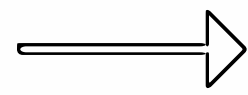
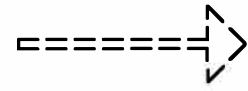


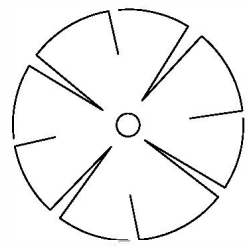
LEGEND



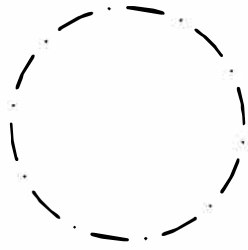
PREVAILING WINDS



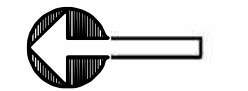
VIEWS



EXISTING TREE TO BE RETAINED



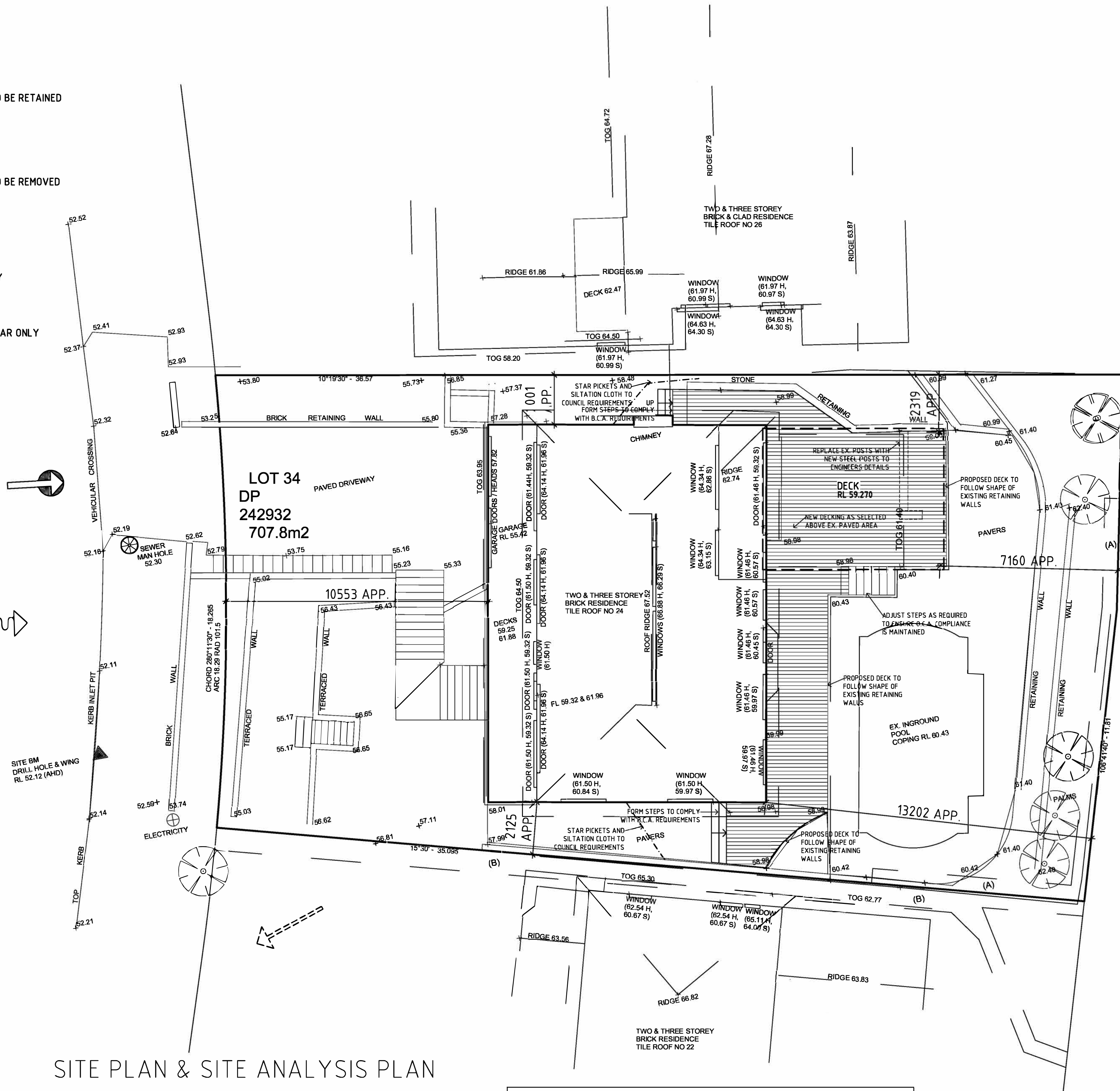
EXISTING TREE TO BE REMOVED



VEHICULAR ENTRY



NOISE SOURCE - CAR ONLY

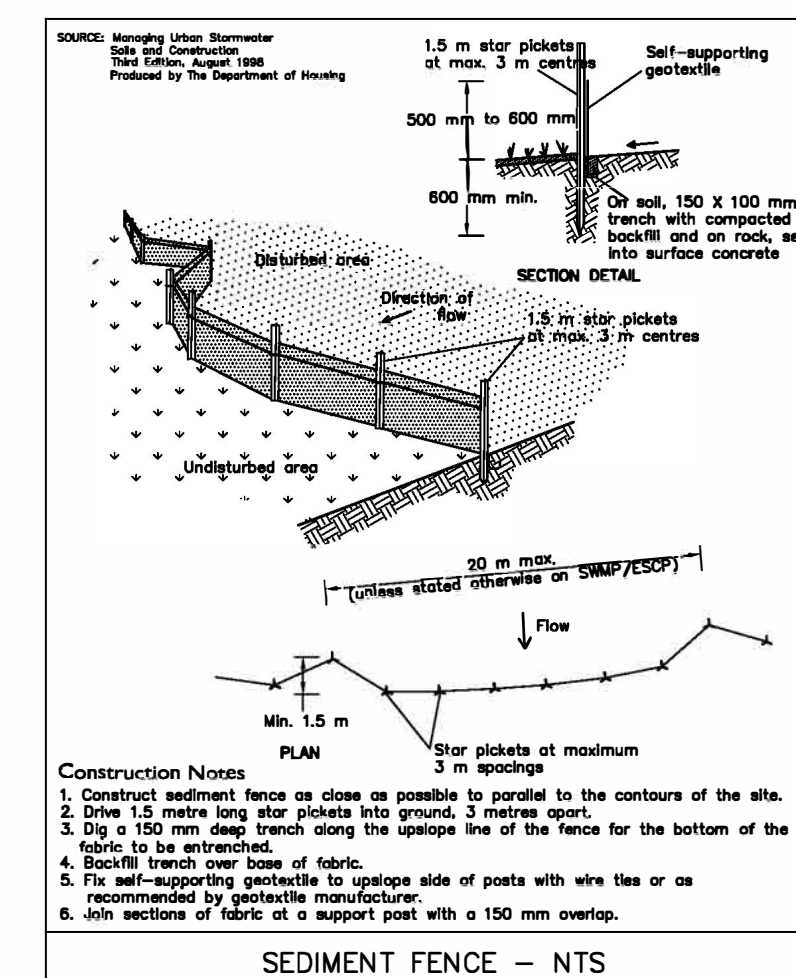


SITE PLAN & SITE ANALYSIS PLAN

(A) EASEMENT TO DRAIN WATER 0.600 WIDE (DP 1080489)
(B) EASEMENT TO DRAIN WATER 0.900 WIDE (DP 1080489)

CONSTRUCTION SCHEDULE & BASIX COMMITMENTS

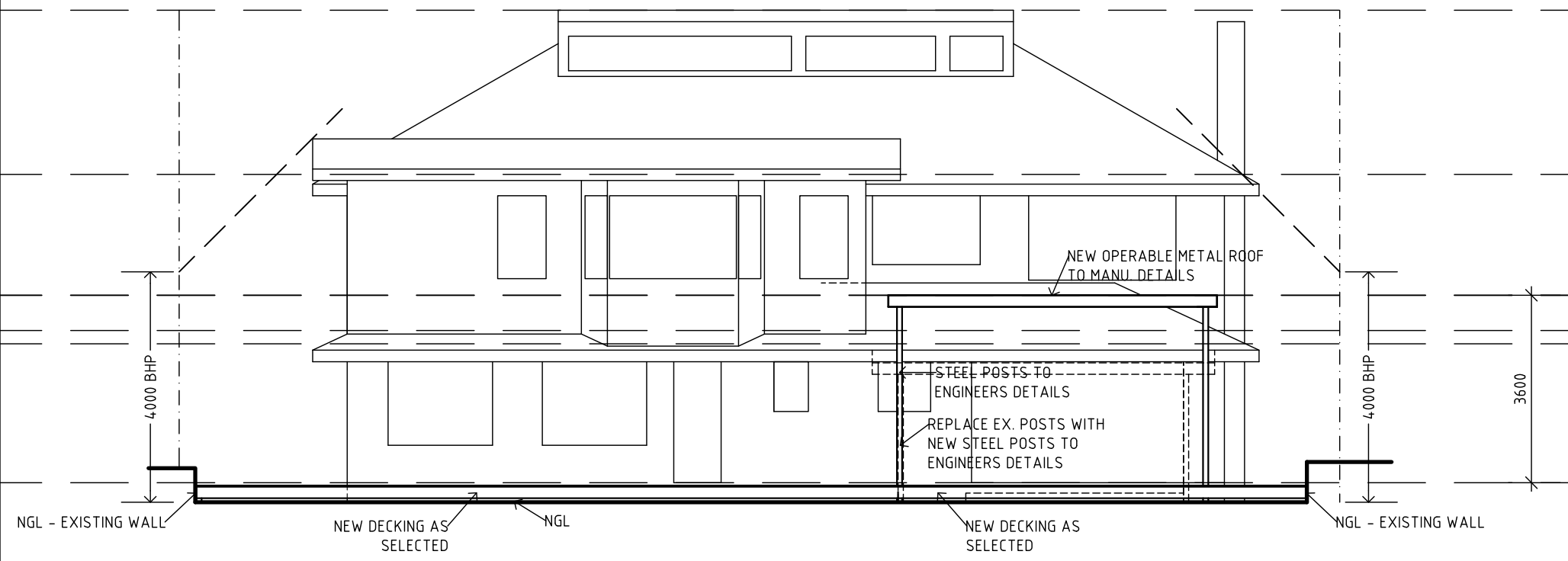
EXTERNAL WALLS	WALL TYPE INSULATION TYPE COLOUR	N/A N/A GENERALLY MEDIUM WALL COLOURS
INTERNAL WALLS	WALL TYPE	GROUND FLOOR = N/A, FIRST FLOOR = N/A
FLOOR	COVERINGS INSULATION TYPE FLOOR TYPE	GROUND FLOOR = N/A, FIRST FLOOR = N/A NIL GROUND FLOOR = N/A, FIRST FLOOR = N/A
WINDOWS	FRAME TYPE GLASS TYPE INTERNAL COVERINGS EXTERNAL COVERINGS SKYLIGHTS	N/A N/A CURTAIN/BLINDS ALL AS PER OWNER N/A NIL
CEILINGS	TYPE INSULATION	N/A N/A
ROOF	MATERIAL INSULATION TYPE COLOUR	METAL OPERABLE ROOF TO MANU. DETAILS N/A MEDIUM TONES



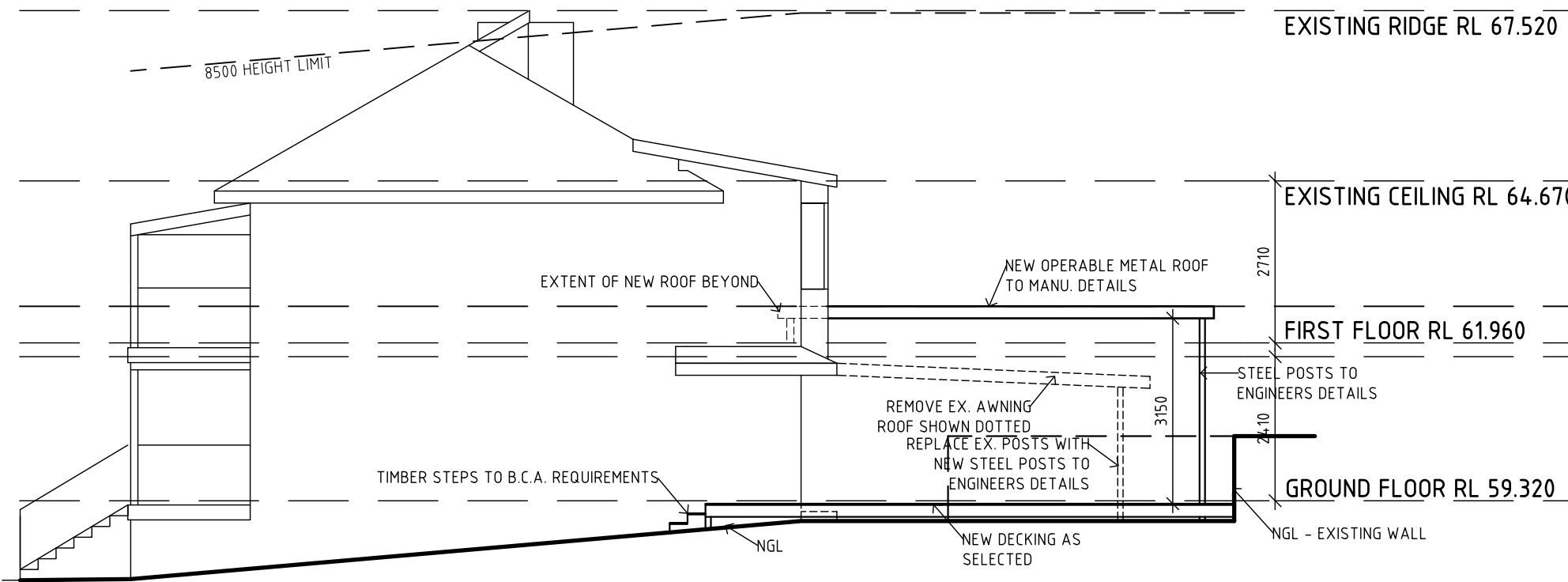
All structural sizes, structural adequacy, retaining walls, and drainage to engineers details. If in doubt, ask. Builder to check all dimensions and heights prior to construction. Construction to be altered to suite existing structure if necessary. All materials to match existing or as noted otherwise. This plan is copyright to Rob Crump Design (NSW) Pty. Ltd., and may not be reproduced without the written consent of the company.

DEVELOPMENT APPLICATION	A	27.03.2019
AMENDED	ISSUE	BY: DATE:
ROB CRUMP DESIGN ARCHITECTURE - DESIGN - DRAFTING - RENOVATIONS		
A.B.N. 14 721 765 945 30 Sunnymead Close Asquith N.S.W. 2077 Ph: (02) 9476 3683 Mobile: 0412 581 313 Email: info@robcrumpdesign.com.au		
MAYNARD RESIDENCE ALTERATIONS AND ADDITIONS 24 LINCOLN AVENUE COLLAROY NSW 2097		
Scale:	1:100 @ A1 plot size	
Date:	27 March 2019	
Job No:	2321/01	
DRAWN:	CHECKED:	ISSUE:
R.C.	R.C.	

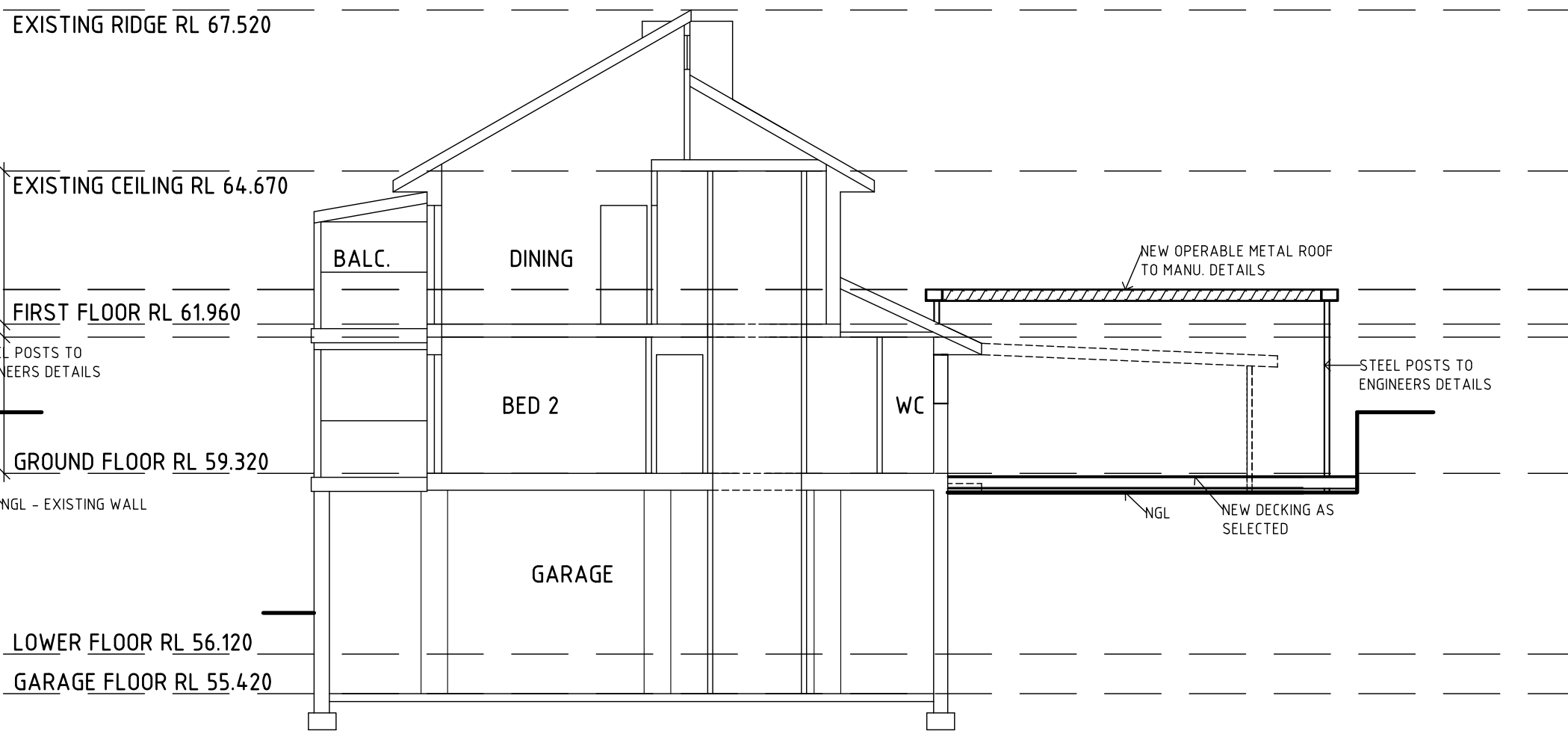
All structural sizes, structural adequacy, retaining walls, and drainage to engineers details. If in doubt, ask. Builder to check all dimensions and heights prior to construction. Construction to be altered to suite existing structure if necessary. All materials to match existing or as noted otherwise. This plan is copyright to Rob Crump Design (NSW) Pty. Ltd., and may not be reproduced without the written consent of the company.



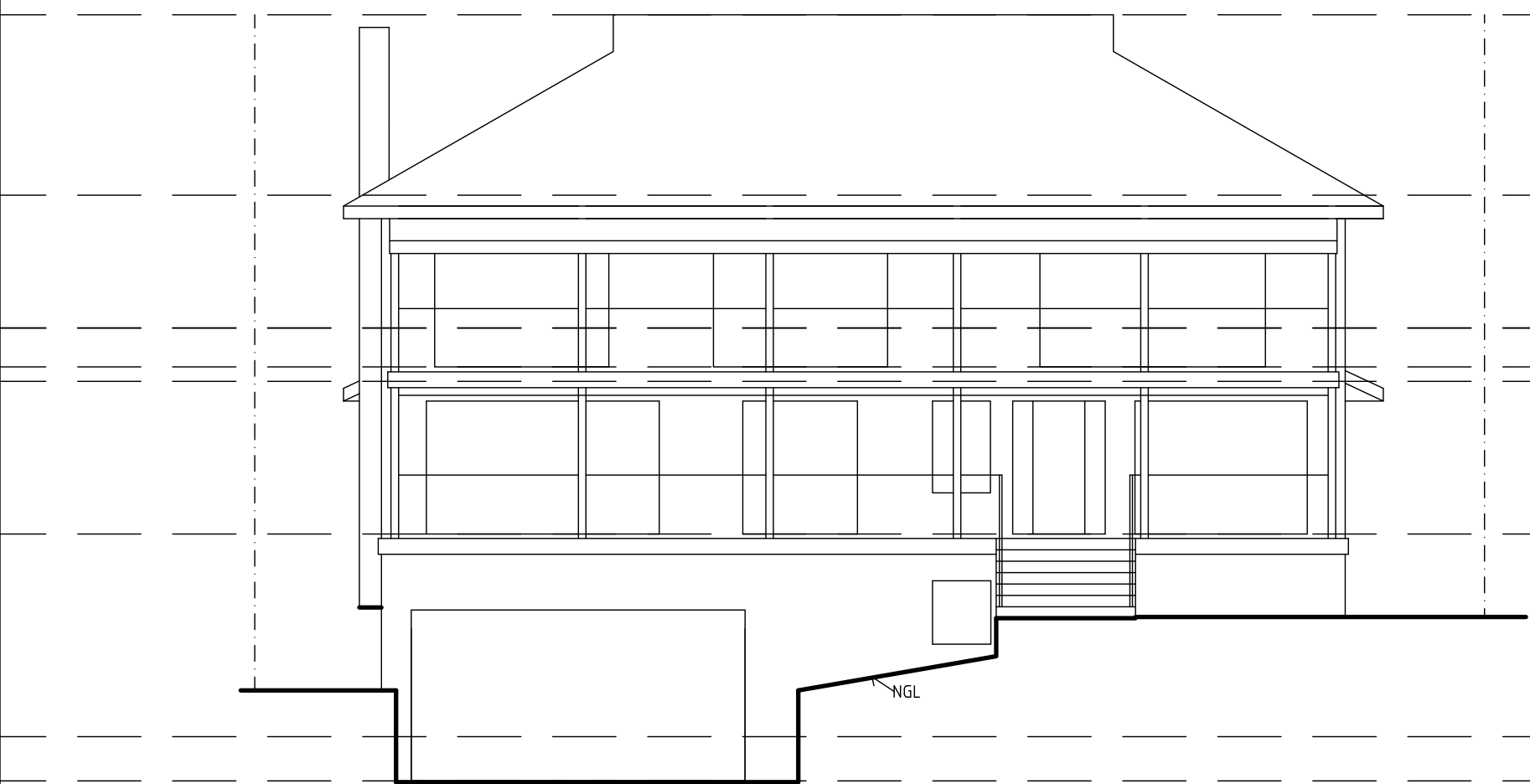
NORTH ELEVATION



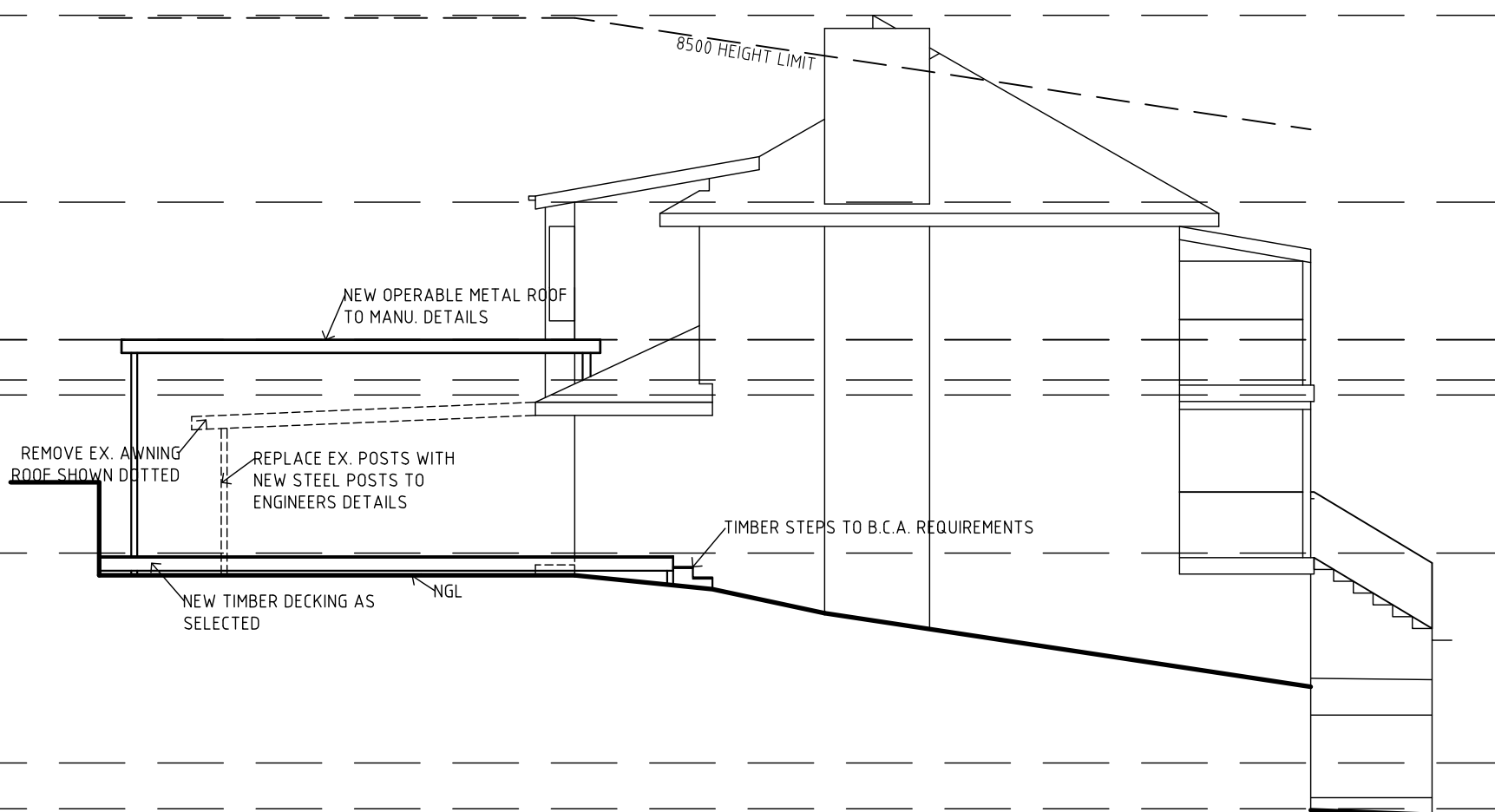
EAST ELEVATION



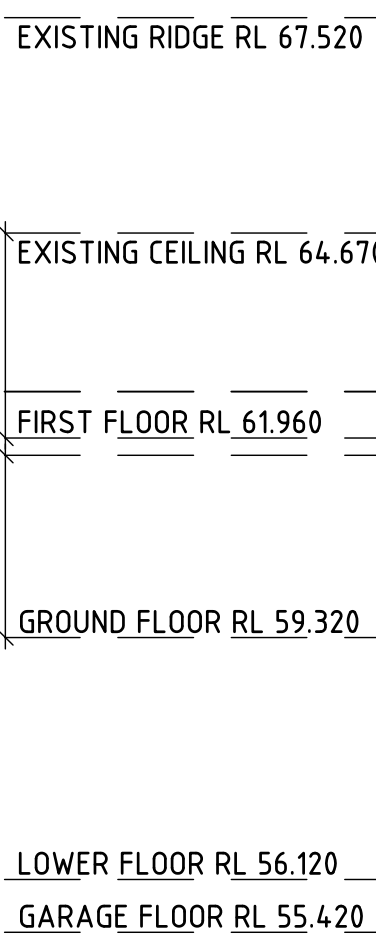
SECTION A-A



SOUTH ELEVATION



WEST ELEVATION



AREA	EXISTING	NEW	PROPOSED
GARAGE	94.92	-----	94.92
LOWER FLOOR:	38.79	-----	38.79
GROUND FLOOR:	136.14	-----	136.14
STAIR VOID:	4.70	-----	4.70
PORCH:	30.43	-----	30.43
FIRST FLOOR:	125.55	-----	125.55
STAIR VOID:	4.70	-----	4.70
BALCONY:	30.43	-----	30.43
TOTALS:	465.66		465.66
SITE COVER	sqm		sqm
SITE AREA:	707.80 sqm		707.80 sqm
HOUSE:	171.23 sqm		171.23 sqm
DRIVE:	63.05 sqm		63.05 sqm
PAVING/STEPS:	189.40 sqm		106.53 sqm
REAR DECK:	0.00 sqm		82.87 sqm
EX. POOL:	40.00 sqm		40.00 sqm
TOTAL COVER:	463.68 sqm (65.5%)		463.68 sqm (65.5%)
TOTAL FLOOR AREA:	364.40 sqm		364.40 sqm
TOTAL LANDSCAPING:	244.12 sqm (34.5%)		244.12 sqm (34.5%)
MIN. LANDSCAPING:	283.12 sqm (40.0%)		283.12 sqm (40.0%)

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MAYNARD RESIDENCE
ALTERATIONS AND ADDITIONS
24 LINCOLN AVENUE
COLLAROY NSW 2097

Scale: 1:100 @ A1 plot size
Date: 27 March 2019
Job No: 2321/03

DRAWN	CHECKED	ISSUE
R.C.	R.C.	



