements.

C 6 Landscaping (Section 90(1)(m))

There will be little disturbance of the existing landscaping and only one tree (a nectarine fruit tree in the northwest corner) will need to be removed. This will be replaced by a more suitable species identified in the planting schedule. As previously stated the driveway and turning area will be of pavement construction as will the setdown area. There will be no perceived intrusion into Council's established building line. The development plan includes provision for landscaping and a schedule of planting species is also provided. This will reinforce the existing garden layout and improve the overall landscape presentation. Particularly emphasis has been placed on reinforcing and improving the boundary landscaping particularly along the rear eastern boundary and the rear northern boundary. The applicant advises that they are willing to conform with any additional landscaping requirement suggested by Council.

C 7 Amenity (Section 90(1)(o))

The existing and likely future amenity can be considered in terms of noise and privacy.

1 Noise

Considering that the existing dwelling was previously used as a doctors surgery it is unlikely that there will be any significant increase in noise from traffic. Noise emanating from children's activities will be minimal due to the small number of children to be accommodated and the current practice of long day care centres being orientated to educational supervision rather than a childminding approach. There will be 8 two year olds attending the centre which will require afternoon sleep periods and there will be extended quiet periods. Accordingly the proposed centre will not generate any noise levels unacceptable to a residential amenity. Playtimes are now intermittent and will only occur on weekdays.

The landscaping buffer which will surround the rear yard will further reduce any occasional noise. Staff carparking along the eastern boundary will assist in providing a buffer and together with the proposed landscaping there will be no adverse affects to the adjoining eastern or western neighbours. Having

regard for the reduction in traffic generation and the proposed improvement to the landscaping provisions it is considered that this long day care centre may in fact enhance the existing amenity of the neighbourhood because it will retain the physical characteristics of a domestic residence and is an appropriate use within residential areas. Traditionally they are integral to residential neighbourhoods.

2 Privacy

The operating hours will be 7.30am to 6pm and it is proposed to open the centre only 5 days of the week. To help assess the likelihood of any affect on privacy a small survey of the Narraweena Children's Centre (which accommodates 39 children) was carried out on the 5th December 1994. Visits to residential properties has resulted in support letters being received from two adjoining owners of that operation. It is clear that long day care centres do not affect their residential amenity and operation during week days only is not an unreasonable activity in residential areas. Copies of these two letters of support are provided.

C 8 Public Interest (Section 90(1)(r))

The public interest can be determined in the following context

- 1 The 2(a) Residential A Zone has always incorporated kindergartens and childminding centres as permissible uses. There is no record of any existing operation being closed as a result of neighbour complaints.
- 2 The definition of a child care centre is
A building or place which is used (whether or not for profit) for the purpose of educating, minding or caring for children subject to meeting specific conditions
- 3 The proposed long day care centre will provide a service to the community at large for which there is an existing demand.

PART D
CONCLUSION

● This is an appropriate site for a long day care centre because it is located on a collector road where there is existing traffic and noise and existing services are available. The building is an appropriate design and minimal internal changes only are required. There is evidence of strong social and economic benefit and little expectation of adverse affects on adjoining properties and neighbours. Improvements to the presentation of the site together with enhancement of the landscaping will result in an appropriate and welcome improvement to the amenity of the area.

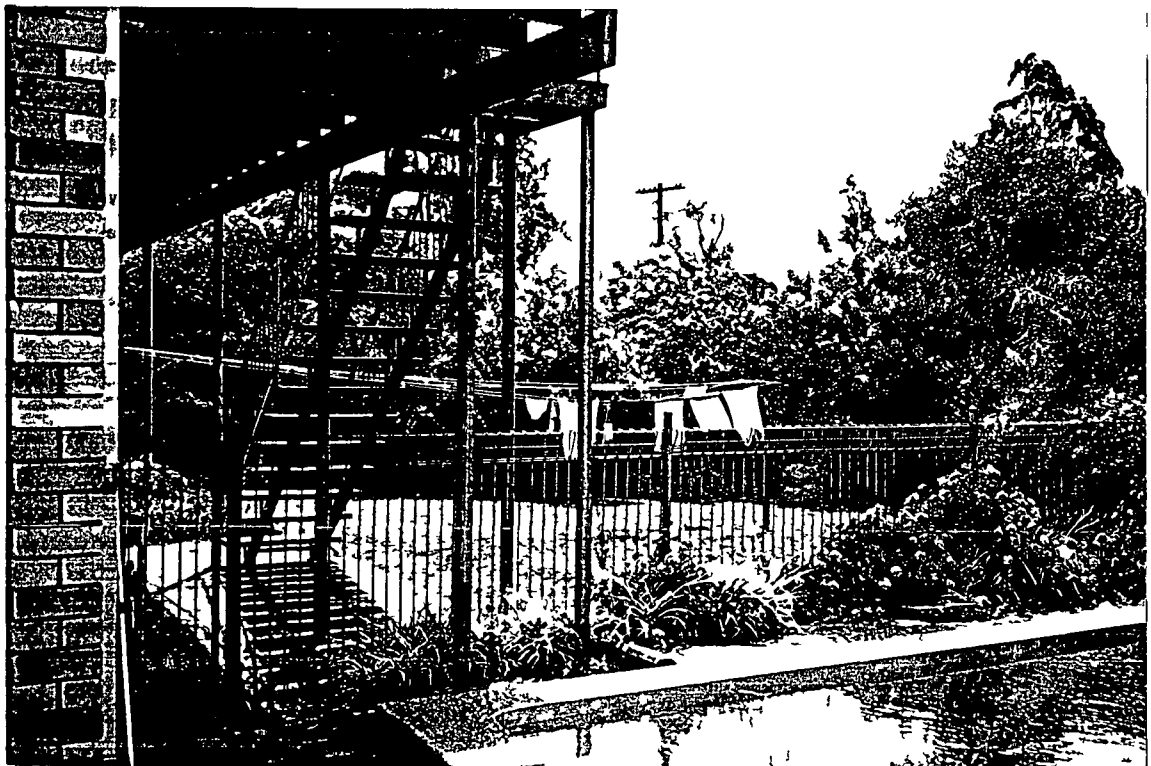
More than adequate protection of adjoining properties will be provided which will have a supplementary benefit of improving the aesthetics of the immediate area. The existing character of the area will not be jeopardised and may be improved.

In summary this proposal can be adequately accommodated on site and not only meets the minimum standards of the Department of Community Services but has provided open space in excess of those standards. Council's concerns for safe entry and exit and adequate onsite parking have been met and are not jeopardised by the site being of lesser area than set down. Substantial environmental planning merit has been demonstrated and a development will result which will provide a valuable social benefit without any adverse environmental affects. There are no environmental planning reasons why this application should be refused.

Photographs



1 Glen Street frontage and vehicular access



2 Rear yard proposed play area



3 Proposed staff parking area between eastern wall of building and eastern boundary

Dated 5/12/94

I/~~we~~ the undersigned reside at

1 RONALD AVE
NARRAWEENA
NSW 2099

The abovementioned property adjoins the Narraweena Childcare Centre. Insignificant noise is generated by the Centre and I/~~we~~ have not found it in any way disturbing.

G A Nieves
NIEVES

Dated 5/12/94

I/we the undersigned reside at

3 RONALD AVE
NARRAWEENA
N S W 2099

The abovementioned property adjoins the Narraweena Childcare Centre. Insignificant noise is generated by the Centre and I/we have not found it in any way disturbing.

Ketty L Walker

I am at home all day
Ketty L Walker



WARRINGAH COUNCIL

COPY

File No PF 1887/50 KC kmck/6426D
Enquiries

Telephone (02) 982 0333

CONSENT NO 95/122

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant s Name and Address Mr and Mrs J Evans, 49 Essilia Street,
COLLAROY PLATEAU NSW 2097

Being the applicant in respect of Development Application
No 1994/772

Pursuant to section 92 of the Act, notice is hereby given of the
determination by Warringah Council, as the consent authority, of the
Development Application No 1994/772 relating to the land described
as follows -

Lot 2, DP 223409, No 50 Glen Street, Belrose

For the following development -

A Child Care Centre (with attached residence) to accommodate 18
children

The Development Application has been determined by granting of
consent subject to the following conditions -

- 1 Development being generally in accordance with plans numbered
94136-1DA and 94136-2DA, dated December 1994, submitted
09 12 94 as amended in red and modified by any conditions of
this consent/approval (A1)
- 2 No signs to be displayed without a separate approval under the
Local Government Act (A3)
- 3 Landscaping plans to be submitted for approval with the
Building Application, indicating all existing trees specifying
those to be retained/removed as well as details of proposed
planting plus details of names/height and mature spread (J1)
- 4 Plant and building materials should not be placed or stored
within the public road reserve , and shall be stored within
the boundaries of the site during building works Failure to
comply with this condition may result in Council taking action
to remove the offending items from the public road reserve and
all costs incurred by Council will be deducted from any
deposit monies held in relation to the subject property (D18)

All correspondence to be addressed

General Manager

Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



CONSENT NO 95/122

- 5 The development shall not harm the environment by way of denudation of the land, soil erosion or the transmission of soil and sediment from the land. Appropriate mitigation measures are to be implemented during the construction of the development and the future use of the land (L1)
- 6 All works on the site shall be undertaken to prevent erosion and transport of soil and sediment off the site and onto adjoining properties. Measures shall be taken in accordance with the requirements of Council's Specification for Erosion and Sediment Control. An erosion and sediment control plan shall be submitted for Council's approval prior to Building Approval (L2)
- 7 The payment of \$1000 to account Reg 009-*TF 036 prior to issue of building approval or approval for subdivision works as security to ensure that
 - a) all silt and sediment control measures are installed and maintained,
 - b) there is no transmission of material, soil etc off the site and onto the public road and/ or drainage systems, and
 - c) maintenance of all facilities in accordance with Council's Specification for Erosion Control and Sediment Control (L3)
- 8 Restoration and maintenance to approved levels and safe condition of the footway reserve/s adjoining the site in Glen Street to Council's reasonable satisfaction (S4)
- 9 The public footways and roadways adjacent to the site shall be maintained at all times during the course of the work in a safe condition to the satisfaction of Council (S7)
- 10 Provision of one vehicle crossing, 6m at kerb, 6.5m wide at boundary to Council's satisfaction and in accordance with Council Drawing No A43330 to approved levels and specifications. An application for street levels is to be made with the Building Application (T1)
- 11 Construction of approved kerb laybacks in accordance with the details shown on Council Plan A4 2276 (T2)
- 12 Reinstatement of redundant crossings and laybacks (T3)

All correspondence to be addressed

General Manager

Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why

Fax (02) 971 4522



WARRINGAH COUNCIL

COPY

File No PF 1887/50 KC kmck/6426D
Enquiries

Telephone (02) 982 0333

CONSENT NO 95/122

- 13 All fences, letter boxes and any other structures erected on the street alignment to conform to the approved back of footpath levels (V2)
- 14 Building waste containers or skips and the like are not to be placed within the public road reserve unless prior approval from Council has been obtained and appropriate fees paid (V6)
- 15 Vehicles entering and leaving the site shall do so in a forward direction Provision shall be made on-site to ensure that this can be achieved (V8)
- 16 Demolition of existing pool and removal of all debris from the site (U8)
- 17 All rooms in the building being ventilated in accordance with the provision of Part F4 of the Building Code of Australia (W4)
- 18 Wall between occupancies to have a Fire Resistance Level of not less than 60/60/60 This wall is to be taken to the floor above having a Fire Resistance Level not less than 30/30/30, in accordance with Part C of the Building Code of Australia Details to be submitted with the Building Application (W13b)
- 19 Sound attenuation of soil/waste pipes above habitable rooms shall achieve an STC of 45 Details being provided with the Building Application from a suitably qualified acoustic engineer, or a previously certified system from an accredited testing authority (W14)
- 20 The building being constructed in Type B construction (W17)
- 21 The windows/doors in the western walls being protected in accordance with the provision of Part C3 of the Building Code of Australia Details being submitted with the Building Application (W18)
- 22 Walls/Floor/Ceilings between occupancies are to have an STC in accordance with Part F and an FRL also in accordance with Part C of the Building Code of Australia Details being provided with Building Application (W29)
- 23 Compliance with the requirements of Council's Checklist for Childcare Services Details to be provided with Building Application

All correspondence to be addressed

General Manager
Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



WARRINGAH COUNCIL

COPY

File No PF 1887/50 KC kmck/6426D
Enquiries

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CONSENT NO 95/122

- 24 Where the applicant cannot demonstrate to Council's satisfaction that the proposed development will not increase the rate of stormwater discharge from the site, the design and construction of an on site stormwater detention system in accordance with Council's requirements Details to be submitted with the Building Application
- 25 Compliance with the requirements of the NSW Department of Community Services
- 26 Operating hours are to be confined to 7 30am to 6 00pm, Monday to Friday
- 27 The maximum number of children that are to be accommodated at the centre at any time shall not exceed 18
- 28 The three open car spaces adjacent to the front property boundary shall remain open No structures shall be permitted over these spaces

The reason for the imposition of the above consent conditions is as follows -

To ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act, pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 90 of the Act and the Environmental Planning Instrument applying to the land, as well as section 91(3) of the Act which authorises the imposing of the consent conditions

Endorsement of date of consent **2 MAR 1995**

IMPORTANT You are advised to read these notes in addition to the Conditions of your consent

- (1) It is to be clearly understood that the above consent is not an approval to carry out any structural work A formal building application must be submitted to Council and be approved before any structural work is carried out to implement the above consent Also the applicant is not relieved of any obligation to obtain any other approval required under any other Act

All correspondence to be addressed

General Manager

Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522



WARRINGAH COUNCIL

COPY

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CONSENT NO 95/122

- (2) Section 97 of the Environmental Planning and Assessment Act confers on the applicant who is not satisfied with the determination of the consent authority a right of appeal to the Land and Environment Court exercisable within 12 months of receipt of this notice
- (3) This consent shall be effective and operative from the endorsement date of this consent, however should an appeal be lodged against Council's determination of the application, the consent shall cease to be, or shall not become, operative, until that appeal is determined See section 93 of the Act
- (4) For information about the circumstances in which this consent may lapse, about commencement of a development granted consent, about extension of the consent, and about the circumstances in which Council may require completion of the development, see Section 99 of the Act
- (5) For information about the procedure for the modification of this consent by Council, see Section 102 of the Act
- (6) Any person who contravenes this notice of determination of the abovementioned development application shall be guilty of a breach of the Environmental Planning and Assessment Act, 1979, and shall be liable to a monetary penalty and for a restraining order which may be imposed by the Land and Environment Court

R Symons

R Symons
DIRECTOR FINANCE AND
CORPORATE SERVICES

per *Re*

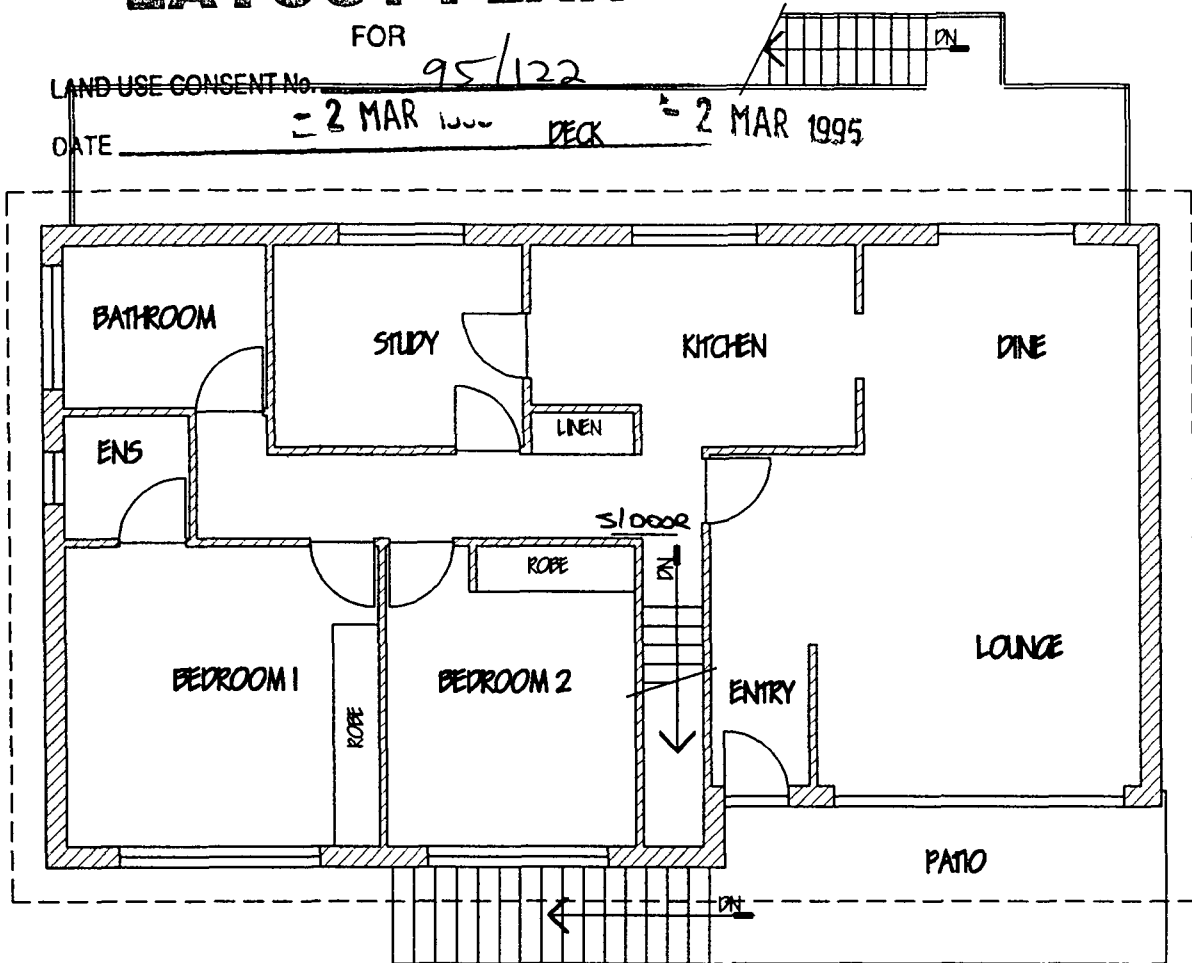
Date 2 MAR 1995

All correspondence to be addressed

General Manager
Civic Centre Pittwater Road Dee Why 2099
DX 9118 Dee Why Fax (02) 971 4522

LAYOUT PLAN

FOR
LAND USE CONSENT No. 95/122
DATE 2 MAR 1995 DECK 2 MAR 1995

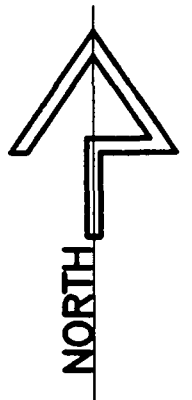


EXISTING UPPER FLOOR PLAN

THIS FLOOR LEVEL TO BE UNCHANGED
IN THIS DEVELOPMENT APPLICATION

THIS DRAWING TO BE READ INCONJUNCTION WITH 94136-1DA

Project **PROPOSED ALTERATIONS & ADDITIONS
AT No 50 GLEN STREET FRENCHES FOREST
FOR MR. J & MRS. D. EVANS**



Prepared by

H&C DESIGN PTY LTD
50 FULLER STREET COLLAROY PLATEAU
PHONE (02) 981-2927
A C N 002079192

Date DEC 1994
Drawn HENK
Scale 1:100
Job No 94136-2DA



Burgess & Arnott Pty Ltd

All Correspondence
PO Box 69 Forestville 2087

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (PO BOX 69) FORESTVILLE NSW 2087
TELEPHONE 451 4411 451 6772 FAX 975 2274
A C N 001 094 855

5 June 1995
Re 7494-01/am

The General Manager
Warringah Council
Civic Centre
DEE WHY NSW 2099

Dear Sir

Re PROPOSED ADDS & ALTS AT 50 GLEN STREET BELROSE

Please find enclosed copies of the stormwater drainage system plans together with the hydraulic calculations for the above project

We submit these for your consideration and approval Should any discussion be required please contact the writer

Yours faithfully
BURGESS & ARNOTT PTY LTD

D A BURGESS M I E AUST
Director



5 June 1995

Re 7594 swd/am

Burgess & Arnott Pty Ltd

CONSULTING STRUCTURAL CIVIL & HYDRAULIC ENGINEERS
61A THE CENTRE (PO BOX 69) FORESTVILLE NSW 2087
TELEPHONE 451 4411 451 6772 FAX 975 2274
A C N 001 094 855

All Correspondence
PO Box 69 Forestville 2087

ON SITE DETENTION CALCULATION

FOR

50 GLEN STREET BELROSE

The proposed carpark paving increases the impervious area from 369m^2 to 403m^2
increase

It is intended to utilise the existing pool in a modified form the detention tank, the pool was to be
demolished

Site Area = 701.4m^2

Impervious area Pre Develop	=	<u>369</u> m	52.6%
Impervious area Post Develop	=	<u>403</u>	57.5%

Using Swinburne Computer Method

RARE - Version 1.53 Swinburne O S D Method 17 17 08

FILE REFERENCE	WARRO
AREA (m ²)	701.4
%IMP PRE-DEV	52.6
%IMP POST-DEV	57.5
Tcs Site (min)	5
Tc Outlet (min)	10

ARI (yrs)	Tcs min	Tc min	I mm/hr	Pre C	Post C	Qp l/s	Qa l/s	PSDs above	l/s below	Volumes m ³ / above	below
5	5 0	10 0	123	0 71	0 72	16 8	34 4	17 9	19 4	3 0	4 0
10	5 0	10 0	139	0 74	0 76	20 0	40 8	21 2	23 0	3 6	4 7
20	5 0	10 0	159	0 78	0 80	24 1	49 3	25 6	27 7	4 3	5 7
50	5 0	10 0	186	0 85	0 87	30 8	63 1	32 8	35 5	5 6	7 3
100	5 0	10 0	207	0 89	0 91	35 7	73 0	37 9	41 1	6 4	8 5

CHANGE PSDs FOR MIXED ARIs ? (Y/N)

RARE - Version 1 53

Swinburne O S D Method

17 17 38

FILE REFERENCE WARRO

AREA (m²) 701 4
 %IMP PRE-DEV 52 6
 %IMP POST-DEV 57 5
 Tcs Site (min) 5
 Tc Outlet (min) 10

ARI (yrs)	Tcs min	Tc min	I mm/hr	Pre C	Post C	Qp l/s	Qa l/s	PSDs above	l/s below	Volumes m ³ / above	below
5	5 0	10 0	123	0 71	0 72	16 8	34 4	17 9	19 4	3 0	4 0
10	5 0	10 0	139	0 74	0 76	20 0	40 8	21 2	23 0	3 6	4 7
20	5 0	10 0	159	0 78	0 80	24 1	49 3	25 6	27 7	4 3	5 7
50	5 0	10 0	186	0 85	0 87	30 8	63 1	32 8	35 5	5 6	7 3
100	5 0	10 0	207	0 89	0 91	35 7	73 0	17 9	19 4	17 7	21 8

CHANGE PSDs FOR MIXED ARIs ? (Y/N)

Using the 1 in 5yr P S D for the 1 in 100yr event indicates a
on site detention volume = 21 8m²
with P S D = 19 4 l/sec

Actual Volume of modified pool

$$= 29.9\text{m}^3 \text{ (Full)}$$

Hence this volume exceeds the Warringah Council guidelines

OUTLET CALCULATION

$$\begin{aligned} Q &= 0.194 \\ C &= 6 \\ H &= 151.373 \quad 150.745 = 629.054 \\ &= 575 \\ Q &= C \times A \times \sqrt{2gH} \\ D &= 110\text{mm dia Orifice} \end{aligned}$$

RAINFALL INTENSITIES IN MM/HOUR

TITLE 50 GLEN STREET BELROSE

DATE 25/05/95

UBD Map ref 30 G 1

Site data 2I1= 41 1 2I12= 9 06 2I72= 2 94 50I1= 86 2 50I12= 19 8
50I72= 6 81 REGSKEW=0 000 F2=4 294 F50=15 86 C10=0 72

Duration	Average Storm Recurrence Interval (years)							
	1	2	5	10	20	50	100	
2min	134 23	171 04	214 00	238 11	270 74	312 85	344 48	
3	119 44	152 45	191 60	213 70	243 46	281 94	310 91	
4	109 12	139 46	175 90	196 54	224 25	260 14	287 19	
5	101 25	129 54	163 86	183 37	209 48	243 35	268 91	
6	94 98	121 63	154 24	172 83	197 65	229 89	254 24	
7	89 69	114 96	146 10	163 89	187 62	218 45	241 76	
8	85 17	109 24	139 11	156 22	178 99	208 60	231 02	
9	81 23	104 26	133 01	149 51	171 44	199 99	221 60	
10	77 81	99 94	127 71	143 68	164 87	192 48	213 40	
11	74 79	96 11	123 01	138 50	159 03	185 80	206 09	
12	71 96	92 52	118 60	133 64	153 55	179 52	199 23	
13	69 47	89 36	114 70	129 34	148 70	173 97	193 16	
14	67 21	86 50	111 17	125 44	144 30	168 93	187 63	
15	65 09	83 82	107 86	121 79	140 16	164 19	182 44	
16	63 19	81 40	104 86	118 48	136 42	159 89	177 74	
17	61 40	79 13	102 06	115 37	132 91	155 87	173 32	
18	59 80	77 10	99 54	112 58	129 76	152 24	169 34	
20	56 78	73 26	94 78	107 31	123 79	145 38	161 82	
25	50 80	65 65	85 30	96 80	111 87	131 66	146 75	
30	46 21	59 80	77 98	88 67	102 64	121 01	135 04	
35	42 59	55 19	72 19	82 22	95 30	112 53	125 71	
40	39 61	51 37	67 39	76 86	89 20	105 47	117 93	
45	37 11	48 18	63 37	72 37	84 08	99 54	111 39	
50	35 01	45 49	59 96	68 56	79 73	94 50	105 82	
60	31 57	41 08	54 36	62 29	72 56	86 17	96 62	
90	24 80	32 30	42 86	49 18	57 35	68 19	76 53	
2hrs	20 83	27 15	36 09	41 45	48 38	57 58	64 66	
3	16 24	21 19	28 24	32 48	37 96	45 23	50 84	
4	13 60	17 75	23 71	27 30	31 93	38 08	42 83	
5	12 64	16 51	22 07	25 42	29 74	35 48	39 92	
6	10 59	13 84	18 53	21 36	25 01	29 87	33 62	
9	8 25	10 80	14 50	16 74	19 62	23 47	26 44	
12	6 92	9 06	12 19	14 09	16 53	19 78	22 30	
14	6 31	8 27	11 15	12 90	15 15	18 15	20 47	
16	5 83	7 65	10 32	11 95	14 05	16 84	19 01	
18	5 44	7 13	9 64	11 17	13 14	15 76	17 80	
20	5 11	6 70	9 08	10 52	12 38	14 87	16 79	
22	4 82	6 33	8 58	9 96	11 72	14 08	15 91	
24	4 58	6 01	8 16	9 47	11 15	13 40	15 15	
30	3 98	5 24	7 13	8 28	9 77	11 76	13 30	
36	3 56	4 68	6 39	7 44	8 78	10 58	11 98	
48	2 96	3 90	5 33	6 22	7 36	8 88	10 07	
60	2 54	3 35	4 60	5 38	6 37	7 70	8 74	
72	2 23	2 94	4 06	4 75	5 62	6 81	7 73	

Note The above rainfall intensities were derived using the procedures described in Chapter 2 of the Institution of Engineers Australia publication Australian Rainfall & Runoff 1987 ed

L

DRAINAGE COMPUTATIONS

GLEN ST FRENCHS FOREST

I=209 mm/hr Tc=5 mns

LINE	ITEM	AREA m ²	C	A*C m ²	Sum A*Q l/s	Sum Q l/s	Grade %	DIA mm	Q Max l/s
P1-P2	PAV	108 00	0 90	97 20		5 64	1 00	100 00	8 00
P2-P3	PAV	115 00	0 90	103 50					
	L/S	28 00	0 73	20 44	123 94	7 19	12 83	1 00	150 00
P3-DET	PAV	22 00	0 90	19 80		1 14	13 97	1 00	10 00
DET-OUT	L/S	49 00							
EX ROOF	TO DET	157 50							
TOTAL		479 50							

HYDRAULIC GRADELINES

Depths and RL values in Metres - Slopes in ‰

F1 Help

Smartkey Solutions 02-810 5451

HYLINE Version 1 64

09 54 13

D/S Invert Level 147 28

D/S Water Level 149 87

Label	Length (m)	Slope (‰)	Dia (mm)	Height (mm)	Pit Depth	Rough (mm)	U/S Pit K	Q l/s	Surf RL	HGL Depth
E P5	13 75	17 60	225		0 6	0 015	0 2	28 7	150 3	0 23

P5 P4	22 5	2 89	225		0 95	0 015	0 2	28 7	151 3	0 23
P4 DT	16 5	1 00	225		1 485	0 015	0 2	19 4	152	0 23

Depths and RL values in Metres - Slopes in ‰

F1 Help

Smartkey Solutions 02-810 5451

HYLINE Version 1 64

09 54 20

D/S Invert Level 147 28

D/S Water Level 149 87

Label	Vel m/s	Pit Loss	Hyd Slope	Rel Inv	Rel Surf	Rel HGL	U/S Pit k	Q l/s	Surf RL	HGL Depth
E P5	0 83	0 01	0 25	149 70	150 30	149 93	0 2	28 7	150 3	0 23
P5 P4	0 82	0 01	0 25	150 35	151 30	150 58	0 2	28 7	151 3	0 23
P4 DT	0 58	0 00	0 13	150 51	152 00	150 74	0 2	19 4	152	0 23

Depths and RL values in Metres - Slopes in ‰

F1 Help

— URGENT PLEASE —

4 pages including
this page

50 Glen Street
Belrose 2085

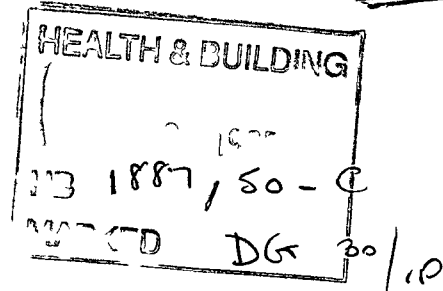
2 November 1995

Mr Darren Greenow
Warringah Shire Council
Civic Centre
Dee Why 2099

By fax 9971 4522

Dear Mr Greenow

285-5739 work



Re BA No 30984
Fire Rated Windows to replace Drenching System
50 Glen Street, Belrose
Childcare Centre and Residence

I refer to our telephone conversation this morning regarding the two upstairs windows on the western boundary. As discussed I wish to fit opening windows which are one hour fire rated (they have a special closing mechanism in the event of fire) to the two (and only) windows on the upstairs western boundary not a drenching system as previously indicated.

I enclose a fax from Steel Windows for your information.

Plans recently lodged with Council indicated that a drenching system would be installed. I had been advised by professionals that this would be a more cost effective alternative however my own personal investigations have revealed that this is not the case.

I sincerely apologise for any inconvenience that this change may have caused you.

Also as previously indicated I am extremely anxious to commence the building work as I am being pressured from the bank and any further delay may result in adverse consequences. The bank is finding it difficult to accept that the building application has not issued yet (it has now been with Council well past eight weeks).

Also would you kindly call me once the application has been approved as I would prefer to collect it from the Council (rather than having it posted) if possible.

Thank you for your assistance

Yours sincerely

Deborah Evans



Steel Window Frames Pty. Ltd.

166 172 Henderson Road
ALEXANDRIA NSW 2015

Phone (02) 557 1226
Facsimile (02) 519 3147

FACSIMILE TRANSMISSION

COMPANY

TO

DEBORAH EVANS EXT 5739

FROM

JOE DINARDO.

DATE

2 11 95

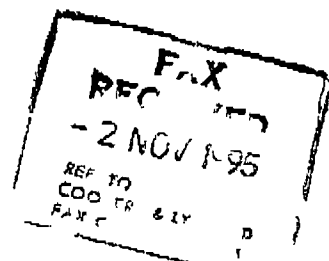
NO OF PAGES (INCLUDING THIS PAGE)

3MESSAGE

*DETAILS OF OUR ONE HOUR FIRE RATED
WINDOWS.*

*NOTE: OPERABLE SASH IS A HORIZONTAL
OFF SET PIVOT DESIGNED TO CLOSE
UNDER ITS OWN WEIGHT.
SASH IS HELD OPEN VIA ROPE CORD
ATTACHED TO A FUSIBLE LINK & SPRING
CATCH*

Regards DinarDO.



ONE HOUR FIRE RATED FRAME DETAIL STANDARD FIXING DETAIL INTO CAVITY BRICKWORK

PLAN FORM 2

ONE HOUR FIRE RATED T...
WINDOW DETAIL REGISTERED
& APPROVED BY THE FIRE & J...
WRITERS ASSOCIATION OF NSW &
VIC NSW DEPT OF LOCAL GOVT
& THE COMM EXPERIMENTAL BULG
STATION NTH RYDE

RE: SWFFU

ORDINANCE TO SPEC 1 REC...
OVERALL AREA OF FRAME SHALL
NOT EXCEED 2.2M² & NOT GREATER
THAN 2950MM IN ANY ONE
DIRECTION (SEE EXAMPLE)

2 GLASS PANELS SHALL NOT EXCEED

3 PIVOT OPERATING SASHES (11 REC)

BLOCKS POSITIONED 20MM OFF
CENTRE

ALL STEEL TO BE HOT DIP GALV
AFTER FABRICATION

STEEL WINDOW FRAMES FTY LTD
EST 638

MANUFACTURE ALL TYPES OF
STEEL FRAMED WINDOWS FOR
INDUSTRIAL COMMERCIAL
RESIDENTIAL CHURCHES ETC

166-172 HENDERSON ROAD
ALEXANDRIA 2015

PHONE 511226 SYDNEY

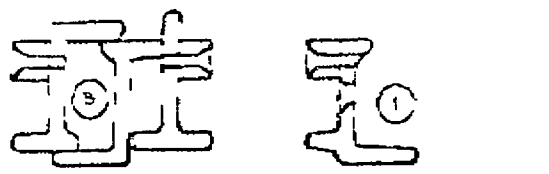
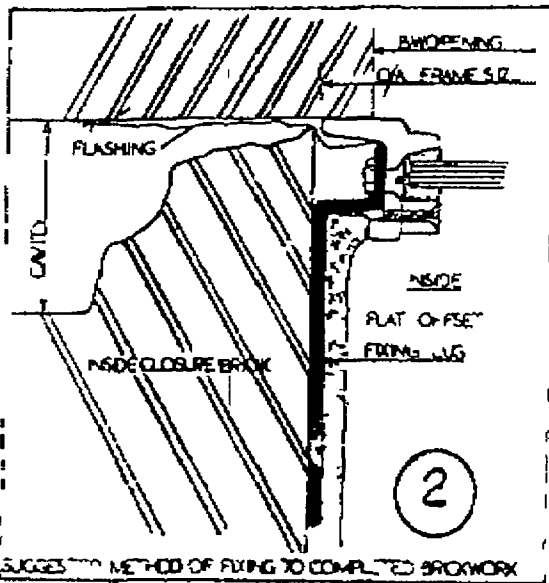
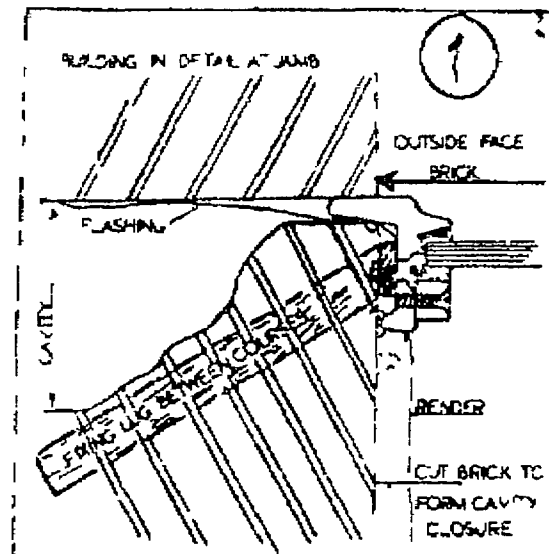
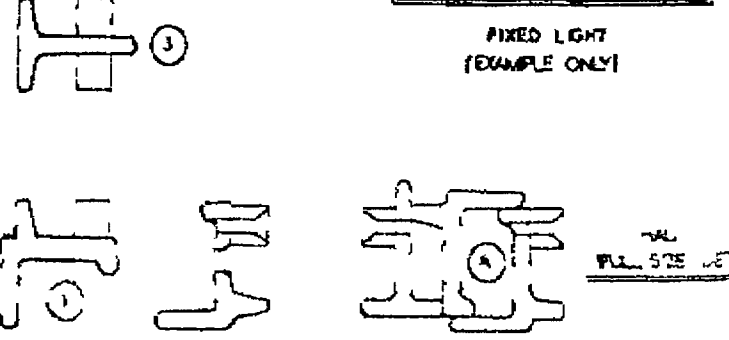
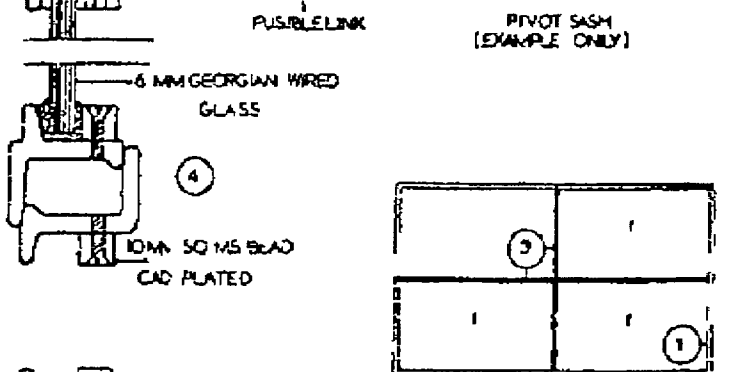
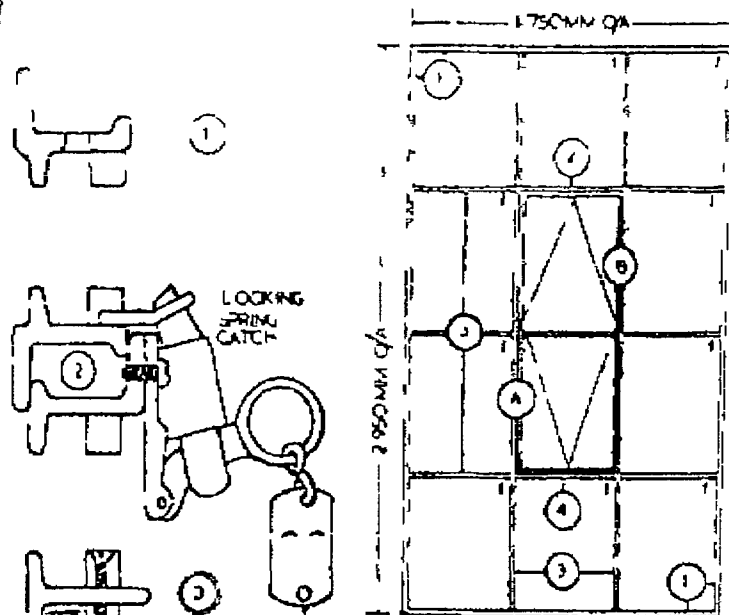
AMENDMENTS

GLASS PANELS SHALL NO
EXCEED 610 x 610MM IF AN
OPENING SASH & 762 x 762MM IF
FIXED LIGHTS

ONE OPERATING SASH TO EACH
INDIVIDUAL FRAME

MAX SASH WIDTH 1000MM

" " DEPTH 1300MM



DRAWING

A3

Re

Dear Sir,

With regard to the one hour fire rated steel window frames manufactured by this company, we wish to advise that the windows are constructed in accordance with the Ministers Specification Number 1, Clause 21-4 - Ordinance 70 - and as the proto type referred to in the Building Code of Australia - Fire Windows

This company had windows tested and approved for one hour fire rating in 1939, our registration being 'S W F F U' , however, we now choose to manufacture our fire rated steel windows by the guide lines set out in the Ministers Specification

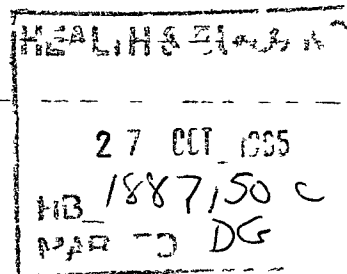
**Yours faithfully,
STEEL WINDOW FRAMES PTY LTD**

A handwritten signature in cursive script, appearing to read 'S Small', is positioned below the typed name of the company.

50 Glen Street
Belrose 2085

23 October 1995

Mr Darren Greenaw
Warringah Council
Civic Centre
Pittwater Road
Dee Why 2099



RES.
20/11

Dear Mr Greenaw,

Re Amended Building Application
childcare Centre
50 Glen St, Belrose, 2085

Please find enclosed amended plans for 50
Glen Street, Belrose, 2085

The plans have been amended as follows

- Bathroom & ensuite windows in residence to be protected by external drenches complying with AS 2118
- Double 1 hr fire rated doors, as opposed to single door
- considered that fire rating of walls and ceiling not required as a construction

under type B does not require a fire rating.

In regard to the downstairs garage, the garage will be used to garage a car which is used for the provision of childcare (ie, collecting shopping, banking and other administrative tasks) and for private purposes.

It is anticipated that business use should be greater than 50%.

If you have any query please do not hesitate to contact me on 99756926.

Yours sincerely,

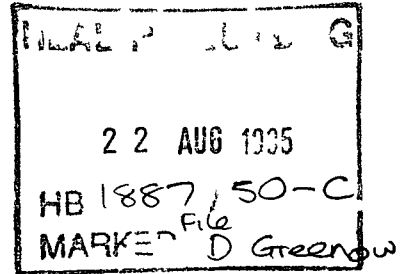


Deborah Evans

50 Glen Street
Belrose 2085

18 August 1995

Mr Darren Greenow
Warringah Council
Civic Centre
725 Pittwater Road
Dee Why 2099



Dear Mr Greenow

Re Building Application 30984
50 Glen Street, Belrose 2085

Enclosed are the following

Approved plans from the Department of Community Services (DOCS) subject to certain conditions. Please note that I have spoken to Mr Warren Dutch who directed me to Mrs Beryl Tuddenham from DOCS regarding the restriction of child access to the kitchen area. The kitchen area is a kitchenette ie it does not contain an oven or hot plates. Mrs Tuddenham informed me that to restrict access DOCS require a child proof hot water tap and childproof locks on the cupboards and draws.

New drainage plan

Revised landscaping plan (ie this plan removes the previous drainage system which has been submitted and rejected no other change has been made the type amount and location of plants remains unchanged)

Please do not hesitate to contact me at work on 335 7481 or at home on 9975 6926 (answering service) if you require any additional information

Yours sincerely

A handwritten signature in cursive script, appearing to read "Deborah Evans".

Deborah Evans

GEOFFREY M HENRY
BE MIE Aust

BRUCE M BRADNAM
BE MIE Aust

IAN D HYMAS
B Sc M Eng Sc



HENRY & HYMAS CONSULTING STRUCTURAL ENGINEERS

13 July 1995

Our Ref 95173

Mrs D Evans
50 Glen Street
FRENCHS FOREST 2086

Dear Mrs Evans

RE PROPOSED ALTERATIONS AND ADDITIONS TO
50 GLEN STREET, FRENCHS FOREST

We have inspected your site and sighted plans of your proposed development with a view to designing a stormwater system

It would appear that the current roof drainage is connected to the easement to the rear of the site. Given the age of the existing cottage it is likely that the pipe within that easement is limited in its capacity. In addition, the slope of the site encourages overland flow across the rear yard - this is not desirable given the approved use of the development. Whilst it is possible to address these problems and still drain to the rear it may involve either (or both)

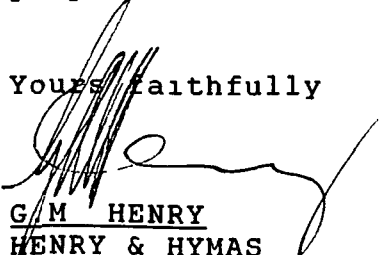
- (1) Considerable change in levels to the rear yard
- (2) Alterations to the existing pipe line within the easement

The foregoing may be difficult and costly given site access conditions and may have an adverse or disruptive effect on your adjoining neighbours properties

After consideration of the foregoing we are of the view that the most practical solution to this problem is to discharge any stormwater from the front of the site into a pit in Glen Street. Our design reflects this and is shown on the attached drawing (No 94136-2BA) prepared by H & C Design

Please contact the undersigned if you have any queries with this proposal

Yours faithfully


G/M HENRY
HENRY & HYMAS



21 April, 1995

95-092L1 421

Ms Deborah Evans
50 Glen Street
BELROSE NSW 2085

C/COPY
DWS-

Dear Deborah,

**RE CONVERSION OF GROUND FLOOR OF RESIDENCE INTO
CHILD CARE CENTRE**

We present a preliminary report on meeting Council's requirements We only address Conditions 19 and the acoustic part of Condition 22 in Consent No 95/122

Please check that no other Conditions of Consent require our attention

Condition 19

Soil and waste pipes passing above habitable rooms must be separated from the habitable rooms by a construction providing a noise reduction of STC 45 A method to achieve this is now described

The method used involves three elements -

- treating the pipe
a barrier consisting of two layers of plasterboard
acoustic absorption in the bulkhead

The pipe is tightly spiral-wrapped twice with strips of 4kg/m² loaded vinyl Nominally, strips 150mm wide are used The pipe is completely wrapped once with each turn of the spiral overlapping 75mm and all terminations and junctions overlapped and taped with pieces of loaded vinyl Then the pipe is wrapped a second time in the same way, but starting at the opposite end

The effect of this treatment is to provide damping of the pipe walls, and to increase the effective mass of the pipe walls, thereby increasing sound transmission loss by around 15-20 dB

Two sheets of standard 13mm plasterboard will provide a barrier of around STC 30 (A sheet of 10mm plasterboard plus 13mm fire-rated plasterboard would be acceptable to achieve STC 45 overall)

Provision of minimum 50mm glasswool or polyester insulation in the bulkhead will reduce the build-up of reverberant sound in the bulkhead, and is an important part of the overall treatment

The overall effect of the above treatment is to provide an equivalent rating of STC 45-50

Condition 22

The Building Code of Australia requires a floor/ceiling between occupancies to have a rating not less than STC 45. This is a minimum standard for residential housing and generally provides unsatisfactory results. However, in this case where a Child Care Centre will be located over residential, and the residence is generally unoccupied during the day then STC 45 will be satisfactory.

The existing construction is rated at around STC 33 (20mm T & G flooring over 250mm joists with a 10mm plasterboard ceiling below).

To provide STC 45 will require one of the following –

- 1 Remove the existing ceiling. Fix CSR Gyprock Resilient Mounts to the underside of the joists. Clip Rondo 129 furring channels into the mounts, screw fix a ceiling of 13mm (minimum) fire-rated plasterboard to the furring channels. Also provide R2.0 insulation batts in the cavity.
- 2 Retain the existing ceiling. Fix 75mm (minimum) timber battens to the ceiling. Suspend a 13mm fire-rated plasterboard ceiling from the battens using CSR Gyprock Resilient Mounts and Rondo 129 furring channels. Provide 75mm (nominal) glasswool or polyester insulation material in the cavity.

Notes

The perimeter of the ceiling in each room must stop short of the room walls by at least 5mm, and the gap caulked with a 10mm bead of silicone sealant or other approved (elastomeric) non-setting sealant.

We can advise on other floor/ceiling options if required. We can also advise if residential amenity is particularly important in daytime when the Child Care Centre is occupied.

More than one layer of fire-rated plasterboard may be required in the ceiling to satisfy Council and BCA fire requirements. This is outside our area of expertise.

The above predictions assume the walls/ceilings are constructed according to good building practice and the material manufacturer's instructions, with all joints sealed and no acoustic weak links. The predictions refer to the ceilings installed as described, and no allowance is made for other flanking transmission, than that normally expected through structural walls.

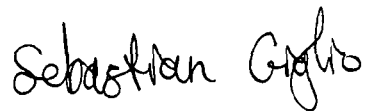
**CONVERSION OF GROUND FLOOR OF RESIDENCE
INTO CHILD CARE CENTRE**

PAGE 3

Provided the above recommendations are followed, as described or with variations approved by this office, then Council's Consent Conditions will be met

We trust this information meets with your current requirements. Should you require any further details, please do not hesitate to contact the writer at the number shown

Yours faithfully



Sebastian Giglio

PETER R KNOWLAND & ASSOCIATES PTY LTD

C C Geoff (Builder)
Fax C/o 970 6460

BEE & LETHBRIDGE PTY LTD

A.C.N 003 194 447

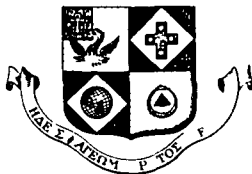
Consulting Surveyors

SUITE 3 FIRST FLOOR
THE CENTRE 14 STARKEY STREET
FORESTVILLE NSW 2087

Phone 451 6757
P O Box 330
Forestville 2087
Fax No 975 3535

BEE B Surv M I S Aust

C C LETHBRIDGE B Surv (Hons) M I S Aust



OUR REF

8463

YOUR REF

Mrs D Evans
50 Glen Street
BELROSE NSW 2085

1st June 1995

Dear Madam

RE PROPERTY 50 Glen Street, Belrose

As instructed by you we have investigated the Title of Lot 1 in Deposited Plan 223409 upon which stands No 52 Glen Street Belrose

The Title indicates that an Easement to Drain Water 0.915 metres wide affects the land and the associated Restriction on the Use of Land (copy enclosed) indicates that Lot 2 in the subject Deposited Plan (your land) is benefited by this easement

Also enclosed is Part III of Schedule VIII of the Conveyancing Act 1919 which stipulates the rights associated with the Easement to Drain Water. It is evident upon reading this section that you have the legal right to place pipes within this easement provided that due care is taken and the land is returned to its original condition

I trust this information satisfies your enquiry however if further explanation is required please contact the writer

Yours faithfully

Warren L. Bee
REGISTERED SURVEYOR

BURKHART & COMPANY

PTY LTD A C N 002 801 498

Computer Folio Search

Survey/Title Searchers Registration Agents Process Servers

Level 10 75 Castlereagh Street Sydney NSW 2000 Australia

Facsimile (02) 262 4904 DX 654 Sydney Telephone (02) 231 012

TORRENS TITLE

FOLIO IDENTIFIER

1/223409

EDITION No. & DATE OF CURRENT CERTIFICATE OF TITLE

Search made up to

Date 30 5 1995

Time 8 00AM

1

:

8

6

1990

LAND

LOT 1 IN DEPOSITED PLAN 223409

AT BELROSE

LOCAL GOVERNMENT AREA WARRINGAH

PARISH OF MANLY COVE COUNTY OF CUMBERLAND

TITLE DIAGRAM DP223409

FIRST SCHEDULE

ROGER GARY PARTRIDGE

SVETLANA INGER PARTRIDGE

AS JOINT TENANTS

(T Z52693)

SECOND SCHEDULE

1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND
CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)

2 DP223409 RESTRICTION(S) ON THE USE OF LAND

3 DP223409 EASEMENT TO DRAIN WATER AFFECTING THE PART(S) SHOWN
SO BURDENED IN THE TITLE DIAGRAM

4 Z52694 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

UNREGISTERED DEALINGS NIL

30 5 1995 10

INFORMATION AS SUPPLIED BY ALTS

ANY ENTRIES PRECEDED BY AN ASTERISK DO NOT APPEAR ON THE CURRENT EDITION OF THE CERTIFICATE OF TITLE

J 831816

INSRIEUT SETTING OUT TERMS OF EASEMENTS AND RESTRICTION AS
1. USES INTENDED TO BE CREATED PURSUANT TO SECTION 88B
OF THE COVEYANCING ACT, 1919

Plan **D-223409** Subdivision of the whole of Certificate of Title
Volume 844 Folio 158 and part of Certificate of
Title Volume 5568 Folio 46 covered by Council
Clerk's Certificate No 6089 of 1964

Full name and address
of Proprietor of land

Banaco Pty Limited Banaco No 2 Pty
Limited and Janaco No 3 Pty Limited
J Ethie Street Beacon Hill

1 Identify of easement or
restriction firstly referred to Easement to drain water 6 feet
in above mentioned Plan wide

Schedule of lots, etc affected

<u>Lots burdened</u>	<u>Lot, name of road, or Authority benefited</u>
15	Council of the Shire of Warringah

2 Identify of easement or
restriction secondly referred to Easement to drain water 3 feet
in above mentioned Plan wide

Schedule of lots, etc affected

<u>Lots burdened</u>	<u>Lots, name of road, or Authority benefited</u>
1	2, 3 4 J 6
2	J 4 J 6
3	4 J 6
4	J 6
5	6
18	21 22 23 24
19	21 22 23 24

3 Identify of easement or
restriction thirdly referred to Restriction on use of certain
in above mentioned Plan building material

Schedule of lots, etc affected

<u>Lots burdened</u>	<u>Lots, name of road, or Authority benefited</u>
Each lot	Every other Lot

4 Identify of easement or
restriction fourthly referred to Restriction as to fencing
in above mentioned Plan

Schedule of lots, etc affected

<u>Lots burdened</u>	<u>Lots, name of road, or Authority benefited</u>
Each lot	Every other Lot

THE COMMON SEAL of BANACO PTY LIMITED
was hereunto affixed by the authority
of a resolution of the Board of
Directors and in the presence of

THE COMMON SEAL of BANACO No 2 PTY
LIMITED was hereunto affixed by the
authority of a resolution of the Board
of Directors and in the presence of

THE COMMON SEAL of JANACO No 3 PTY
LIMITED was hereunto affixed by the
authority of a resolution of the Board
of Directors and in the presence of

PT Y
AC
OTHER Lot
BANACO PTY LIMITED
DIRECTOR
SECRETARY
BANACO No 2 PTY LIMITED
DIRECTOR
SECRETARY
JANACO No 3 PTY LIMITED
DIRECTOR
SECRETARY

Now whole of
CTV 3844 to 107

J831816

INSTRUMENT SETTING OUT TERMS OF EASEMENTS AND RESTRICTIONS
AS TO USER INTENDED TO BE CREATED PURSUANT TO SECTION
88B OF THE CONVEYANCING ACT, 1919

SHEET 2

PART 2

1 Term of Restriction on use of certain building materials
thirdly referred to in the abovementioned Plan

No main building shall be erected on the land the subject of this restriction unless the external walls thereof are constructed of timber, brick veneer, brick, stone and/or concrete or such other material as shall be approved by Banaco Pty Limited

2 Terms of Restriction as to fencing fourthly referred to
in the abovementioned Plan

That for the benefit of the lots benefited by this restriction but only during the ownership thereof by Banaco Pty Limited, Banaco No 2 Pty Limited and Banaco No 3 Pty Limited that no fence shall be erected on the land the subject of this restriction to divide it from the lots benefited by this restriction without the consent of Banaco Pty Limited, Banaco No 2 Pty Limited and Banaco No 3 Pty Limited but such consent shall not be withheld if such fence is erected without expense to Banaco Pty Limited, Banaco No 2 Pty Limited and Banaco No 3 Pty Limited and in favour of any person dealing with the registered proprietor for the time being of the land the subject of this restriction such consent shall be deemed to have been given in respect of every such fence for the time being erected

Name of person empowered to release vary or modify
restrictions thirdly and fourthly referred to in the
abovementioned Plan

Banaco Pty Limited

THE COMMON SEAL of BANACO PTY LIMITED
was hereunto affixed by the authority of the Board of
Directors and in the presence of

THE COMMON SEAL of BANACO No. 2 PTY
LIMITED was hereunto affixed by the authority of the Board
of Directors and in the presence of

THE COMMON SEAL of BANACO No. 3 PTY
LIMITED was hereunto affixed by the authority of the Board
of Directors and in the presence of

SA C I A

MPD



Official Use
Only

File Reference

30 984 DG 2
1887/50 - C

Approval No

1685/95

D/A Approved, ①

ACTIVITY FOR WHICH APPROVAL IS SOUGHT - BLOCK LETTERS

(Please tick)

- ☐ PROPOSED DEMOLITION OF A BUILDING OR PART
☐ INSTALLATION OF A TEMPORARY STRUCTURE
☒ PROPOSED BUILDING

DESCRIPTION LONG DAY CARE CENTRE & RESIDENCE

MATERIALS BRICK VENEER

EXTERNAL WALLS BRICK VENEER

ROOF TILE ROOF COLOUR GREY

FLOOR AREA m2 OF BUILDING

Decision

Check

Land
Description

Check

SUBJECT LAND - BLOCK LETTERS

No (INCL UNIT No)

50

STREET NAME

GLEN STREET

SUBURB/LOCALITY

BEUROSE

REAL PROPERTY DESCRIPTION

LOT/PORTION

Lot 2

SECTION/PARISH

223409

DP/FP

DP
FP

Deposited plan
File Plan

31523 PRS
NOTES

It is essential that a real property description be provided Council may require the submission of a Certificate of Title or a recent survey where in Council's opinion the details provided by the applicant are incorrect or inadequate

Applicant

Check

APPLICANT - BLOCK LETTERS

NAME D + J EVANS

POSTAL ADDRESS

POST CODE

50 GLEN STREET BEUROSE 2085

PHONE PRIVATE 975 6926

BUSINESS (Office Hours) 335 7481

Full name of person(s) or company making application

Postal address for notices and correspondence

Owner(s)
of Land

Check

OWNER(S) - BLOCK LETTERS

NAME D + J EVANS

POSTAL ADDRESS

POST CODE

50 Glen Street Beurose 2085

PHONE PRIVATE 975 6926

BUSINESS (Office Hours) 335 7481

Provide the full name(s) and postal address of the person(s) company partnership or trust owning the land to which the application relates

Not applicable if applicant is the owner

Builder
Check

BUILDER - BLOCK LETTERS

NAME GEOFF KAHLOR

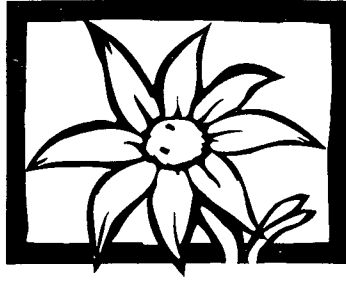
POSTAL ADDRESS

POST CODE

PHONE PRIVATE
LIC NO

BUS

Where the land is owned by more than one person or by a company etc the person signing on behalf of the company etc must print his/her name and state the capacity in which or authority by which the consent is signed e.g Director Secretary joint owner on behalf of etc Council may request documentary evidence of authority to sign



WARRINGAH COUNCIL

BUILDING APPLICATION

(INCLUDING DEMOLITION AND TEMPORARY STRUCTURES)

LOCAL GOVERNMENT ACT 1993 & REGULATIONS

PLEASE NOTE

Before completing this form please read these notes and those on Pages 2, 3 & 4. Remember that if all the relevant information is supplied initially delays in dealing with your application should be minimised. Complete all the clear boxes on the form the shaded areas are for official use only.

PLANS & SPECIFICATIONS

Four sets of drawings and two sets of specifications to be submitted

Drawings to be legible and properly drawn on opaque paper in ink do not use tracing paper or graphpaper or pencil

Scales 1:200 minimum site plan
1:100 minimum general plan including floor plan, elevations, sections

SITE PLAN

A site plan must show where relevant

The relation and dimensions of the proposed building and any existing buildings to all boundaries of allotment and street which it fronts and/or is bounded

The current use of existing building

Easements for drainage to sewer, natural watercourses or electricity

Position of overhead powerlines particularly in respect of swimming pools

Provision of roofwater & drainage disposal

The position of building lines fixed by Council

GENERAL PLAN

Floor Plan must show layout of all floor levels, the use of all rooms and position of sanitary and drainage fittings. Room wall thicknesses and overall dimension sizes are to be clearly shown

Elevations — all elevations are required, existing ground level is to be nominated

Sectional Elevation to show constructional details, dimensioned floor to ceiling heights, ground level and in the case of new buildings and major additions, reduced levels (RLs)

ADDITIONS, AMENDMENTS, RESUBMISSIONS, DEMOLITION,

The new work to be clearly distinguished by COLOURING from the existing (or of that previously submitted) ON ALL COPIES

VEHICULAR ACCESS

Details of access gradients to be shown (longitudinal section of driveway)

CARPARKING

Positions of required carparking to be nominated and dimensioned

SWIMMING POOL

To show cross sectional elevations with finished ground level and concourse level related to a fixed datum (not ground level). Position and type of safety fencing to be nominated together with position of relevant doors/windows of adjoining buildings

FOR FURTHER INFORMATION HEALTH & BUILDING SURVEYORS MAY BE INTERVIEWED BETWEEN 8.30 & 10.00am DAILY. PHONE 982 0333 OR AT OTHER TIMES BY PRIOR ARRANGEMENT WITH THE HEALTH & BUILDING SURVEYOR DEALING WITH THE APPLICATION



DUPLICATE

Page 1

WARRINGAH COUNCIL

<u>Dept. No</u>	<u>Account Type</u>	<u>Description</u>	<u>Amount</u>
009	TRUST FUND	9101C EVANS 50 GLEN STREET BELROSE	200 00
009	TRUST FUND	9102C EVANS 50 GLEN STREET BELROSE	1 000 00

Date 10/11/1995	Receipt No 012024363	Total Paid \$1 200 00
------------------------	-----------------------------	------------------------------

EVANS J & GD

Cashier MC

Payment method CHEQUE

CHEQUES ACCEPTED SUBJECT TO CLEARANCE

Postal Address Civic Centre Pittwater Road Dee Why 2099
(DX 9118 Dee Why)

Office Hours 8 30am to 5 00pm Mondays to Fridays

Phone 9982 0333

OFFICIAL RECEIPT



DUPLICATE

WARRINGAH COUNCIL

Page 1

<u>Dept No</u>	<u>Account Type</u>	<u>Description</u>	<u>Amount</u>
100	BUILDING FEES	EVANS 50 GLEN ST	70 00
101	KERB DAMAGE INSP FEE	EVANS 50 GLEN ST	44 00



Date	17/07/1995	Receipt No	001024078	Total Paid	\$114 00
------	------------	------------	-----------	------------	----------

EVANS D AND J

Cashier AD1 Payment method CHEQUE

CHEQUES ACCEPTED SUBJECT TO CLEARANCE

Postal Address Civic Centre Pittwater Road Dee Why 2099
(DX 9118 Dee Why)Office Hours 8 30am to 5 00pm Mondays to Fridays
Phone 982 0333

OFFICIAL RECEIPT

ESTIMATED COST\$ **20 000**

The estimated cost of the proposed building is the total construction and ancillary services such as mechanical ventilation and fire service costs including all on costs

estimated

cost

check

SCHEDULE OF FEES FOR BUILDING APPLICATIONS**Estimated Cost**

Up to \$5 000
\$5 000 – \$100 000
\$100 000 – \$250 000
Exceeding \$250 000

Applicable Fee

First \$5 000 or part thereof 0.5 /
Next \$95 000 or part thereof 0.3 /
Next \$150 000 or part thereof 0.2 /
Amount over \$250 000 0.1 /

If the estimated cost is under \$1 000 there is a minimum fee of \$5 00

Examples of Calculation**Estimated Cost of Development**

\$ 1 500
\$127 000

Calculation

$1\,500 \times 0.005 = \$ 7.50$
 $5\,000 \times 0.005 = \$ 25.00$
 $95\,000 \times 0.003 = \$285.00$
 $27\,000 \times 0.002 = \$ 54.00$
127 000

Fee Payable

\$ 7.50

\$364.00

Calculation**Estimated Cost of Development**

\$

Calculation

First \$ 5 000 (or part thereof)	\$	$\times 0.005 = \$$
Next \$ 95 000 (or part thereof)	\$	$\times 0.003 = \$$
Next \$150 000 (or part thereof)	\$	$\times 0.002 = \$$
Above \$250 000	\$	$\times 0.001 = \$$
Total	\$	Amt Payable

BUILDING PERMIT RENEWAL

Commercial Industrial & Residential Flat Buildings – 50% of normal fee (min \$25 00)

Dwellings – available upon inquiry to Council – 50% also

Amended plans – 50% of fee as per new applications plus additional building fee where cost of construction has been increased

cost means contract price or failing this cost as determined by Council

Office Use Only	Fee \$	Receipt No	Date
100 Building	70 00	001024078	17/7/95
100 Amended Application	-		
105 Septic Tank			
101 Road/Kerb Inspection	44 00	001024078	17/7/95
153 Road Levels			
155 Road Opening Fee			
106 Builder's Lic Prem			
111 Long Service Levy			
TF Damage – Security Deposit	200-00	12024363	10-11-95
Bond	1000	12024363	10-11-95

THE PROPOSAL MAY REQUIRE DEVELOPMENT CONSENT

A – Has Development Application been submitted? YES / NO

B – Has any previous correspondence been submitted to Council? YES / NO
Reference No

SUBMISSION OF APPLICATIONS

Lodgement of the application personally at the Health & Building Branch can save time
The submission of all relevant information with the application will assist with the processing of the application

PROCESSING OF THE APPLICATIONS

Applicants should not call about progress of the application until 4 weeks have elapsed from the date of lodgement

APPLICATION

I/We the undersigned being the applicant(s) nominated in this application seek approval of the attached plans and specifications to carry out the described activity

I undertake to comply with the Local Government Act 1993 and Regulations and all amendments thereto and the Rules and Conditions relating to buildings in Warringah

I/We have read the explanatory notes for completion of this application contained on the form and understand that if all the required details are not provided the application may be subject to delay or be rejected as incomplete I also understand that Council may request more information or clarification

Where a company is applicant COMPANY STAMP OR SEAL to be affixed and to be signed by an authorised person of the company

Devoid

SIGNATURE(S)
OR AS APPLICABLE
COMPANY STAMP OR SEAL

OWNER

CAPACITY/AUTHORITY

17/7/95

DATE

Applicant

Check

OWNER S CONSENT

I/We the undersigned being the owner(s) of the land to which this application relates or having the authority to sign on behalf of the owner(s) hereby consent to the making of this application and consent to the Council its servants or agents entering upon the property without first having given notice for the purpose of carrying out all or any inspections which it may deem appropriate in connection with the processing of the attached application

SIGNATURE(S)

CAPACITY/AUTHORITY

DATE

Owner(s)
Consent

Check

PTO

The General Manager
Warringah Council
Civic Centre
DEE WHY NSW 2099

Dear Sir

Building Application No

Lot No *2* Street No *50* Street *GLEN ST*

Locality *BEL ROSE*

ONLY SHRUBS REMOVED

There are no trees to be ringbarked cut down topped lopped or removed from the above site in relation to this building application

Signed *[Signature]*

(Applicant)

Date

17/7/95

45
25
—
20
115
—
4



Warringah
Council

1887/50-C

21st July 1995

EVANS D & J
50 GLEN ST
BELROSE 2085

Dear Owner

Re Building Application - 30984
50 GLEN STREET BELROSE (COMMERCIAL)

Thank you for your application recently lodged with Council. Your application is being processed by Mr Darren Greenow who is available between 8 30am and 10 00am weekdays or at other times by appointment to answer any questions you may have.

Council aims to determine your application as soon as possible and requests your co-operation in promptly providing any additional information which may be requested.

Yours faithfully

D STRAY
MANAGER DEVELOPMENT BRANCH SOUTH

