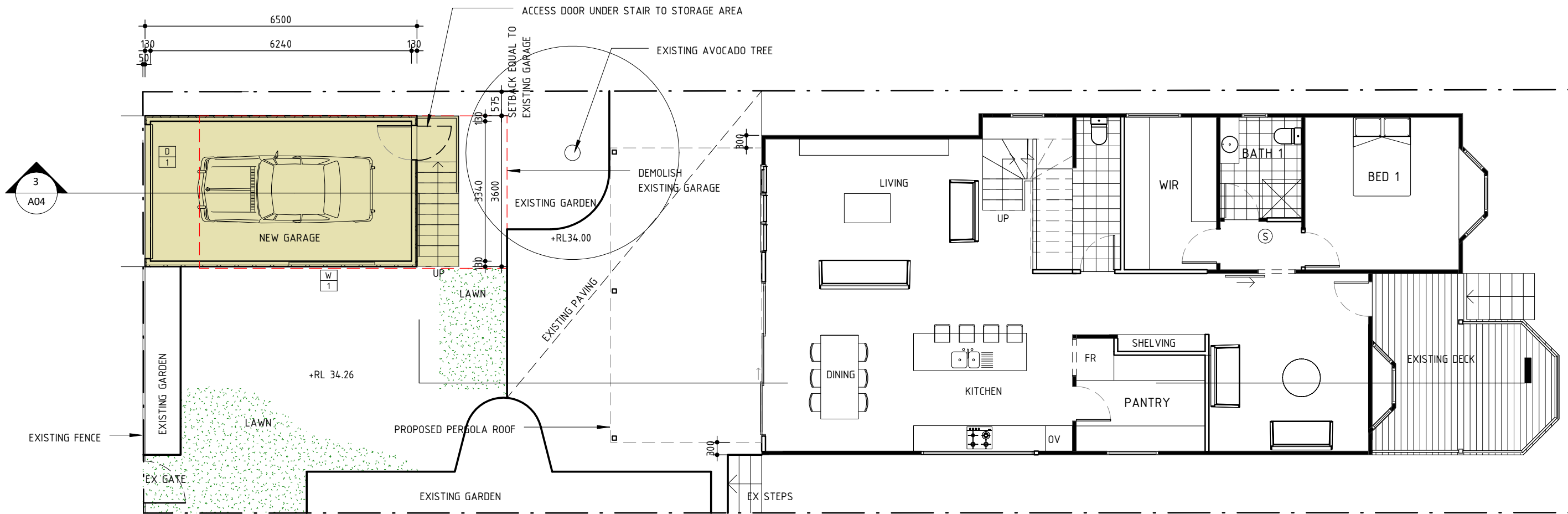
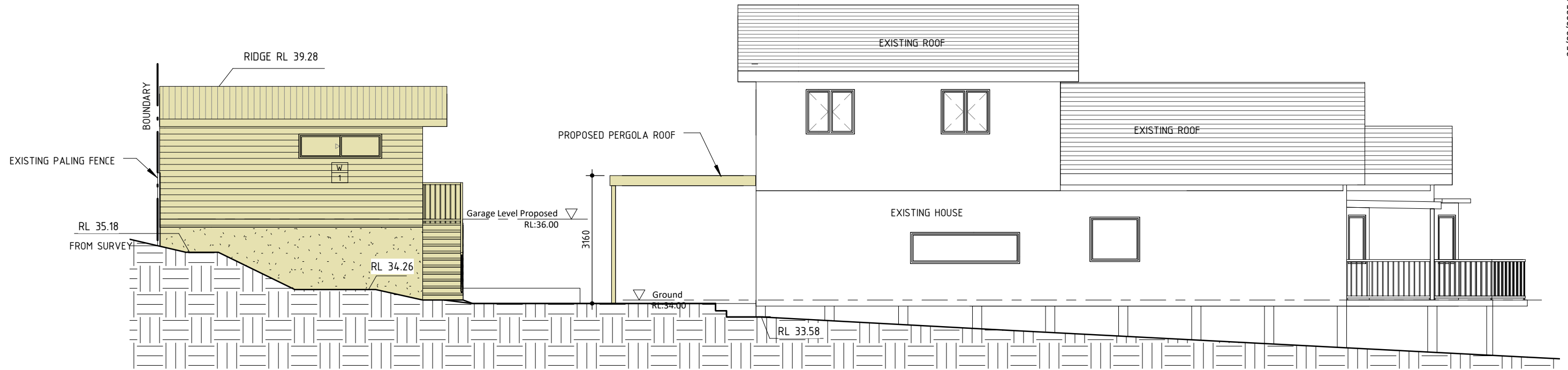




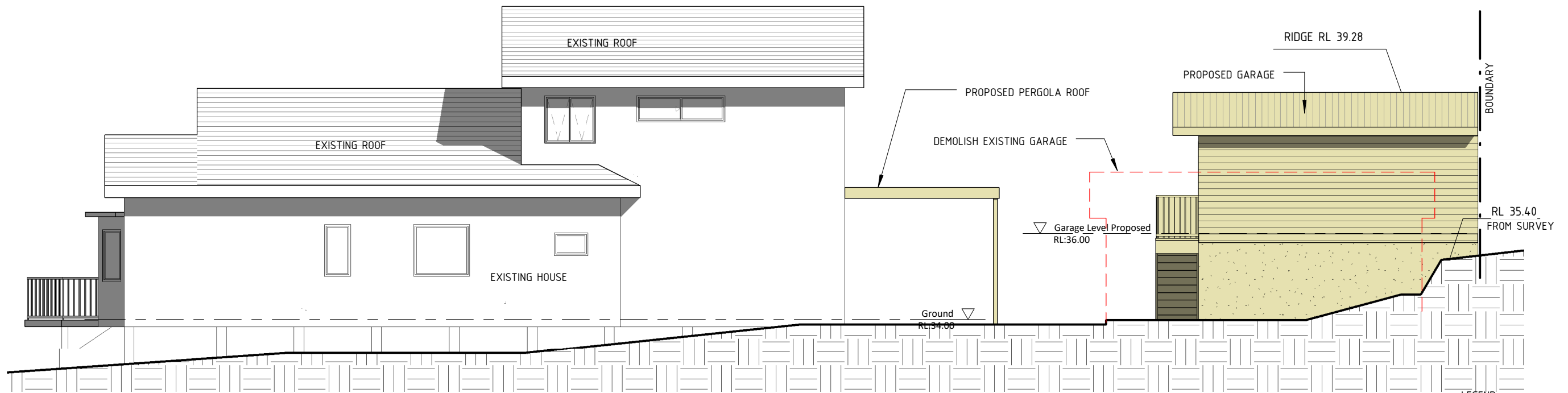
LEGEND	
	EXISTING WALL
	NEW TIMBER WALL
	NEW BRICK WALL
	DEMOLISH
	PROPOSED WORKS

1	Development Application	25.02.2025
No	Revision Description	Date

	80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT LOUISA & DANIEL LONG	PROJECT Alterations & Additions 46 SURFERS PDE FRESHWATER LOT: 12 SECT: 1 DP: 5466	DRAWING TITLE GROUND FLOOR PLAN	TRUE NORTH 	DRAWN XK	PROJECT NO. 01811	DRAWING NO A02	REV NO 1
						SIZE A3	SCALE 1 : 100		



1 East Elevation
1 : 100



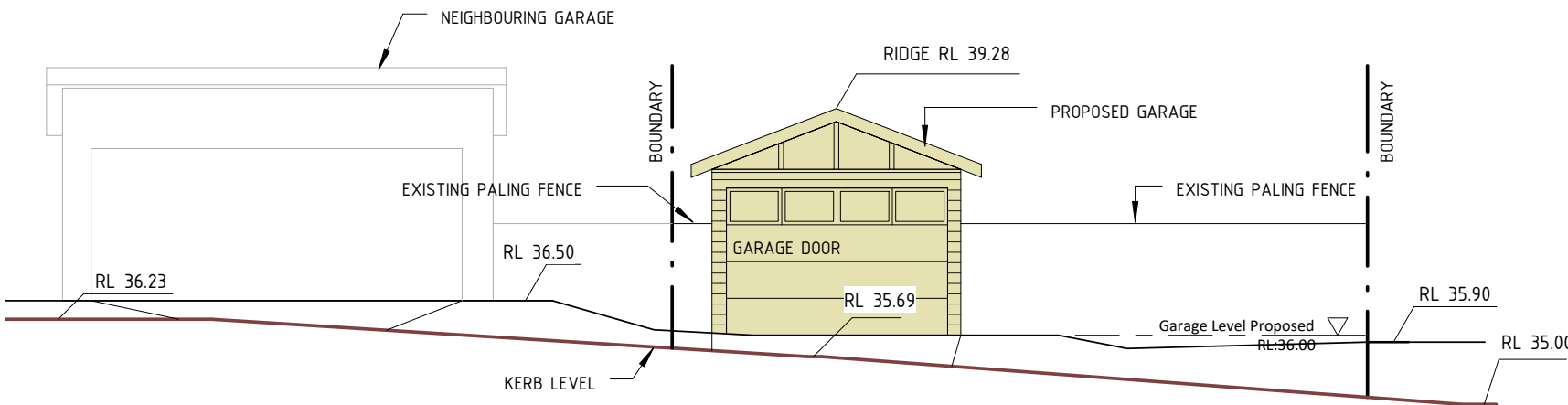
2 West Elevation
1 : 100

- LEGEND
- EXISTING WALL
 - NEW TIMBER WALL
 - NEW BRICK WALL
 - DEMOLISH
 - PROPOSED WORKS

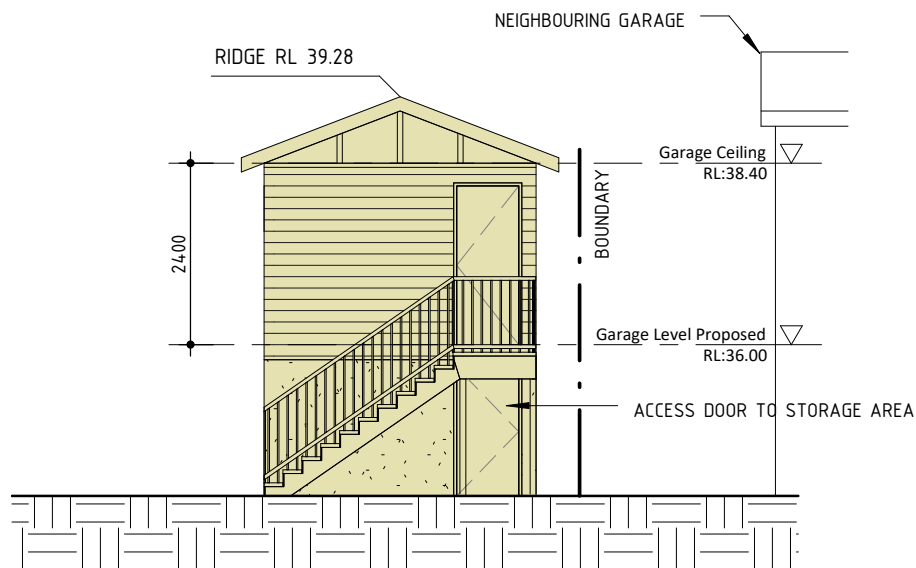
1	Development Application	25.02.2025
No	Revision Description	Date

	80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT LOUISA & DANIEL LONG	PROJECT Alterations & Additions 46 SURFERS PDE FRESHWATER LOT: 12 SECT: 1 DP: 5466	DRAWING TITLE ELEVATIONS	TRUE NORTH	DRAWN XK	PROJECT NO. 01811	DRAWING NO A03	REV NO 1
						SIZE A3	SCALE 1 : 100		

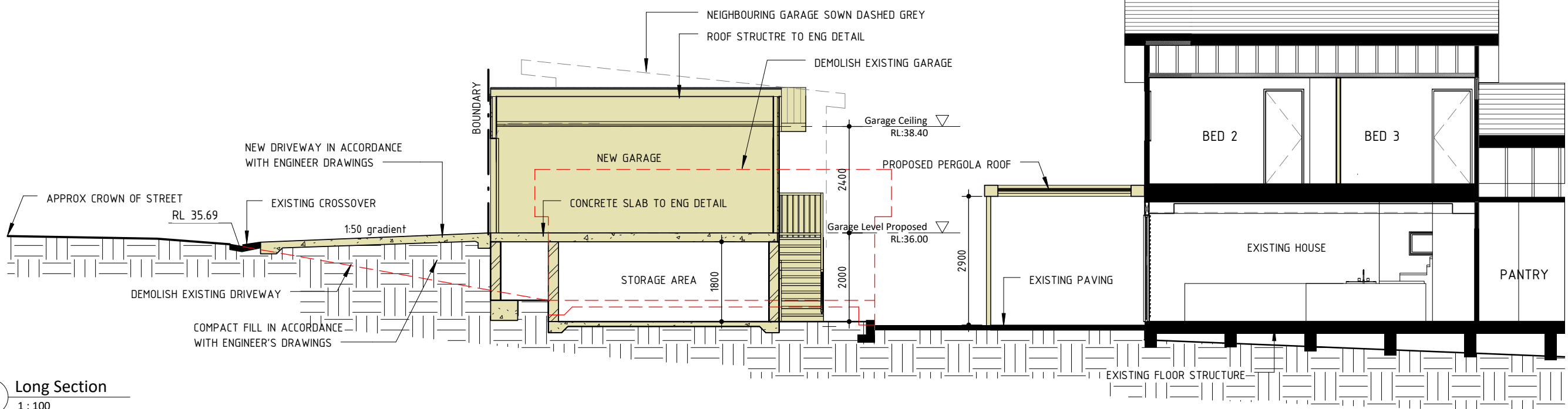
- LEGEND
- EXISTING WALL
 - NEW TIMBER WALL
 - NEW BRICK WALL
 - DEMOLISH
 - PROPOSED WORKS



1 Garage South Elevation
1 : 100



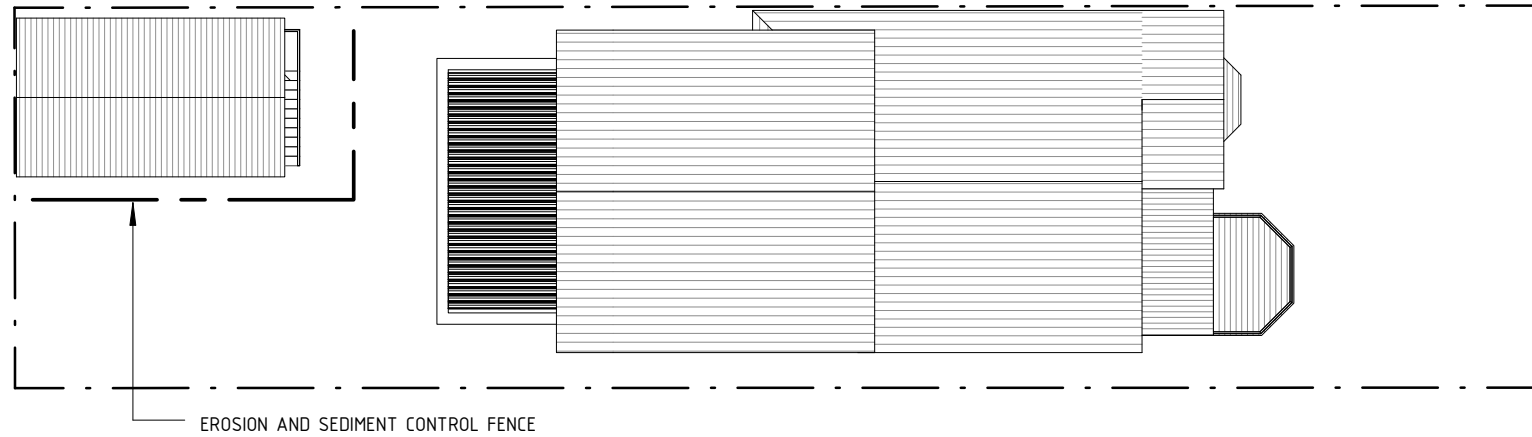
2 Garage North Elevation
1 : 100



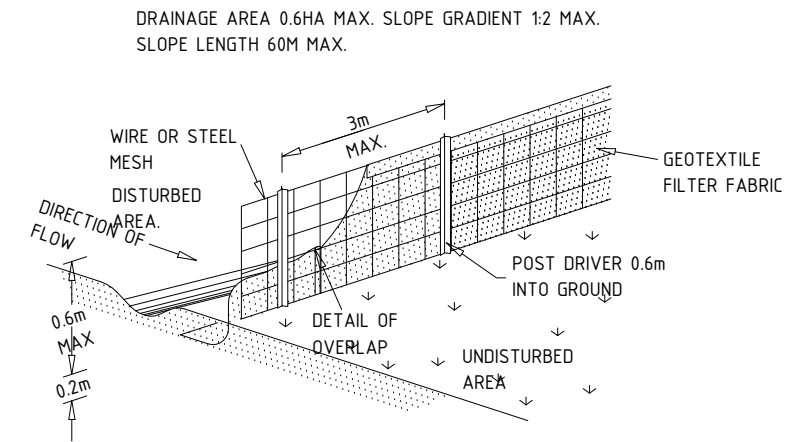
3 Long Section
1 : 100

1	Development Application	25.02.2025
No	Revision Description	Date

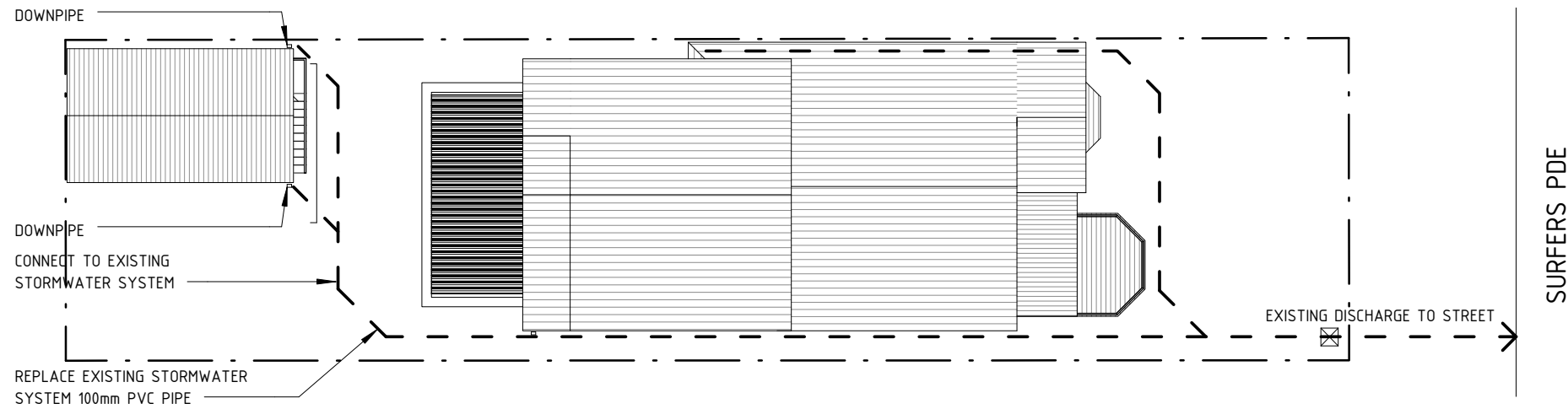
 80 WEST ST BALGOWLAH NSW 2093 mail@scopearchitects.com.au ph: 9400 4554 www.scopearchitects.com.au	CLIENT LOUISA & DANIEL LONG	PROJECT Alterations & Additions 46 SURFERS PDE FRESHWATER LOT: 12 SECT: 1 DP: 5466	DRAWING TITLE ELEVATIONS & SECTION	TRUE NORTH	DRAWN XK	PROJECT NO. 01811	DRAWING NO A04	REV NO 1
					SIZE A3	SCALE 1 : 100		



1 Erosion Control plan
1 : 200



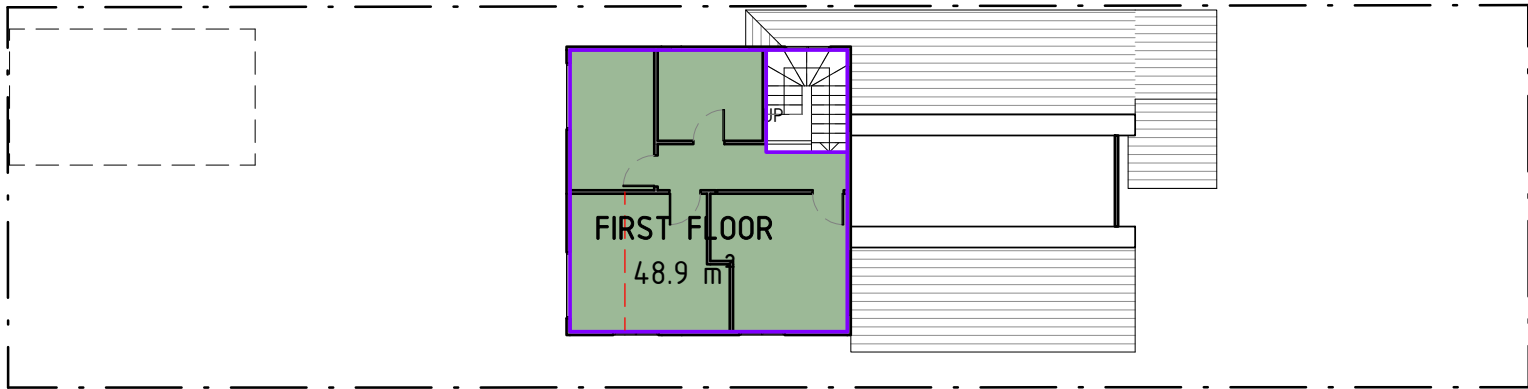
2 Erosion Control Fence Detail
1 : 100



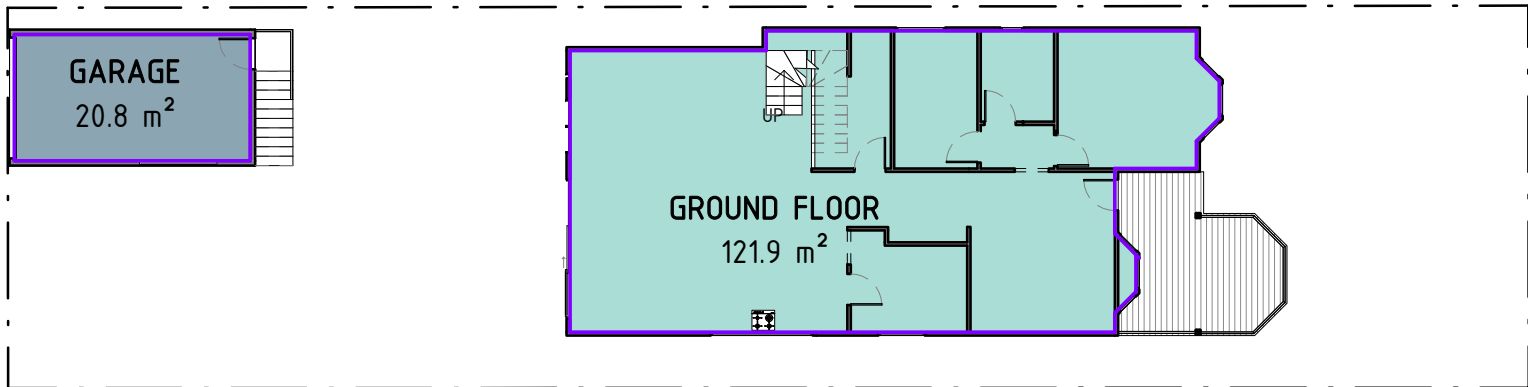
3 Stormwater Plan
1 : 200

1. ALL NEW WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3500.3 AND THE REQUIREMENTS OF THE LOCAL COUNCIL POLICIES AND CODES
2. ALL SUBSURFACE PIPES TO BE 100mm DIAMETER Upvc PIPES
3. ALL PIPES TO BE LAYED AT A MINIMUM 1% FALL OR AS REQUIRED BY THE AUSTRALIAN STANDARDS AND COUNCIL POLCIES
4. NEW DOWNPIPE TO MATCH EXISTING

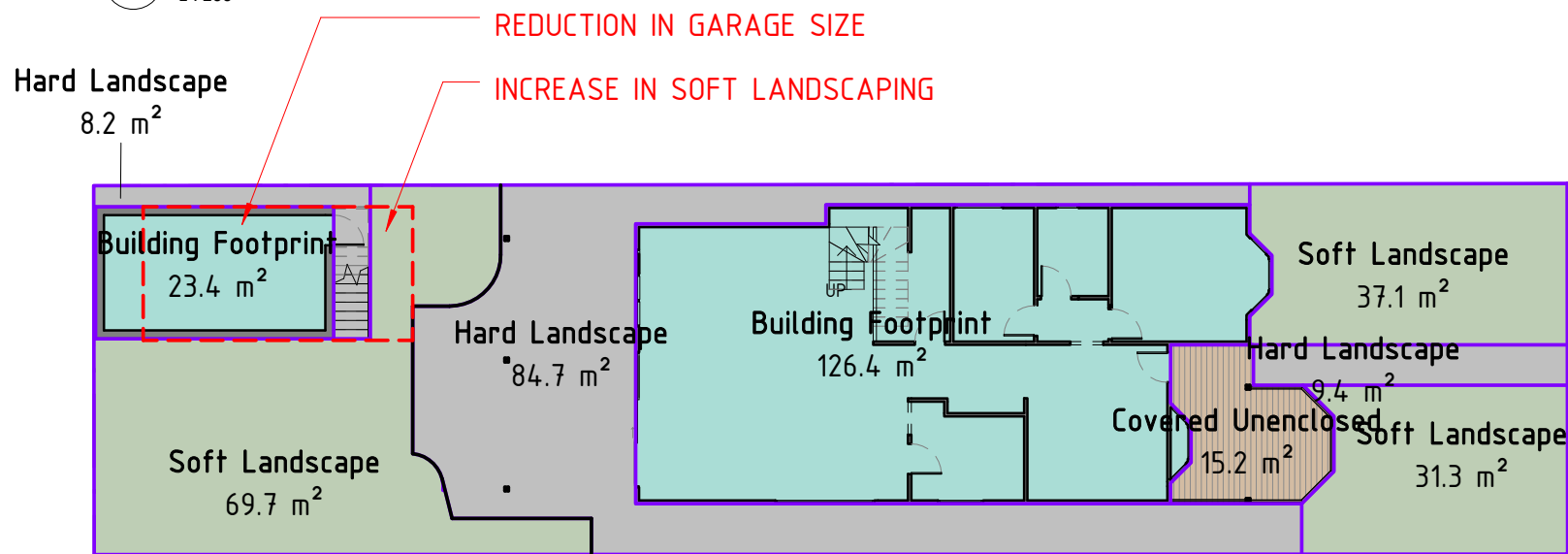
1	Development Application	25.02.2025
No	Revision Description	Date



1 First Floor
1 : 200



2 Ground Floor
1 : 200



3 Landscape Areas
1 : 200

Gross Floor Area	
Name	Area
FIRST FLOOR	48.9 m ²
GARAGE	20.8 m ²
GROUND FLOOR	121.9 m ²
	191.6 m ²

Landscape Area Calculations		
Name	Area	% of site
Building Footprint	150 m ²	37%
Covered Unenclosed	15 m ²	4%
Hard Landscape	102 m ²	25%
Soft Landscape	138 m ²	34%
	405 m ²	100%

EXISTING LANDSCAPED AREA 133sqm (33%)

1	Development Application	25.02.2025
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