



**SECTION 4.55 MINOR MODIFICATION SET FOR PROPOSED ALTERATIONS TO
EXISTING DWELLING & ADDITION OF 60SQM (INTERNAL) ATTACHED
SECONDARY DWELLING:
1 REID AVENUE, NARRAWEENA NSW 2099
LOT 59 , DP 36192**

DRAWING LIST

DA 0000 : COVER PAGE
DA 0100 : GENERAL COMMITMENTS

DA 0400 : SITE PLAN
DA 0401 : LANDSCAPE CONCEPT PLAN
DA 0402 : SEDIMENT CONTROL PLAN
DA 0403 : DEMOLITION PLAN
DA 0404 : SITE ANALYSIS PLAN

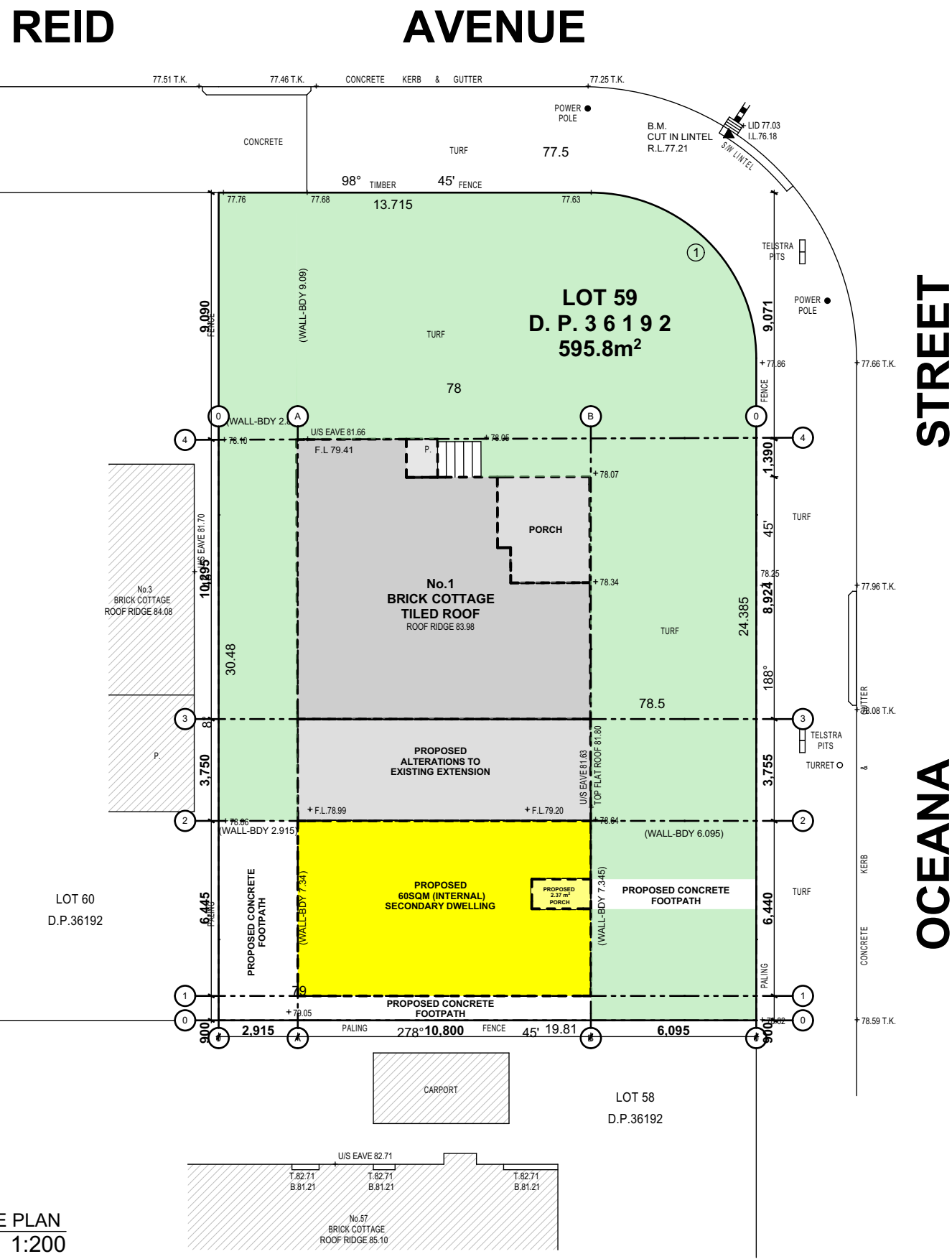
DA 1000 : FLOOR PLAN
DA 1100 : SCHEDULES

DA 1501 : WEST & SOUTH ELEVATIONS
DA 1502 : EAST & NORTH ELEVATIONS

DA 1601 : SECTIONS A & B

SECTION 4.55 MODIFICATION SET

CLIENT		DRAWING TITLE		REVISION		DESCRIPTION		DATE		SCALE		DRAWN		CHECKED		DATE	
MR ALAN ZHONG & MRS HAI YAN ZHOU		Cover Page		MASTER GRANNY FLATS		S4.55 (1)		FOR CLIENT REVIEW		18.04.2019		RS		RS		21.05.2019	
LOT 59 DP 36192						S4.55 (2)		FOR SECTION 4.55		09.05.2019							
1 REID AVENUE, NARRAWEENA NSW 2099		COVER PAGE		719 FOREST ROAD, PEAKHURST 2210 NSW		S4.55 (3)		FOR SECTION 4.55		21.05.2019							
PROJECT		SHEET SIZE										PROJECT No		DRAWING No		REVISION	
CONSTRUCTION COORDIN. - CLIENT REVIEW		A3		1300 643 528								2759				DA 0000 S4.55 (3)	
PROPOSED ALTERATIONSTO EXISTING DWELLING AND ADDITION OF 60SQM (INTERNAL) ATTACHED SECONDARY DWELLING				www.mastergrannyflats.com.au													
				design@mastergrannyflats.com.au													



DEVELOPMENT APPLICATION TABLE (WARRINGAH DCP 2011)			
CLAUSE	REQUIRED	PROPOSED	COMPLIES
B1 WALL HEIGHT	- Walls not to exceed 7.2m from existing ground level to underside of the ceiling	-3.185m Max. Proposed Wall Height from NGL to U/S of Eaves	Y
B3 SIDE BOUNDARY ENVELOPE	- 0.9m Side Setback	2.915m Min. Side Setback Proposed	Y
B4 SITE COVERAGE	- 33.3% Total Building Footprint Allowed	- 60m² (Internal) Proposed Secondary Dwelling Incl. Porch - 34.7m² (Internal) Existing Extension To Be Slightly Altered - 89.24m² Existing Primary Dwelling To Remain Unaltered TOTAL: 183.94m² / 595.8m² 30.87% Footprint Proposed	Y
B9 REAR BOUNDARY SETBACK	- On corner allotments for R2 Low Density Residential zoned lots where the minimum rear setback is 6 metres, the rear building setback does not apply.	- 0.9m	Y
D2 PRIVATE OPEN SPACE	- Attached dwellings with 2 bedrooms requires a total of 35m² P.O.S with a minimum dimension of 3m	- 35m² P.O.S with a minimum dimension of 5.8m	Y

1 SITE PLAN
1:200

The site plan for Lot 59, D.P. 36192, shows a property with a total area of 595.8m². The plan includes a brick cottage with a tiled roof, a porch, and a carport. A proposed alteration to the existing extension is shown, along with a proposed 60sqm internal secondary dwelling. A private open space of 35.00 m² is also indicated. The plan shows various boundaries, including walls, fences, and concrete kerbs. Dimensions for various areas and boundaries are provided, such as 13.715, 9.090, 10.895, 3.750, 6.445, 2.915, 10.800, 19.81, 6.095, 2.915, 10.800, 19.81, 6.095, 2.915, 10.800, 19.81, 6.095. The plan also shows various features like power poles, telstra pits, and concrete kerbs. The plan is oriented with North at the top.

LOT 59
D. P. 3 6 1 9 2
595.8m²

No.1 BRICK COTTAGE
TILED ROOF
ROOF RIDGE 83.98

PROPOSED ALTERATIONS TO EXISTING EXTENSION

PROPOSED 60SQM (INTERNAL) SECONDARY DWELLING

PRIVATE OPEN SPACE
35.00 m²

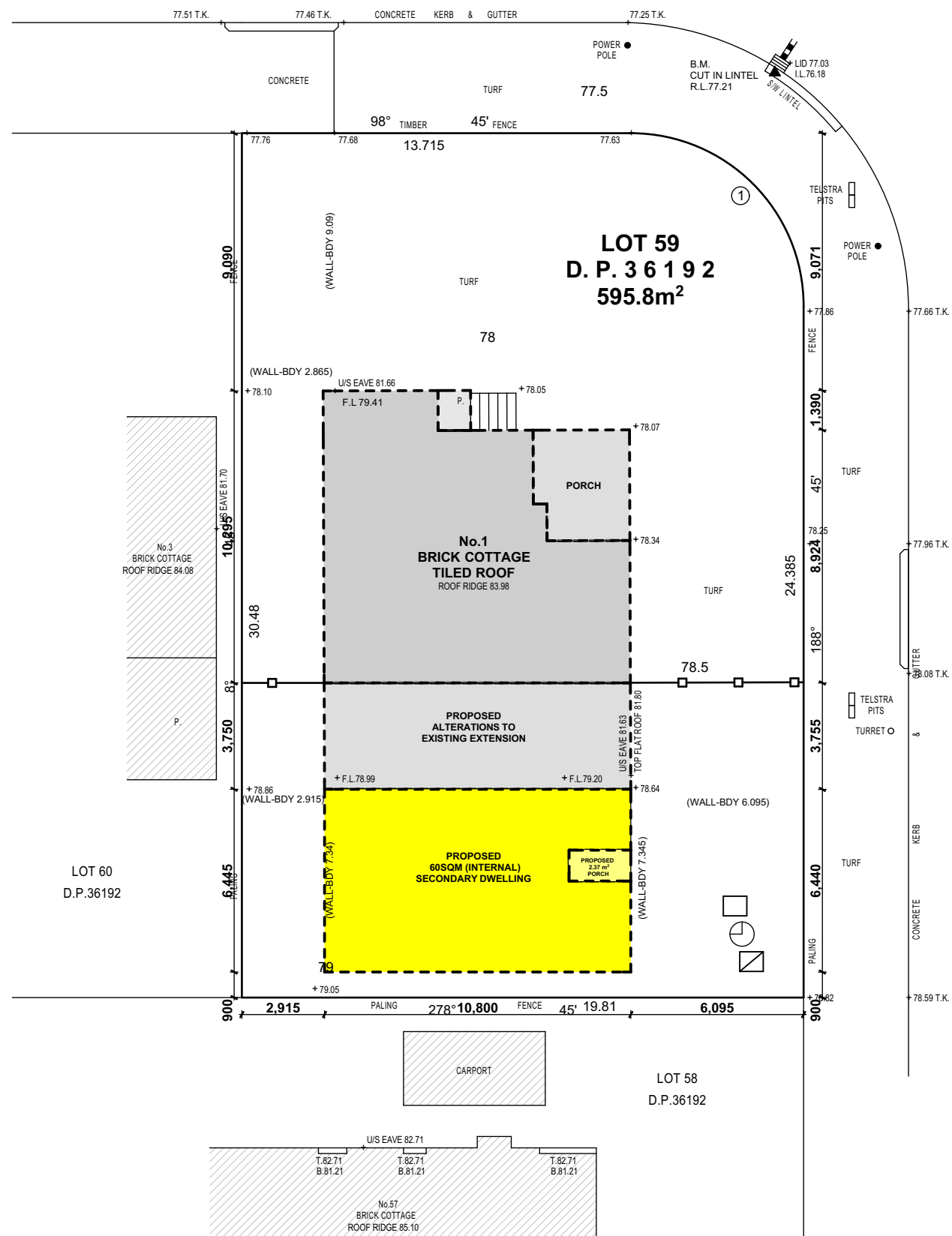
Legend:

- Denote Behind
- Denote Forward
- Denote

-  Denotes Landscape Area Behind Building Line
-  Denotes Landscape Area Forward of Building Line
-  Denotes Private Open Space

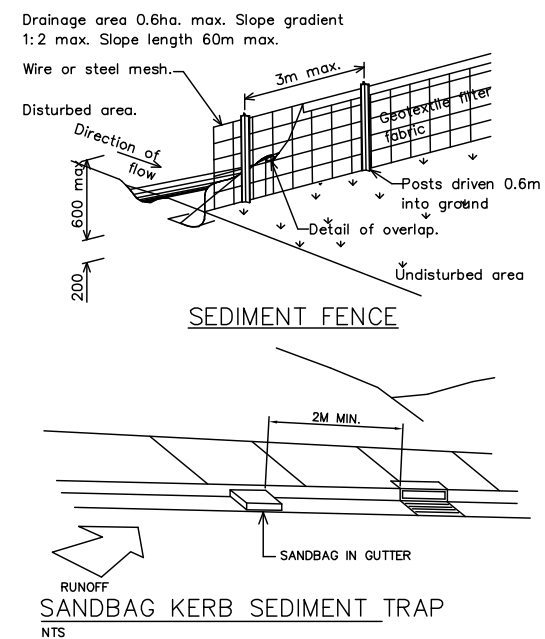
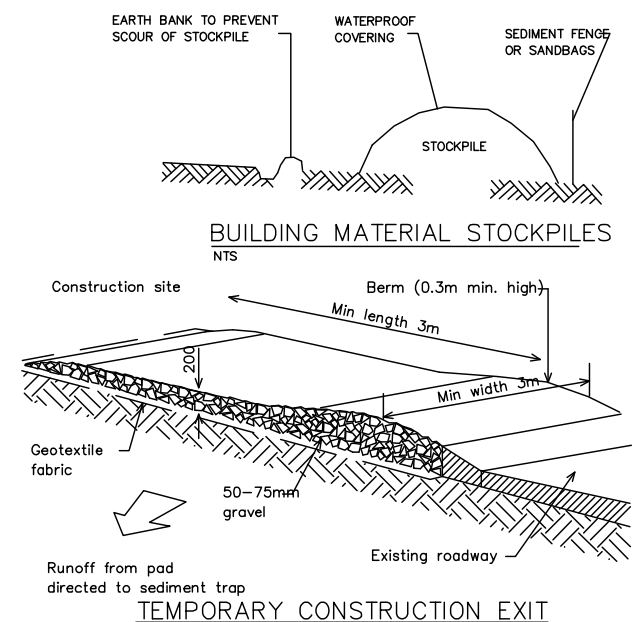
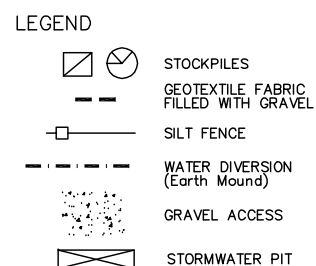
CLIENT		DRAWING TITLE	REVISION		DESCRIPTION	DATE	SCALE	DRAWN	CHECKED	DATE												
MR ALAN ZHONG & MRS HAI YAN ZHOU LOT 59 DP 36192 1 REID AVENUE, NARRAWEENA NSW 2099		General Arrangements LANDSCAPE CONCEPT PLAN	MASTER GRANNY FLATS 719 FOREST ROAD, PEAKHURST 2210 NSW 1300 643 528 www.mastergrannyflats.com.au design@mastergrannyflats.com.au						<table border="1"><tr><td>S4.55 (1)</td><td>FOR CLIENT REVIEW</td><td>18.04.2019</td></tr><tr><td>S4.55 (2)</td><td>FOR SECTION 4.55</td><td>09.05.2019</td></tr><tr><td>S4.55 (3)</td><td>FOR SECTION 4.55</td><td>21.05.2019</td></tr></table>	S4.55 (1)	FOR CLIENT REVIEW	18.04.2019	S4.55 (2)	FOR SECTION 4.55	09.05.2019	S4.55 (3)	FOR SECTION 4.55	21.05.2019	1:200	RS	RS	21.05.2019
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CONSTRUCTION COORDIN. - CLIENT REVIEW PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM (INTERNAL) ATTACHED SECONDARY DWELLING		A3	2759		DA 0401		S4.55 (3)															

REID AVENUE



STREET

OCEANA

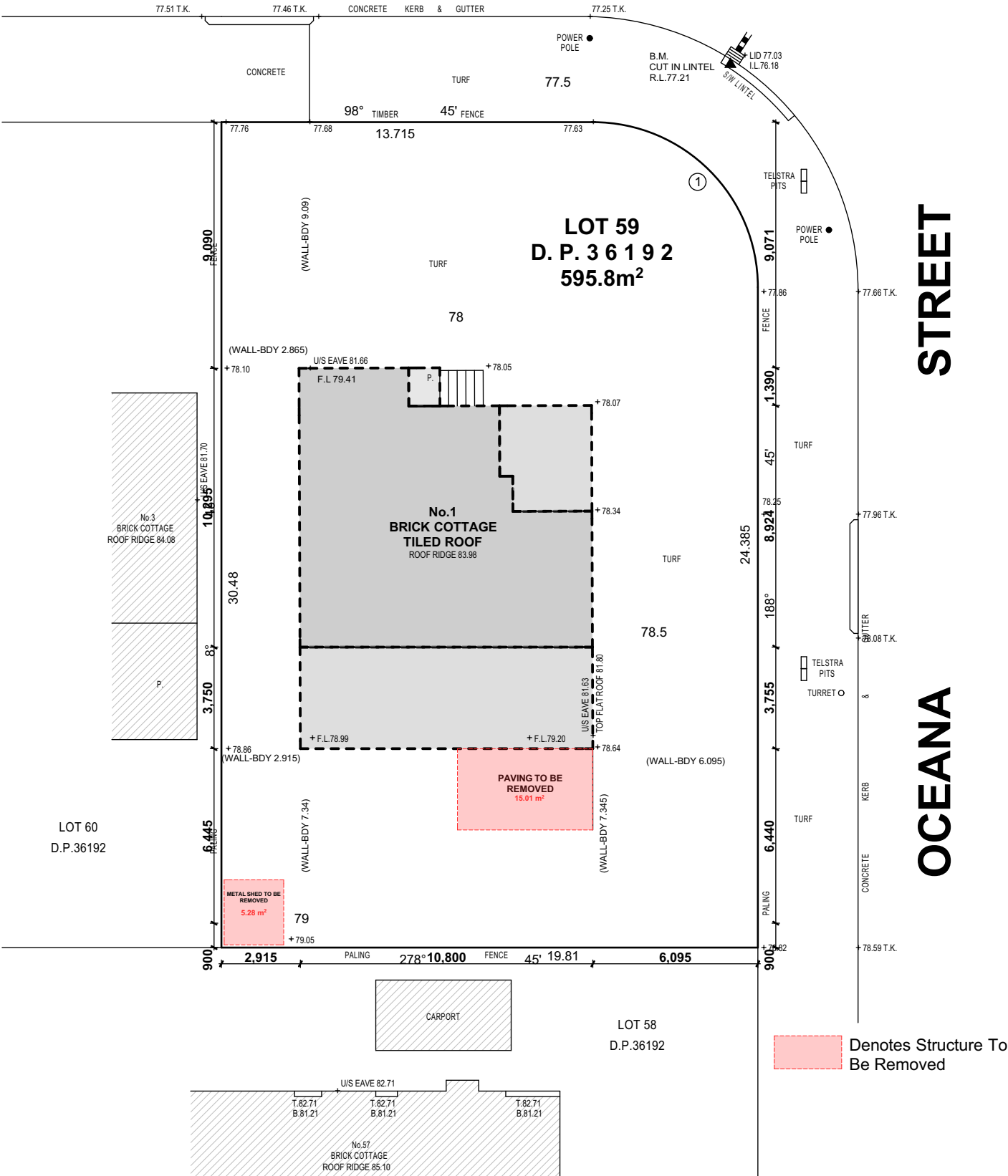


STORMWATER CONCEPT TO COMPLY
WITH COUNCILS REQUIREMENTS. COUNCILS
REQUIREMENTS WILL TAKE PRECEDENCE OVER THE
STORM WATER PLAN

SECTION 4.55 MODIFICATION SET

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S4.55 (1)	FOR CLIENT REVIEW	18.04.2019	1:200	RS	RS	21.05.2019
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S4.55 (3)	FOR SECTION 4.55	21.05.2019				
			PROJECT No. DRAWING No. REVISION 			
			2759 DA 0402 S4.55 (3)			

REID AVENUE



1 DEMOLITION PLAN 1:200

SECTION 4.55 MODIFICATION SET

CLIENT

MR ALAN ZHONG & MRS HAI YAN ZHOU

LOT 59 DP 36192

1 REID AVENUE, NARRAWEENA NSW 2099

PROJECT

CONSTRUCTION COORDIN. - CLIENT REVIEW

PROPOSED ALTERATIONS TO EXISTING DWELLING AND ADDITION OF 60SQM (INTERNAL) ATTACHED SECONDARY DWELLING

DRAWING TITLE

General Arrangements

DEMOLITION PLAN

SHEET SIZE

A3

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PROJECT No

2759

DRAWING No

DA 0403

REVISION

S4.55 (3)

SCALE

RS

DRAWN

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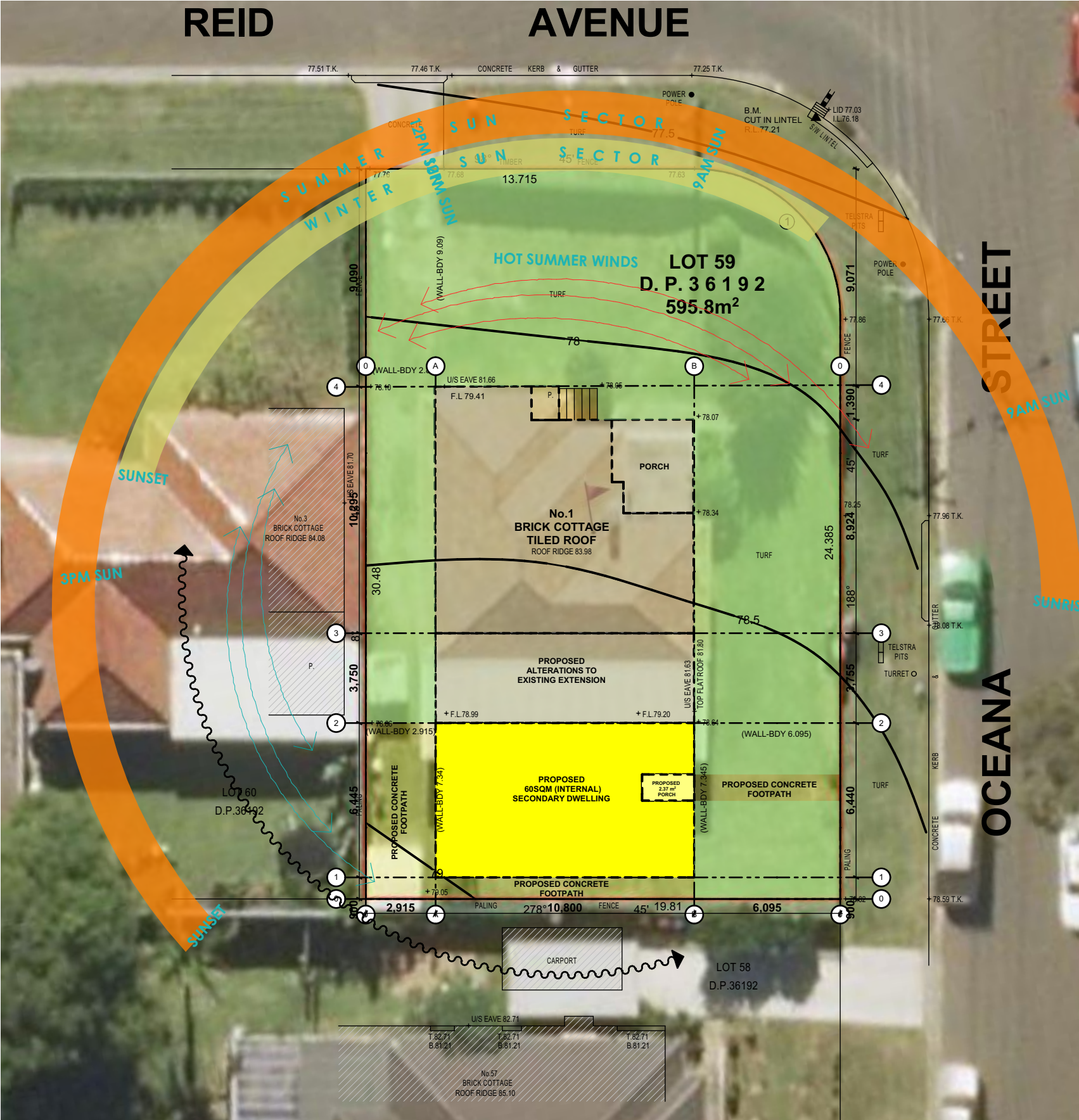
CHECKED

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1 SITE ANALYSIS PLAN
1:200



SECTION 4.55 MODIFICATION SET

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MASTER GRANNY FLATS

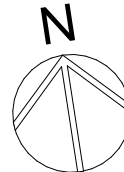
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DRAWING No

DA 0404

REVISION

S4.55 (3)

RS

RS

21.05.2019



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MR ALAN ZHONG & MRS HAI YAN ZHOU		Elevations	MASTER GRANNY FLATS		S4.55 (1)	FOR CLIENT REVIEW	18.04.2019	1:100	RS	RS	21.05.2019
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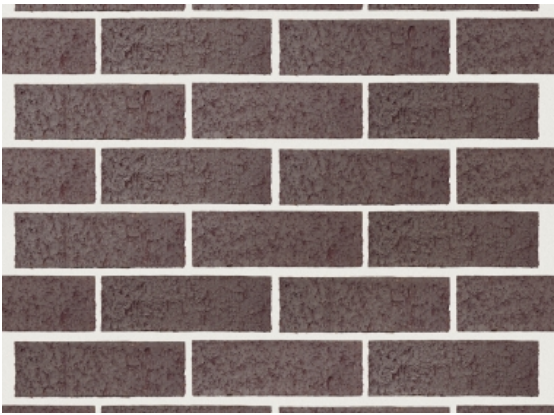
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External Colours and Finishes Schedule

1 Reid Avenue, Narraweena

External Walls:

Brick Veneer



Roof:

Colorbond roof





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Window Finish:

Aluminium framed glass windows: JS & G Aluminium



Door Finish:

Standard hollow internal door

