



103 kenny street
wollongong nsw 2500
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abn: 49 080 593 371

Pittwater
COUNCIL COPY Form 11.

Construction Certificate

and Determination
issued under the Environmental Planning and Assessment
Act, 1979 Sections 109C(1)(b) and 81A(2)

Certificate Number: P2173
Address: LOT 115 DP1043971
12 ACACIA CIRCUIT
WARRIEWOOD
Development Consent: N1016/02
Date of Consent: 4 March, 2003

This Construction Certificate has been determined as **APPROVED** in accordance with the procedures outlined in Clause 142 of the Environmental Planning and Assessment Regulation 2000. In making this determination I certify that the work if completed in accordance with the plans and specifications referred to in this Certificate will comply with the requirements of the Environmental Planning and Assessment Regulation, 2000 as referred to in Section 81A(5) of the Environmental Planning and Assessment Act, 1979 (as amended).

Plans/s

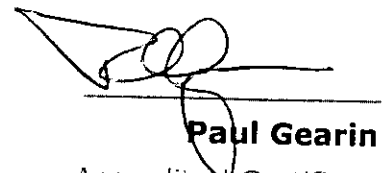
ARCHITECTURAL PLANS PREPARED BY COSMOPOLITAN LIVING,
SHEETS 1/5,
DATED NOVEMBER 2002, REVISION D. DRWG NO:115/C-00, 115/SP-1,
115/GF-2, 115/E-3, 115/E-4, 115/SE-5.
LANDSCAPE PLANS PREPARED BY COSMOPOLITAN DEVELOPMENTS,
DRWG NO:1591-LP-06, 1591-LP-07, 1591-LP-08, ISSUE A.

Specification/s

GENERAL HOUSING SPECIFICATIONS, PREPARED BY HIA.

Other Documents

ENGINEERS PLANS PREPARED BY APPELYARD FORREST, SHEETS 1/7,
DATED 28/03/03, JOB NO:333268, REVISION A.
HYDRAULIC PLANS PREPARED BY RAFELETOS ZANUTTINI, SHEET 1,
DATED 28/05/03, JOB NO:CP1C496.
MANAGEMENT PLAN PREPARED BY RAFELETOS ZANUTTINI, SHEET 2,
DATED 28/05/03, JOB NO:CP10496.
HOME BUILDERS INSURANCE
LONG SERVICE LEVY RECEIPT
OWNERS CONSENT
FORM 7
ABS



Paul Gearin

Accredited Certifier
BSAP/Planning NSW

1104

4 June, 2003

Date of Determination



LONG
SERVICE
PAYMENTS
CORPORATION

Ground Floor, Corner Donnison & Baker Streets Gosford NSW 2250
Telephone: 13 14 41 Facsimile: (02) 9287 5685
All correspondence to: Locked Bag 3000, CCDS, Lisarow NSW 2252

LEVY PAYMENT FORM

0246739

PLEASE PRINT ALL DETAILS USING CAPITALS

Part A - DETAILS OF PERSONS/COMPANY/ORGANISATIONS LIABLE TO PAY LEVY

Surname (if person) or Company/Organisation Name **COSMOPOLITAN CONSTRUCTIONS**
Given Names (if person)
ABN (if applicable) **1**
POSTAL ADDRESS
No. and Street or P.O. Box **1/4 BAKING STREET**
Town/Suburb **MOOREBANK**
State **NSW** Postcode **2170** Business Hours Phone No. **96018498**

Part B - ADDRESS OF BUILDING/CONSTRUCTION WORK

No. and Street **12 ACACIA CIRCUIT**
Town / Suburb **WARRIEWOOD**
State **NSW** Postcode **2102**
Estimated Start Date **11/06/2003** Estimated Finish Date **11/01/2004**

Part C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **WATERLOO**
D.A./C.C./C.D.C. No. (circle which) **N101602**

Estimated value of work \$ **220,000:00** Levy Payable \$ **440:00**

Signature of Officer/Private Certifier **[Signature]** Date: **5/6/03**

Name of Officer/Private Certifier **Paul Green**

Business Hours Phone No. (Private Certifier) **42265305**

NOTE: If CC approved by Private Certifier, council DA number required above.

Part D - DETAILS - To be completed by Dept./authority where applicable - see reverse

Dept./Authority
Contract No. Contract Amount: \$ **000:00**

PROTECTED BY SECURITY FEATURES, INCLUDING A MICRO PRINTED SIGNATURE LINE; THE ABSENCE OF THIS MAY INDICATE A FRAUDULENT CHEQUE.

COSMOPOLITAN CONSTRUCTIONS

MACQUARIE BANK
300 QUEEN STREET BRISBANE QLD

Macquarie Cash Management Trust
Macquarie Bank Limited

060411

PAY THE SUM OF

Four Hundred and Forty Dollars Only

NOT NEGOTIABLE
ACCOUNT
PAYEE ONLY

DATE 3/06/03

\$*****440.00

PAY TO THE
ORDER OF

LONG SERVICE PAYMENT CORP

LOCKED BAG 3000
CENTRAL COAST NSW

2252

For and on behalf of
COSMOPOLITAN CONSTRUCTIONS PTY LTD
ABN 73 076 666 610

"060411" 1844461188 59743"

s.m.a.

Scott Murray & Associates

LANDSCAPE ARCHITECTURE
GOLF COURSE ARCHITECTURE
URBAN DESIGN
SITE & ENVIRONMENTAL PLANNING

Ph: 02 9439 9340
Fax: 02 9439 9287

Email: smo@tpg.com.au
79 Zig Zag Lane, Crows Nest, NSW, 2065

26th May, 2003

Pittwater Council
PO BOX 882
MONA VALE
NSW 1660

Attn: General Manager

Re: COMPLYING COMPONENT CERTIFICATE

FOR

LOTS 1011 AND 1012 BANKSIA PARADE, WARRIEWOOD
LOT 113 MAHOGANY DRIVE, WARRIEWOOD
LOT 114 ACACIA CIRCUIT, WARRIEWOOD
LOT 115 ACACIA CIRCUIT, WARRIEWOOD
LOT 116 ACACIA CIRCUIT, WARRIEWOOD
LOT 117 ACACIA CIRCUIT, WARRIEWOOD

As a qualified Landscape Architect, I certify that the Landscape Plan complies with the conditions, as stated for the development application:

'B45. Three sets of detailed landscape working drawings, which comply in all respects with the conditions of development consent, are to be submitted prior to release of the Construction Certificate. Each plan/ sheet is to be certified by a qualified Landscape Architect/ Landscape Designer/ or Horticulturist, confirming that the plans/ details provide for the works to be carried out in accordance with Development Control Plan No. 23 – Landscape and Vegetation Management.

'B45a. In particular, the landscape working drawing is to provide full details of the following:

1. the usage of the dominant tree species growing in the area of locally indigenous species.
2. all existing trees and vegetation to be retained, removed and proposed, including canopy spread, trunk location and condition.
5. the proposed finished treatment of garden areas, including soil depth and mulching details;

13. c. At least two (2) canopy trees within the front yard and one (1) canopy tree in the rear yard, which at maturity achieve a canopy height greater than 8.5metres, to visually reduce the height, bulk and scale of the building. All canopy trees are to have a minimum container size at time of planting of 45 litres, with a minimum trunk diameter of 20-30mm, measured 300mm above soil level.
- d. Understorey planting of species which, after five years from the date of issue of the occupation certificate will in conjunction with the canopy planting, screen 50% of the built form on each lot when viewed from the street, consistent with the draft Warriewood Valley Development Control Plan. In order to achieve this objective, all understorey planting is to have a minimum container size of 200mm at the time of planting.
- e. Details of all existing trees and vegetation to be retained, removed and proposed, including canopy spread, trunk location and condition.
- f. A plant schedule including stratum, species/ common names, species; numbers, pot size at time of planting and proposed staking details.
- g. A schedule of materials (including such elements as turfing, edging, walling, paving and fencing).
- h. The proposed finished treatment of garden areas, including solid depth and mulching details.
- i. The location of underground/ overhead services.
- j. Details of any automatic watering system.
26. Landscaping plans are to be in accordance with the landscape plans prepared by Paul Scrivener Architect.
- 'B48. The landscape plan is to incorporate a landscape maintenance strategy for the owner/ occupier to administer over a 12 month establishment period. This strategy is to address irrigation, soil testing, weeding, plant staking, fertilising, pest and disease control, replanting, remedial pruning and the like.

Yours faithfully,
Scott Murray and Associates

Elizabeth Read
Landscape Architect



inspec

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wollongong nsw 2500
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Form ABS

Australian Bureau of Statistics

OUR REFERENCE

P2173

THE AREAS

The Site (m²):
Existing Building (m²):
The Proposal (m²):

510.6
0
264.8

THE EXISTING

Location:

LOT 115 DP1043971
12 ACACIA CIRCUIT
WARRIEWOOD NSW 2102
Residential - TWO STOREY DWELLING & ATTACHED GARAGE.
0

Use:

No. of Existing Dwellings:

THE PROPOSAL

Location:

LOT 115 DP1043971
12 ACACIA CIRCUIT
WARRIEWOOD NSW 2102
Residential - TWO STOREY DWELLING & ATTACHED GARAGE.
No

Use:

Dual Occupancy:

No. of Proposed Dwellings:

No. of Storeys:

1
2

THE MATERIALS

Walls:

Floors:

Roof:

Frame:

Brick Veneer
Concrete
Concrete Tile
Timber



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Application Form

*issued under the Environmental Planning
and Assessment Act, 1979
Sections 109C(1)(b), 81A(2) and 81A(4)*

APPLICANT

NAME: COSMOPOLITAN CONSTRUCTIONS
ADDRESS: 1/4 IRAKING STREET
MOOREBANK NSW 2170
CONTACT NO./S: 96018498
SIGNATURE: SEE ATTACHED CONSENT

OWNER

NAME/S: COSMOPOLITAN CONSTRUCTIONS
ADDRESS: 1/4 IRAKING STREET
MOOREBANK NSW 2170
CONTACT NO./S: 96018498
SIGNATURE/S: SEE ATTACHED CONSENT

LAND TO BE DEVELOPED

LOT 115 DP1043971
12 ACACIA CIRCUIT
WARRIEWOOD NSW 2102

DESCRIPTION OF DEVELOPMENT

RESIDENTIAL TWO STOREY DWELLING &
ATTACHED GARAGE.

BCA CLASSIFICATION

1A

DEVELOPMENT CONSENT

N1016/02
4 MARCH, 2003

VALUE OF WORK

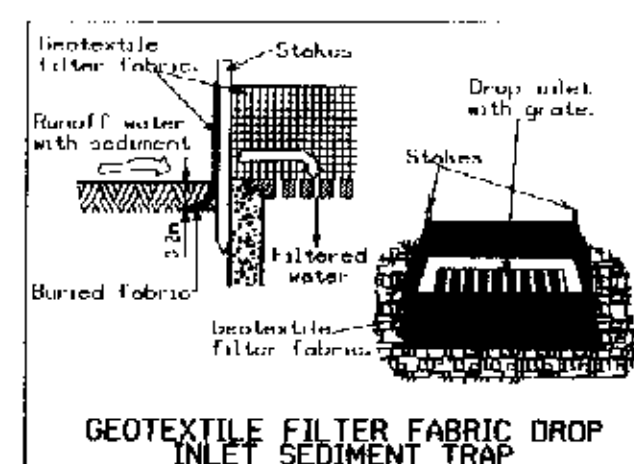
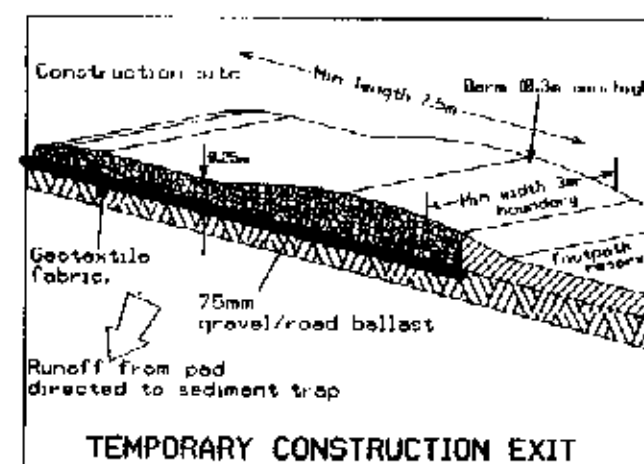
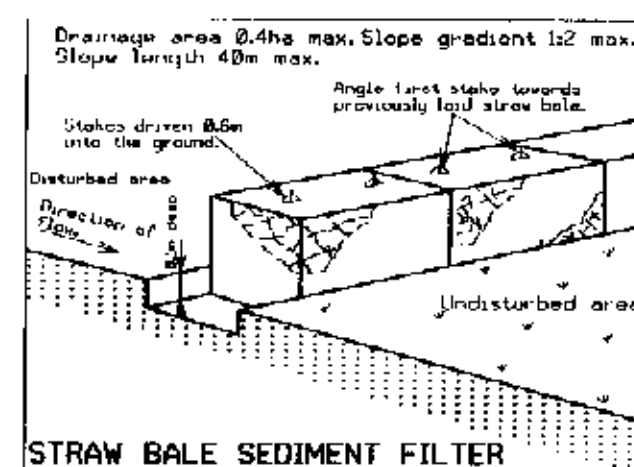
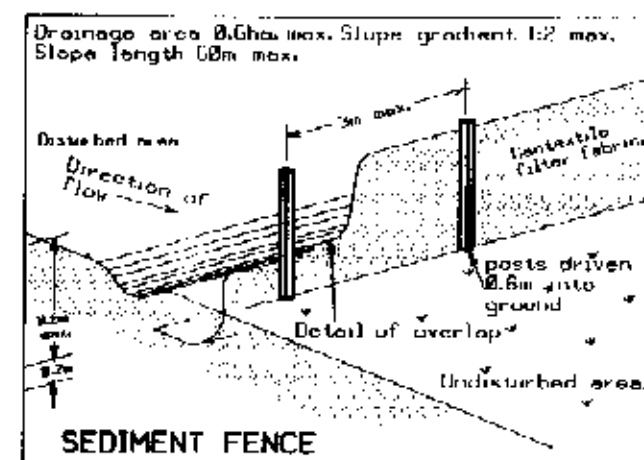
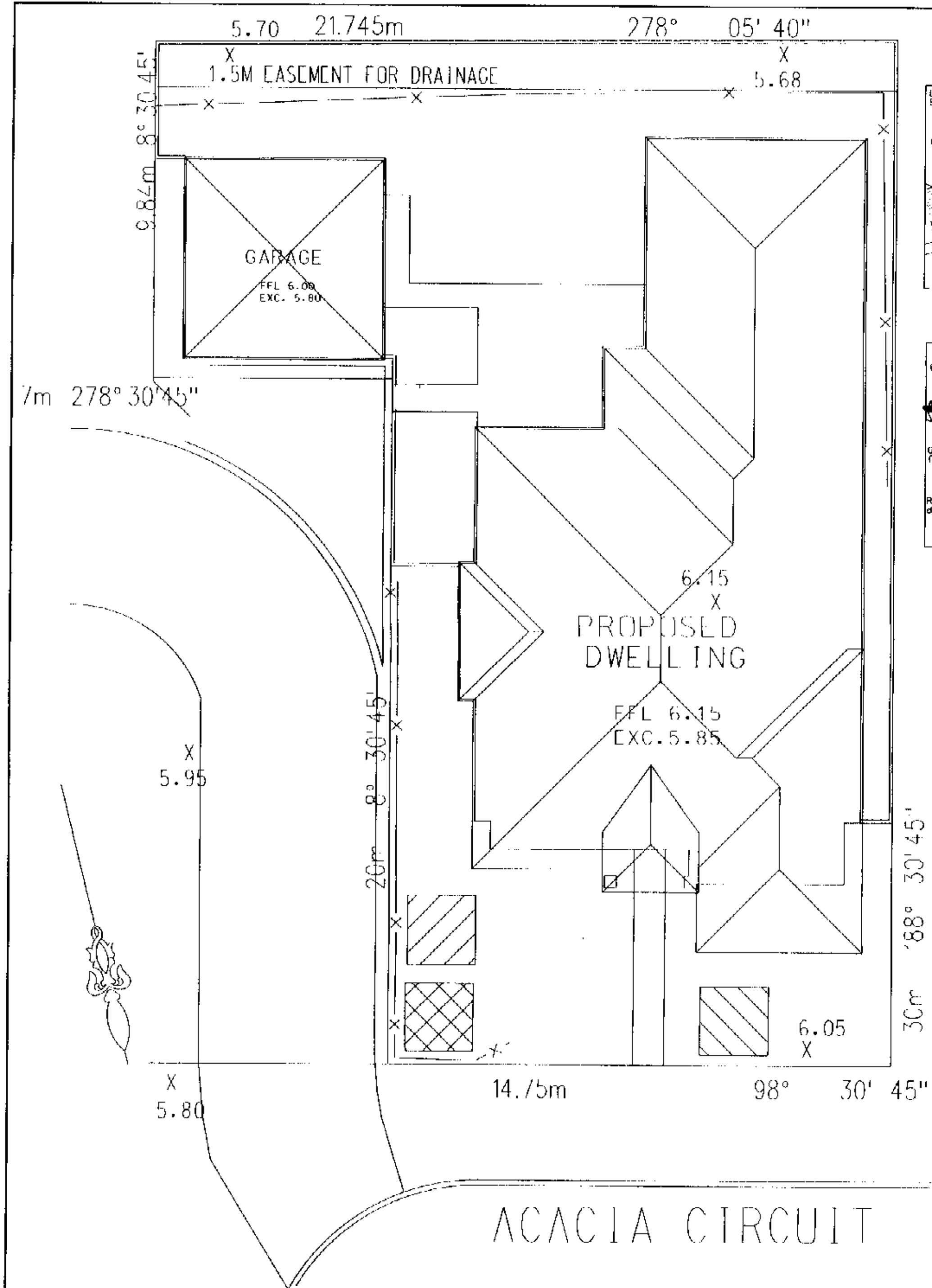
\$220,000

BUILDER/OWNER BUILDER DETAILS

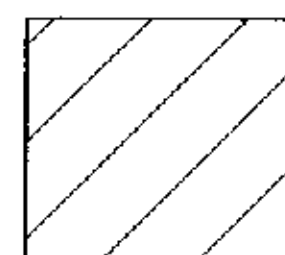
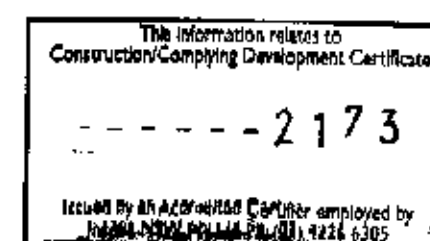
COSMOPOLITAN CONSTRUCTIONS

DATE OF RECEIPT

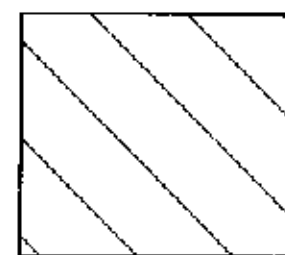
4 JUNE, 2003



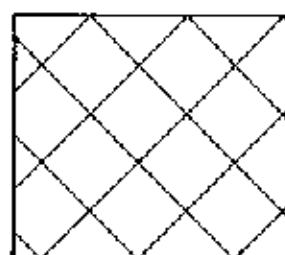
SITE MANAGEMENT PLAN



PROPOSED MATERIALS
STOCKPILE AREA



PROPOSED SHED
STORAGE AREA



PROPOSED RUBBISH
STOCKPILE AREA

I. Methods of access and egress for construction vehicles.

Construction Vehicles will enter and leave the site over an all weather surface consisting of coarse crushed stone or blue metal constructed within the front setback area opposite the existing footpath crossing.

Excavation machinery are to be unloaded and loaded upon this all weather surface. Concrete pumps and trucks will also utilize the all weather surface for their operations.

II. The proposed method of loading and unloading of materials on the site

Materials will be unloaded upon the all weather surface within the front setback area by means of cranes mounted on the back of delivery trucks or unloaded by hand. It is not envisaged that a mobile crane will be required during the construction process.

III. Areas within the site to be used for storage of excavated material, construction material and waste containers

Some stockpiling of topsoil removed from the building area may be stored on the site during construction within the property in an area nominated on the site plan.

All excavated and construction materials, shed, skip bins, temporary water closets, spoil and equipment, etc. shall be kept within the property. No vehicles or machines shall stand on Council's footpath for large lengths of time.

All rubbish and recyclable material shall be stockpiled in waste bins in the area nominated on site plan within the site boundary. Public property will be kept free of rubbish and recyclables at all times. Any waste materials shall be regularly collected from the site and disposed of in an appropriate fashion.

Any building/demolition works involving asbestos shall be carried out in accordance with the WorkCover Authority's Guidelines for Practices Involving Asbestos Content in Buildings.

IV. Methods of preventing excavated material being deposited on the road reserve.

Vehicles leaving the site will do so via the all weather ballast driveway and/or of coarse aggregate or similar located within the front setback area of the development. Therefore, any loose material will be left within this shutdown area and not deposited on the road reserve or footpath.

V. Method of support for excavation.

Any excavated area requiring support will be undertaken by the owner using structurally approved retaining structures.

VI. Signage

A sign must be erected in a prominent position on the work site, (a) stating that unauthorized entry to the work site is prohibited, and (b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.

VII. Fencing / Restricting Public Access

Safety fences shall be provided around all boundaries unless a continuous structurally adequate fence greater than 1.5m high presently exists. The fencing shall be adequate to restrict public access to the site when building work is not in progress or the site is unoccupied.

VIII. Noise

Noise levels shall be kept below council regulation levels. Building and demolition works shall only be carried out between hours and on days specified by the council.

IX. Temporary toilet sanitary facilities

Shall be provided on site prior to commencement of any works at a rate of one toilet for every 20 persons or part thereof employed at the site.

X. Sediment and Erosion Control

1. Sediment Control

Geotextile fabric shall be placed on the inside of the site fencing prior to site disturbance to prevent sediment washing from cleared and disturbed areas of the site into the stormwater system. During construction, unconsolidated runoff from cleared or disturbed areas is to be directed to a temporary silt arrester pit that shall be provided within the site of the street boundary processing site stormwater before it is discharged to the street drainage system or watercourse.

All top soil that is to be stripped and stockpiled on site is to be placed in nominated areas on the site plan.

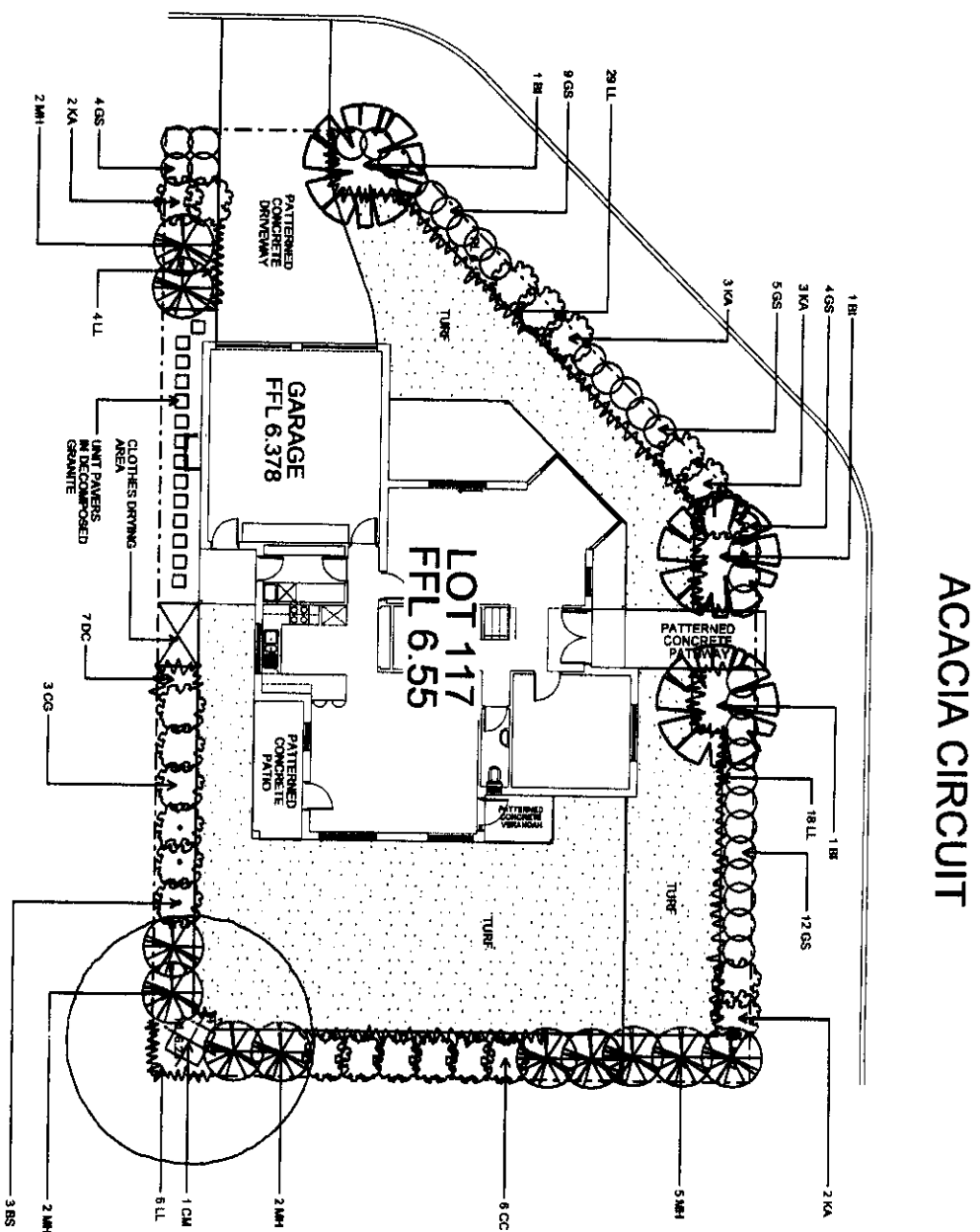
All disturbed areas are to be stabilized upon the completion of building works.

All sediment control structures are to be continually maintained during construction and inspected for structural damage after each rainfall event, with trapped sediment being removed to the topsoil stockpile.

II. Erosion / Dust Control

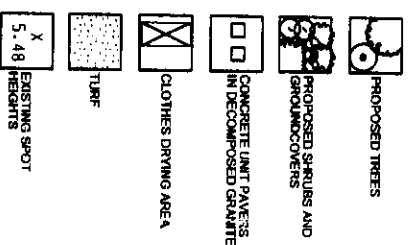
Where there is the potential of site erosion to produce excessive sediment runoff suitable geotextile barriers shall be placed to alleviate the risk accordingly. Bare surfaces shall be kept moist to reduce dust levels. Geotextile fabric located on the inside of fences shall also be utilized for dust control where necessary.

MANAGEMENT PLAN			
CLIENT	STOCKLANDS		
LOCATION	LOT 115, ACACIA CIRCUIT, WARRIEWOOD		
	COUNCIL: PITTWATER	SHEET No.	1
	SCALE: 1:100	JOB No.	CP10496
A ORIGINAL ISSUED		28 / 05 / 03	
RAFELETOS ACN 879647466 (LEVEL 2, 10) VANCESSA STREET KINGSBOROUGH NSW 2208 PO BOX 961 KINGSBOROUGH NSW 2208 ZANUTTINI Pty Ltd TELEPHONE: (02) 9554 9411 FACSIMILE: (02) 9554 9764 DX 10772 HARRISVILLE NSW			



PLANT SCHEDULE							
SPECIES	BOTANICAL NAME	COUNTRY NAME	SIZE	HT.	WEIGHT	SPREAD	
		T.					
M	BAMBOO INTERMEDIA	Coastal Bamboo	40L	9	up to 20m	up to 10m	
CM	CITRIMELA NIGRALATA	Sprayed Gum	70L	1	20-35m	10-25m	
SPECIALTY SPECIES CATEGORY							
N6	BAMBOO SPENSERII	Hedge Bamboo	50L	3	1-4m	1.2-4m	
CC	CALYPTRODORUM	Birds Bush	50L	6	2m	2m	
CS	CASIPUARIA DORTMUNDIA NEW ORLEANS	Red Peachtree	50L	3	up to 8m	2m	
MC	BAMBOO CHENZUA	Pine Ivy	50L	7	up to 1m	0.75m	
GS	GONOLIS SPENSERII	Red Spider Flower	50L	30	1m	1m	
EA	EUPHORIA AMERICA	Ice Bush	50L	10	up to 2m	1.5m	
LL	LONCHOCARPUS LONCHOCARPUS	Star Bush	25L	57	1m	0.8m	
MM	MEALICA UNICOLORA	Red-flowering Peach Blossom	5L	11	2.5-6m	2.5-6m	

LEGEND



Notes

Council's requirements for sedimentation and erosion control measures should be adhered to whilst under construction.

Existing trees to remain are to be protected in accordance with Council's Landscape Code

The design and location of letterboxes should be in accordance with Australia Post's 'Requirements for Delivery of Mail to Residential Premises', published in February 1997.

All boundary fencing behind the building line shall be a 1.8m height lapped and capped timber fence.

CLARK COSMOPOLITAN DEVELOPMENTS Tract LOT 117 ACACIA CIRCUIT			
788 LANDSCAPE PLAN			
Owner: 1-200 @ A-1 Planned: 16000 Map: 16000 City: 16000 State: 16000	Sub: 117 Tract: 117 Lot: 117 Block: 117 Section: 117	SHA 1501 1501 1501 1501 1501	1501 1501 1501 1501 1501

These drawings, figures and specifications are hereby given notice that they contain information that is confidential and proprietary to the undersigned and that the undersigned reserves the right to remove or to cause to be removed the contents of these drawings, figures and specifications if they are not treated as the confidential and proprietary information of the undersigned.

Authorized Signature

Authorized Name

DO NOT SCALE THIS DRAWING. ALL DIMENSIONS ARE TO BE VIEWED ON SITE AND ANY DISCREPANCIES NOTED PRIOR TO COMMENCEMENT OF ANY WORK OR SHOP DRAWINGS BEING UNDERTAKEN.

IBEW Local 1000

This information relates to
Construction/Camping Development Certificate
-----2173
Issued by an Accredited Centre employed by
Homes, NIOPD and the Local Authority
Homes NIOPD and the Local Authority



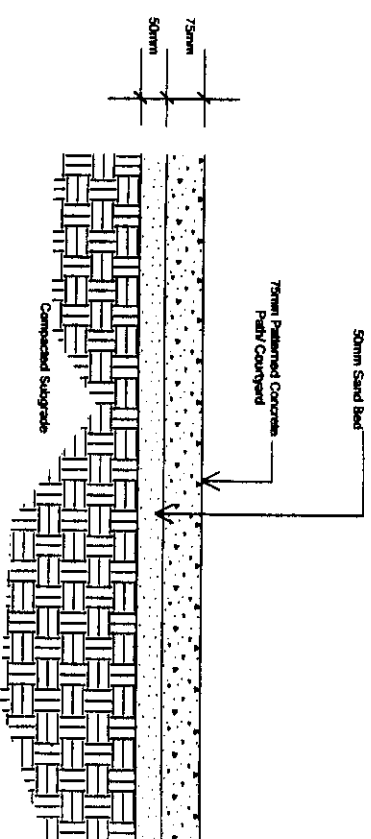
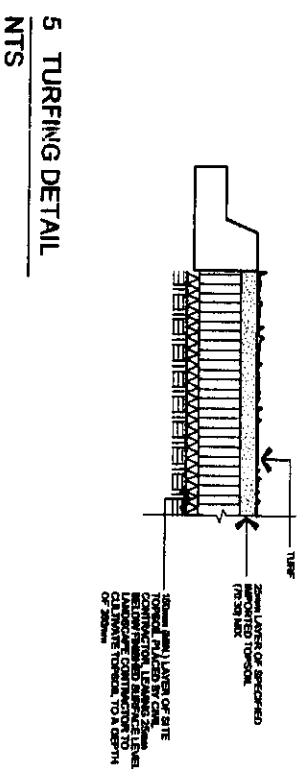
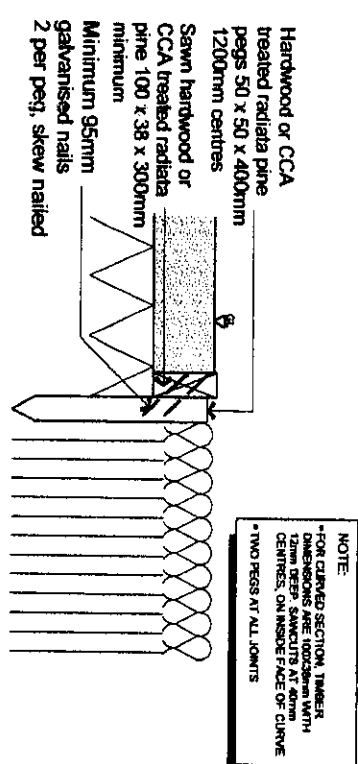
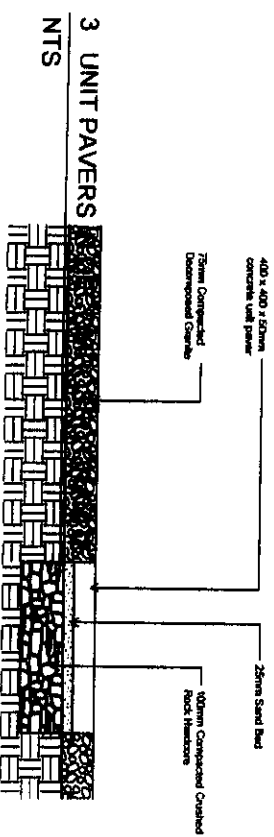
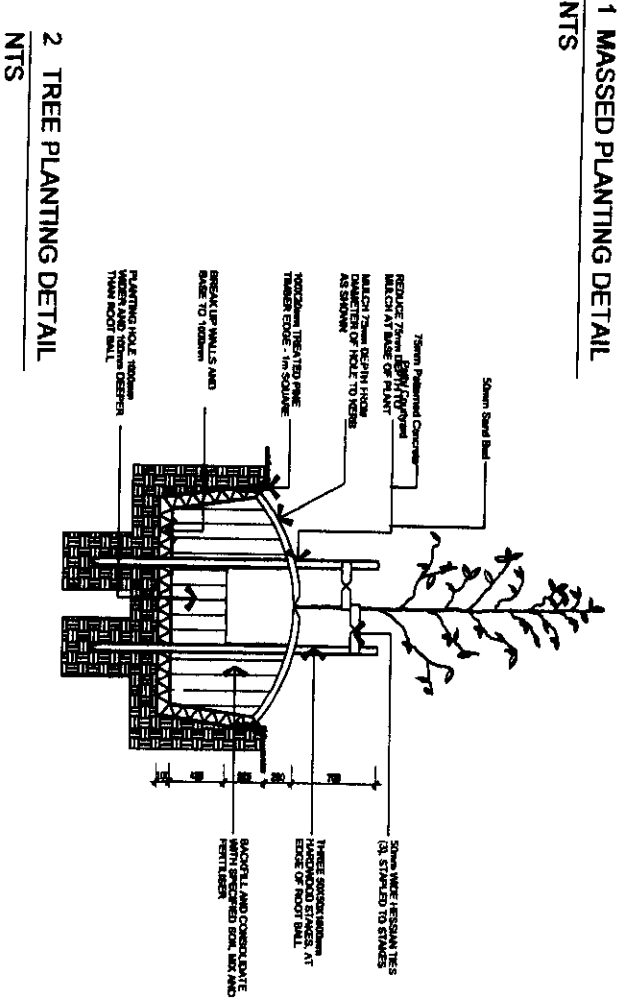
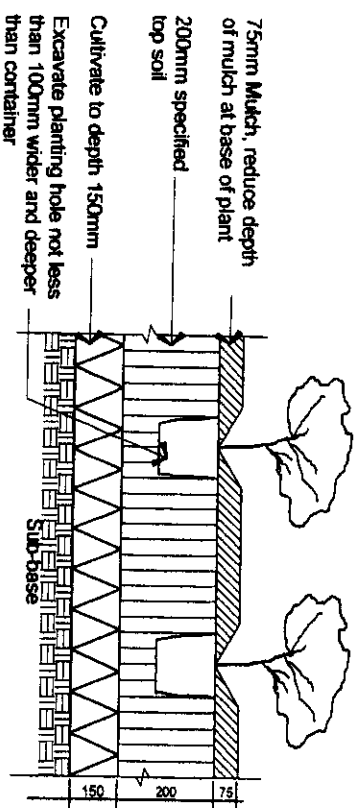
S.M.A.

Scott Murray & Associates

LANDSCAPE ARCHITECTURE
GOLF COURSE ARCHITECTURE
URBAN DESIGN
SITE & ENVIRONMENTAL PLANNING

PO BOX 2000
FARMINGTON, CT 06030
TEL 860 634 2000
FAX 860 634 2001

Find us online at
790 Zong Road, Canton, MA 01921



LANDSCAPE WORKS SPECIFICATION
PRELIMINARIES

- 1.01 Protection of Adjacent Finishes
The Contractor shall take all precautions to prevent damage in all or any adjacent finishes by providing adequate protection to these areas/surfaces prior to the commencement of the Works.
- 1.02 Protection of Existing Trees
Existing trees designated on the drawings for retention shall be protected at all times. Any soil work closer to existing trees than 5m shall be carried out by hand only.
- 1.03 Erosion
The Contractor shall take all proper precautions to prevent the erosion of soil from any lands used or occupied by him.

SOIL WORKS

- 2.01 Materials
- (a) Specified Soil Mix - Gardens:
The specified soil mix for mass planting beds and tree back filling shall be an imported soil equal to "Premium Garden Mix" as supplied by ANL (Australian Native Landscapes).
- (b) Specified Soil Mix - Turf:
The specified soil mix for all turf areas shall be a 25mm layer of an imported soil mix of 80% washed river sand (reasonably coarse) and 20% pulverised chicken manure.
- (c) Site Topsoil:
Site topsoil is to be clean and free from unwanted matter such as stones over 25mm diameter, clay lumps, grass, weeds and tree roots, sticks, rubbish and plastics and any materials toxic to plants. It shall also have a pH of between 5.5 and 7.
- 2.02 Installation
- (a) Set Out of Individual Trees and Mass Planting Areas:
All individual tree planting positions and areas designated for mass planting shall be set out with stakes or other forms of marking ready for approval.
- (b) Establishing Subgrade Levels:
Subgrade levels are defined as the finished base levels prior to the placement of the specified soil mix. The following subgrade levels shall apply:
- o mass planting beds: 300mm below finished surface level
 - o turf areas: 25mm below finished surface level
- Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.
- (c) Subgrade Cultivation:
Cultivate all subgrades to a minimum depth of 150mm in all planting beds and all turf areas, ensuring a thorough break up of the subgrade into a minimum fall of 1:100 to outlet.
- (d) Drainage Works:
Install surface and sub-surface drainage where required and as detailed on the drawings. Drain sub-surface drains to outlets provided, with minimum fall of 1:100 to outlet.
- (e) Placement and Preparation of Specified Soil Mix:
o mass planting beds: install the specified soil mix to a compacted depth of 300mm- o turf areas: install the specified soil mix to a compacted depth of 25mm

PLANTING

3.01 Materials

- (a) Quality and Size of Plant Materials
All plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without prior approval. No plant shall be accepted which is undersized, unhealthy, rootbound, scarred or has not been adequately hardened off.
- (b) Stakes and Ties:
Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 1800mm x 32mm x 32mm, or length as required to ensure stability. Ties shall be 50mm wide hessian webbing material.

- (c) Fertilisers:
Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types.
- (d) Mulch:
Mulch shall be an approved hardwood chip (25mm), completely free of any soil, weeds or other debris.
- (e) Turf:
Turf shall be Kikuyu, free of any weeds, other grasses and in a healthy growing condition.
- 3.02 Installation:
- (a) Sealing Out:
All planting set out shall be in strict accordance with the drawings, or as directed.
- (b) Planting:
All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and as specified. Plant containers shall be removed and outer roots gently teased from the soil mass to immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and rootballs set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering.
- (c) Staking and Tying:
Staking and tying shall be in strict accordance with the drawings and shall occur immediately following placement and soil backfilling.
- (d) Mulching:
Mulch shall be spread so that a compacted thickness of 75mm is achieved after settlement in all planting beds and around each individual tree. Apply immediately following planting and water in. There shall be no mixing of the soil and mulch materials.
- (e) Tying:
Mulch soil prior to turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertiliser and thoroughly water in. Keep turf moist until roots have taken and sods cannot be lifted. Keep all traffic off turf until this has occurred.
- (f) Allow for topdressing of all turf areas. All turf shall be rolled immediately following installation.
- (g) Timber/ Brick Edging:
The Contractor shall install timber/brick edging as detailed on the drawings, to all mass planting bed edges where required. The resultant edge shall be true to line and level and finish flush with adjacent surfaces.

HARDSCAPE WORKS

4.01 General

The Contractor shall undertake the installation of these works as detailed on the drawings. All workmanship shall be of the highest standard.

CONSOLIDATION AND MAINTENANCE

5.01 General

The consolidation and maintenance period shall be 52 weeks. Consolidation and maintenance shall mean the care and maintenance of Contract works by accepted horticultural practices, ensuring that all plants are in optimum growing condition and appearance at all times, as well as rectifying any defects that become apparent in the works under normal use. This shall include but not be limited to the following items where and as required:

- o Weeding
- o Litter and Other Debris
- o Weed Control
- o Soil Subsidence
- o Plant maintenance and Replacements
- o Insect and Disease Control
- o Fertilisation Programme
- o Mowing and edging

THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS ARE TO BE CHECKED ON SITE AND ANY DISCREPANCIES REPORTED PRIOR TO COMMENCEMENT OF ANY WORK. ON SITE DRAWINGS BEING UNRELIABLE.

Scale	1:100
Drawn	MAITTO
Checked	
Issue	

S.M.G.
Scott Murray & Associates
LANDSCAPE ARCHITECTS
GOULDS ROAD, LINDFIELD
NSW 2055
TEL: 9439 8888
FAX: 9439 8889

COSMOPOLITAN HOMES
FERNBROOK SANCTUARY
UNITS

SPECIFICATION

Scale	AS SHOWN	Scale	AS SHOWN
Drawn	MAITTO	Checked	MAITTO
Issue		Issue	

1591-LP-08

A

ZONE OF INFLUENCE (FFL)

REFER EB1
FOR CONSTRUCTION
REQUIREMENTS

150 MIN.

REFER PIERING
NOTES

REFER SHEET 1 FOR
FINAL PIER
DEPTHS - FFL

NOTE PIER DEPTHS
ON PLAN PENETRATE
THROUGH SEWER
ZONE ONLY - FINAL
PIER DEPTHS TO BE
CONFIRMED ON SITE AS
FINAL SITE FILL DEPTHS
MAY VARY - ENSURE
BEARING THROUGH ALL
PLATFORM FILL MATERIAL
UNLESS NOTED OTHERWISE

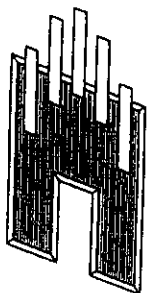
C/L OF SEWER

SEWER
EASEMENT

1000 MIN

SECTION ADJACENT TO RESIDENCE (EB1)

NGL = NATURAL GROUND LINE
FGL* = FINISHED GROUND LINE
FFL* = FINISHED FLOOR LINE
* ALL LEVELS TO BUILDERS SPECIFICATIONS
REFER ARCHITECTURAL DETAILS
FINAL PIERING DEPTHS TO BE DETERMINED ON
SITE



COSMOPOLITAN
CONSTRUCTIONS



Appleyard Forest

Consulting Engineers Pty. Ltd.

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PROJECT

PROPOSED RESIDENCE FOR STOCKLAND RESIDENTIAL DEVELOPT
AT LOT 115 ACACIA CIRCUIT, WARREWOOD

YOUR REF:

227000

JOB NO.

333268

SHEET

S7

REVISION

0

DRAWN

PR

CHECKED

DATE

SCALE

1:20

DESIGNED

LDA

28.03.03

SHEET 7

SET OF 7

PRINT ISSUED
17 APR 2003

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A. GENERAL

- A.1 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S DRAWING.
- A.2 ALL SET OUT DIMENSIONS ARE TO BE OBTAINED FROM THE ARCHITECT'S DRAWING UNLESS SPECIFIC DIMENSIONS ARE GIVEN ON THE ENGINEERING DRAWINGS.
- A.3 THIS DRAWING SHOULD NOT BE SCALED.
- A.4 ALL MATERIALS AND WORKMANSHIP ARE TO BE OF THE HIGHEST STANDARD AND IN ACCORDANCE WITH ANY RELEVANT S.A.A. CODE RELATING TO THEIR APPLICATION. CERTIFICATES TO THIS EFFECT FROM A N.A.T.A APPROVED TESTING LABORATORY SHALL BE FURNISHED ON REQUEST.

- A.5 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART OF THE STRUCTURE SHALL BE OVER STRESSED.

- A.6 STRUCTURAL ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING SUPERIMPOSED LIVE LOADINGS:

1.5KPa

B. EXCAVATOR

- B.1 ALL EXCAVATION AND BACKFILL SHALL BE CARRIED OUT NEATLY TO THE LINES, LEVELS AND GRADES SPECIFIED.
- B.2 ANY BACKFILL MATERIAL REQUIRED OR SPECIFIED SHALL BE COMPACTED GENERALLY TO A DENSITY EQUIVALENT TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY (TEST METHOD IN ACCORDANCE WITH AS1089-EL1- STANDARD COMPACTIVE EFFORT).

- B.3 FILL MATERIAL BENEATH EDGE BEAMS IS TO BE COMPACTED IN ACCORDANCE WITH CLAUSE 6.4.2 OF AS2870-1996 & AS SPECIFIED IN NOTE B2.

C. FOOTINGS

- C.1 FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100 KPa ON CLAY FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION PROCEEDING.
- C.2 IF THE SITE HAS BEEN THE SUBJECT OF A GEOTECHNICAL INVESTIGATION REQUIRING ADHERENCE TO PARTICULAR CONSTRUCTION PROCEDURES AND/OR TECHNIQUES, THE ENGINEER'S REPORT SHALL BE COMPLIED WITH IN FULL.

- C.3 IF THE SITE CONDITIONS ENCOUNTERED APPEAR TO DIFFER SUBSTANTIALLY FROM THE CONDITIONS DEPICTED ON THIS PLAN OR REPORTED IN THE GEOTECHNICAL REPORT, THE STRUCTURAL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- C.4 STRIP FOOTINGS AND STEELED RAFTS

STRIP FOOTING AND EDGE BEAM DEPTHS ARE MINIMUM REQUIREMENTS ONLY AND SHOULD BE INCREASED AS REQUIRED TO PENETRATE TOP SOIL COVER AND PROVIDE A MINIMUM PENETRATION OF 100mm INTO FIRM AND UNIFORM NATURAL MATERIAL.

SITE CLASSIFICATION PURSUANT TO GEOTECHNICAL REPORT

Report by: NETWORK GEOTECHNICS PTY LTD

Site Classification: S-7M Dated: 20 SEPTEMBER 2002

Reference No.: G21127/1-HRJKJA

THE FOOTING SYSTEM SPECIFIED ON THESE DRAWINGS WILL MEET THE PERFORMANCE REQUIREMENTS SET OUT IN CLAUSE 13 OF AS2870-1996 RESIDENTIAL SLABS AND FOOTINGS CODE. THE BUILDING SYSTEM IS INTENDED TO ACHIEVE ACCEPTABLE PROBABILITIES OF SERVICEABILITY AND SAFETY OF APPROPRIATE B OF AS2870-1996 PROVIDES INFORMATION AND GUIDANCE ON THE MAINTENANCE OF FOUNDATION SITE CONDITIONS. SUBJECT TO ADOPTION OF THESE RECOMMENDATIONS THE BUILDING MAY EXPERIENCE MINOR DAMAGE BUT OF A SEVERITY NOT EXCEEDING THE LEVELS DEFINED IN APPENDIX C OF AS2870-1996.

C.5 WAFFLE RAFTS

BUILDING AREA IS TO BE PREPARED IN ACCORDANCE WITH NOTES B1 - B3, PREVIOUSLY NOTED. A LAYER OF 25mm - 50mm QUARRY SAND OR QUARRY RUBBLE IS TO BE PLACED OVER THE ENTIRE BUILDING AREA AND UP TO 1.0m OUTSIDE THE BUILDING AREA.

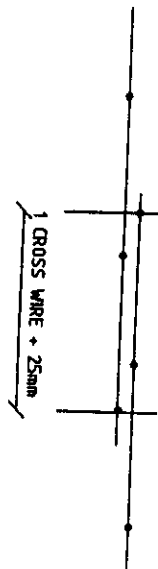
D. STEEL FIXER

D.1 ALL REINFORCING BAR AND FABRIC SHALL BE DESIGNATED AS SHOWN IN THE FOLLOWING TABLE AND SHALL COMPLY WITH THE APPROPRIATE CODES AS NOTED BELOW:

SYMBOL	TYPE
R	STRUCTURAL GRADE ROUND BARS TO AS1302-1991 (230MPa)
S	STRUCTURAL GRADE DEFORMED BARS TO AS1302-1991 (230MPa)
Y	TEMPCORE DEFORMED BARS TO AS1302-1991 (410MPa)
F	FABRIC TO AS1304-1991 (450MPa)

NOTE: THE NUMBER FOLLOWING THE SYMBOL IS THE BAR DIAMETER IN MILLIMETRES.

- D.2 MINIMUM LAP TO FABRIC TO BE AS SHOWN IN THE DIAGRAM BELOW:



- D.3 TRENCH MESH SHALL BE SPACED WHERE NECESSARY BY A LAP OF 500mm. ALL CROSS WIRES TO TRENCH MESH SHALL BE CUT FLUSH WITH OUTER MAIN WIRES.

- D.4 SPLICES IN REINFORCEMENT SHALL BE MADE IN ACCORDANCE WITH THE PROVISIONS OF TABLE 13.12.2.A OF AS3600-1994 OR IN ACCORDANCE WITH THE FOLLOWING TABLE:

BAR SIZE	Y12	Y16	Y20	Y24	Y28	Y32
SPLICE LENGTH	400	600	800	1200	1200	1200

- D.5 REINFORCEMENT SHALL BE SUPPORTED AT 1000mm MAXIMUM CENTRES TO MAINTAIN THE NOMINATED POSITION AND COVER UNLESS REDUCED SPACING IS SPECIFIED.

- D.6 WELDING OF REINFORCEMENT OTHER THAN TACK WELDING FOR PURPOSE OF MAINTAINING BARS IN CORRECT POSITION IS NOT PERMITTED UNLESS SPECIFICALLY NOMINATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.

- D.7 REINFORCING BARS SHALL HAVE A LAP LENGTH AT SPLICES NOT LESS THAN 500mm. AT 'T' AND 'X' INTERSECTIONS THE BARS SHALL BE CONTINUED ACROSS THE FULL WIDTH OF THE INTERSECTION. AT 'L' INTERSECTIONS, ONE OUTER BAR SHALL BE BENT AND CONTINUED 500mm, OR A BENT LAP BAR 500mm LONG ON EACH LEG SHALL BE PROVIDED.

E. CONCRETE

- E.1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- E.2 CONCRETE QUALITY:

ELEMENT	SUMP	MAX SIZE AGG.	CEMENT TYPE	AS3600 F _{ck}	ADVERTISE	MIN. CEMENT CONTENT PER M ³
ALL	80	20	GP/GB20MPa	NIL	250	Kg

- E.3 DESIGN COVER TO THE REINFORCEMENT SHALL BE 40mm TO UNPROTECTED GROUND, 40mm TO EXTERNAL EXPOSURE, 30mm TO THE MEMBRANE IN CONTACT WITH THE GROUND AND 20mm TO THE INTERNAL SURFACE. THE SLAB FABRIC SHALL BE PLACED TOWARDS THE TOP OF THE SLAB WITHIN THE ZONE DEFINED BY THESE LIMITS.

H. RESIDENTIAL STRUCTURAL STEELWORK

- H.1 ALL STRUCTURAL STEELWORK SHALL COMPLY WITH AS 1111, AS 1112, AS 1163, AS 1154, AS 1104, AND THE A.C.S.E. STRUCTURAL STEEL FABRICATION & ERECTION SPECIFICATIONS WHERE DEEMED APPROPRIATE BY THE CONTRACT DOCUMENTS

- H.2 ABBREVIATIONS USED ARE AS FOLLOWS:

UB - UNIVERSAL BEAM
UC - UNIVERSAL COLUMN
PFC - PARALLEL FLANGE CHANNEL
EA - ROLLED STEEL EQUAL ANGLE
UA - ROLLED STEEL UNEQUAL ANGLE
RHS - RECTANGULAR HOLLOW SECTION
SHS - SQUARE HOLLOW SECTION
B.M. - BUTT WELD
F.W. - FILET WELD

- H.3 THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE BUILDER'S RESPONSIBILITY. ADEQUATE TEMPORARY BRACING SHALL BE PROVIDED WHERE NECESSARY AND AS DIRECTED BY THE SUPERVISING ENGINEER.

- H.4 ALL SHOP CONNECTIONS SHALL BE FULLY WELDED UNLESS NOTED OTHERWISE.

- H.5 PROVIDE 6mm MINIMUM FILET WELDS, M20 BLACK BOLTS & 10mm CONNECTION PLATES UNLESS SPECIFICALLY NOTED OTHERWISE.

- H.6 ALL BOLTS SHALL BE IN 2mm CLEARANCE HOLES UNLESS NOTED OTHERWISE.

- H.7 SURFACE TREATMENT AND COATINGS SHALL BE AS SPECIFIED WITHIN THE TABLE BELOW:

MEMBER	MARK	SURFACE PREPARATION	COATING
INTERNAL	ALL	ABRASIVE BLAST CLASS 1	R.O.Z.P. (1 COAT)

- H.8 CONCRETE ENCASED STEELWORK SHALL BE WRAPPED WITH 10 S.W.G WIRE AT 100mm PITCH AND SHALL HAVE A MINIMUM CONCRETE COVER OF 150mm UNLESS NOTED OTHERWISE.

- H.9 COATING OF EXTERNAL UNITS SHALL BE IN ACCORDANCE EITHER WITH BCA 96 CLAUSES 3.3.3.4 AND 3.4.4 OR AS3770 CLAUSE 3.4.3. THE BUILDER MUST CLARIFY HIS CONTRACTUAL OBLIGATIONS IN THIS REGARD.

PIERING WORKS NOTES

(BRICK VENEER CONSTRUCTION)

- P1 FINAL DEPTH & EXTENT OF PIERING WORKS TO BE DETERMINED ON SITE SUBJECT TO THE RESULTS OF THE TEST HOLE/INITIAL EXCAVATION AND VERIFICATION BY THE STRUCTURAL ENGINEER.

- P2 WHERE REQUIRED, ALL PIERING IS TO CONFORM TO THE FOLLOWING TABLE:

BEARING STRATA	DESIGN BEARING CAPACITY	SINGLE STOREY	DOUBLE STOREY
SAND	90 KPa	90mm x 30mm BUCKET PERS @ 90mm MAX C/C	CONTINUOUS EDGE BEAM DEEPENING OR 90mm x 30mm BUCKET PERS @ 90mm MAX C/C
CONTROLLED CLAY FILL	50 KPa	75mm x 30mm BUCKET PERS @ 75mm MAX C/C	CONTINUOUS EDGE BEAM DEEPENING OR 75mm x 30mm BUCKET PERS @ 75mm MAX C/C
STIFF NATURAL CLAY	25 KPa	40mm x 30mm BUCKET PERS @ 40mm MAX C/C	CONTINUOUS EDGE BEAM DEEPENING OR 40mm x 30mm BUCKET PERS @ 40mm MAX C/C
SHALE/ROCK	450 KPa	30mm x 30mm BUCKET PERS @ 30mm MAX C/C	40mm x 30mm BUCKET PERS @ 30mm MAX C/C

- P3 PIER REINFORCEMENT TO BE DIRECTED BY ENGINEER ON SITE.

- P4 WHERE SHALE OR ROCK STRATA IS ENCOUNTERED LESS THAN 600mm BELOW FINISHED GROUND LEVEL, PROVIDE PIERS TO SHALE OR ROCK STRATA IN ACCORDANCE WITH PIERING WORKS NOTES ABOVE.

- P5 WHERE PIERS ARE REQUIRED ADJACENT TO SERVICE TRENCHES, THE STRATA ENCOUNTERED ADJACENT TO THESE SERVICE TRENCHES MUST BE ADOPTED THROUGHOUT THE REMAINDER OF THE DWELLING.

- P6 FOR WAFFLE RAFTS:

INTERNAL LOADEDBEARING RBBS TO BE PIERS AT MAXIMUM 2400mm C/C. AT RB INTERSECTIONS.

NOTE:

THESE DETAILS CONFORM WITH THE RECOMMENDED DESIGN PROCEDURE CONTAINED IN AS2870-1996 AUSTRALIAN STANDARD FOR RESIDENTIAL SLABS & FOOTINGS FOR THE SPECIFIC SITE IDENTIFIED ON THIS DRAWING.

PLUMBING PLACEMENT:

PIPES SHALL BE PLACED MINIMUM 450mm TOP OF SLAB TO TOP OF PIER, WITH EXCEPTION OF EB3. ALTERNATIVELY, PENETRATIONS OF EDGE OR STEERING BEAMS SHALL BE PERMITTED THROUGH THE MIDDLE THIRD.

CURING:

WAFFLE POOLS MAY BE CUT AROUND EXPOSED PLUMBING AND ANY OTHER RESULTING GAPS MAY BE TAPED AND SEALED.

THE CONCRETE SLAB SHALL BE CURED USING AN APPROVED COMMERCIAL CURING COMPOUND AND IN ACCORDANCE WITH CLAUSE 10.15 OF AS3600-1994. CURING OF THE CONCRETE SHALL START IMMEDIATELY AFTER FINISHING.

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- 4 APR 2003

07 APR 2003

Appleyard Forrest

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PROJECT

PROPOSED RESIDENCE FOR STOCKLAND RESIDENTIAL DEVELOPT

AT LOT 115 ACACIA CIRCUIT, WARRIEWOOD

L.D. APPELEYARD M.L.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)

JOB NO.

333268

SHEET

S2

REVISION

0

DRAWN

DESIGNED

DATE

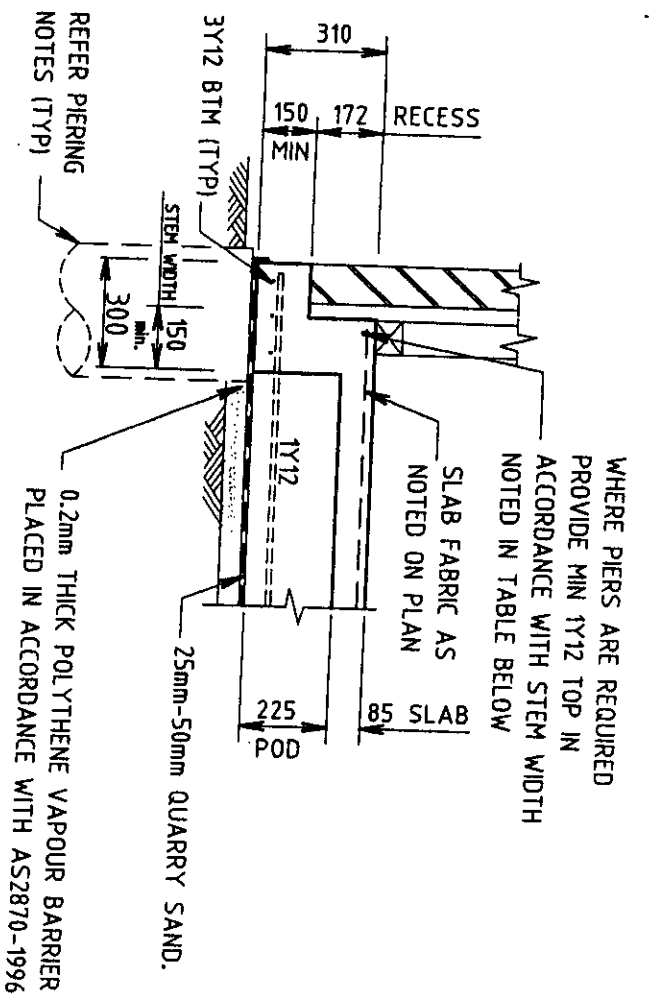
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SCALE

NTS

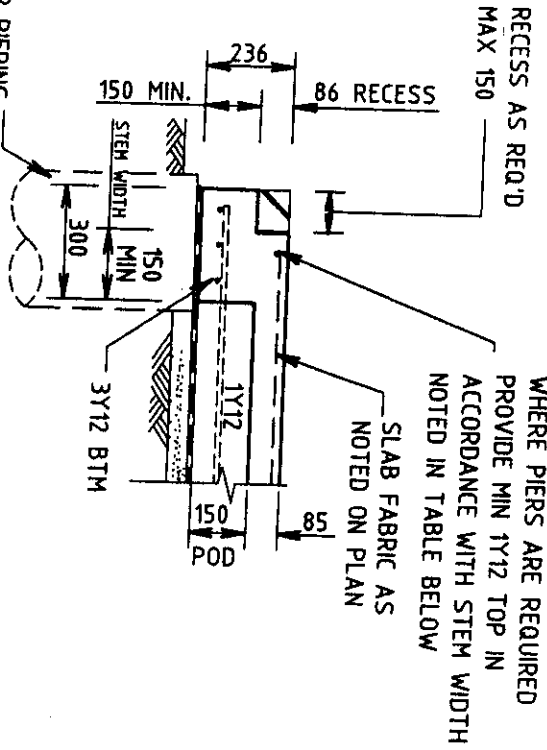
SHEET 2

SET OF 6



EDGE BEAM DETAIL (EB1)

WHERE BEAM WIDTH EXCEEDS NOTED DIMENSIONS - PROVIDE
TOP & BOTTOM STEEL IN ACCORDANCE WITH TABLE LOCATED
BELOW.

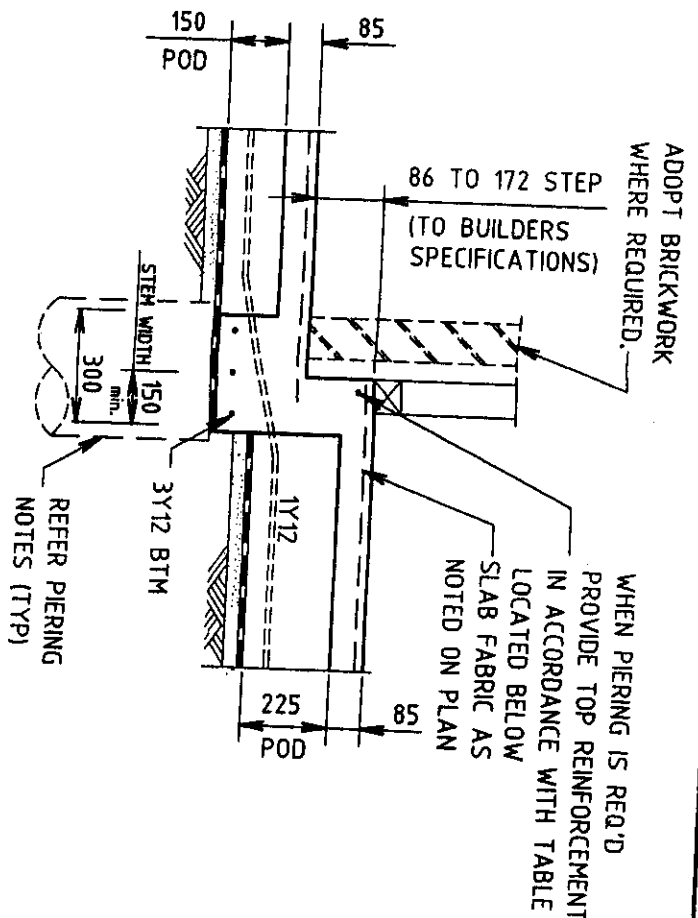


PATIO EDGE BEAM DETAIL (PEB1)

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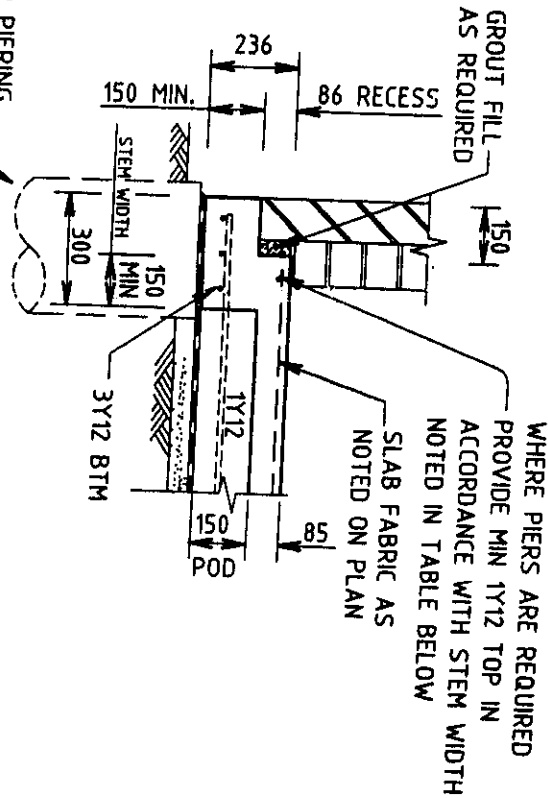
TOTAL REINFORCEMENT REQUIREMENTS WITHIN BEAMS

STEM OR BEAM BASE WIDTH	TOP STEEL	BTM. STEEL
110 - 150	*1Y12 - ONLY WHEN PIERING REQ'D	1Y12
151 - 220	1Y12	2Y12
221 - 330	2Y12	3Y12
331 - 440	3Y12	4Y12
441 - 550	4Y12	5Y12

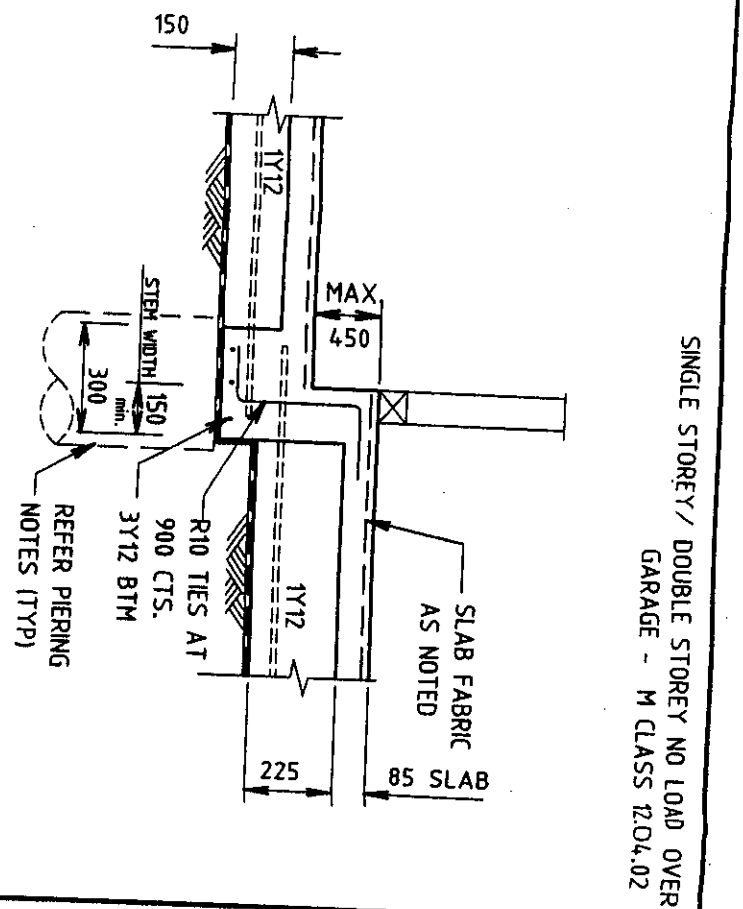


STEP DETAIL (IB1)

ALL L-INTERSECTIONS, ONE OUTER BAR SHALL BE BENT AND CONTINUED
500mm, OR A BENT LAP BAR 500mm LONG ON EACH LEG SHALL BE PROVIDED
TOP & BTM.

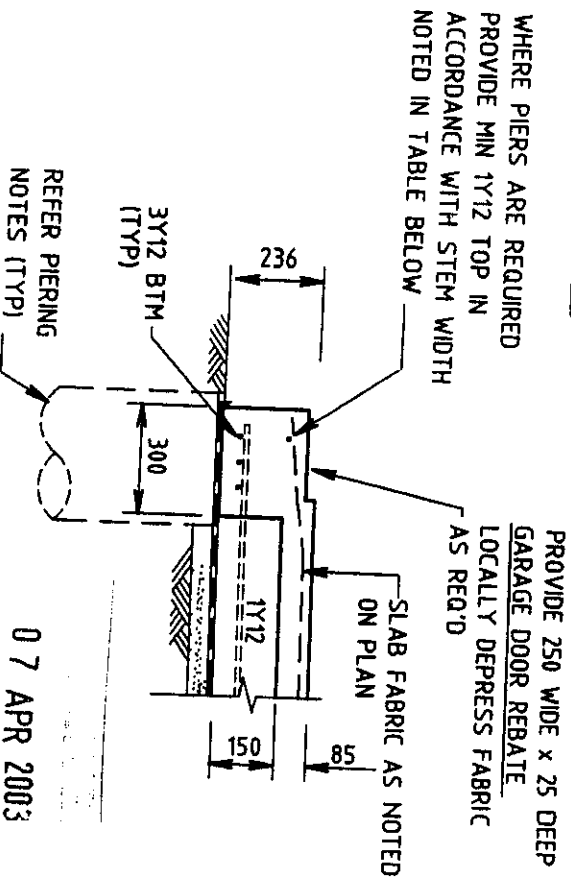


GARAGE EDGE BEAM DETAIL (EB2)



STEP DETAIL (IB2)

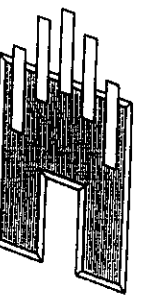
REFER IB3 FOR STEPS EXCEEDING 450



GARAGE EDGE BEAM DETAIL (EB2)

DOOR RECESS (EB-2)

PRINT ISSUED
- 4 APR 2003



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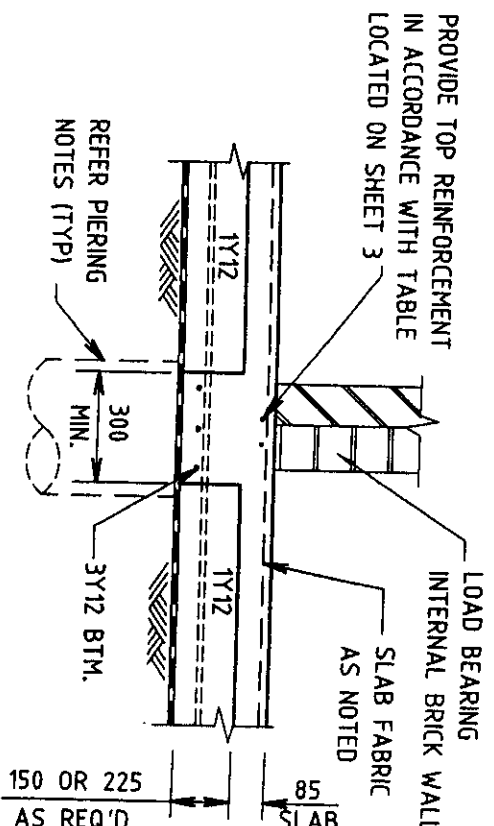
JOB NO.	SHEET	REVISION
333268	S3	0

YOUR REF: 227000
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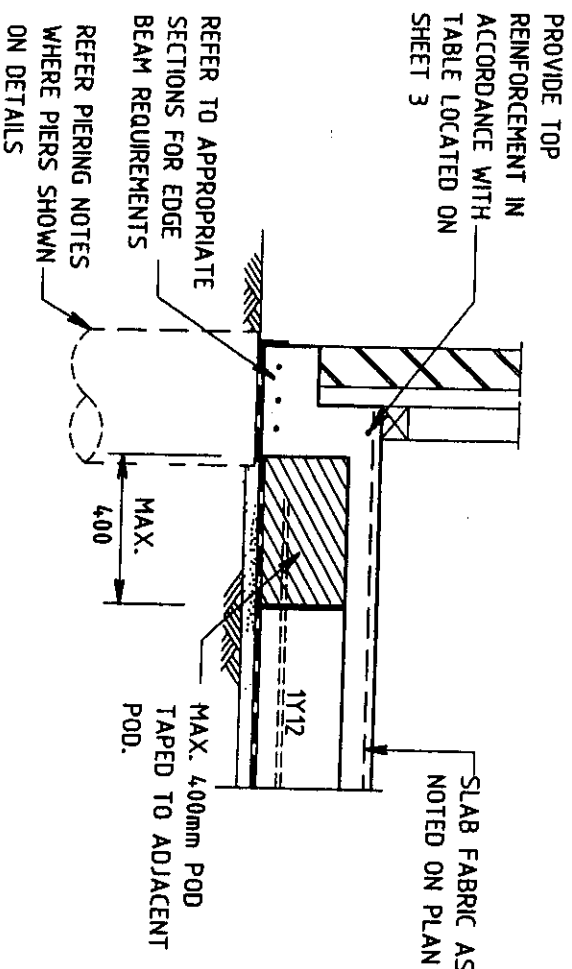
PROPOSED RESIDENCE FOR STOCKLAND RESIDENTIAL DEVELOPT
AT LOT 115 ACACIA CIRCUIT, WARRIEWOOD
L.D. APPLEYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)

SHEET	SET OF
3	6

1:20



STIFFENING BEAM DETAIL (SBI)

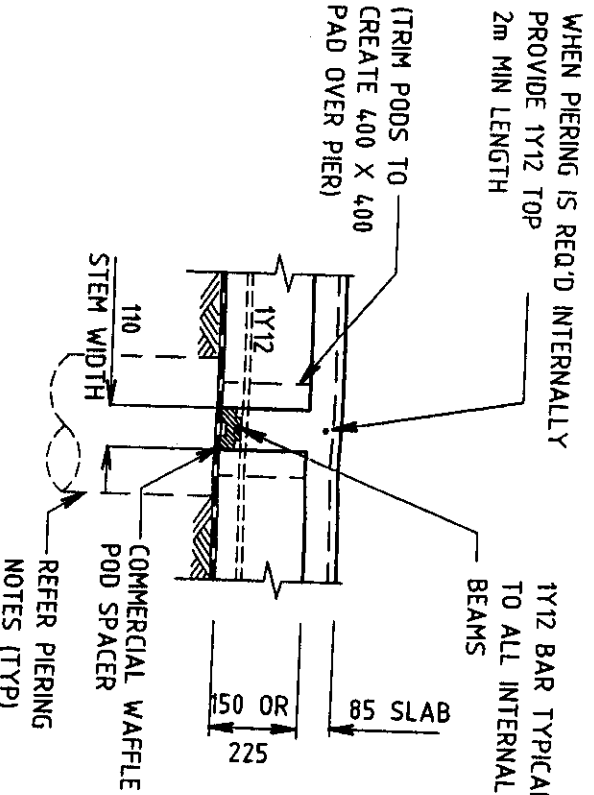


POD TAPING DETAIL (EB1)

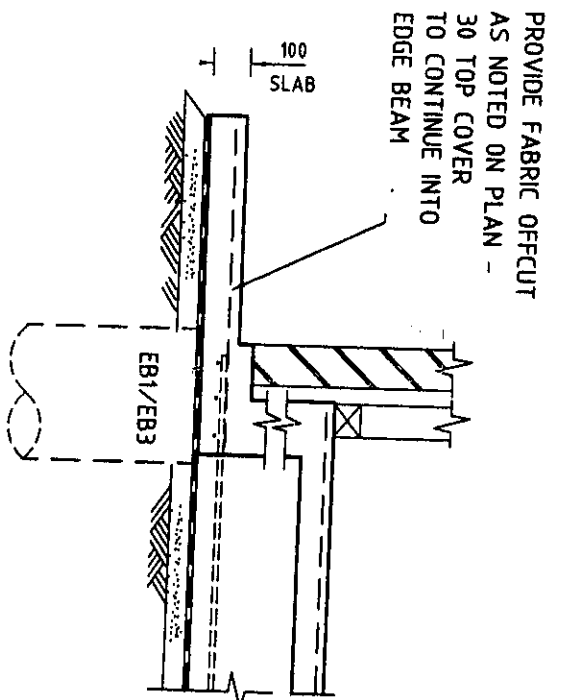
NOTE
PODS LESS THAN 400mm WIDE CAN BE TAPED - IF EDGE BEAM EXCEEDS 300 - REFER TABLE - SHEET 3 FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

NOTE
POD TAPING DETAIL IS ONLY PERMISSIBLE FOR AN ENTIRE LENGTH OF EDGE BEAM OR STEP BEAM ALL INTERNAL RIBS MUST BE CONTINUOUS

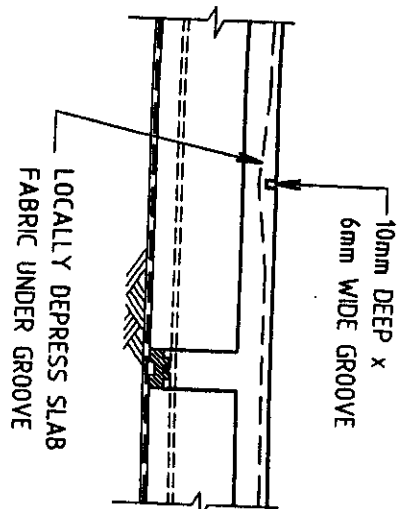
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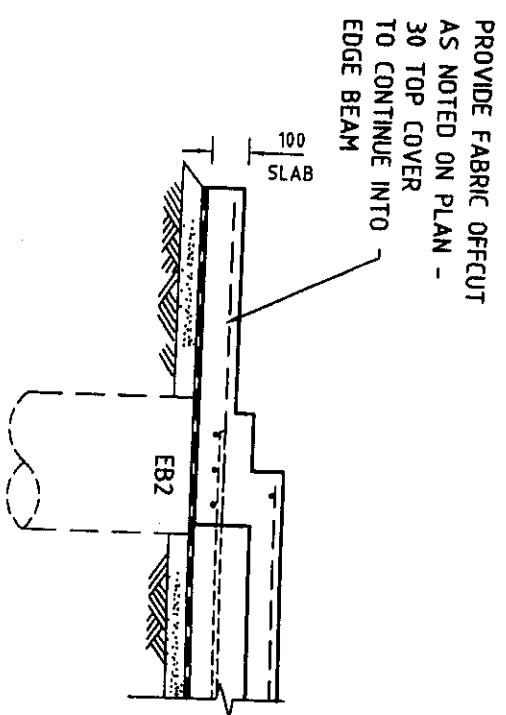
TYPICAL INTERNAL BEAM DETAIL



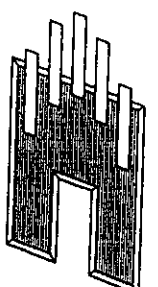
HOT WATER PAD DETAIL-EB1/EB3



TOOLED JOINT DETAIL (TJ)



HOT WATER PAD DETAIL-EB2



COSMOPOLITAN CONSTRUCTIONS



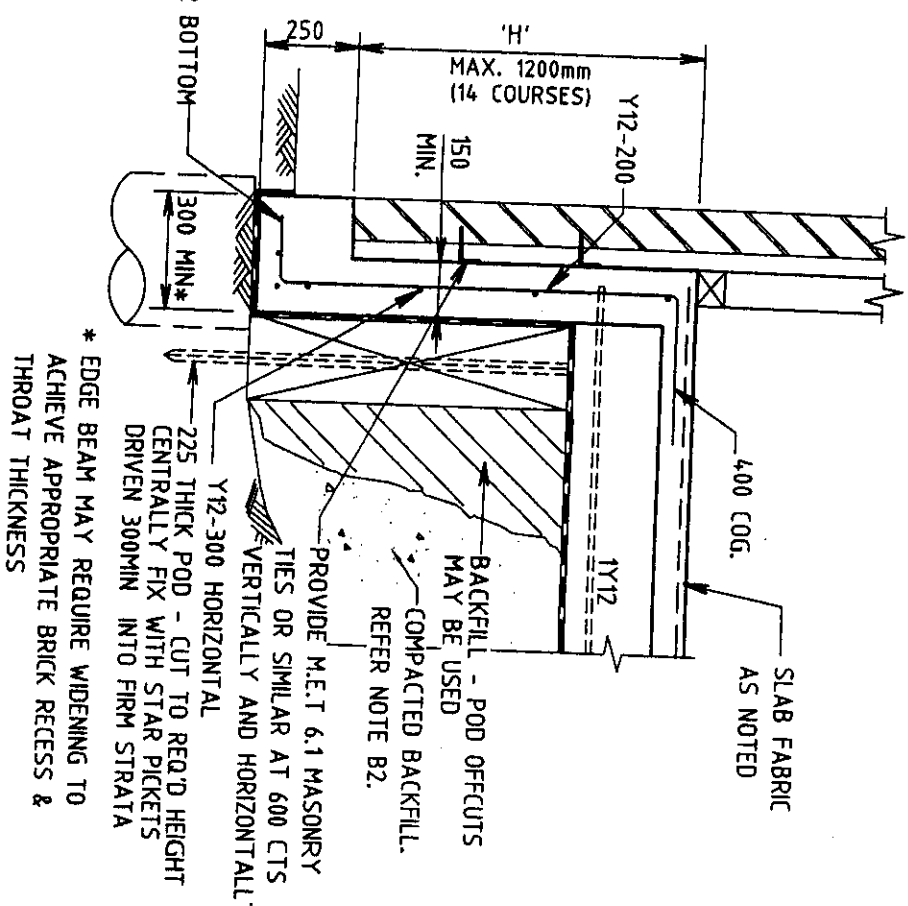
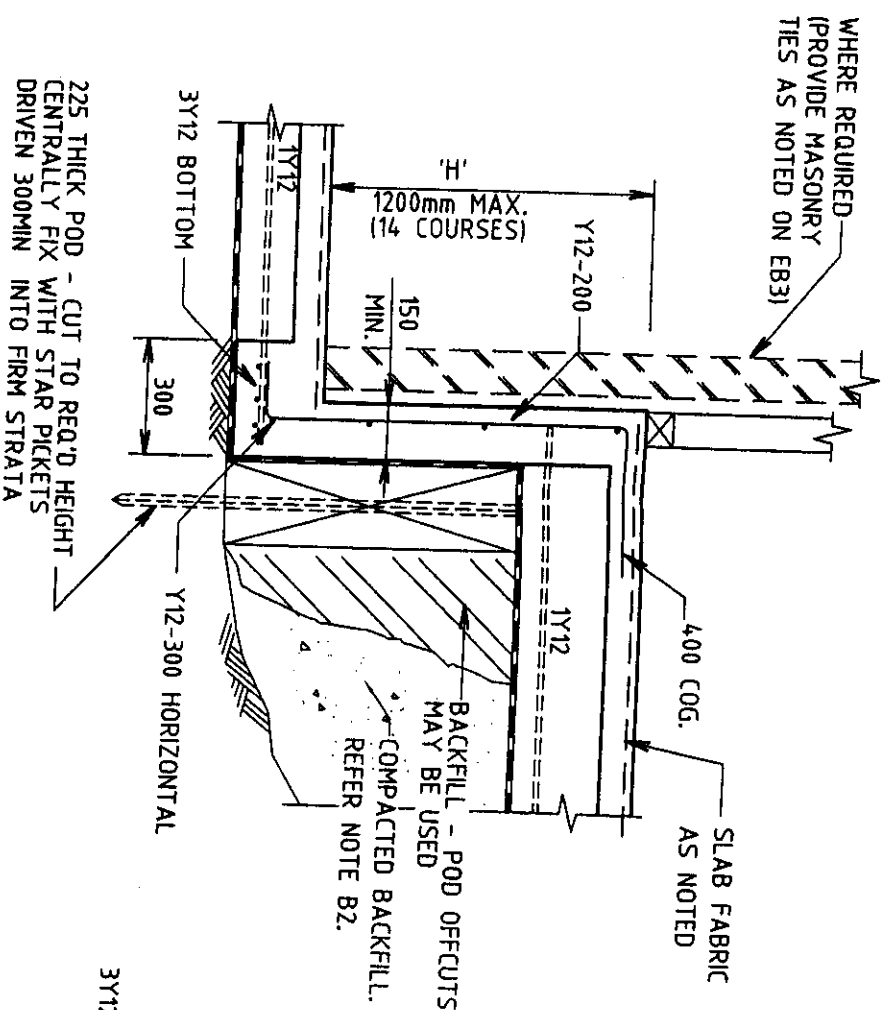
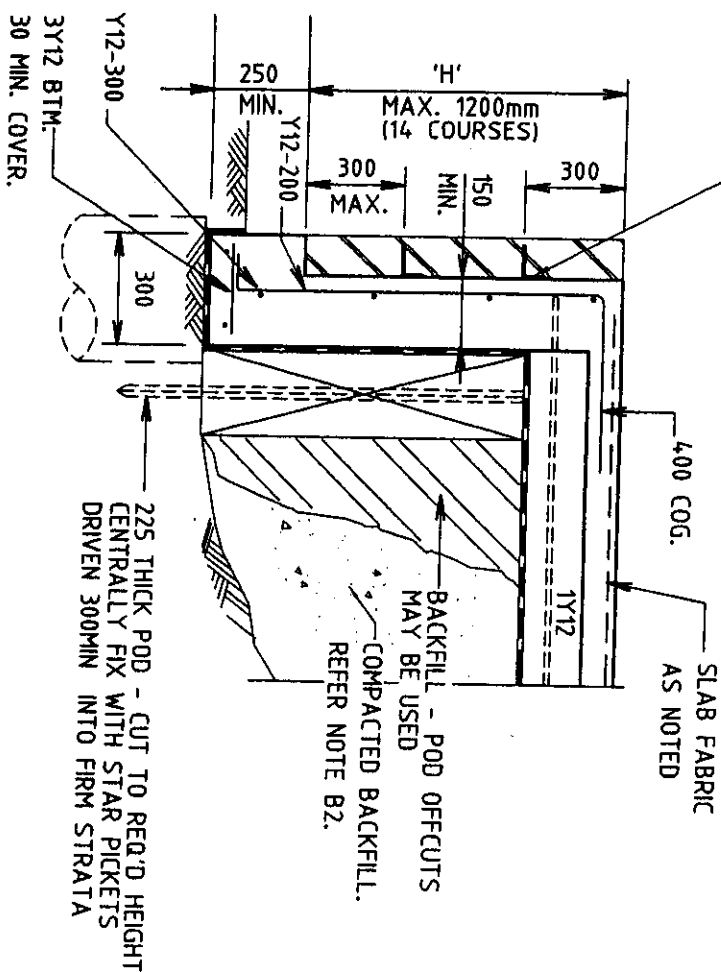
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PROJECT
PROPOSED RESIDENCE FOR STOCKLAND RESIDENTIAL DEVELOPT
AT LOT 115 ACACIA CIRCUIT, WARRIEWOOD
L.D. APPELEYARD M.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)

JOB NO.	SHEET	REVISION
333268	S4	0
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PR	28.03.03	1:20
DESIGNED	DATE	
LDA	28.03.03	
YOUR REF:	SHEET	SET OF
227000	4	6

07 APR 2003 PRINTED APR 2003

PROVIDE M.E.T 6.1 MASONRY
TIES OR SIMILAR AT 600 CTS
VERTICALLY AND HORIZONTALLY



SINGLE STOREY / DOUBLE STOREY NO LOAD OVER
GARAGE - M CLASS 12.01.02

* EDGE BEAM MAY REQUIRE WIDENING TO
ACHIEVE APPROPRIATE BRICK RECESS &
THROAT THICKNESS

PATIO DROPPED

EDGE BEAM DETAIL (PEB3)

ALTERNATIVE STEP DETAIL (IB3)

DROPPED EDGE BEAM DETAIL - (EB3)

DROPPED EDGE BEAMS OR ALTERNATE STEP DETAILS OVER 14
COURSES, ENGINEER TO BE NOTIFIED.

REFER POD TAPING DETAILS WHERE ADJACENT POD IS LESS
THAN 400 WIDE.

EQUIVALENT REINFORCING BAR SIZES

REINFORCING BAR	TRENCH MESH ALTERNATIVE**
2Y12	4-8TM
3Y12	3-11TM
3Y16	4-12TM

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IN ACCORDANCE WITH TABLE 3.2 - AS2870-1996



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PROJECT

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AT LOT 115 ACACIA CIRCUIT, WARREWOOD

YOUR REF:

227000

JOB NO.

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SHEET

S5

REVISION

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DATE

SCALE

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07 APR 2003

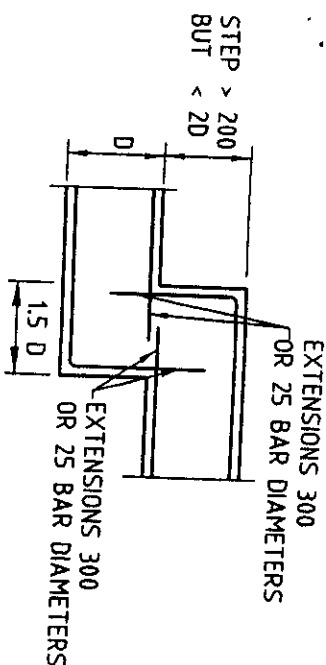
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SHEET

5

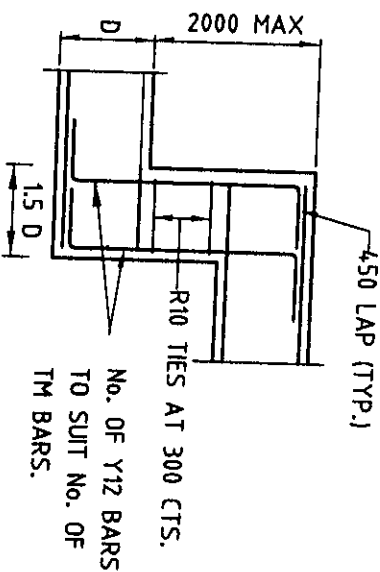
SET OF

6



STEP > 200 - BUT < 2D

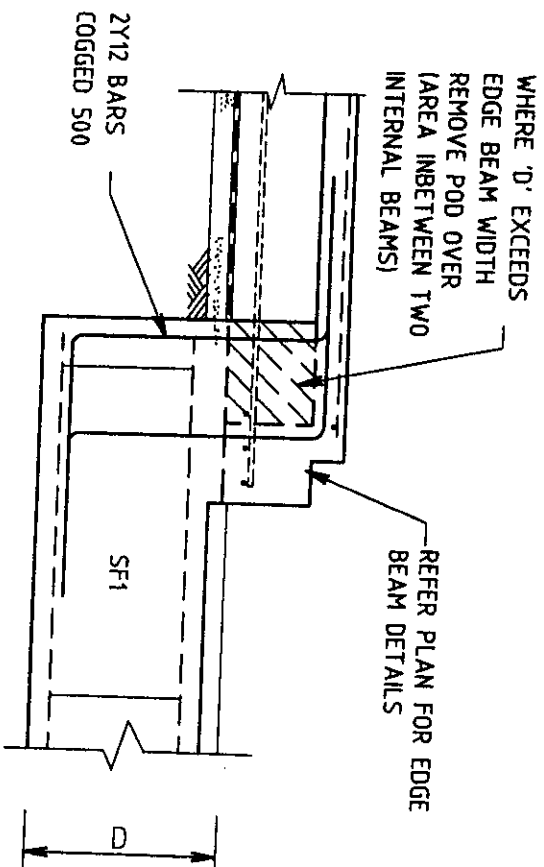
D = DEPTH OF FOOTING



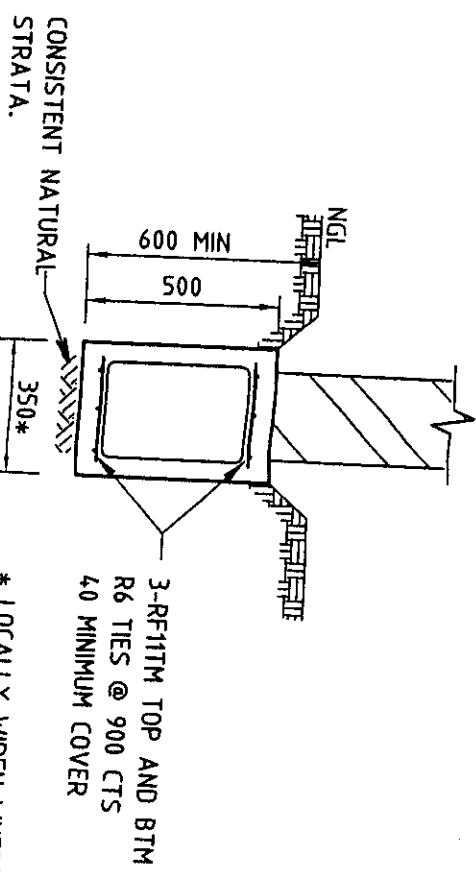
STEP > 200 - BUT < 2000

D = DEPTH OF FOOTING

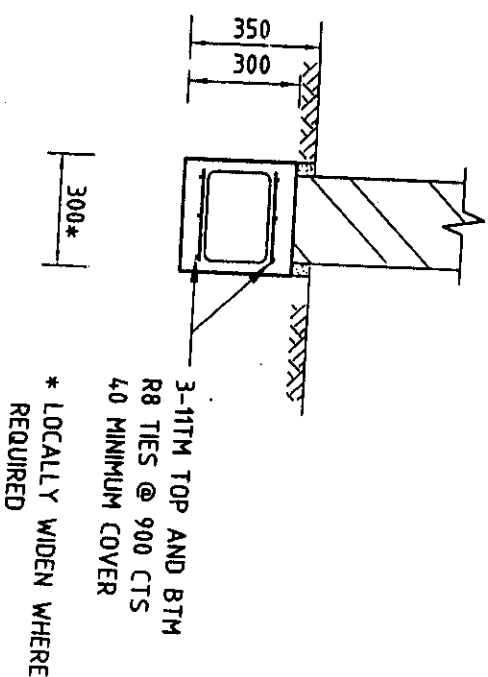
TYPICAL STRIP FOOTING STEP DETAILS



STRIP FOOTING CONNECTION DETAIL

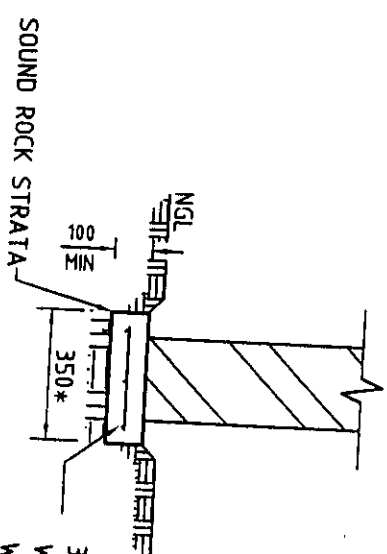


STRIP FOOTING DETAIL (SFI)



PATIO TIE BEAM DETAIL (TBI)

M CLASS



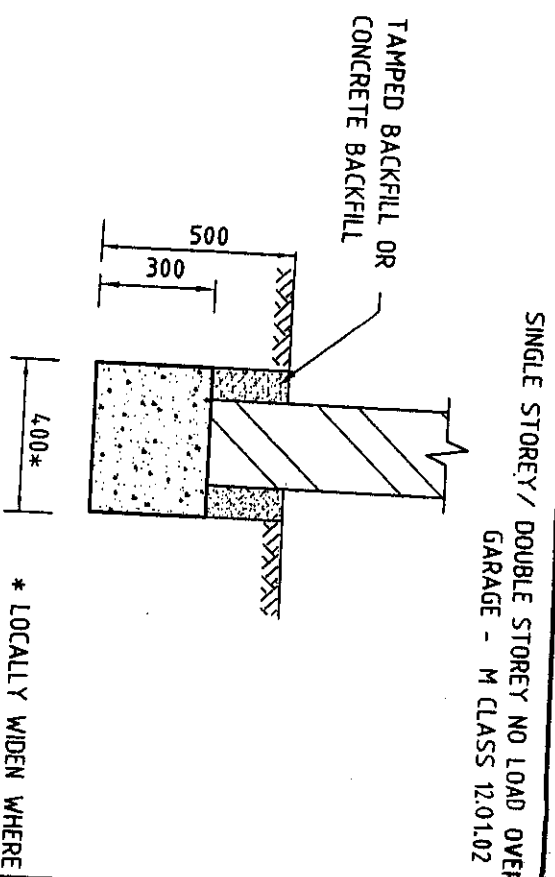
DETAIL X

NOTE:
ADOPT DETAIL ABOVE WHERE
ROCK STRATA IS ENCOUNTERED IN
FOOTING EXCAVATIONS

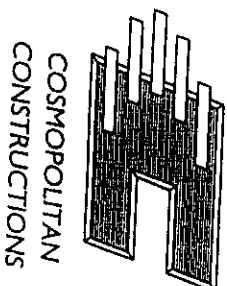
07 APR 2003

PRINT APR 2003

- 4 APR 2003



PAD DETAIL (PI)



Appleyard Forrest Consulting Engineers Pty. Ltd.

58 HILLS STREET, GOSFORD NSW 2250
UNIT 35, 7 ANELLA AVENUE, CASTLE HILL NSW 2154
SUITE 1, 407-409 BONG BONG STREET, BOWRAL NSW 2576

TEL (02) 4324 3499 FAX (02) 4324 2951
TEL (02) 9634 6311 FAX (02) 9634 6544
TEL (02) 4862 5071 FAX (02) 4862 1588

ACN No. 002 610 522

JOB NO. 333268
SHEET S6
REVISION 0

DATE 28.03.03
SCALE 1:20

PROJECT

PROPOSED RESIDENCE FOR STOCKLAND RESIDENTIAL DEVELOPT
AT LOT 115 ACACIA CIRCUIT, WARRIEWOOD

YOUR REF: 227000

DRAWN PR

CHECKED

SCALE

SHEET 6

SET OF 6

L.D. APPELYARD M.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)

4/

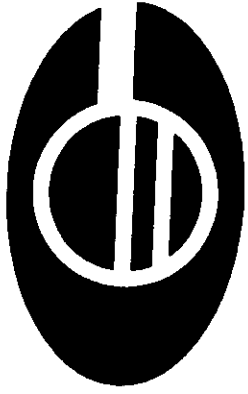
DESIGNED LDA

DATE

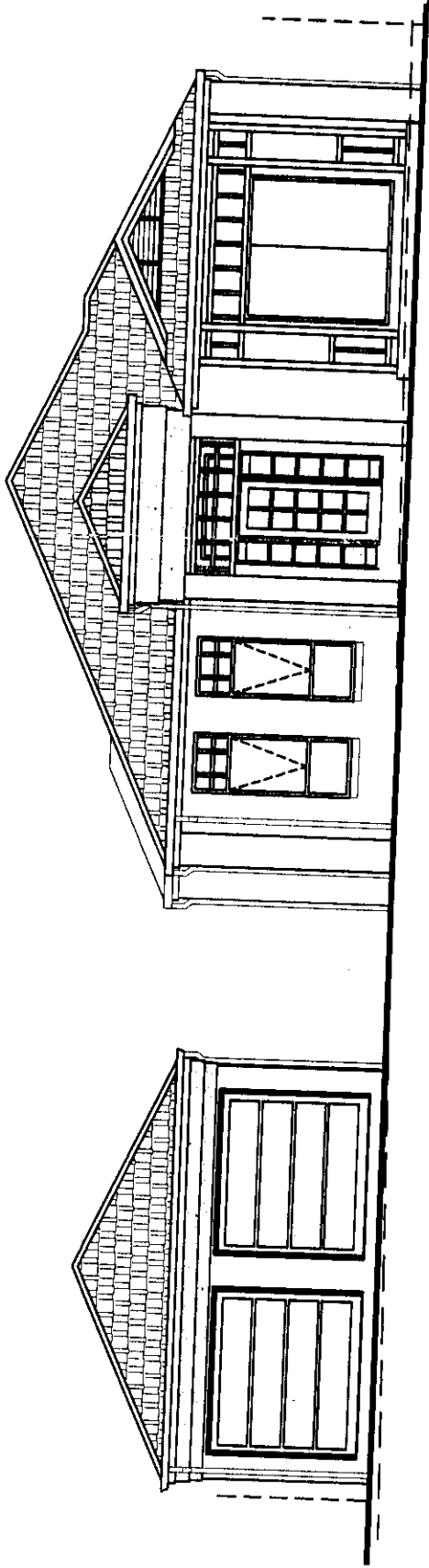
SCALE

SHEET 6

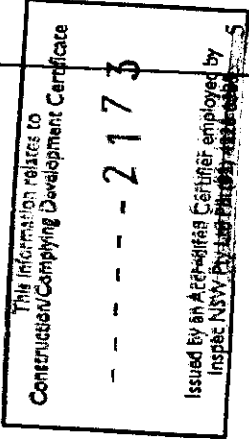
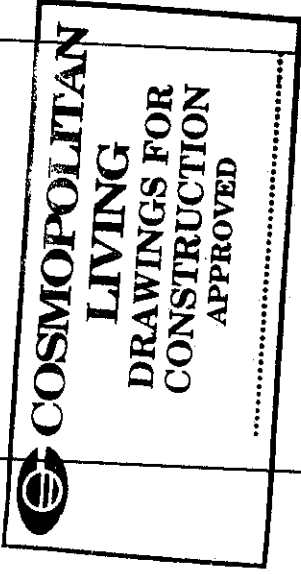
SET OF 6



COSMOPOLITAN LIVING



CONSTRUCTION ISSUE



D	15.04.03	CONSTRUCTION ISSUE
C	10.02.03	PER COUNCIL LETTER 10.02.03
B	21.11.02	INSULATION NOTES ADDED
A	12.11.02	DA ISSUE
Issue date:		revision:



COSMOPOLITAN
LIVING

Unit 1/4 Jaking Avenue,
Moorebank NSW 2170
Tel: 02 9601 8498
Fax: 02 9602 0394

Client: STOCKLAND RES DEVELOPMENT
Address: LOT 115 ACACIA CIRCUIT
Suburb: FERNBROOK SANCTUARY
Council Area: WARREWOOD
PITTWATER

House Type:
Facade Type:
Alternative Plan:
Specification:

Drawing Title:
COVER SHEET

Drawn: GB
Checked: *gb*
Date Drawn: NOV 02
Scale: N/A

File No: 902202
Drawing No: 115/C-00
Rev: D



COSMOPOLITAN

LIVING

DRAWINGS FOR CONSTRUCTION APPROVED

LOT 115

GROUND FLOOR AREA :

202sqm

PORCH:

2.4sqm

GARAGE:

33.40sqm

HARD SURFACES:

27.0sqm

SITE AREA :

510.6sqm

BUILT UPON AREA: 284.8sqm = 52%

D	28.03.03	CONSTRUCTION ISSUE
C	10.02.03	PER COUNCIL LETTER 10.02.03
B	21.11.02	INSULATION NOTES ADDED
A	12.11.02	DA ISSUE
Issue date:		revisions:



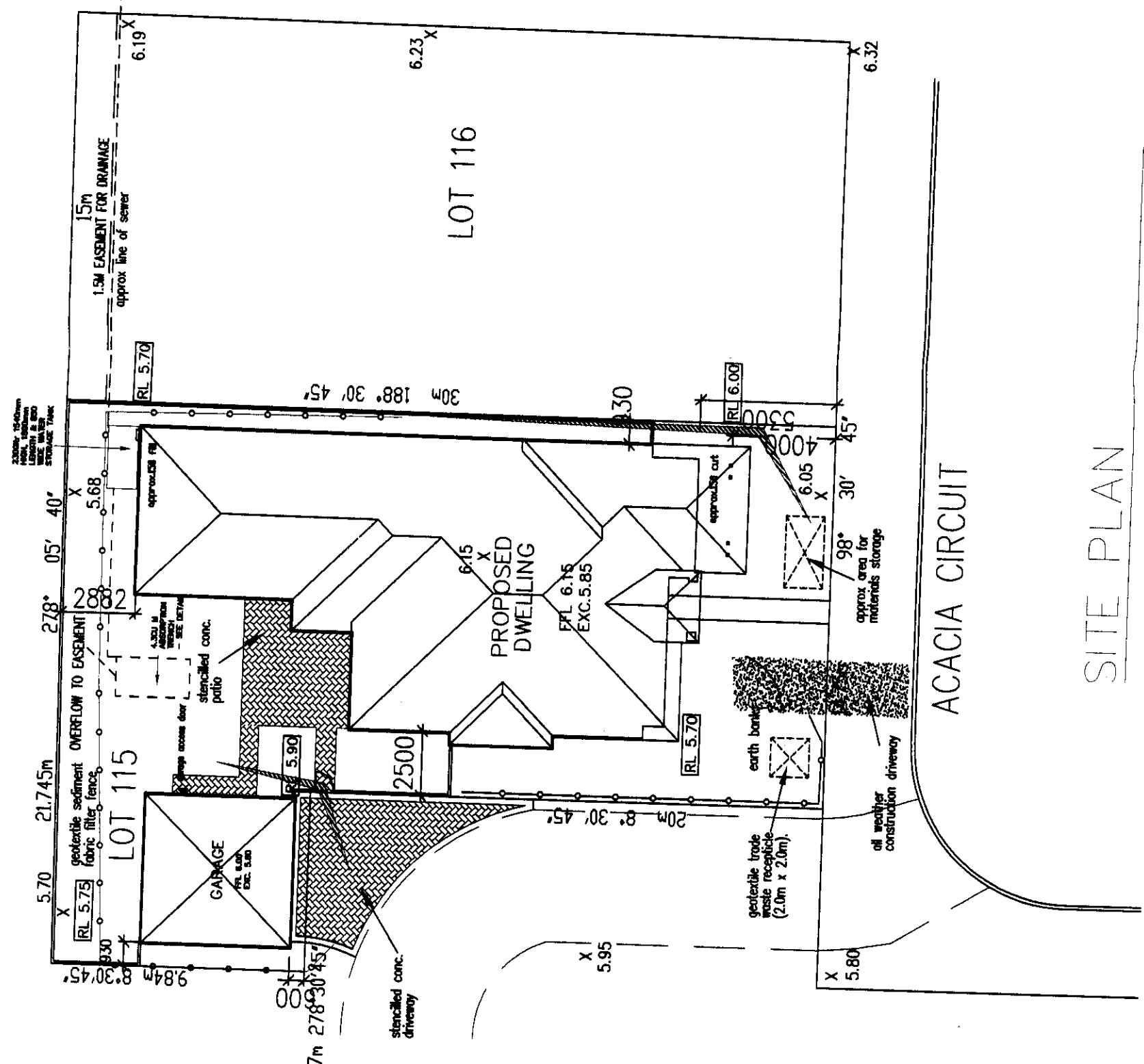
COSMOPOLITAN

LIVING

Unit 1/4 Inaking Avenue,
Moorebank NSW 2170
Tel: 02 9601 8498
Fax: 02 9602 0394

Client:	STOCKLAND RES DEVELOPMENT
Address:	LOT 115 ACACIA CIRCUIT
Suburb:	FERNBROOK SANCTUARY
Council Area:	WARRIEWOOD
House Type:	PITTWATER
Facade Type:	
Alternative Plan:	
Specifications:	

Drawing Title:			
SITE PLAN			
Drawn:	GB	Checked:	98
Date Drawn:	NOV 02	Scale:	1:200
File No:	902202	Drawing No:	115/SP-1
Rev:	D		



GENERAL NOTES:

EXCAVATE APPROXIMATELY 150mm TO FRONT OF HOME & 100mm TO FRONT OF GARAGE

SEWER CONNECTION TO COUNCIL REQUIREMENTS.

STORMWATER TO STORAGE TANK & ABSORPTION PIT THEN WITH OVERFLOW TO EASEMENT

EXISTING GRASS, STUMPS, RUBBISH ETC TO BE REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION

ACACIA CIRCUIT

SITE PLAN

COSMOPOLITAN
LIVING
DRAWINGS FOR
CONSTRUCTION
APPROVED

CONSTRUCTION ISSUE
GARAGE PLAN ADDED
PER COUNCIL LETTER 10.02.03
INSULATION NOTES ADDED
DA ISSUE



COSMOPOLITAN
LIVING

Unit 1/4 Italing Avenue
Moorebank NSW 2170
Tel: 02 9601 8498
Fax: 02 9602 0394

Client: STOCKLAND RES DEVELOPMENT
Address: LOT 115 ACACIA CIRCUIT
Suburb: FERNBROOK SANCTUARY
Council Area: WARRIEWOOD
PITTWATER

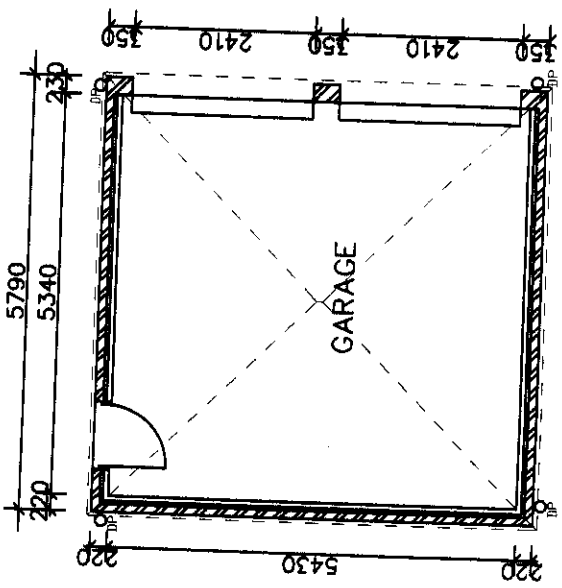
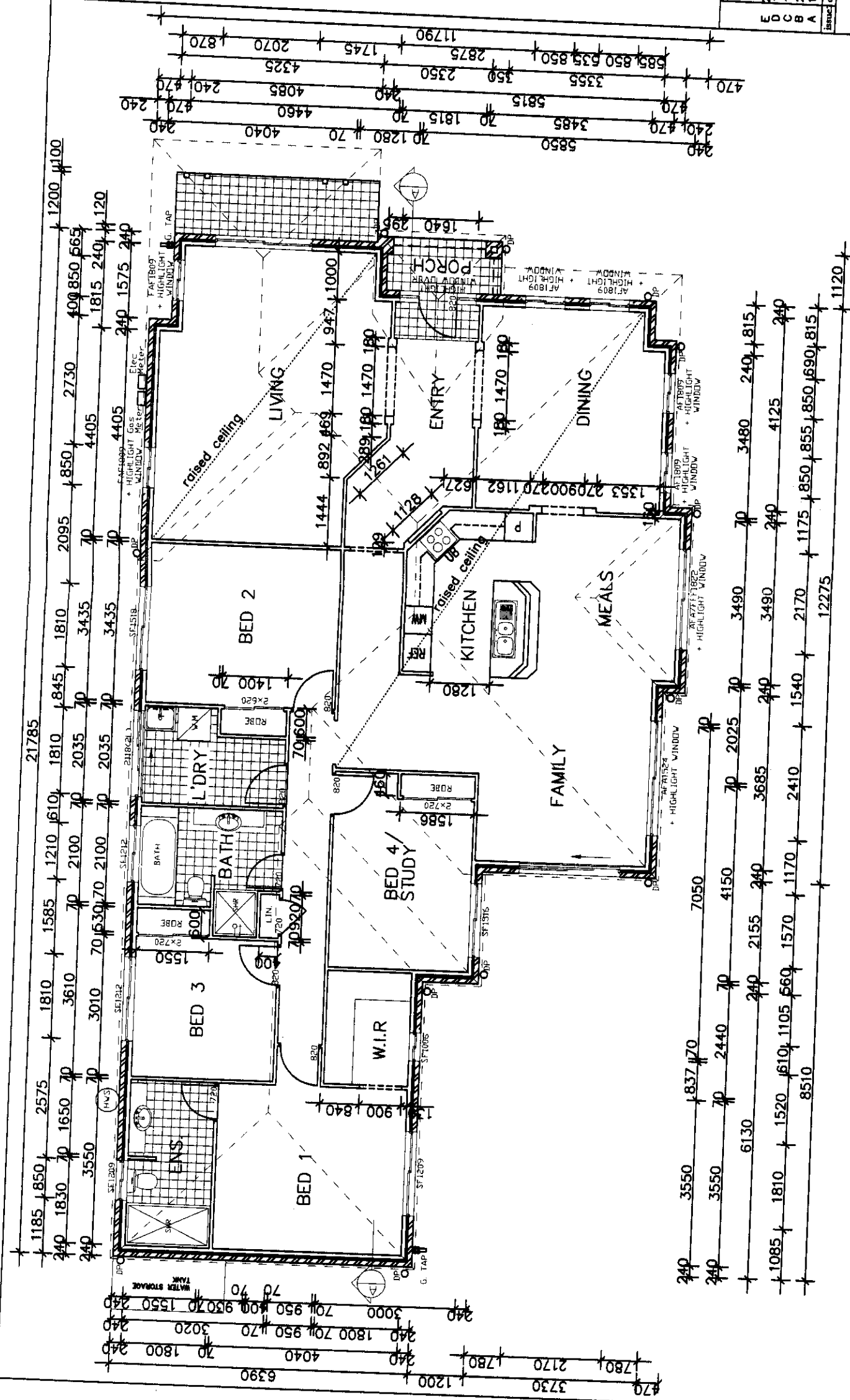
House Type:
Pavement Type:
Alternative Plan:
Specification:

Drawing Title:
GROUND FLOOR PLAN

Drawn: GB
Checked: 4/B
Date Drawn: 13.08.02
Scale: NTS
Drawing No: 115/GF-2
Rev: D

Note: R2.0 insulation to ceilings
ceilings over living areas
R1.5 insulation to external
walls [excluding garage]

1:100 GROUND FLOOR PLAN



COSMOPOLITAN
LIVING
DRAWINGS FOR
CONSTRUCTION
APPROVED

CONSTRUCTION ISSUE
PER COUNCIL LETTER 10.02.03
INSULATION NOTES ADDED
DA ISSUE



COSMOPOLITAN
LIVING

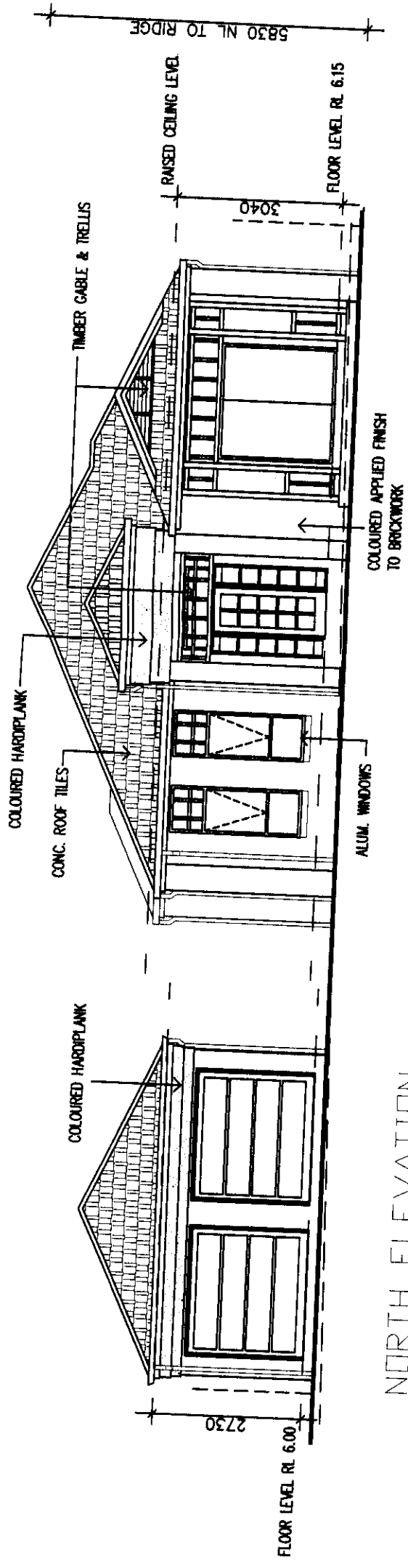
Unit 1/4 Isaking Avenue
Moorebank NSW 2170
Tel: 02 9601 8498
Fax: 02 9602 0394

Client: STOCKLAND RES.DEVLPMT
Address: LOT115 ACACIA CIRCUIT
Suburb: FERNBROOK SANCTUARY
Council Area: WARREWOOD
PITTWATER

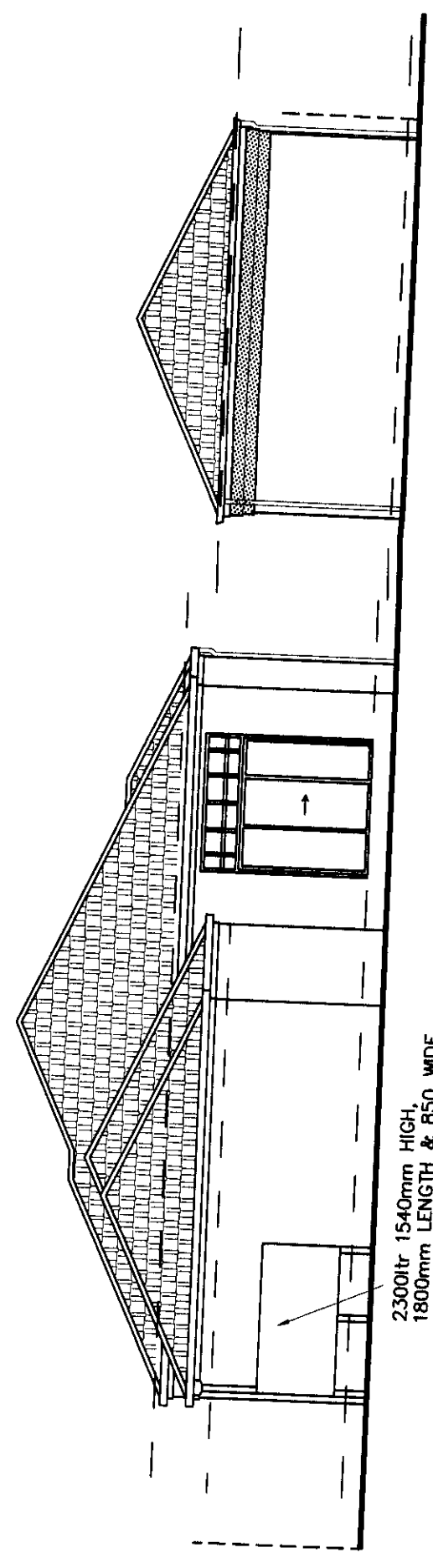
House Type:
Facade Type:
Alternative Plan:
Specification:

Drawing Title:
ELEVATIONS - SHEET 1

Drawn: GB
Checked: *GB*
Date Drawn: NOV 02
Scale: NTS
File No: 902202
Drawing No: 115/E-3
Rev: D



NORTH ELEVATION



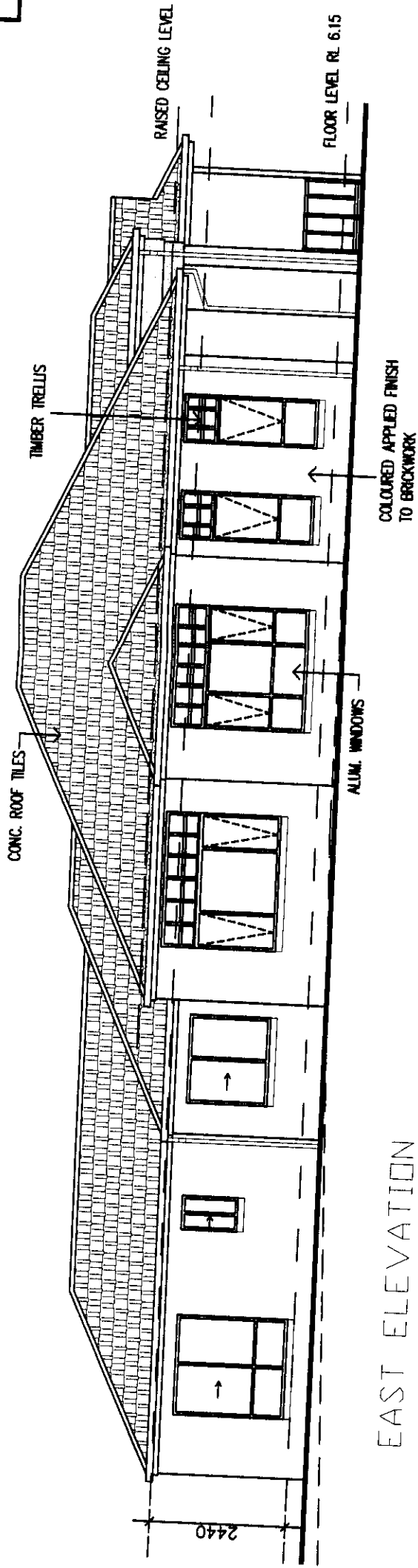
SOUTH ELEVATION



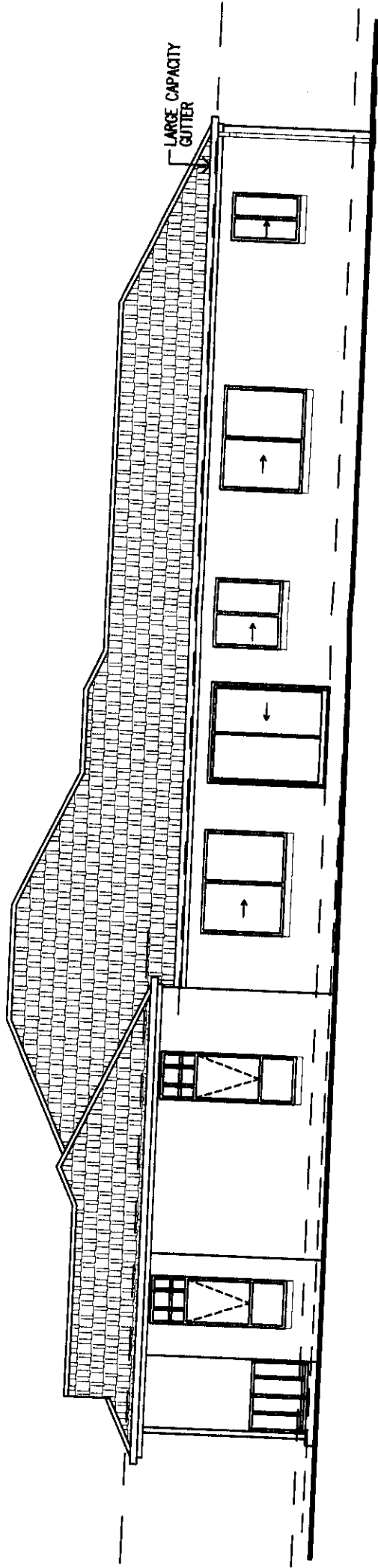
COSMOPOLITAN

LIVING

DRAWINGS FOR CONSTRUCTION APPROVED



EAST ELEVATION

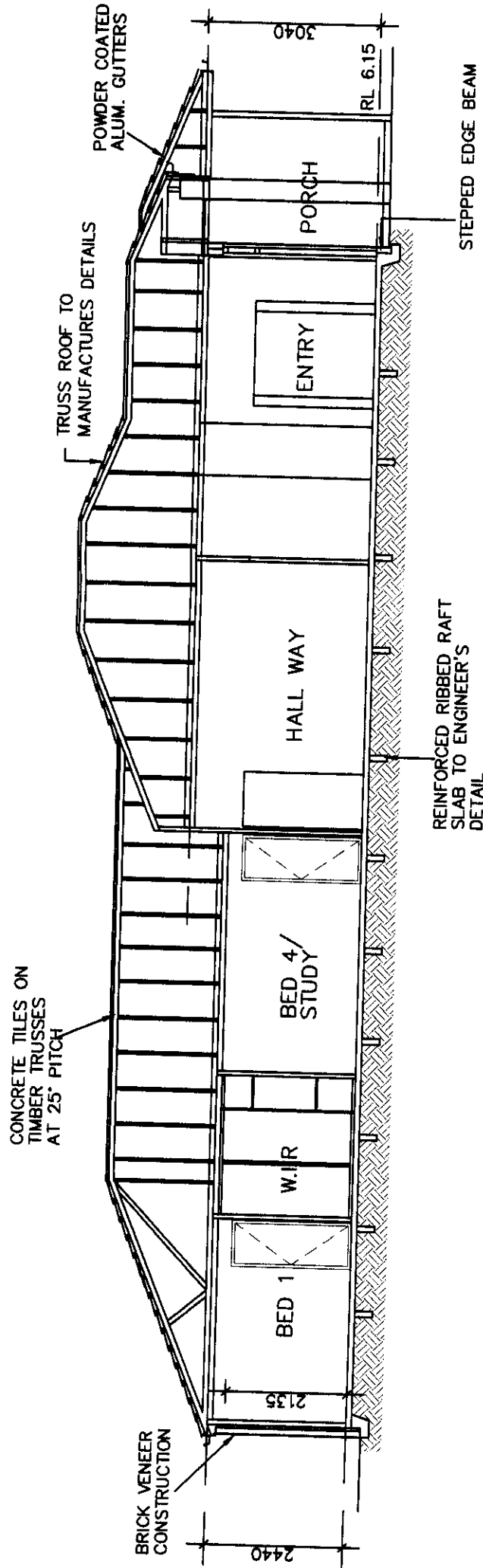


WEST ELEVATION

D	28.03.03	CONSTRUCTION ISSUE PER COUNCIL LETTER 10.02.03 INSULATION NOTES ADDED DA ISSUE
C	10.02.03	
B	21.11.02	
A	12.11.02	
Issue date:		revision:
 COSMOPOLITAN LIVING Unit 1/4 Isling Avenue, Moorebank NSW 2170 Tel: 02 9601 8498 Fax: 02 9602 0394		
Client: Address: Suburb: Council Area:		STOCKLAND RES.DEV/PMNT LOT115 ACACIA CIRCUIT FERNBROOK SANCTUARY WARREWOOD PITTWATER
House Type: Facade Type: Alternative Plan: Specification:		
Drawing Title: ELEVATIONS - SHEET 2		
Drawn: GB	Checked: gpb	Date Drawn: NOV 02
File No: 902202	Drawing No: 115/E-4	NTS Rev: D



**COSMOPOLITAN
LIVING**
DRAWINGS FOR
CONSTRUCTION
APPROVED



SECTION A-A

D	28.03.03	CONSTRUCTION ISSUE
C	10.02.03	PER COUNCIL LETTER 10.02.03
B	21.11.02	INSULATION NOTES ADDED
A	12.11.02	DA ISSUE
Issue/ date:		revision:



**COSMOPOLITAN
LIVING**

Unit 1/4 Isling Avenue,
Moorbank NSW 2170
Tel: 02 9601 8496
Fax: 02 9602 0394

Client: STOCKLAND RES DEVELOPMENT
Address: LOT 115 ACACIA CIRCUIT
Suburb: FERNBROOK SANCTUARY
Council Area: WARREWOOD
PITTSWATER

House Type:
Facade Type:
Alternative Plan:
Specification:

Drawing Title:
SECTION

Drawn: GB	Checked: [Signature]	Date Drawn: NOV 02	Scale: NTS
File No: 902202	Drawing No: 115/SE-5	Rev: D	



This information relates to Construction/Complying Development Certificate	
----- 2 1 7 3	
Issued by an Accredited Certifier employed by (Name) (Address) (Phone) (Fax) (Email) (Postcode)	

WITH COMPLIMENTS

TO: COSMOPOLITAN

ATTENTION: WALID NAKHOUL

**INSULATION REQUIRED TO ACHIEVE 3.5 STARS
(HOUSE ACHIEVED 3.5 STARS)**

RE: LOT 115 ACACIA CIRCUIT, WARRIEWOOD.

**CEILING INSULATION (TO ROOF SPACE): R2.5
EXTERNAL WALLS: R1.5
WEATHER STRIPPING TO EXTERNAL WINDOWS & DOORS**

THANKYOU

**Stephen Hardy
HMB N.S.W ACCREDITED**

**MOBILE: 0402 780 282
PHONE/FAX: 4285 0335**



NatHERS V2.31

Nationwide House Energy Rating Scheme

JobName: stoc Job No: 02/09/1432 Run No: 1 Climate Zone: 17
Client: Stockland Site Address: Lot 115 Acacia Cct Warriewood 2102 NSW
Assessor:
Date: 24/9/2002 Time: 22:28 Page 1

Energy Rating Report

Description:

RATED ENERGY REQUIREMENTS*

Heating	Cooling (Sensible)	Cooling (Latent)	Total Energy	
76.3	80.5	10.5	167.3	MJ/m ² .annum
21.2	22.4	2.9	46.5	kWh/m ² .annum

* These energy requirements have been calculated using a standard set of occupant behaviours and so do not necessarily represent the usage patterns or lifestyle of the intended occupants. They should be used solely for the purposes of rating the building. They should not be used to infer actual energy consumption or running costs. The settings used for this simulation are shown in the Building Data Report.

★ ★ ★ ☆ 3.5 STARS

SUMMARY

Total Areas

Conditioned floor area (m ²)	186.0
Total floor area (m ²)	196.4
Total wall area (m ²)	197.3
Total window area (m ²)	61.8

Construction and Insulation**

External wall type	Brick Veneer
Internal wall type	Plasterboard on Studs
Floor type	Concrete Slab
Window type	Single glazed, clear
Roof space present	Y
Roof type	Roofing Tiles
Roof insulation (m ² .K/W)	None
Ceiling insulation (m ² .K/W)	R 2.5
Wall insulation (m ² .K/W)	R 1.5
Floor insulation (m ² .K/W)	None
External wall colour	Medium
Roof colour	Medium
Eaves width (mm)	450
Eaves offset (mm)	0

Ventilation and infiltration

Open fireplace w/o damper	N
Weather stripping	Y
Vented downlights	N
Exhaust fans w/o damper	N
Entrance open to living area	Y
Vented skylights	N
Fixed wall or ceiling vents	N
Roofspace ventilation	Standard
Sub-floor space ventilation	None
Ceiling fans	
Living	N
Bedrooms	N
Other conditioned	N

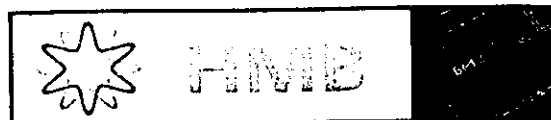
Other

Terrain category	Suburban
------------------	----------

Hot Water System

** Where there are two or more construction types for a given element (e.g. external wall), only the one with the greatest area is listed here. Refer to Building Data Report for more details.

HMB Assessor Certificate V3.0



Single Dwellings Only

Current from April 30th 2002, Previous versions not valid

Assessor Details					
Assessor Name: STEPHEN HARDY			Assessor No: HMB / 134		
Phone: 4285 0334			Fax: 4285 0335		
Date of Assessment: 24 SEPTEMBER, 2002					
Client Details					
Client Name: COSMOPOLITAN			Phone: 9601 8498		
Dwelling Owner Name (if different): STOCKLAND					
Postal Address: UNIT 1/ 4 IRAKING AVENUE, MOOREBANK, 2170					
Address of Dwelling/s: LOT 115 ACACIA CIRCUIT, WARRIEWOOD.					
Council Submitted to: PITTWATER			Software Climate Zone: 17		
Client Document Reference: 115/1					
Assessment Details					
HOT WATER ASSESSMENT (if applicable)					
Do any restrictions on the performance of the hot water system exist? Circle all that apply					
Orientation	Pitch	Shading	Heritage	Sizing	Tank Location
Hot Water System Type:			SEDA Greenhouse Rating:		
HOUSE ENERGY RATING ASSESSMENT					
mj/sqm/year: 167.3			Star rating: 3.5 STARS		
Software package: NATHERS			Version No: 2.31		
Assessment No (HMB): HMB/134/PIT/1432			Assessor's Reference (if different):		
Alternative Pathways to Compliance (if Applicable)					
Concession Type:			Amount Deducted:		
Documentation Attached (tick if applicable): ☐			Doc. Reference:		
Area Adjustment		Floor Area:	Amount Deducted:		
Expert Panel Report Number:				Report Attached (tick): ☐	
Adjusted mj/sqm/year:					
3.5 star threshold for climate zone					
Final Assessment					
Complying					

ACCREDITED NSW HER ASSESSOR

Assessment No. HMB/134/PIT/1432

Name STEPHEN HARDY

Signature [Signature]

Rating 3.5 STARS Date 24/09/02

Assessor Stamp to be placed in box

HMB Assessor Certificate V3.0



Single Dwellings Only

Current from April 30th 2002, Previous versions not valid

Assessor Details					
Assessor Name: STEPHEN HARDY			Assessor No: HMB / 134		
Phone: 4285 0334			Fax: 4285 0335		
Date of Assessment: 24 SEPTEMBER, 2002					
Client Details					
Client Name: COSMOPOLITAN			Phone: 9601 8498		
Dwelling Owner Name (if different): STOCKLAND					
Postal Address: UNIT 1/ 4 IRAKING AVENUE, MOOREBANK, 2170					
Address of Dwelling/s: LOT 115 ACACIA CIRCUIT, WARRIEWOOD.					
Council Submitted to: PITTWATER			Software Climate Zone: 17		
Client Document Reference: 115/1					
Assessment Details					
HOT WATER ASSESSMENT (if applicable)					
Do any restrictions on the performance of the hot water system exist? Circle all that apply					
Orientation	Pitch	Shading	Heritage	Sizing	Tank Location
Hot Water System Type:			SEDA Greenhouse Rating:		
HOUSE ENERGY RATING ASSESSMENT					
mj/sqm/year: 167.3			Star rating: 3.5 STARS		
Software package: NatHERS			Version No: 2.31		
Assessment No (HMB): HMB/134/PIT/1432			Assessor's Reference (if different):		
Alternative Pathways to Compliance (if Applicable)					
Concession Type:			Amount Deducted:		
Documentation Attached (tick if applicable): ☐			Doc. Reference:		
Area Adjustment		Floor Area:	Amount Deducted:		
Expert Panel Report Number:				Report Attached (tick): ☐	
Adjusted mj/sqm/year:					
3.5 star threshold for climate zone					
Final Assessment					
Complying					

ACCREDITED NSW HER ASSESSOR

Assessment No. HMB/134/PIT/1432

Name STEPHEN HARDY

Signature [Signature]

Rating 3.5 STARS Date 24/09/02

Assessor Stamp to be placed in box



Application Lodgement Summary

Sydney
WATER

Reference Number 720925
DOLFIN Number NC02/3-5161

Date Requested: Mon March 31 2003

Agent Tradelink Liverpool, ?
Applicant COSMOPOLITAN CONSTRUCTIONS, 1/4 IRAKING AVE MOOREBANK 2170
Property/Asset Mahogany Bvd, Warriewood 2102 (Stockland (constructors) Pty Limited) PNum:
5253257
100 mm CICL Watermain Reticulation - (2532322)
Proposed Location lot 115
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$20.00	\$0.00	\$20.00

Your application has been sent to **Technical Services3 Chatswood, 432 Victoria Avenue, Chatswood** for action.
Enquiries can be directed to **(02) 9952 0341**, fax **(02) 9411 3730** or DX : **DX2511W**.
The anticipated turnaround time is **8 days**.



Application Lodgement Summary

 Sydney
WATER

Date Requested: Mon March 31 2003

Reference Number 720928

Agent Tradelink Liverpool, ?
Applicant COSMOPOLITAN CONSTRUCTIONS, 1/4 IRAKING AVE MOOREBANK 2170
Property/Asset Mahogany Bvd, Warriewood 2102 (Stockland (constructors) Pty Limited) PNum: 5253257
 100 mm CACL Watermain Reticulation - (2532322)
Proposed Location lot 115
Product Plumbing and Drainage Inspection

Charge	Product Cost	GST	Total
Plumbing and Drainage Inspection Application Fee	\$30.00	\$0.00	\$30.00
2 x Inspection Charge	\$90.00	\$9.00	\$99.00

Your application has been sent to **PDI Services, Cooper Road, Birrong** for action.
 Enquiries can be directed to **Refer Contact List** or DX : **DX2554W**.
 The anticipated turnaround time is **365 days**.

Conditions

- All fees are NON REFUNDABLE and NON TRANSFERABLE
- Any Plumbing or Drainage work MUST BE carried out by or under the immediate Supervision of Authorised Licensees who MUST lodge a separate Application to commence the work.
- This Application will lapse if the relevant work shown hereon has not commenced within 12 months of the date shown on the receipt.
- Where the Sewer is not available Sydney Water cannot accept any responsibility for the locations, lines and levels of the Supervised work for connection to the Sewer when it becomes available
- Owner's please note: You should obtain a 'Certificate of Compliance' from your Plumber or Drainer. This is your warranty for work done.

EXTRACT FROM THE WATER BOARD (CORPORATION) ACT 1994 - Clause 21 (5) Water (Finance) Regulation

1. An owner or occupier of land shall not refuse to give, wilfully omit to disclose, or wilfully misstate to an Officer of Sydney Water:-
 - a. any information required for, or likely to affect, a valuation or determination to be made for the purpose of this clause;
 - b. in the case of an occupier, the name of the owner of the land or the person who receives, or is Authorised to receive, the rent for the land. MAXIMUM PENALTY:\$5,000 IN THE CASE OF A CORPORATION, OR IN OTHER CASES, \$2,000.



Transaction Summary

Sydney
WATER

A.B.N 49 776 225 038

Date Requested Tue May 13 2003**Agent** Tradelink Liverpool, ?
Applicant COSMOPOLITAN CONSTRUCTIONS, 1/4 IRAKING AVE MOOREBANK 2170

This document will be a tax invoice when you make payment.

Transaction Details	Charge	GST	Total
Lot 126 Mahogany Bvd, Warriewood 2102			
09 720925 Concrete Encasement/Pier Supervision Fee	\$105.00	\$10.50	\$115.50
09 720925 Determining Requirements on Builder - Technical Services	\$105.00	\$10.50	\$115.50
Transaction Total	\$210.00	\$21.00	\$231.00

Diana [unclear]

[unclear]

5/13



Application Lodgement Summary

Sydney
WATER**Reference Number** 756296**Date Requested:** Tue May 13 2003**DOLFIN Number** NC02/3-5849**WAMS Number:** 10455447

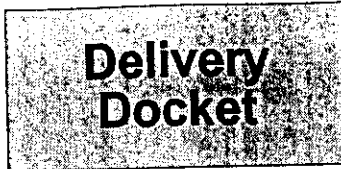
Agent Sydney Water, Chatswood, 432 Victoria Avenue, Chatswood
Applicant COSMOPOLITAN CONSTRUCTIONS, 1/4 IRAKING AVE MOOREBANK 2170
Property/Asset Lot 126 Mahogany Bvd, Warriewood 2102 (Stockland (constructors) Pty Limited)
PNum: 5253257
225 mm VC Sewer Main Reticulation - (3814765)
Proposed Location lot 115 Acacia Circuit, Warriewood
Product Concrete Encasement/Pier Supervision

Charge	Product Cost	GST	Total
Concrete Encasement/Pier Supervision Fee	\$105.00	\$10.50	\$115.50

Your application has been sent to **North Coast Depot, Government Road, Beacon Hill** for action.
Enquiries can be directed to **9977 5208**, fax **9975 7972** or DX : **DX2522W**.
The anticipated turnaround time is **4 days**.

Upon completion of the works the constructor will provide to the Sydney Water Field Representative:

- A Completed work-as-executed report.
- A marked up Hydra sketch showing the work as executed information.



OLD TO: 148445

COSMOPOLITAN BUILDERS & PLUMBERS P/L
3 KINGSNORTH ST
DONCASTER VIC 3108

DELIVER TO: 148445

COSMOPOLITAN BUILDERS & PLUMBERS P/L
3 KINGSNORTH ST
DONCASTER VIC 3108

Delivery Number: 285613
Delivery Date: 14/05/03
Cust Order Number: lot 126 mahogany
Sales Order Number: SO262452
Page: 1

DELIVER BY DATE: 14/05/03
DELIVER BY TIME:

ITEM CODE	ITEM DESCRIPTION	UOM	LIST PRICE INCL GST	GST APPLIES	QTY ORDER	QTY OUT STANDING	QTY DELIV	UNIT PRICE EXCL GST	EXT PRICE EXCL GST
663	APPLICATION PLUMBING & DRAINAGE INSPECT NO GST	EA	33.00		1.00		1.00		
674	LABOUR PLUMBING/DRAINING INSTPECTION PER HOUR	EA	49.50	*	2.00		2.00		
1662	PIER SUPERVISION/CONCRETE ENCASEMENT	EA	115.50	*	1.00		1.00		
2081	DETERMINING REQUIREMENTS ON BUILD/TECH SERVICE	EA	115.50	*	1.00		1.00		
164	BUILDING PLAN APPROVALS NO GST	EA	22.00		1.00		1.00		

Signature Print Name

I acknowledge that I have received the afore mentioned goods in the quantities stated at the specified date and time:

L0115

**SEWER AFFECTED
WATER BOARD SUPERVISION REQUIRED
OTHERWISE LETTER OF COMPLIANCE
WILL NOT BE ISSUED**

SYDNEY WATER

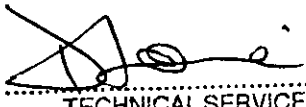
RESIDENCE
Proposed building is APPROVED for construction over/adjacent to
Sydney Water's sewer provided

1. Foundations are below zone of influence 0.600
2. No part of the building or its foundations is less than horizontal
distance from the centre-line of the sewer
3. Foundations are constructed in accordance with Engineers detail plans
as submitted to and stamped by Sydney Water

NOTE: ABOVE CONDITIONS, AND ANY OTHERS, MUST HAVE SYDNEY
WATER SUPERVISION OTHERWISE LETTER OF COMPLIANCE
WILL NOT BE ISSUED

Supervision can be arranged by phoning Inspector on 8977 5203
between 8.30a.m. and 3.30 p.m. giving at least 48 HOURS NOTICE

See file. BAS 5253257


TECHNICAL SERVICES
CUSTOMER CENTRE
13 SEP 2003

SYDNEY WATER CORPORATION

- ④ plan approval fee \$115.50
- ⑤ plan supervision fee \$115.50
- ⑥ plus as per engineer details and
according to sewer WAE plan.

ADDRESS OF PROPERTY: LOT 115 ACACIA
CIRCUIT WARRIEWOOD.

GENERAL HOUSING SPECIFICATIONS



Housing Industry
Association

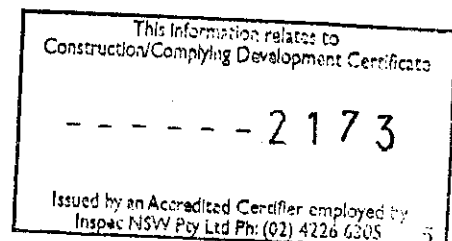
between

COSMOPOLITAN DEVELOPMENTS P/L
OWNER

and

COSMOPOLITAN CONSTRUCTIONS P/L
CONTRACTOR

CONTRACTOR LICENCE NO: 80391C



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no portion of this agreement may be reproduced by any
process whatsoever without the written consent of the
Housing Industry Association (NSW) Division.

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GENERAL HOUSING SPECIFICATIONS
(Revised November 2000)

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1.0 INTRODUCTIONS

1.1 General

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

1.2 Preliminary Use

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

1.3 Prevailing Documents

Where there is a difference between Plan and Specification the Plan will take precedence. The Contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

1.4 Size and Dimensions

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

1.5 Prime Cost Items

Prime cost items listed in this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract's final progress claim.

1.6 Definitions

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

2.0 STATUTORY REQUIREMENTS

2.1 The Works

The Works shall be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

2.2 Regulations, Notices and Fees

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities.

Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

2.3 Insurance

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct and complete the Building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

2.5 Electricity

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

2.6 Sanitary Accommodation

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

3.0 OWNER'S OBLIGATIONS

3.1 Surveyor's Certificate

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

4.3 Setting Out

The Contractor shall accurately set out the Works in accordance with the Site Plan and within the boundaries of the Site.

5.0 EXCAVATIONS

- 5.1 Subject to Clause 3.7 the Site covered by the Building and an area at least 1,000mm wide around the Building or to boundaries of the Site – whichever is the lesser, shall be cleared and/or graded as indicated on the Site Works Plan.

Top soil shall be cut to a depth sufficient to remove all vegetation

Excavations for all footings shall be in accordance with the Engineer's Recommendation or Part 3.2.2 BCA 96 Housing Provisions.

6.0 FOUNDATIONS AND FOOTINGS

6.1 Underfloor Fill

Underfloor fill shall be in accordance with AS 2870 or Part 3.2 BCA 96 Housing Provisions.

6.2 Termite Risk Management

Termite treatment shall be carried out in accordance with Part 3.1.3 BCA 96 Housing Provisions or AS 3660.1.

6.3 Vapour Barrier

The underfloor vapour barrier shall be in accordance with AS 2870 or Clause 3.2.2.6 BCA 96 Housing Provisions.

6.4 Reinforcement

Reinforcement shall conform and be placed in accordance with AS 3600, AS 2870 and the Engineer's recommendations.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete pour.

6.5 Concrete

Concrete shall not be less than Grade N20 except where otherwise approved by the Engineer.

Structural concrete shall be in accordance with AS 3600. Pre-mixed concrete shall be manufactured in accordance with AS 1379 with delivery dockets kept on Site and available for inspection by the Engineer.

Concrete shall be placed and compacted in accordance with good building practice. In hot (above 30 degrees Celsius) and windy conditions concrete must be cured by covering with plastic sheeting, spraying with a curing compound or pouding of water on the surface, or as directed by the Engineer.

6.6 Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to pour concrete is given by the Engineer or the Local Authority.

NOTE: Bench levels and floor levels on the Site Works Plan shall be regarded as nominal, unless specified otherwise.

6.7 Suspended Slabs

All concrete slabs, other than those supported on solid ground or properly compacted filling, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's recommendations.

6.8 Foundation Walls

On footings as previously specified build brick walls to the thickness shown on plan to level underside of floor bearers and/or plates.

6.9 Sub-Floor Ventilation

Provide adequate cross ventilation to the space under suspended ground floor. No section of the under floor area wall to be constructed in such a manner that will hold pockets of still air.

6.10 Sub-Floor Access

Provide access under suspended floors in position where indicated on plan.

6.11 Curing

All slabs shall be cured in accordance with AS 3600.

7.0 RETAINING WALLS

7.1 Retaining Walls

Retaining walls shall be constructed as shown on the plans and/or special details designed by an Engineer and if applicable approved by the Local Authority whether the construction of such shall be the obligation of the Owner or the Contractor.

8.0 EFFLUENT DISPOSAL/DRAINAGE

8.1 In both sewered and unsewered areas, fit bath, wash basin, kitchen, wash tubs, pedestal pan and floor grate to shower recess in positions shown on plan. (Refer to schedule of fittings). Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Sewerage Authority concerned.

8.2 Septic System

Provide and install a septic system where applicable to the requirements of Local Authority and in accordance with the manufacturer's instructions.

8.3 Storm Water Drainage

Allow for the supplying and laying of storm water drains where shown on Site Plan. Drains to be a minimum of 90mm UPVC pipes laid to an even and regular fall so as to have a minimum cover of 150mm. Drains to discharge into street gutter where possible. Where outlets are shown within the Site they are to discharge at least 3,000mm clear of the building. If the Authority's requirements give rise to a variation, any additional cost plus Builder's margin is to be borne by the Owner.

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

9.3 Wall Framing

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturer's requirements.

11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

11.2 Roofing

Provide and install a metal roof together with accessories all in accordance with the manufacturer's instructions.

Except where design prohibits, sheet shall be in single lengths from fascia to ridge. Fixings of sheet shall be strictly in accordance with the manufacturer's recommendations. Incompatible materials shall not be used for flashings, fasteners or downpipes.

11.3 Rainwater Goods

Metal Rainwater goods shall be manufactured in accordance with AS 2179. Rainwater goods shall be installed in accordance with AS 2180 or Part 3.5.2 BCA 96 Housing Provisions.

UPVC components to be manufactured in accordance with AS 1273. Rainwater goods to be compatible with other materials used.

11.4 Sarking

Sarking if used under roof coverings must comply and be fixed in accordance with AS/NZS 4200.1 for materials and AS/NZS 4200.2 for installation.

11.5 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

11.6 Weatherproofing

Flashings shall comply with AS 2904, AS 1804, AS 3700 and Part 3.3.4 BCA 96 Housing Provisions.

12.0 MASONRY

12.1 Bricks

All clay bricks and brickwork shall comply with AS/NZS 4455, AS/NZS 4456 and AS 3700. Clay bricks are a natural kiln fired product and as such their size may vary over a small range. Tolerances shall only be applied to the total measurements over 20 units, not to the individual units.

12.2 Concrete Blocks

Concrete blocks are to be machine pressed, of even shape and well cured in accordance with AS 2733. Autoclaved Aerated Concrete blocks shall be in accordance with the manufacturer's Product Specification at the time the work is being carried out.

12.3 Damp Proof Courses

All damp proof courses shall comply with Part 3.3.4 BCA 96 Housing Provisions, AS 3700 and AS 2904. The damp proof membrane shall protrude to the external face of the masonry member in which it is placed.

12.4 Cavity Ventilation (Weep Holes)

Cavities shall be cleared of all mortar droppings and weep holes shall not exceed 1,200mm centres, be in accordance with AS 3700, or Clause 3.3.4.3 of the BCA 96 Housing Provisions.

12.5 Mortar and Joining

Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

12.6 Masonry Accessories

Compliance with Part 3.3.3 of BCA 96 Housing Provisions in acceptable construction practices. All wall ties shall be manufactured in accordance with AS 2699 and be installed in accordance with AS 3700. Wall ties to meet corrosion resistant rating of the site. Provide appropriate ties to articulated joints in masonry.

12.7 Lintels

Lintels used to support brickwork opening in walls must be suitable for the purpose under Part 3.3.3 BCA 96 Housing provisions. Provide one lintel to each wall leaf. Where necessary clearance must be allowed at heads of frames to allow for shrinkage of timber frames.

12.8 Cleaning

Clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

13.0 CLADDING AND LININGS

13.1 External Claddings and Linings

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

13.2 Internal Wall and Ceilings Linings

Provide gypsum plasterboards or other selected materials to walls and ceilings. Plasterboard sheets to have recessed edges and be a minimum of 10mm thick. Internal angles from floor to ceiling to be set. Set corners or provide cornices for ceilings as required. The lining of wet area walls shall be constructed as per AS 3740 or Part 3.8.1 BCA 96 Housing Provisions. Wet area lining to be fixed in accordance with the manufacturer's recommendations.

Where required in open veranda's, porches and eaves soffits, material indicated on the drawing shall be installed. The ceiling access hole shall be of similar material to the adjacent ceiling. Suitable cornice moulds where required shall be fixed at the junction of all walls and ceilings.

13.3 Waterproofing

All internal wet areas and balconies over internal habitable rooms to be water proofed to AS 3740 or Part 3.8.1 BCA 96 Housing Provisions.

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door Frames

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets and shall be manufactured in accordance with AS 2688 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions. All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances

Kitchen and Vanity Cupboards (kitchen sink included)		\$
Stove/Wall Oven/Hot Plates		\$
Bath per item	per item	\$
W.C. Suites	per item	\$
Laundry Tub		\$
Entry Door		\$
Door Furniture		\$
Garage Door		\$
Hot Water System		\$
Shower Screen		\$
Wall and Floor Tiles supply only		\$/m
Bricks		\$/ ,000

19.0 SIGNATURES

This is the specification referred to in the Building Agreement No. Date:

Signed by the said

Owner in the

Presence of

Witness

Owner's Signature

Date

.....

Witness

Owner's Signature

Date

Signed by the said

Contractor in the

Presence of

Witness

Contractor's Signature

Date



Transaction Summary

Sydney
WATER

A.B.N 49 776 225 038

Date Requested Mon March 31 2003**Agent** Tradelink Liverpool, ?
Applicant COSMOPOLITAN CONSTRUCTIONS, 1/4 IRAKING AVE MOOREBANK 2170

This document will be a tax invoice when you make payment.

Transaction Details

	Charge	GST	Total
10+ 115 Acacia Lot 126 Mahogany Bvd, Warriewood 2102			
03 720925 Building Plan Approval Application Fee	\$20.00	\$0.00	\$20.00
04 720928 Inspection Charge	\$90.00	\$9.00	\$99.00
97 720928 Plumbing and Drainage Inspection Application Fee	\$30.00	\$0.00	\$30.00
Transaction Total	\$140.00	\$9.00	\$149.00

~~28/4 - Not Paid~~

14/05 - Paid



SPECIFICATION

FERNBROOK SANCTUARY WARRIEWOOD

Site Address: Lot 115 Acacia Drive,
Warriewood.

Client: Stockland Residential Developments

This information relates to
Construction/Complying Development Certificate

----- 2173

Issued by an Accredited Certifier employed by
Inspec NSW Pty Ltd Ph: (02) 4226 6305 5

Dated: 11/11/02

Externals:

- Waffle Pod Slab Construction based on "M" class Soil classification
- Perimeter Granite Guard to Veneer walls, and in slab collar protection to penetrations
- 2.440mm Ceiling Heights to First Floor's.
- 2.700mm Ceiling Heights to Ground Floor's
- Aluminium Powdercoat Sliding Windows and sliding doors with key lock to all windows and deadlock to sliding doors
- Flyscreens to all sliding Windows AND Sliding Doors
- Security Sliding & Hinged Doors
- Meranti Timber Entry Frames with timber Hardwood sills & clear glass glazing
- Face Brickwork & Painted Brickwork from Builders range.
- Colourbond Fascia & 115mm Colourbond Quad Gutter
- Builders range of Standard Profile, Concrete Roof Tiles
- Two External Garden Taps per unit
- Sectional Overhead Panel Lift to front Garage Doors to suit widths
- One Auto Garage Door Opener
- Treat Pine Pergolas & Breezeway.
- Landscaping including Turfing and Plants
- 3.0m dia Fold-away Clothes Line.

- Stencilled Pattern Driveways and Paths
- 600L Rainwater Tank connected to Stormwater system

Electrical:

- Full Gas installation to Cooktop, Hot Water Service and two Internal Heating Points.
- Dishwasher point including Plumbing and Electrical
- Standard Ceiling Battens to Light Points, 1 per room except Kitchen & Family that has up to 8 x Low Voltage Downlights.
- Base range of Screw in Light Fittings
- Front and rear external Eave Light Batten
- Double Power Points throughout, 1 per room except Kitchen & Laundry, singles to fridge, rangehood, dishwasher and microwave (if in design)
- One Two-way Light Switch provision
- Three Phase Meter Box and meters
- Safety switch in Meter Box
- Two hard wired Smoke Detectors with inbuilt battery back-up
- Ceiling Exhaust Fans to Bathroom, Ensuite, and Powder room all ducted into ceiling space
- One Phone Point to Kitchen, One Phone point to Bed 1
- 2 x TV Points
- Accent Air 6.3hp 18kw full Ducted, Reverse Cycled, 3 – Zone Air Conditioning system.

Internals:

- Standard White Floor wastes to wet rooms
- Hume Ultimo XU8, XU10, XU12 & XU19 Front Entry Doors
- Hume "X1" D.T.H. to rear entry doors as per design
- Gainsborough Governor Entry Sets
- Gainsborough 850 Double Cylinder Deadbolt
- 90mm Cove Cornice throughout
- 10mm Plasterboard to Internal walls and all Ceilings and 6mm Villaboard walls to Wet Rooms
- 45L Clarke "Eureka" Laundry Tub and Cabinet
- Pine Stringers, MDF Treads & Risers with standard 32 x 32 Pine Balustrades & Handrail.
- 75mm x 25mm Colonial MDF Primed Skirting and Achitrave
- Hume Oakfield internal hinged doors
- Hume Oakfield Smart Robe doors to Robes
- Clairson Wire Shelving to Robes and Linens
- New Horizons "Sterling" internal Lever door furniture in Chrome finish
- Caroma "Watermark" range of Bathroom Accessories
- 1.850mm high Aluminium Shower Screens to builder range of colours
- Semi Frameless Pivot doors to Shower Screens

- Carpet allowance using up to \$23.00 Retail.
- Vertical Blinds to all Windows and Sliding Doors.

Kitchens & Vanities:

- 20mm Pencil Round Granite Benchtops
- Laminated Kitchens using three door finish options:
 - Square Edge doors with 2mm PVC edging
 - Formtek Vinyl Vacuum Formed doors
 - Colonial or Contemporary Bevelled edged doors
- Timber Veneer or Laminated Kickboards to match doors colours
- Overhead Cupboards to Cooktop including Rangehood cabinet
- Overhead Fridge Cupboard
- 2.1m high wall cupboards as per design
- Full Gloss Polyurathane Vanities including Drawers with Moulded one piece Tops
- Frameless Vanity Mirrors with "Bevelled Edge" to suit vanity widths

Floor & Wall Tiling:

- Wall Tile Supply Rate using a Retail rate of \$35/m²
- Patio Floor Tiles using a Retail rate of \$35/m²
- Ceramic Tiles to Kitchens & Entry Floors
- Tiling heights as follows:
 - Bathrooms & Ensuite
 - 1.85m Shower height
 - 1.20m wall height to remainder
 - Powder Rooms
 - 1.85m to showers (per design)
 - Skirting Tiles to remainder
 - Laundries
 - 600mm x 600mm Splashback to Tub
 - Skirting Tiles to remainder

Painting:

- Paint Specification as follows:
 - 2 Coat Washable Vinyl to internal Walls
 - Flat Paint to Ceilings
 - Satin Enamel to internal Timber work
 - 3 colour only selection allowance

PC Inclusions:

- Fowler "Pacific" Premier Consort Links Toilet Suites
- 1525mm Caroma "Verona" acrylic Bath
- 185L Dux Gas Hot Water Service
- Clarke 2053F 1 ½ Bowl Stainless Steel Kitchen sink
- Omega OA60X S/steel Electric 600mm Underbench Oven

- Omega OAR22X S/steel Gas 600mm Cooktop
- Omega OA416X S/steel 600mm Retractable Ducted Rangehood
- Omega DW2000W white Dishwasher
- Caroma "Nordic" Kitchen Sink Mixer tap
- Caroma "Trident" tapware throughout in Chrome, with Chrome 450mm Telescopic spout to Laundry tub.

Certificate of Insurance

Cosmopolitan Constructions Pty Ltd
1/4 Iraking Avenue
MOOREBANK NEW SOUTH WALES 2170

Royal & Sun Alliance
Insurance Australia Ltd
ABN 48 005 297 807

**Form 1
Section 92
Home Building Act 1989**

CERTIFICATE IN RESPECT OF INSURANCE

Local Authority Copy
Issue Date: 14/01/2003
Certificate No.: RCW71304484

Contract Of Insurance Complies With: Section 92

Of The: Home Building Act 1989

Type Of Insurance: As per the Home Building Act 1989, insurance is
'issued in the name of the Building Owner as
insured'

Issued By: Royal & Sun Alliance Insurance Australia Ltd
ABN 48 005 297 807

Building Contract Details

Contract Date: January 17, 2003

Declared Building Contract Value: \$200,000

(Refer policy for indemnity limit)

Carried Out By: Cosmopolitan Constructions Pty Ltd
ABN: 73076666610

License No.: 80391C

For: Cosmopolitan Developments

In Respect Of: Single Dwelling
At:

House No: 115 Acacia Circuit
WARRIEWOOD NEW SOUTH WALES 2102

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1997, and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this Certificate of Insurance, the Insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This policy is to be read in conjunction with the policy wordings, if you have not received a copy of the policy wording please contact the Insurer Royal & SunAlliance.

N

Signed for and on behalf of the insurer:



Insurer: Royal & SunAlliance Insurance Australia Limited ABN 48 005 297 807

ROYAL & SUNALLIANCE
CONSTRUCTION & ENGINEERING



APPLICATION FORM

Construction Certificate
 Complying Development Certificate
 Principal Certifying Authority
 Occupation Certificate
 Compliance Certificate



103 kenny street
 wollongong nsw 2500
 p: 4226 6305
 f: 4226 6306
 e: info@inspec.com.au
 abn: 49 080 593 371

APPLICATION Date of Application: 19.3.03

LAND TO BE DEVELOPED

Lot No.: 115 Deposited Plan: 1043971 Strata Plan:
 Volume No.: Folio No.: Area (m²):
 Street: Acacia Street Suburb: Warriewood

THE DEVELOPMENT

Proposed Building Work: Residential ☒ Commercial ☐ Industrial ☐
 Description of Development: Two storey brick veneer dwelling with garage
 Value of Work: \$220,000.00 Type of work: Erection of Building
 Building Classification: 1a

CONSENTS

Development Consent No.: N1016/D2 Date of Issue:
 Builder or Owner/Builder Name: Cosmopolitan Construction Licence No.: 80391C

THE APPLICANT

Surname: Cosmopolitan Construction First Name:
 Address: 114 Iraking Avenue Moorebank NSW 2170
 Contact No's.: 9601 8498

THE OWNER/S

Surname: Cosmopolitan First Name:
 Surname: First Name:
 Surname: First Name:
 Address:
 Contact No's.:

PRINCIPAL CERTIFYING AUTHORITY

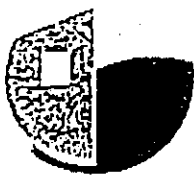
In signing this proposal I/we acknowledge and accept that Inspec NSW Pty Ltd will appoint an Accredited Certifier to fulfil the role of Principal Certifying Authority as outlined in the Environmental Planning and Assessment Act, 1979 (as amended). In providing this authorisation I/we understand that the appointed Accredited Certifier or his/her delegate will carry out _____ inspections during the course of construction. I/we also declare that all documentation presented to the Accredited Certifier for consideration as part of any application for a Construction Certificate has remained unaltered from that issued with the Development Consent or that any changes have been documented and presented to Inspec NSW with this authorisation. I also advise that I have met all of the conditions contained in the Development Consent required to be satisfied before I/we begin work.

LETTER OF CONSENT

With reference to the proposal mentioned above, please be advised, that I/we hereby give consent to lodge all relevant applications (i.e. for Construction Certificate/s, Complying Development Certificate/s, Occupation Certificate/s, Compliance Certificate/s) and documentation to Inspec NSW Pty Ltd for consideration.

SIGNATURES

Applicant Signature: [Signature] Date: 19/3/03 Owner/s Signature: _____ Date: _____
 Signature: _____ Date: _____
 Signature: _____ Date: _____

**inspec****CLIENT
INFORMATION**

103 kenny street
wollongong nsw 2500
p: 4226 6305
f: 4226 6306
e: info@inspec.com.au
abn: 49 080 593 371

PEOPLE**COMPANY**Company Name Contact Name **INDIVIDUAL**First Name Surname ADDRESSES**HOME/OFFICE**Street No. Street Name Suburb State Post Code **POSTAL**PO Box Street No. Street Name Suburb State Post Code DX No. DX Suburb COMMUNICATION**WORK**Phone No. Fax No. Mobile No. Email Web **HOME**Phone No. Fax No. Mobile No. Email Web

**inspec**

wollongong office
103 keany street, wollongong nsw 2500
p - 02 4226 6305 f - 02 4226 6306
e - info@inspec.com.au
web - http://www.inspec.com.au
abn 49 080 593 371

letter of consent

PROPOSED: _____

ADDRESS: _____

Cot 115 Acacia Cct Warriewood

With reference to the proposal mentioned above, please be advised, that I/we hereby give consent to lodge all relevant applications (i.e. for Construction Certificate/s, Complying Development Certificate/s, Occupation Certificate/s, Compliance Certificate/s) and documentation to Inspec NSW Pty Ltd for consideration.

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Should you require any clarification with respect to this matter, please call Natalie Young on Ph: 9601 8498 between 9am - 5pm on weekdays.

Yours Faithfully

Owner _____

Date: _____

Owner _____

Date: _____

Owner _____

Date: _____

Owner _____

Date: _____