

SECION 4.55 MINOR MODIFICATION SET FOR PROPOSED ALTERATIONS TO EXISTING DWELLING & ADDITION OF 60SQM (INTERNAL) ATTACHED SECONDARY DWELLING:

1 REID AVENUE, NARRAWEENA NSW 2099 LOT 59, DP 36192

DRAWING LIST

DA 0000 : COVER PAGE

DA 0100 : GENERAL COMMITMENTS

DA 0400 : SITE PLAN

DA 0401 : LANDSCAPE CONCEPT PLAN DA 0402 : SEDIMENT CONTROL PLAN

DA 0403 : DEMOLITION PLAN DA 0404 : SITE ANALYSIS PLAN

DA 1000 : FLOOR PLAN DA 1100 : SCHEDULES

DA 1501 : WEST & SOUTH ELEVATIONS DA 1502 : EAST & NORTH ELEVATIONS

DA 1601 : SECTIONS A & B

SECTION 4.55 MODIFICATION SET

21.05.2019

DRAWING No REVISION

DA 0000 S4.55 (3)

MR ALAN ZHONG & MRS HAI YAN ZHOU
LOT 59 DP 36192
1 REID AVENUE, NARRAWEENA NSW 2099

Cover Page

COVER PAGE

MASTER GRANNY FLATS

719 FOREST ROAD, PEAKHURST 2210 NSW
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CALE DRAWN	DATE	REVISION DESCRIPTION	
	18.04.2019	S4.55 (1) FOR CLIENT REVIEW	
RS	09.05.2019	S4.55 (2) FOR SECTION 4.55	
	21.05.2019	S4.55 (3) FOR SECTION 4.55	
ROJECT No			
2759			

GENERAL NOTES

-DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY, IF IN DOUBT, ASK, THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS. SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THE OWNER OR

-ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIAN AND THE AUSTRALIAN STANDARDS LISTED .

AS 1288 - 1994 GLASS IN BUILDINGS - SELECTION AND INSTALLATION AS 1562 - 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL

CLADDING
AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE

AS 2049 - 1992 ROOF TILES AS 2050 - 1995 INSTALLATION OF ROOF TILES

AS 2870 - 1996 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION AS/NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 1994 CONCRETE STRUCTURES

AS 3660 - 2004 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 1998 MASONRY IN BUILDINGS

AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS AS 3786 - 1993 SMOKE ALARMS

AS 4055 - 1992 WIND LOADINGS FOR HOUSING AS 4100 - 1996 STEEL STRUCTURES

-THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY SOIL, STRUCTURAL AND CIVIL ENGINEERING CALCULATIONS AND DRAWINGS.

-ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

-SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES -

I) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR II) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE

III) FULLY GLAZED DOORS IV) SHOWER SCREENS

v) WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY

WITH MANUFACTURER, AND ARE TO BE VERIFIED WITH SAME. FLASHING ALL

-TILED DECKS OVER LIVABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER -OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DET OF 1300 MICRON INSTALLED TO MANUE SPECIFICATIONS. AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750

-FOOTINGS ARE TO BE WHOLLY WITHIN TITLE BOUNDARIES AND ARE NOT TO ENCROACH EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE

CONDUCTED BY A LICENSED SURVEYOR.
-ALL STEELWORK IN MASONRY TO BE HOT DIP GALVANISED.

-ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

-PROVIDE WALL TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS. BRICK TIES TO BE STAINLESS

-SUB-FLOOR VENTILATION MINIMUM 7500mm/sq FOR EXTERNAL WALLS AND

1500mm/sq FOR INTERNAL WALLS BELOW BEARER. -THERMAL INSULATION TO BE PROVIDED TO ACHIEVE MINIMUM

REQUIREMENTS AS SPECIFIED BY LICENSED ASSESSOR. -STAIR REQUIREMENTS : MIN, TREAD 240mm, MIN, RISER 115mm, MAX, RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON

SLIP SURFACE -BALUSTRADES : MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH BCA 3.9.2

-FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION AMD MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT

CONSTRUCTION.
-SMOKE DETECTORS (refer electrical layout plans), TO BE HARD WIRED WITH EMERGENCY BACK-UP AND COMPLY WITH AS

-PROVIDE LIFT OFF HINGES, OPEN OUT DOOR OR MIN 1200mm CLEARANCE FROM DOOR TO PAN IN WATER CLOSETS.

EXHAUST FANS FROM SANITARY COMPARTMENTS ARE TO BE DUCTED EXTERNALLY OR TO A VENTED ROOF SPACE IN COMPLIANCE WITH AS 1668.2 -THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

-THESE PLANS ARE PROTECTED BY COPY RIGHT AND ARE THE PROPERTY OF

BASIX CERT. FOR ALTERATIONS/ADDITIONS NUMBER: A311203_02

BASIX Certificate Alterations and Additions

sday, 21, May 2019 ate must be lodged within 3 months of the date of issue.	Certificate Prepared by (please complete before submitting to Council or PCA)
	Name / Company Name: Master Granny Flats

Glazing requirements								Show on CC/CDC Plans & specs	Certifier Check
Windows a	and glazed do	ors							
					ading devices, in accordance with each window and glazed door.	the specifications listed in the table below.	✓	✓	✓
The followin	g requirements	must also	be satisfi	ed in relation	to each window and glazed door:			✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Feneratration Raing Countil (NFRC) conditions.								✓	~
Each window or glazed door with improved frames, or pyrolytic low-e glass, or cleanisir gapiclear glazing, or tonediair gapiclear glazing must have a U-value and a Soar Head Gain Coefficient (SHCC) no gester from that fised in the stable below. Total system U-values and SHCCs of the stable grade g							~	~	
					each eave, pergola, verandah, ba han 2400 mm above the sill.	lcony or awning must be no more than 500 mm	✓	✓	✓
Pergolas wit	th polycarbonate	e roof or s	milar tran	slucent mate	rial must have a shading coefficie	nt of less than 0.35.		✓	~
					window or glazed door above wh ns must not be more than 50 mm.	ich they are situated, unless the pergola also		✓	✓
Windows	and glazed	doors g	lazing r	equiremer	its		1		
Window / di no.	oor Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	Distance (m)	Shading device	Frame and glass type			
W1	w	0.74	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W2	w	1.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W3	S	3 225	0	0	eave/verandah/pergola/balconv	standard aluminium, single clear, (or	П	I	1

ARSIX Centicate number: AS11203_02 page 5 / 6									
							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	Distance (m)	Shading device	Frame and glass type			
W4	E	1.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W5	E	0.573	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W6	E	0.573	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
nsulation requirements					
The applicant must construct the new or alter the table below, except that a) additional insul is not required for parts of altered construction	V	√	V		
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)			

SECTION 4.55 MODIFICATION SET

MR ALAN ZHONG & MRS HAI YAN ZHOU

LOT 59 DP 36192 1 REID AVENUE, NARRAWEENA NSW 2099 Cover Page

GENERAL COMMITMENTS

MASTER GRANNY FLATS

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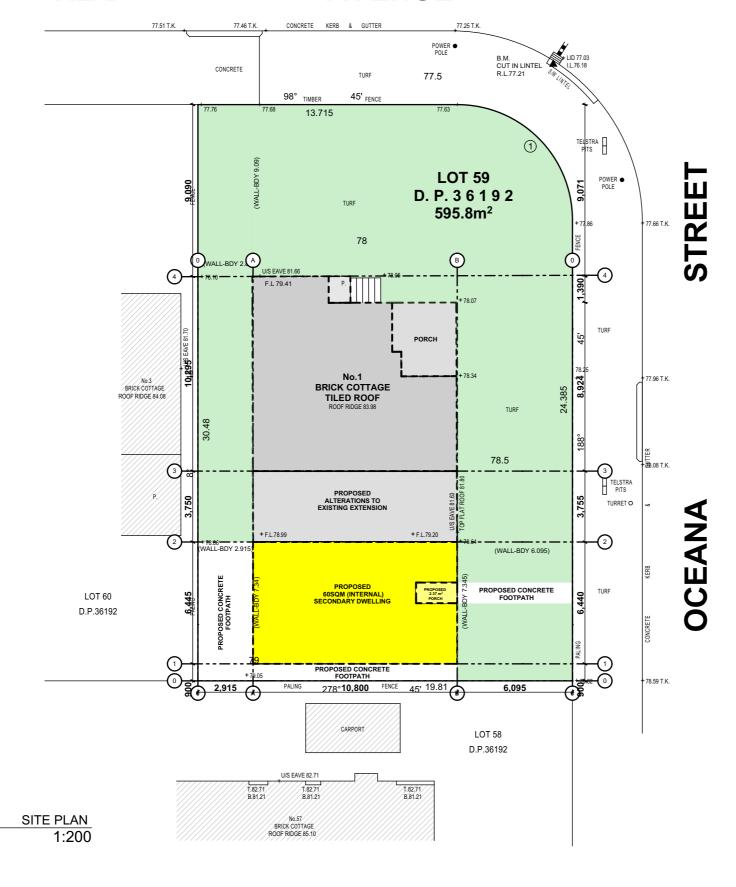
REVISIO	N DESCRIPTION	DATE	SCALE	DRAWN	CHECKED	DATE
S4.55 (1)	FOR CLIENT REVIEW	18.04.2019				
S4.55 (2)	FOR SECTION 4.55	09.05.2019	1:1.250,	RS	RS	21.05.2019
S4.55 (3)	FOR SECTION 4.55	21.05.2019	1:2.970			
			PROJECT No		DRAWING No	REVISION
			2759		DA 0100) S4.55 (3)
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CONSTRUCTION COORDIN. - CLIENT REVIEW PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM (INTERNAL) ATTACHED SECONDARY DWELLING

SHFFT SIZE

REID

AVENUE



DEVELOPMENT APPLICATION TABLE (WARRINGAH DCP 2011)

CLAUSE	REQUIRED	PROPOSED	COMPLIES
B1 WALL HEIGHT	- Walls not to exceed 7.2m from existing ground level to underside of the ceiling	-3.185m Max. Proposed Wall Height from NGL to U/S of Eaves	Υ
B3 SIDE BOUNDARY ENVELOPE	- 0.9m Side Setback	2.915m Min. Side Setback Proposed	Υ
B4 SITE COVERAGE	- 33.3% Total Building Footprint Allowed	- 60m² (Internal) Proposed Secondary Dwelling Incl. Porch - 34.7m² (Internal) Existing Extension To Be Slightly Altered - 89.24m² Existing Primary Dwelling To Remain Unaltered TOTAL: 183.94m² / 595.8m² 30.87% Footprint Proposed	Υ
B9 REAR BOUNDARY SETBACK	On corner allotments for R2 Low Density Residnetial zoned lots where the minimum rear setback is 6 metres, the rear building setback does not apply.	- 0.9m	Y
D2 PRIVATE OPEN SPACE	- Attached dwellings with 2 bedrooms requires a total of 35m² P.O.S with a minimum dimension of 3m		Υ

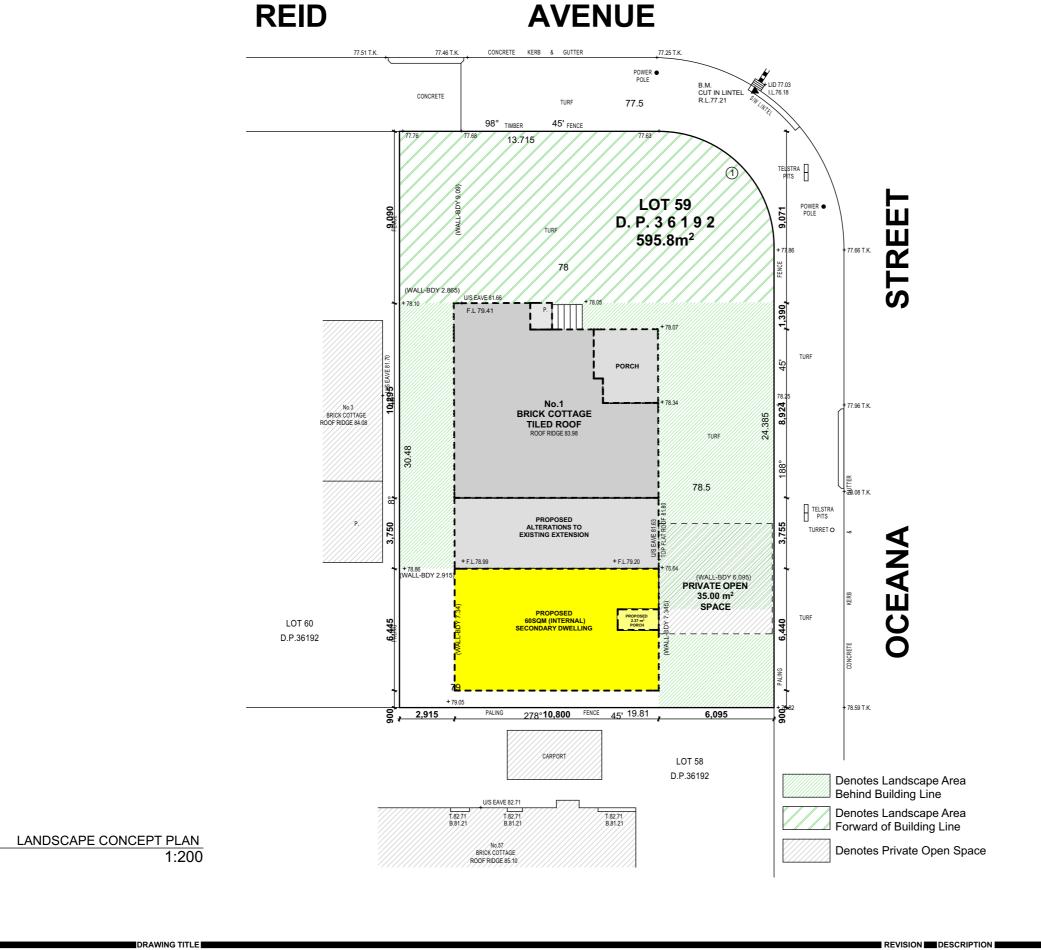
SECTION 4.55 MODIFICATION SET

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MR ALAN ZHONG & MRS HAI YAN ZHOU	General Arrangements	MACTED CDANNY EL ATC
LOT 59 DP 36192	-	MASTER GRANNY FLATS
1 REID AVENUE, NARRAWEENA NSW 2099	SITE PLAN	719 FOREST ROAD, PEAKHURST 2210 NSW
PROJECT	SHEET SIZE	
		1300 643 528
CONSTRUCTION COORDIN CLIENT	REVIEW A3	www.mastergrannyflats.com.au
PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDI	ITION OF 60SQM	design@mastergrannyflats.com.au
(INTERNAL) ATTACHED SECONDARY DWELLING		, and go and go and go





			2759		DA 0400	S4.55 (3)
			PROJECT	No	DRAWING No	REVISION
S4.55 (3)	FOR SECTION 4.55	21.05.2019				
S4.55 (2)	FOR SECTION 4.55	09.05.2019	1:200	RS	RS	21.05.2019
S4.55 (1)	FOR CLIENT REVIEW	18.04.2019				
REVISION	DESCRIPTION	DATE	SCALE	DRAWN	CHECKED	DATE

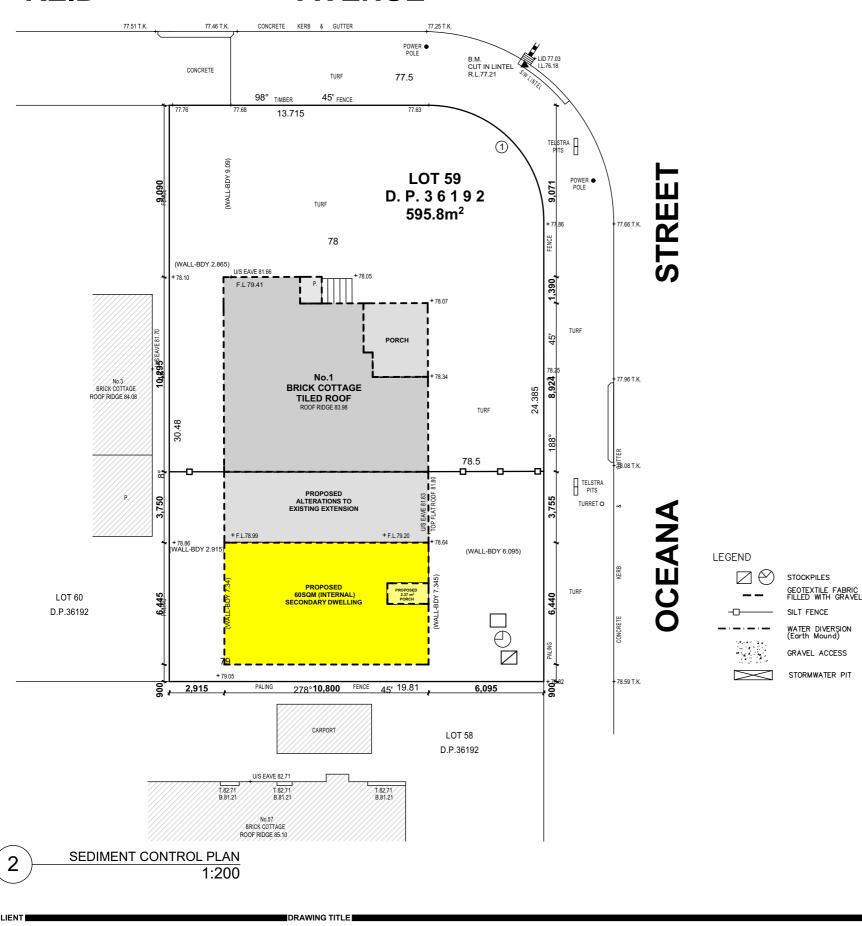


SECTION 4.55 MODIFICATION SET

MR ALAN ZHONG & MRS HAI YAN ZHOU S4.55 (1) FOR CLIENT REVIEW 18.04.2019 **General Arrangements MASTER GRANNY FLATS** S4.55 (2) FOR SECTION 4.55 09.05.2019 1:200 RS RS 21.05.2019 N LOT 59 DP 36192 S4.55 (3) FOR SECTION 4.55 21.05.2019 1 REID AVENUE, NARRAWEENA NSW 2099 MASTER GRANNYFLATS LANDSCAPE CONCEPT PLAN 719 FOREST ROAD, PEAKHURST 2210 NSW SHEET SIZE 1300 643 528 PROJECT No DRAWING No REVISION www.mastergrannyflats.com.au CONSTRUCTION COORDIN. - CLIENT REVIEW PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM 2759 DA 0401 S4.55 (3) design@mastergrannyflats.com.au (INTERNAL) ATTACHED SECONDARY DWELLING

REID

AVENUE



EARTH BANK TO PREVENT SCOUR OF STOCKPILE SEDIMENT FENCE OR SANDBAGS / BUILDING MATERIAL STOCKPILES Construction site Existing roadway -TEMPORARY CONSTRUCTION EXIT

Drainage area 0.6ha. max. Slope gradient 1:2 max. Slope length 60m max. into grownd Ŭndisturbed area SEDIMENT FENCE SANDBAG KERB SEDIMENT TRAP

STORMWATER CONCEPT TO COMPLY WITH COUNCILS REQUIREMENTS. COUNCILS REQUIREMENTS WILL TAKE PRECEDENCE OVER THE STORM WATER PLAN

SECTION 4.55 MODIFICATION SET

MR ALAN ZHONG & MRS HAI YAN ZHOU LOT 59 DP 36192 1 REID AVENUE, NARRAWEENA NSW 2099 CONSTRUCTION COORDIN. - CLIENT REVIEW PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM (INTERNAL) ATTACHED SECONDARY DWELLING

General Arrangements

SEDIMENT CONTROL PLAN

MASTER GRANNY FLATS

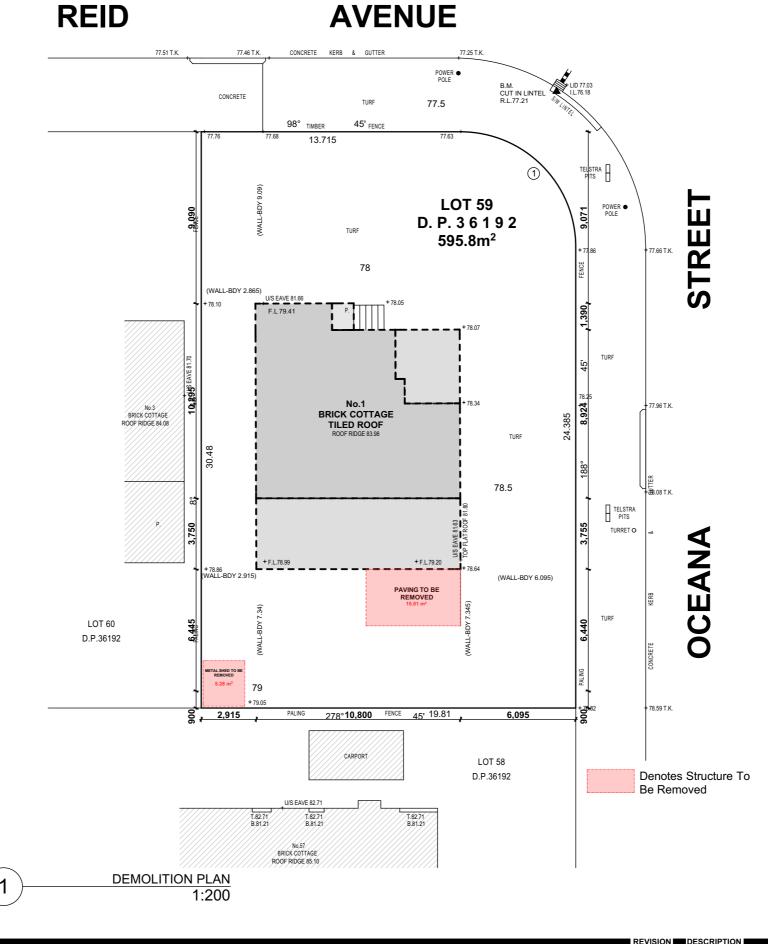
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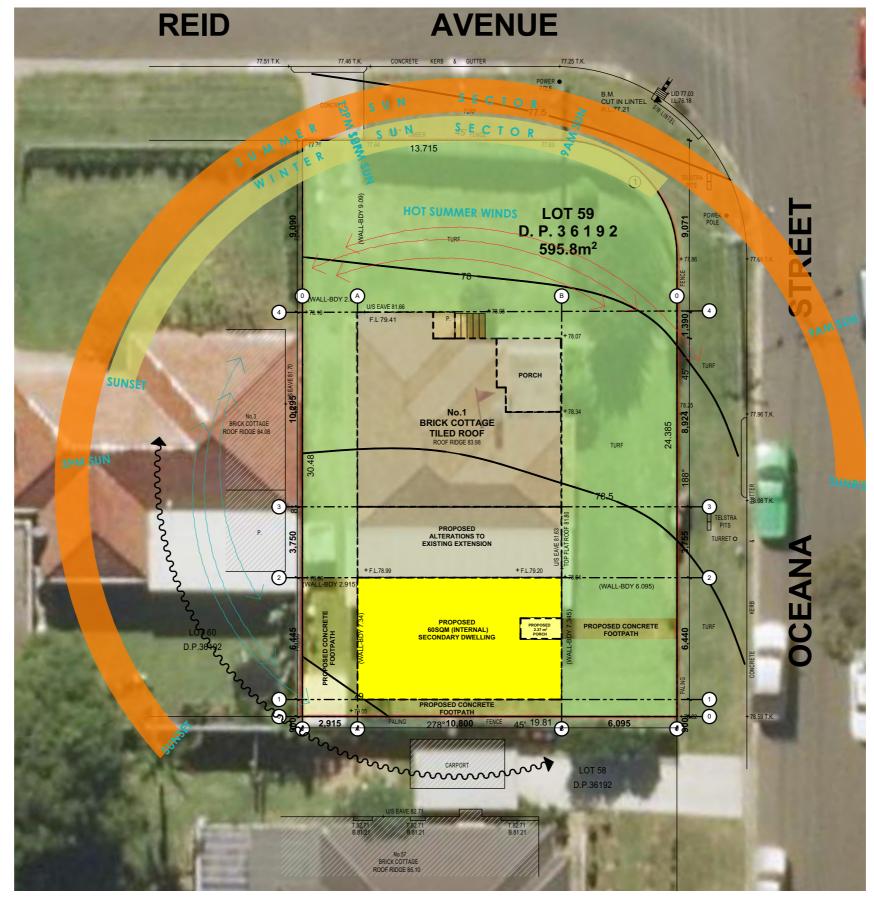


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S4.55 (3)	FOR SECTION 4.55	21.05.2019	1:200			
			PROJECT N	lo Company	DRAWING No	REVISION
			2750		DA 040	2 CA EE (2)
			2759		DA 040	2 S4.55 (3)



SECTION 4.55 MODIFICATION SET

MR ALAN ZHONG & MRS HAI YAN ZHOU S4.55 (1) FOR CLIENT REVIEW 18.04.2019 **General Arrangements MASTER GRANNY FLATS** И S4.55 (2) FOR SECTION 4.55 09.05.2019 RS RS 21.05.2019 LOT 59 DP 36192 S4.55 (3) FOR SECTION 4.55 21.05.2019 1 REID AVENUE, NARRAWEENA NSW 2099 MASTER GRANNYFLATS **DEMOLITION PLAN** 719 FOREST ROAD, PEAKHURST 2210 NSW 1300 643 528 PROJECT No DRAWING No REVISION www.mastergrannyflats.com.au CONSTRUCTION COORDIN. - CLIENT REVIEW PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM 2759 DA 0403 S4.55 (3) design@mastergrannyflats.com.au (INTERNAL) ATTACHED SECONDARY DWELLING



SITE ANALYSIS PLAN
1:200

SECTION 4.55 MODIFICATION SET

MR ALAN ZHONG & MRS HAI YAN ZHOU

LOT 59 DP 36192
1 REID AVENUE, NARRAWEENA NSW 2099

PROJECT

SHEET SIZE

CONSTRUCTION COORDIN. CLIENT DEVIEW. A3

MASTER GRANNY FLATS

719 FOREST ROAD, PEAKHURST 2210 NSW

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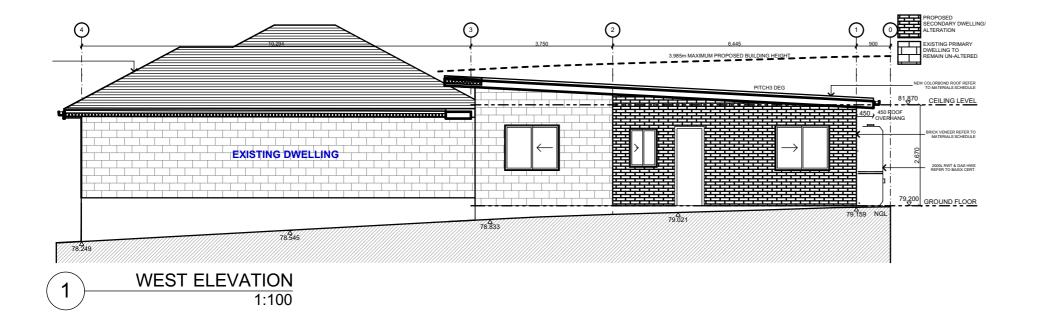
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S4.55 (3)	FOR SECTION 4.55	21.05.2019

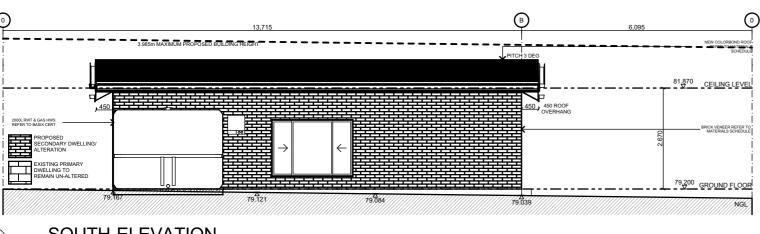
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PROJECT No DRAWING No REVISION

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DA 0404 S4.55 (3)

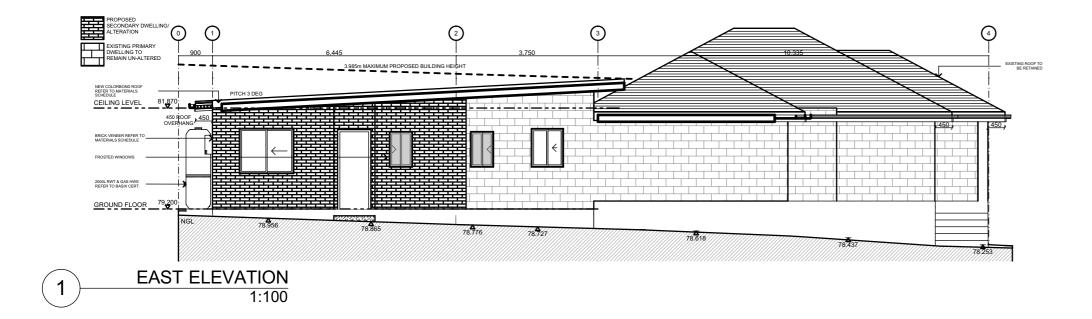


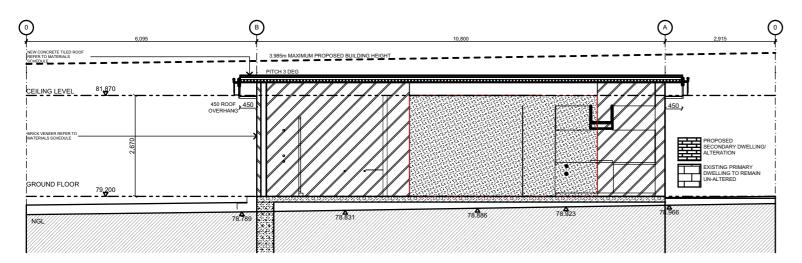


2 SOUTH ELEVATION 1:100

SECTION 4.55 MODIFICATION SET

CLIENT	DRAWING TITLE			REVISION DESCRIPTION	DATE	SCALE DRAWN	CHECKED
MR ALAN ZHONG & MRS HAI YAN ZHOU	Elevations	MACTER ORANNY ELATO		S4.55 (1) FOR CLIENT REVIEW	18.04.2019		
LOT 59 DP 36192		MASTER GRANNY FLATS	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		09.05.2019	1:100 RS	RS 21.05.2019
1 REID AVENUE, NARRAWEENA NSW 2099	WEST & SOUTH ELEVATIONS	719 FOREST ROAD, PEAKHURST 2210 NSW	MACTED 1	S4.55 (3) FOR SECTION 4.55	21.05.2019		
PROJECT	SHEET SIZE	1300 643 528	WASTER			PROJECT No	DRAWING No REVISION
CONSTRUCTION COORDIN CLIENT	REVIEW A3	www.mastergrannyflats.com.au	GRANNYFLATS				
PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADI		design@mastergrannyflats.com.au	S Books			2759	DA 1501 S4.55 (3)
(INTERNAL) ATTACHED SECONDARY DWELLING							271 1001 0 1100 (0)





NORTH ELEVATION 1:100

SECTION 4.55 MODIFICATION SET



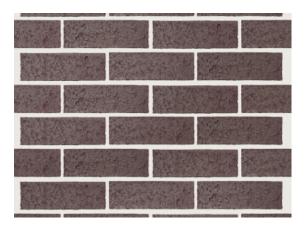


External Colours and Finishes Schedule

1 Reid Avenue, Narraweena

External Walls:

Brick Veneer



Roof:

Colorbond roof





Window Finish:

Aluminium framed glass windows: JS & G Aluminium



Door Finish:

Standard hollow internal door

