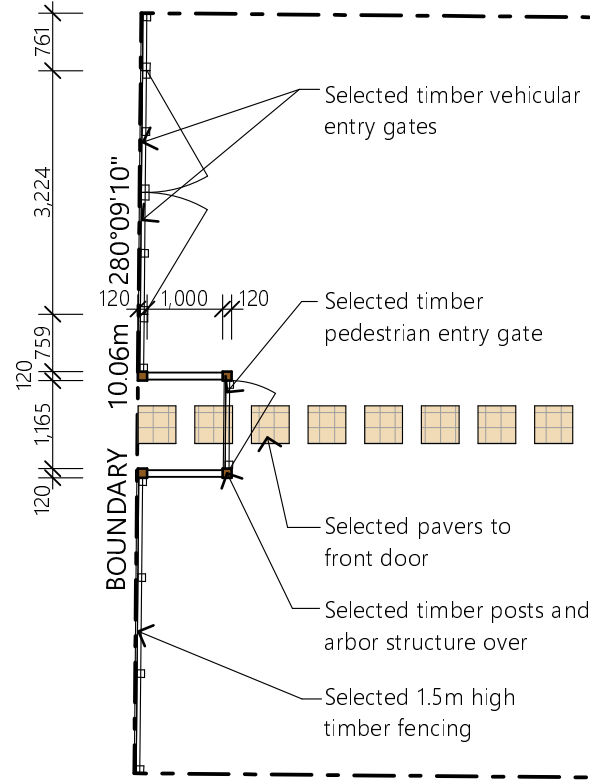




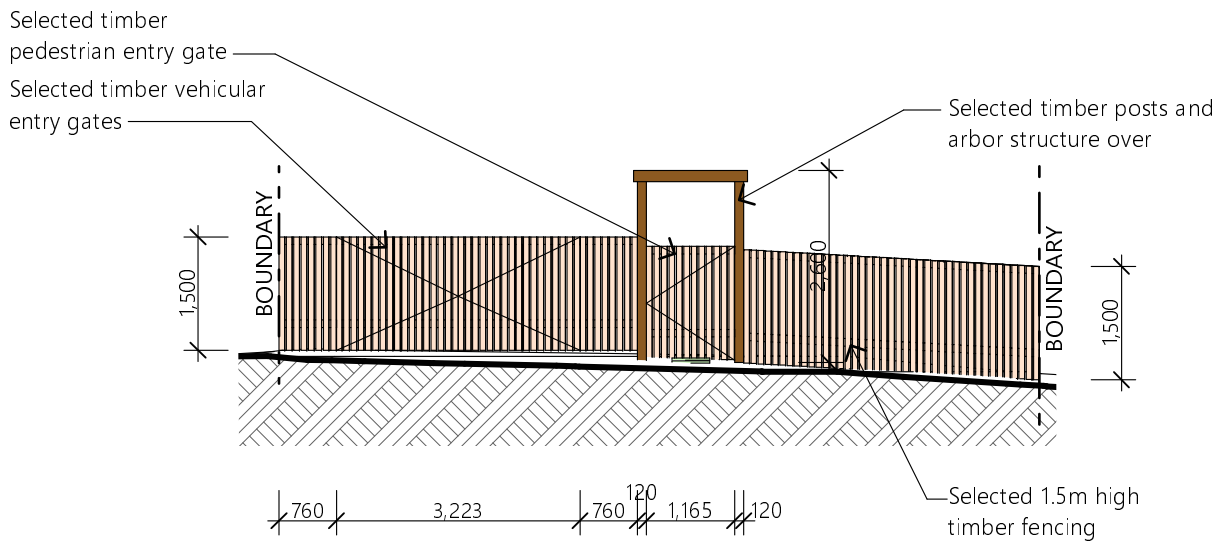
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beaches
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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

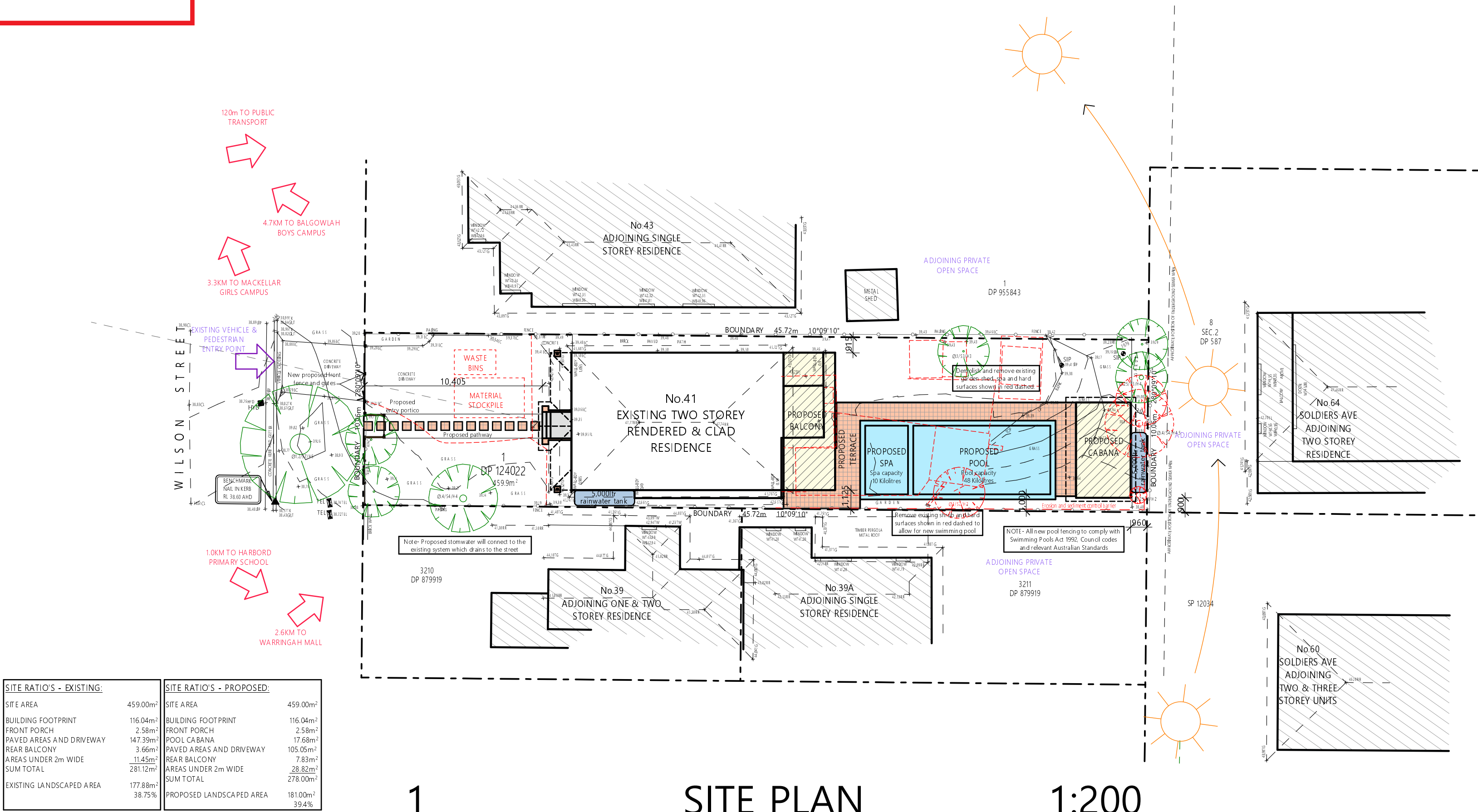
DA2024/0488



2 FRONT FENCE PLAN 1:100



3 FRONT FENCE ELEVATION 1:100



1 SITE PLAN 1:200
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

NOTES

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BASIX INFORMATION REQUIREMENTS:

WATER COMMITMENTS:

Swimming Pool & Spa: Maximum pool size shall be 48 kilolitres and spa size 12 kilolitres. The pool and spa are to both be outside and have a cover, a pool/spa pump timer and have an electric heat pump heating system.

Alternative Water: A minimum 9,537.50 litre rainwater tank shall be installed to collect runoff from at least 156m² of roof and connected to a tap within 10m of the pool edge.

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Client

MR. GIBSON & MS. WRIGHT

Project Name

PROPOSED ALTERATIONS + ADDITIONS

41 WILSON STREET

LOT 1, DP 124022

FRESHWATER NSW 2096

JAH

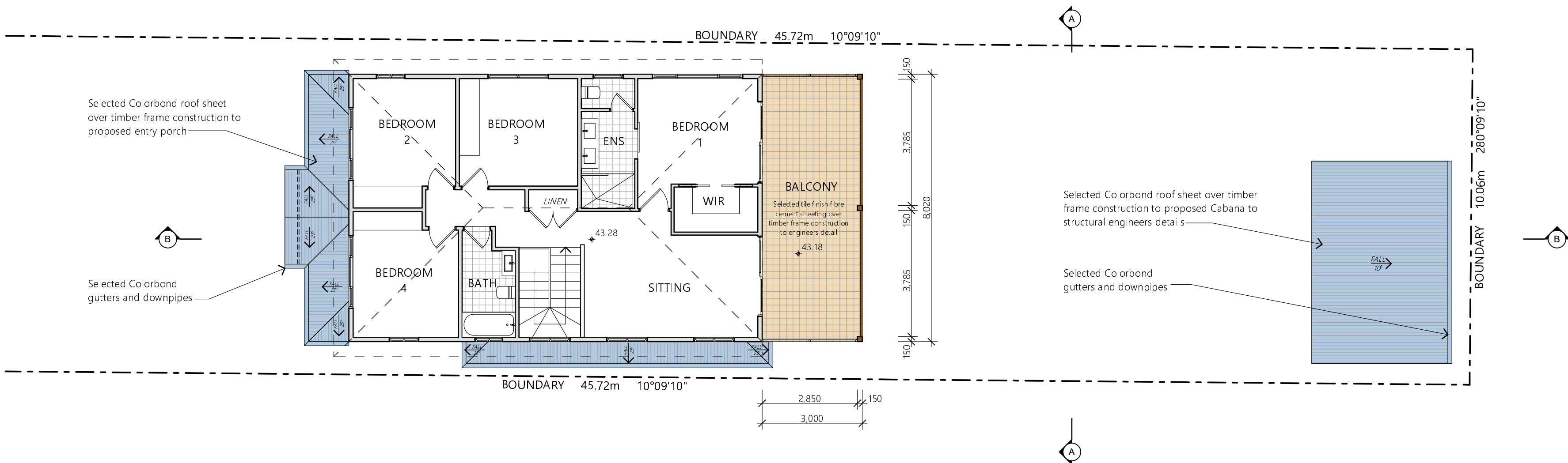
DESIGN SERVICES

ABN 22 630 690 834

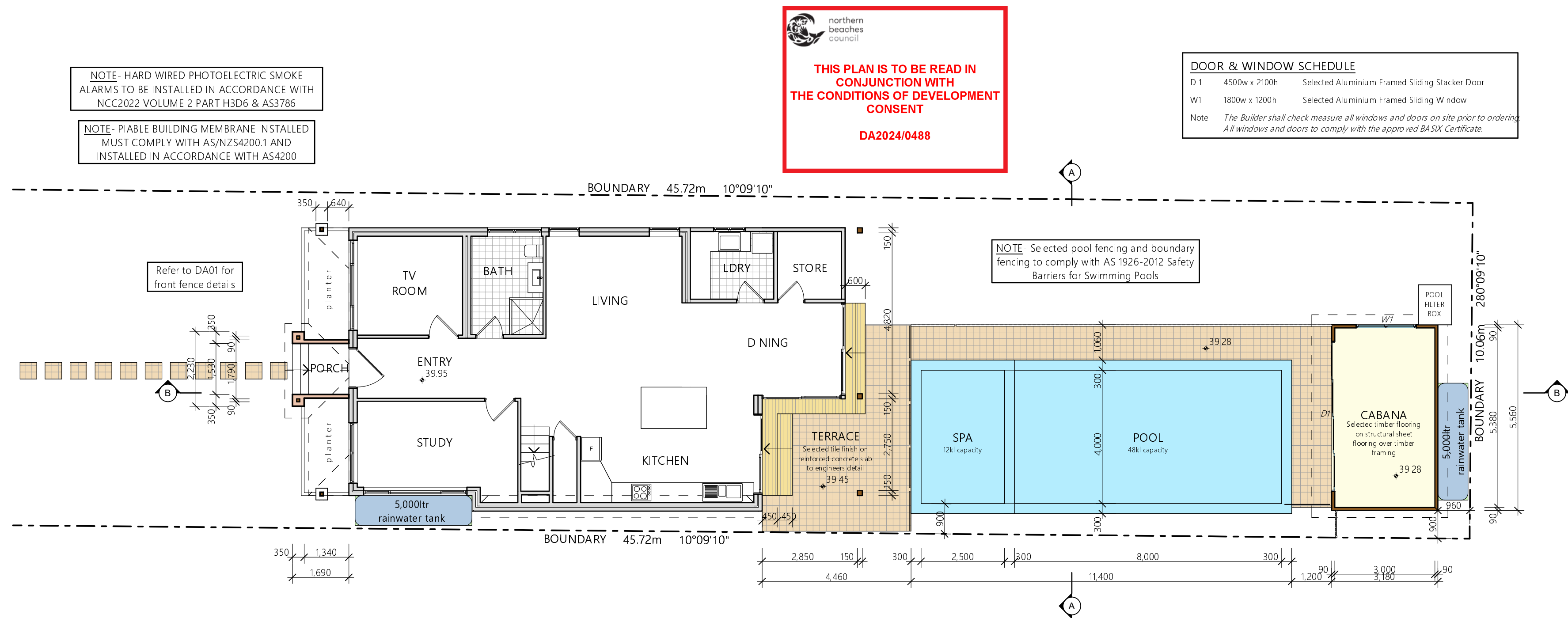
SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085

PH. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title: SITE PLAN & FENCE DETAILS	
Scale: 1:100 @ A2	Date: MARCH 2022
Status: DA submission	Checked By: JAH
Project No: 2322	Drawing No: DA01
Plot Date:	18/06/2024



2 PROPOSED FIRST FLOOR PLAN 1:100



1 PROPOSED GROUND FLOOR PLAN 1:100

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Alternative Water:

DOOR & WINDOW SCHEDULE

D 1	4500w x 2100h	Selected Aluminium Framed Sliding Stacker Door
W1	1800w x 1200h	Selected Aluminium Framed Sliding Window

Note: The Builder shall check measure all windows and doors on site prior to ordering. All windows and doors to comply with the approved BASIX Certificate.

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NOTE - HARD WIRED PHOTOELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC2022 VOLUME 2 PART H3D6 & AS3786

NOTE - PIABLE BUILDING MEMBRANE INSTALLED MUST COMPLY WITH AS/NZS4200.1 AND INSTALLED IN ACCORDANCE WITH AS4200

NOTE - Selected pool fencing and boundary fencing to comply with AS 1926-2012 Safety Barriers for Swimming Pools

Project North

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Client

MR. GIBSON & MS. WRIGHT

Project Name

PROPOSED ALTERATIONS + ADDITIONS

41 WILSON STREET

LOT 1, DP 124022

FRESHWATER NSW 2096

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DESIGN SERVICES

ABN 22 630 690 834

SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085

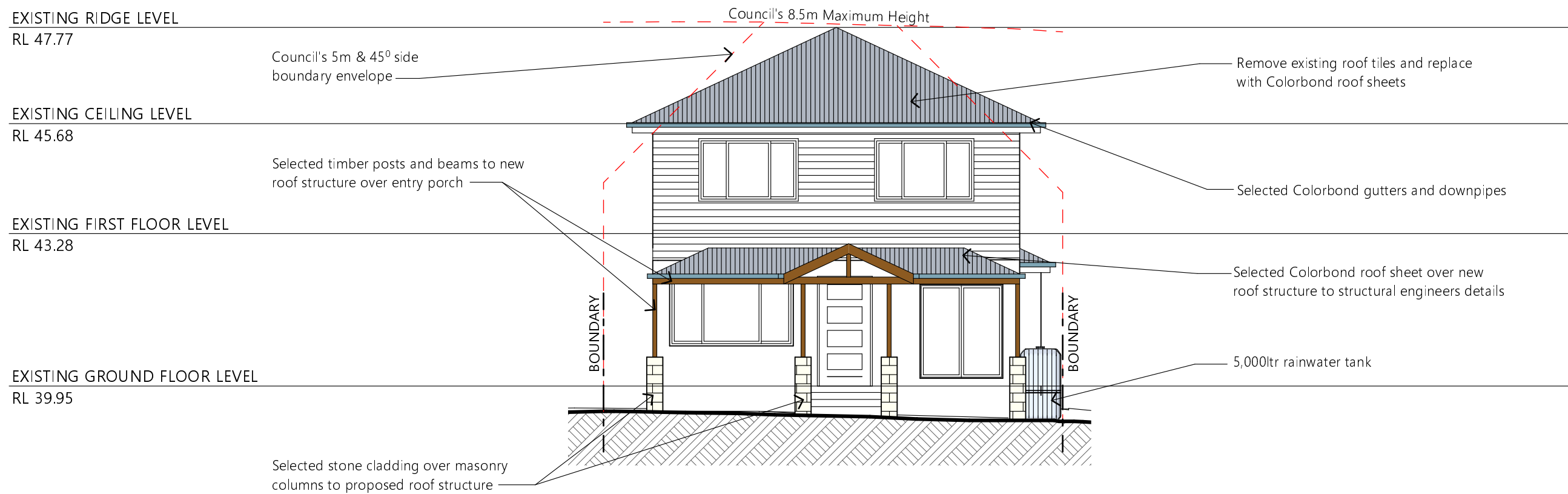
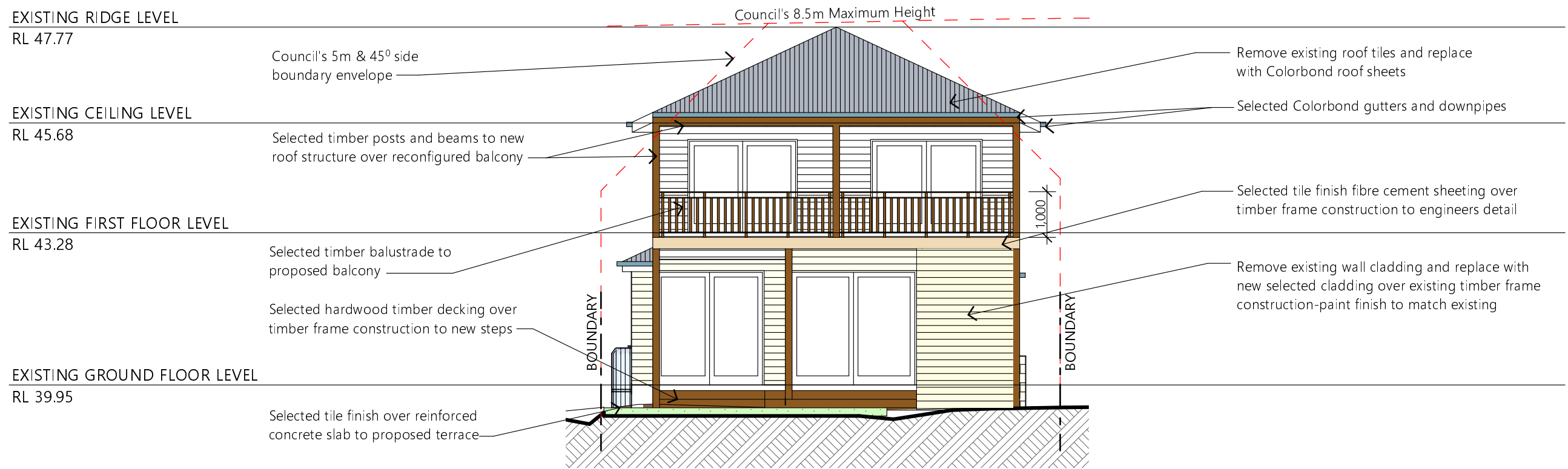
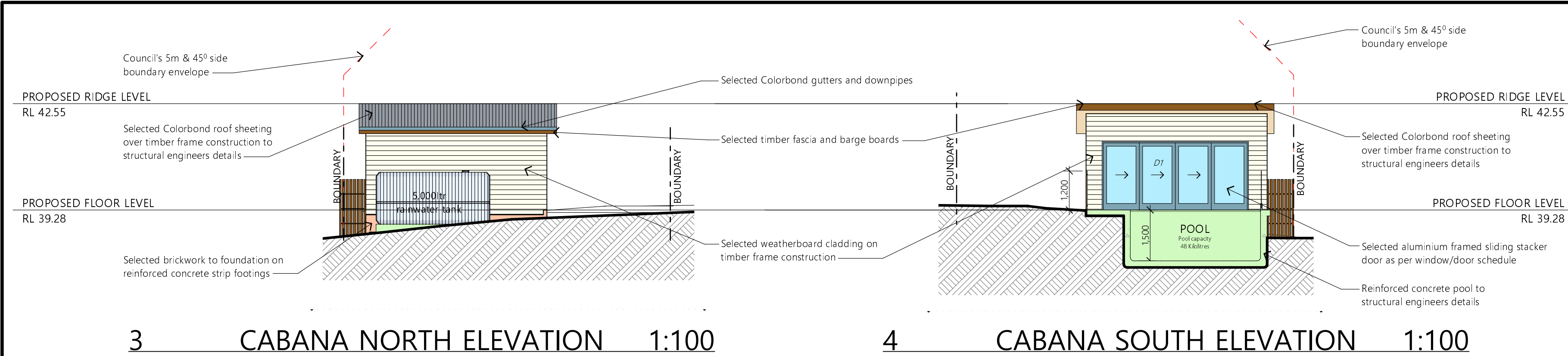
PH. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:

PROPOSED FLOOR PLANS

Scale: 1:100 @ A2	Date: MARCH 2022
Status: DA submission	Checked By: JAH
Project No: 2322	Drawing No: DA03

Plot Date: 22/04/2024



 northern beaches council

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Alternative Water: A minimum 9537.50 litre rainwater tank shall be installed to collect runoff from at least 156m² of roof and connected to a tap within 10m of the pool edge.

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Client

MR. GIBSON & MS. WRIGHT

Project Name

PROPOSED ALTERATIONS + ADDITIONS

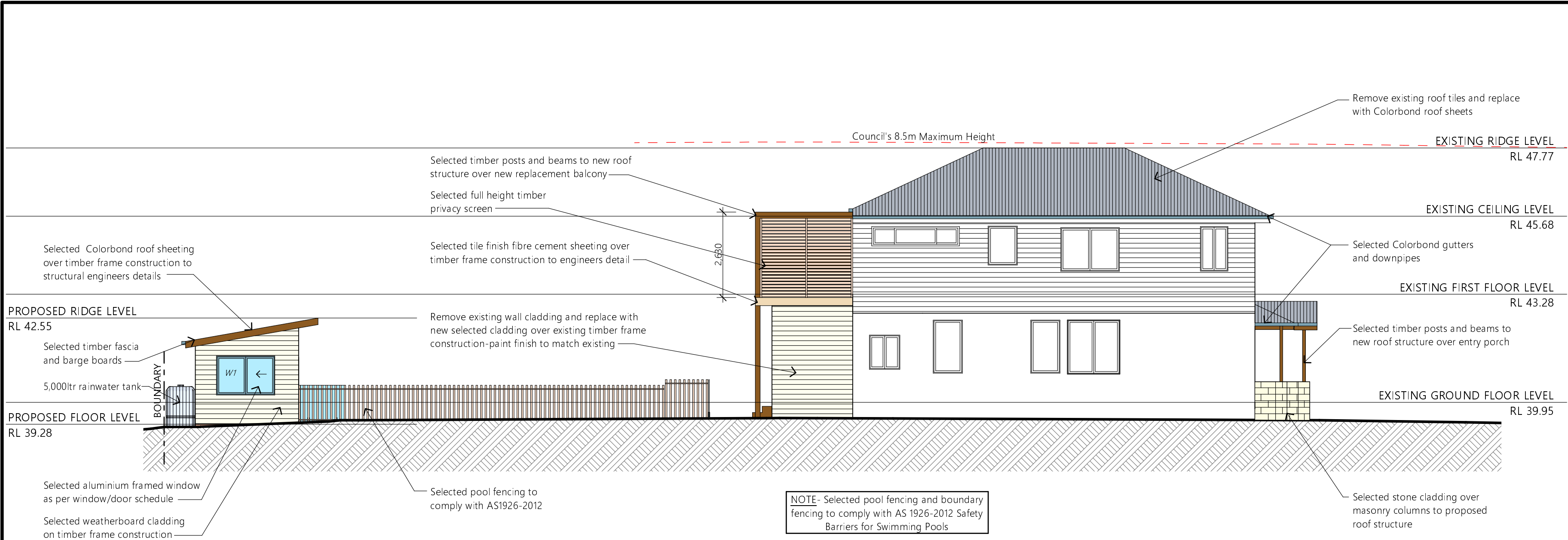
41 WILSON STREET

LOT 1, DP 124022

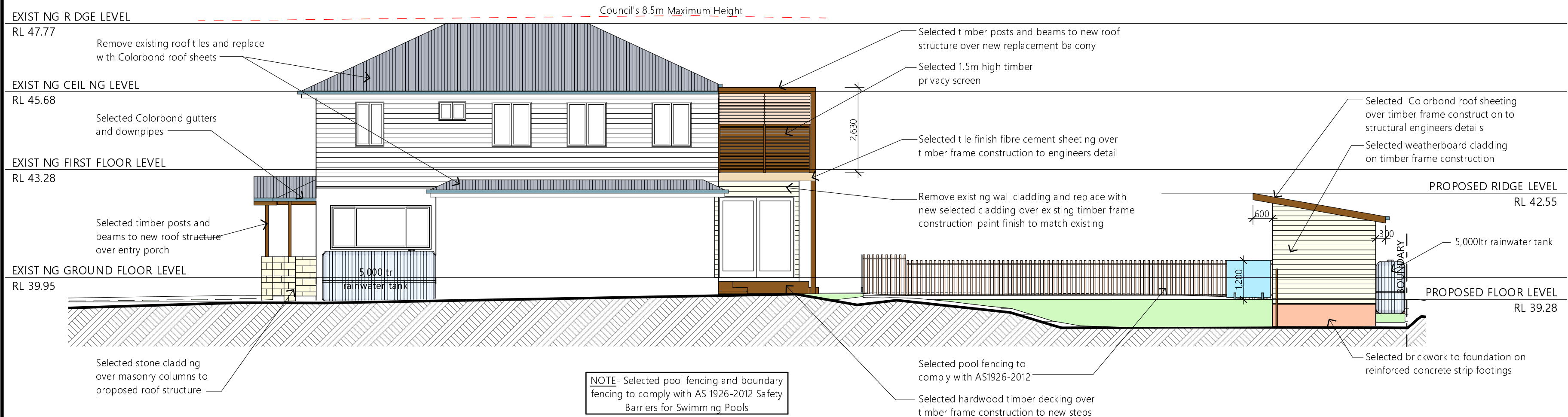
FRESHWATER NSW 2096



Drawing Title: NORTH & SOUTH ELEVATIONS	
Scale: 1:100 @ A2	Date: MARCH 2022
Status: DA submission	Checked By: JAH
Project No: 2322	Drawing No.: DA04
Plot Date: 22/04/2024	



2 WEST ELEVATION 1:100



1 EAST ELEVATION 1:100

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Client

MR. GIBSON & MS. WRIGHT

Project Name

PROPOSED ALTERATIONS + ADDITIONS

41 WILSON STREET

LOT 1, DP 124022

FRESHWATER NSW 2096

JAH

DESIGN SERVICES

ABN 22 630 690 834

SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085

PH. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

EAST & WEST ELEVATIONS

Scale: 1:100 @ A2 **Date:** MARCH 2022

Status: DA submission **Checked By:** JAH

Project No: 2322 **Drawing No:** DA05

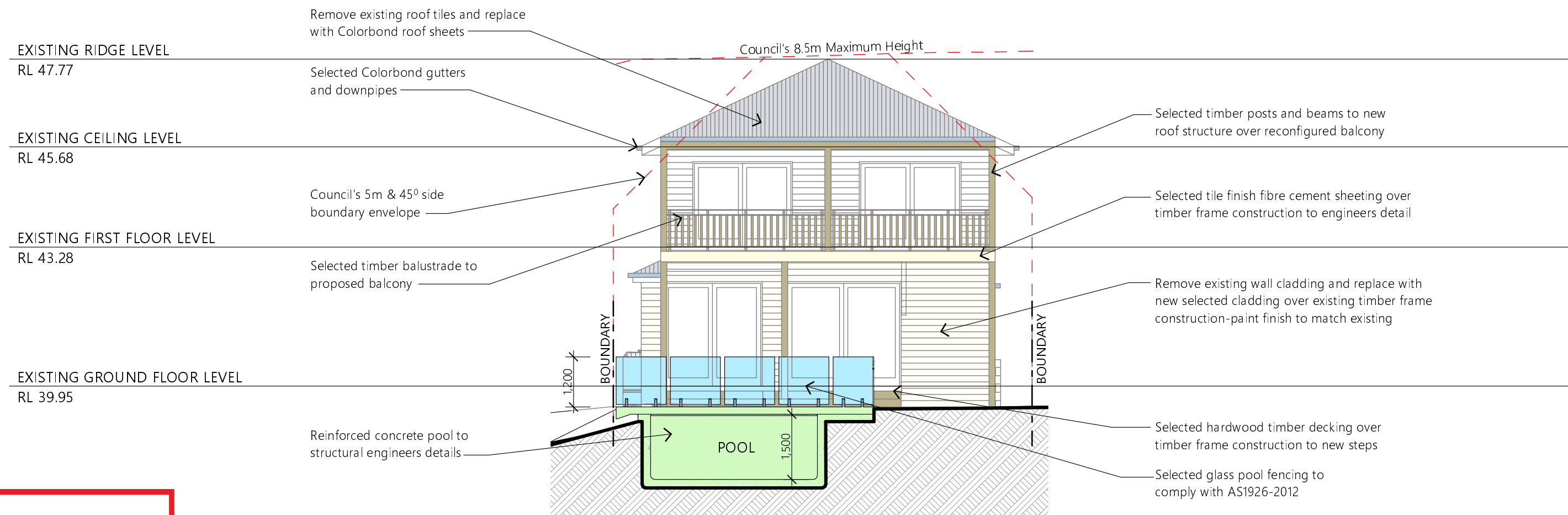
Plot Date: 22/04/2024



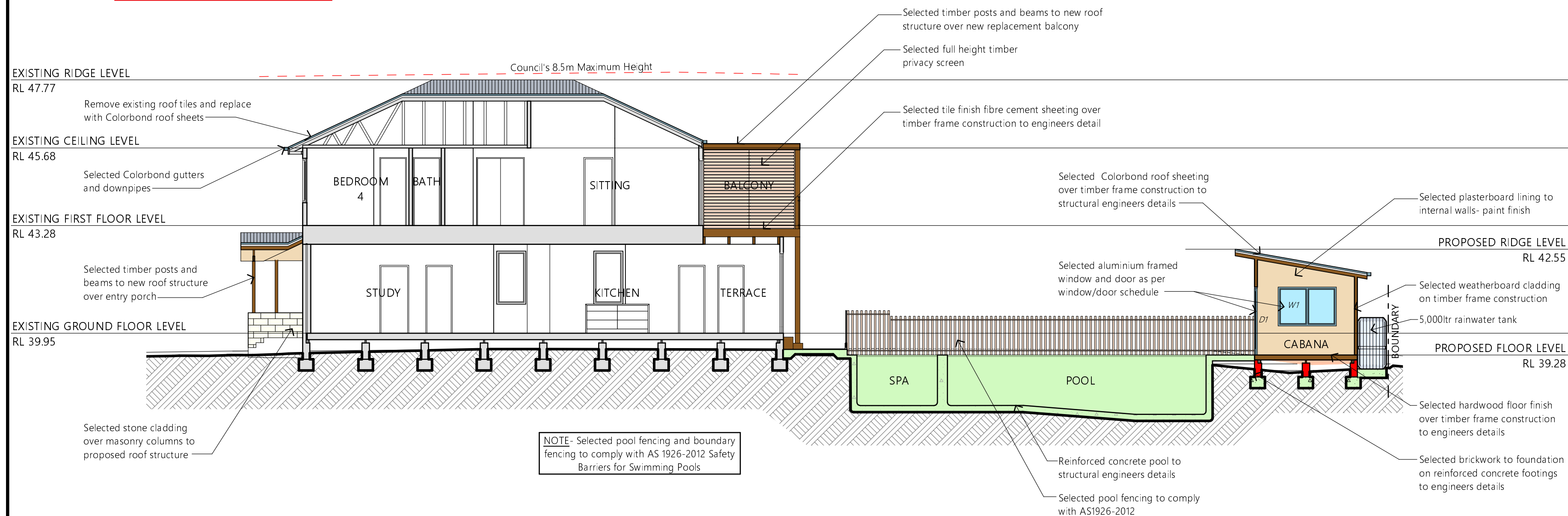
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1 SECTION A-A 1:100



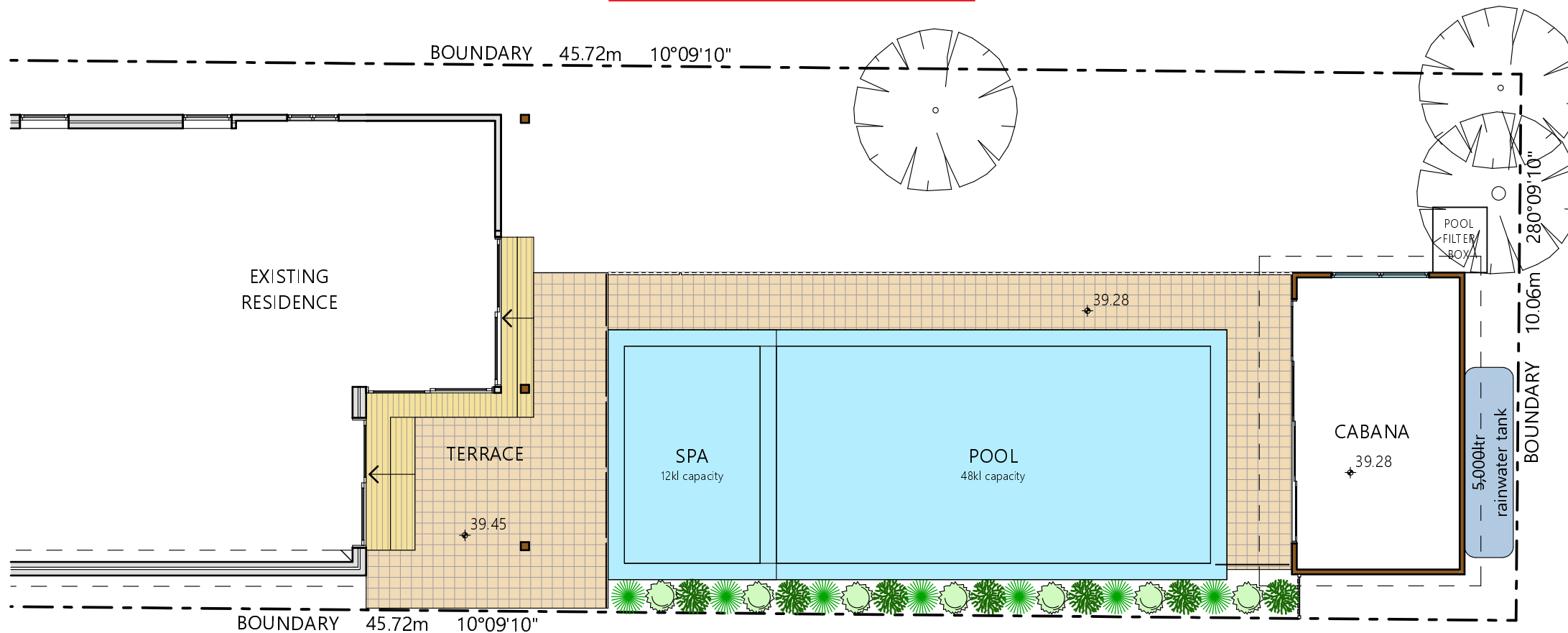
2 SECTION B-B 1:100

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Client MR. GIBSON & MS. WRIGHT Project Name PROPOSED ALTERATIONS + ADDITIONS 41 WILSON STREET LOT 1, DP 124022 FRESHWATER NSW 2096	
 ABN 22 630 690 834 SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085 PH. 0410 410 064 EMAIL: julie@jahdesigns.com.au	
Drawing Title: SECTIONS	
Scale: 1:100 @ A2	Date: MARCH 2022
Status: DA submission	Checked By: JAH
Project No: 2322	Drawing No.: DA06
Plot Date: 22/04/2024	



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LEGEND

- Bird of Paradise (*Strelitzia reginae*)
- Kangaroo Paw (*Anigozanthos flavidus*)
- Agapanthus (*Agapanthus africanus*)

1 LANDSCAPE PLAN 1:100

NOTES

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Client

MR. GIBSON & MS. WRIGHT
Project Name
PROPOSED ALTERATIONS + ADDITIONS
41 WILSON STREET
LOT 1, DP 124022
FRESHWATER NSW 2096



ABN 22 630 690 834
SUITE 106, 138 NARABANG WAY, BELROSE NSW 2085
PH. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:

LANDSCAPE PLAN

Scale:	1:100 @ A3	Date:	JANUARY 2024
Status:	DA submission	Checked By:	JAH
Project No:	2322	Drawing No:	DA07
Plot Date:	22/04/2024		

HYDRAULIC DETAILS FOR PROPOSED ALTERATIONS & ADDITIONS AT 41 WILSON STREET FRESHWATER NSW 2096

DRAWING LIST - CIVIL / HYDRAULICS

S01	DRAWING TITLE, INDEX & NOTES
S02	ROOF DRAINAGE DETAILS
S03	FIRST FLOOR DRAINAGE PLAN
S04	GROUND FLOOR DRAINAGE PLAN
S05	DETAILS
S06	SEDIMENT CONTROL PLAN

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BASIX REQUIREMENT
RAINWATER TANK TO BASIX
REQUIREMENT



10.	17.7	240	52.2	810	154	2380
5.	12.5	190	36.9	570	109	1680
4.	11.2	175	33.0	510	97.2	1500
3.	9.7	150	28.6	440	84.2	1300
2.	7.9	120	23.3	360	68.7	1060
1.	5.6	85	16.5	260	48.6	750
FRICTION SLOPE (%)	Q (l/s)	EIA (m2)	Q (l/s)	EIA (m2)	Q (l/s)	EIA (m2)
	Ø100 mm uPVC		Ø150mm uPVC		Ø225 mm uPVC	

EIA = EQUIVALENT IMPERVIOUS AREA

HYDRAULIC NOTES

- H.1. ALL SERVICES ARE TO BE LOCATED IN THE FIELD IN CONJUNCTION WITH A RESPONSIBLE OFFICER OF EACH RELEVANT AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- H.2. DRAINAGE PITS ARE TO BE 450 mm SQUARE OR LARGER AND FITTED WITH A GALVANISED GRATE.
- H.3. DRAINAGE PIPE SIZES ARE Ø100 mm UNLESS NOTED.
- H.4. DRAINAGE PIPES SHALL BE SEWER GRADE PVC UNLESS NOTED.
- H.5. ALL BARE SOIL AREAS ARE TO BE PROTECTED FROM EROSION BY TEMPORARY MEASURES RE-VEGETATED AT CESSATION OF CONSTRUCTION.
- H.6. A SEDIMENT CATCHMENT POND IS TO BE PROVIDED AT THE RATE OF 120 m3 CAPACITY PER HECTARE DRAINED. THE DETENTION TANKS MAY BE USED FOR THIS PURPOSE, PROVIDED SUFFICIENT WATER IS RETAINED AS A POOL DURING CONSTRUCTION & ADEQUATE SAFETY FENCING IS PROVIDED.
- H.7. THE DOWNHILL BOUNDARY OF THE SITE IS TO BE PROTECTED BY HAY BALE OR FILTER FABRIC FENCE DURING CONSTRUCTION AS SHOWN IN ATTACHED DETAIL.
- H.8. THE STREET DRAINAGE PIT LOCATED DOWNHILL OF THE SITE SHALL BE PROTECTED FROM SEDIMENT WITH HAY BALES.
- H.9. A SINGLE CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED IN THE MANNER SHOWN IN ATTACHED H.9 DETAIL.
- H.10. ALL EROSION PROTECTION MEASURES TO MEET THE REQUIREMENTS OF THE DEPT. OF CONSERVATION AND LAND MANAGEMENT AS OUTLINED IN 'URBAN EROSION & SEDIMENT CONTROL', SCS TECH. HANDBOOK No.2 1978 UNLESS SPECIFIED BY COUNCIL.

SPECIAL NOTES

1. ALL PIPES TO BE LAID ON 75 mm SAND BED WITH THE BARRELS FULLY SUPPORTED ("B" CLASS BEDDING)
2. PROVIDE "CLEANING EYES" TO ALL DOWN PIPES NOT DIRECTLY CONNECTED TO PITS.
3. "HEAVY DUTY" GRATES AND COVERS ARE TO BE PROVIDED IN TRAFFICABLE AREAS.
4. THE SUMP IN THE DETENTION TANK SHALL BE DELETED.
5. ORIFICE PLATES USED TO RESTRICT THE OUTFLOW MUST BE MACHINED TO THE EXACT DIMENSION AS CALCULATED, FROM MINIMUM 3 mm THICK STAINLESS STEEL OR 3 mm THICK GALVANISED STEEL AFTER MACHINING. THEY MUST BE CAST IN THE PIT WALLS OR PERMANENTLY FIXED IN THE PIT BY SOME APPROVED METHOD SO THEY CANNOT BE EASILY REMOVED.
6. A PLAQUE MEASURING NO LESS THAN 400 mm X 200 mm SHALL BE IN SOME WAY PERMANENTLY ATTACHED AND PROMINENTLY DISPLAYED WITHIN THE IMMEDIATE VICINITY OF THE OSD DEVISE. THIS PLAQUE SHALL ADVISE OCCUPIERS OF THE PROPERTY OF THE EXISTENCE OF THE OSD DEVISE AND ALSO THAT THE DEVISE IS NOT IN ANY WAY TO BE TAMPERED WITH OR CHANGED WITHOUT PRIOR WTITTEN CONSENT OF COUNCIL.
7. THE CONSTRUCTED OSD INSTALLATION MUST BE APPROPRIATELY CERTIFIED BY A SUITABLY QUALIFIED AND EXPERIENCED CONSULTING ENGINEER (GENERALLY CP ENG. QUALIFICATION) WHO MUST STATE THAT IT COMPLIES WITH COUNCIL'S OSD POLICY, ALL RELEVANT CODES AND STANDARDS AND ALSO THAT IT IS GENERALLY IN ACCORDANCE WITH APPROVED PLANS.
8. UPON COMPLETION OF THE OSD WORKS, WORK-AS-EXECUTED (WAE) PLANS SHALL BE SUBMITTED TO THE COUNCIL BY THE CONSULTING ENGINEER/REGISTERED SURVEYOR TO VERIFY THAT THE VOLUME OF STORAGE HAS BEEN ATTAINED AND THAT CRITICAL WATER AND FLOOR LEVELS ARE IN ACCORDANCE WITH DESIGN REQUIREMENTS. ANY CHANGES OR VARIATIONS TO THE APPROVED PLANS SHALL BE HIGHLIGHTED IN RED.
9. CERTIFICATION ON THE STANDARD FORM FOR ON-SITE DETENTION RECORD OF INSTALLATION ISSUED BY COUNCIL AND WAE PLANS SHALL BE SUBMITTED TOGETHER WITH THE COMPLIANCE CERTIFICATE.

CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND @ 2.5m INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

Issue	Description	Date	Design	Check	ARCHITECT/CLIENT	PROJECT:	CIVIL - HYDRAULICS	REGISTERED NER Engineers Australia	BIJAYA GIRI (MIEAust, CPEng, NER) Prime Consulting Engineers Pty Ltd	THE COPY RIGHT OF THIS DRAWING REMAINS WITH PRIME CONSULTING ENGINEERS PTY. LTD.	PCE Prime Consulting Engineers
0	For Submission	20.06.2024	KK	SD	BEN GIBSON JAH DESIGN	HYDRAULIC DETAILS FOR PROPOSED ALTERATIONS & ADDITIONS AT 41 WILSON STREET FRESHWATER NSW	Size A3 Scale U.N.O 1:100				CIVIL - STRUCTURAL - HYDRAULICS A.B.N. 34 641 874 795 Level M/ 394 LANE COVE ROAD, MACQUARIE PARK, NSW 2113 e: info@primeengineers.com.au w: www.primeengineers.com.au p: 02 8964 1818 m: 0466 053 516
						TITLE: DRAWING TITLE, INDEX & NOTES	DWG no. H-24-938				
							Sheet no. 01				

SITE PARAMETERS & TANK DETAILS	
SITE AREA	459.00 m2
PROPOSED IMPERVIOUS AREA	270.49 m2
OSD VOLUME REQ.	NO
RAINWATER TANK VOLUME	TO BASIX



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LEGEND:

DP1

DPS

SW1

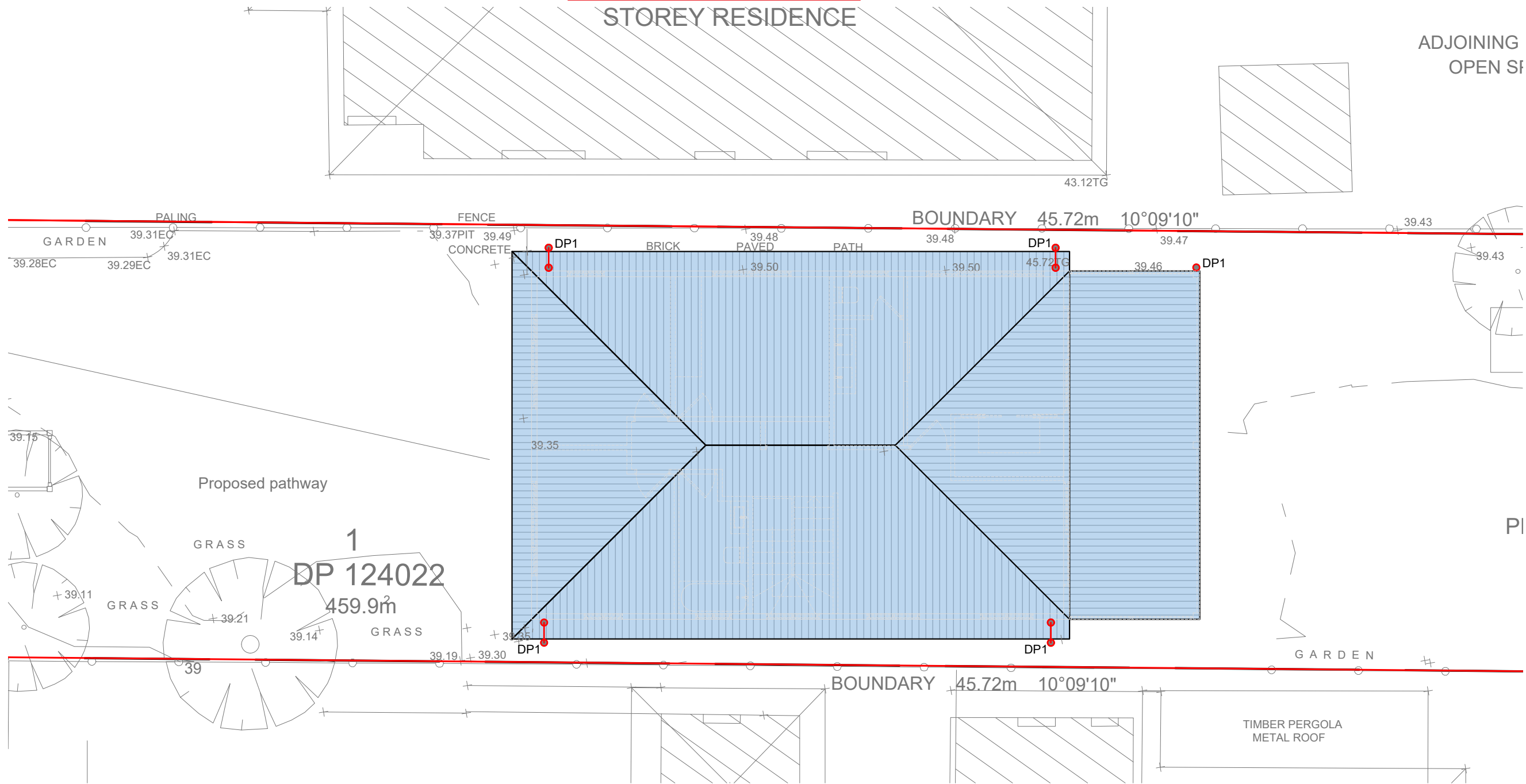
NEW DOWNPIPE (Ø100 mm uPVC)

DOWNPIPE SPREADER (Ø100 mm uPVC)

NEW Ø100 uPVC STORMWATER PIPE MIN. 1% FALL (U.N.O)

SEDIMENT CONTROL FENCE

RAIN WATER TANK



ROOF DRAINAGE PLAN

SCALE 1:100

Issue	Description	Date	Design	Check	ARCHITECT/CLIENT	PROJECT:	CIVIL - HYDRAULICS	REGISTERED NER Engineers Australia THE COPY RIGHT OF THIS DRAWING REMAINS WITH PRIME CONSULTING ENGINEERS PTY. LTD.	BIJAYA GIRI (MIEAust, CPEng, NER) Prime Consulting Engineers Pty Ltd		PCE Prime Consulting Engineers CIVIL - STRUCTURAL - HYDRAULICS A.B.N. 34 641 874 795 Level M/ 394 LANE COVE ROAD, MACQUARIE PARK, NSW 2113 e: info@primeengineers.com.au w: www.primeengineers.com.au p: 02 8964 1818 m: 0466 053 516	
0	For Submission	20.06.2024	KK	SD	BEN GIBSON JAH DESIGN	HYDRAULIC DETAILS FOR PROPOSED ALTERATIONS & ADDITIONS AT 41 WILSON STREET FRESHWATER NSW	Size A3					Scale U.N.O 1:100
						TITLE: ROOF DRAINAGE PLAN	DWG no. H-24-938					Sheet no. 02

SITE PARAMETERS & TANK DETAILS	
SITE AREA	459.00 m2
PROPOSED IMPERVIOUS AREA	270.49 m2
OSD VOLUME REQ.	NO
RAINWATER TANK VOLUME	TO BASIX



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LEGEND:

- DP1

NEW DOWNPIPE (Ø100 mm uPVC)

DPS

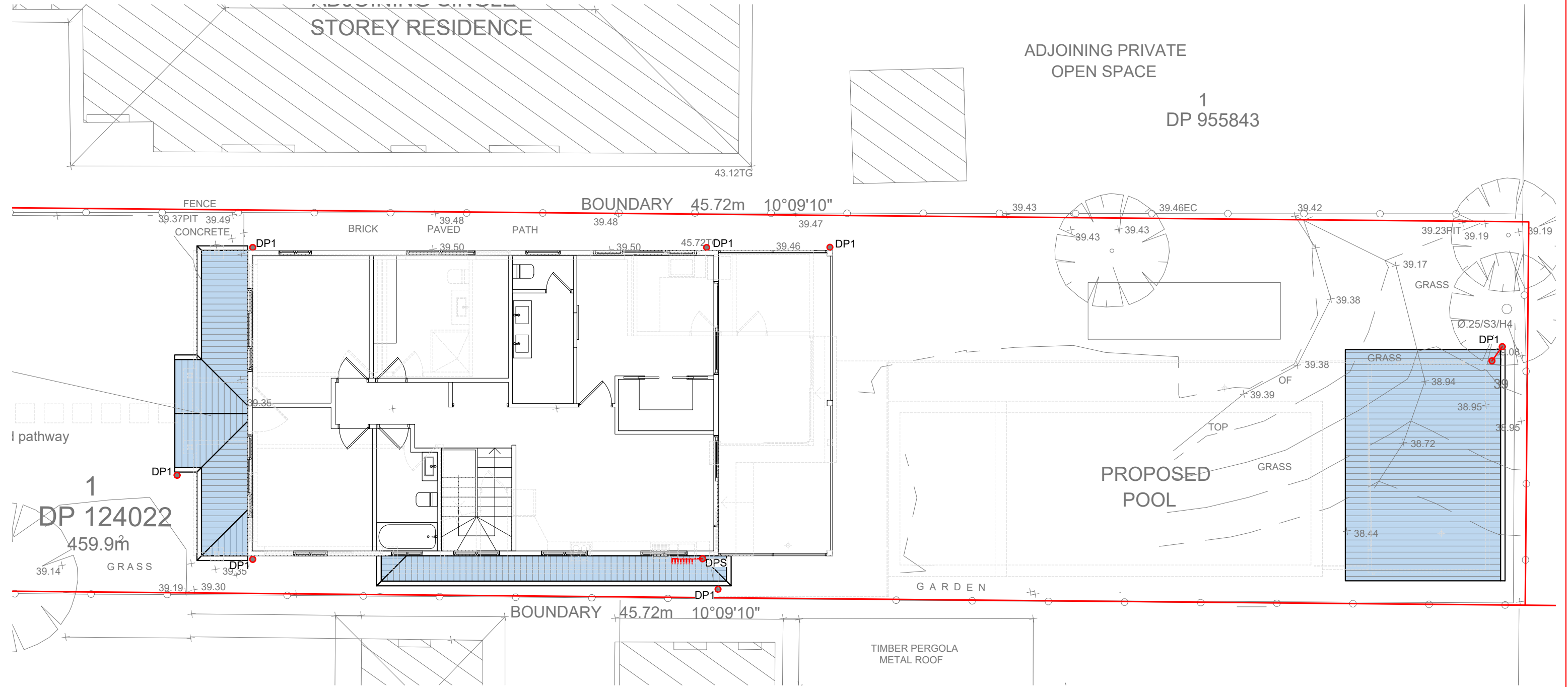
DOWNPIPE SPREADER (Ø100 mm uPVC)

SW1

NEW Ø100 uPVC STORMWATER PIPE MIN. 1% FALL (U.N.O)

SEDIMENT CONTROL FENCE

RAIN WATER TANK



FIRST FLOOR DRAINAGE PLAN
SCALE 1:100

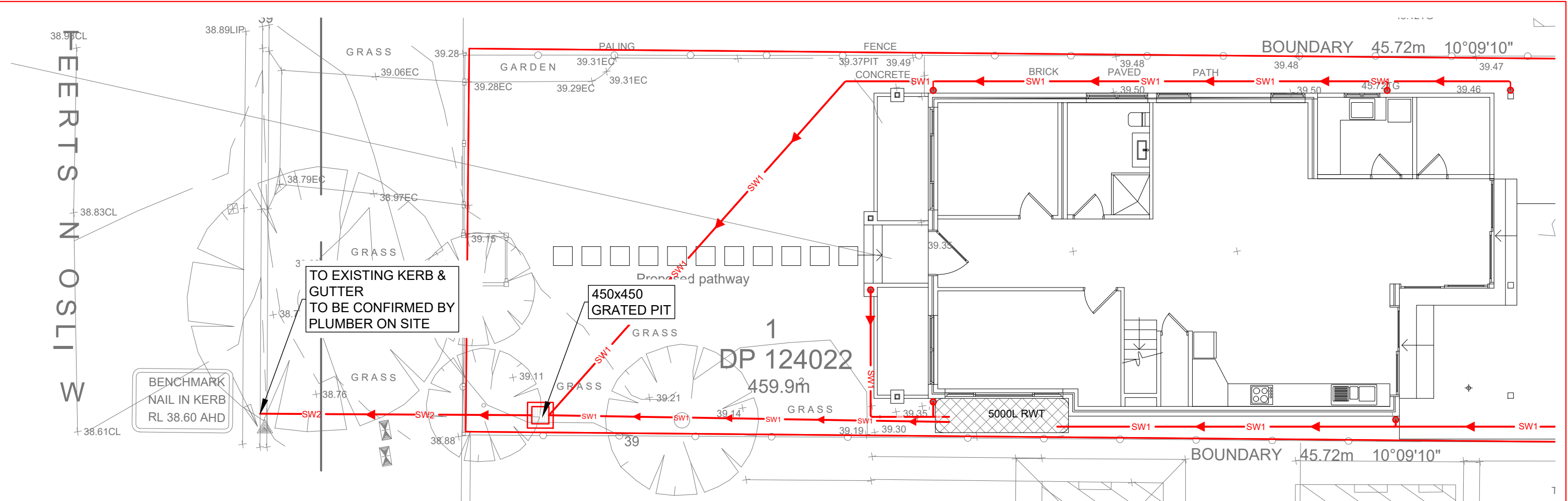
Issue	Description	Date	Design	Check	ARCHITECT/CLIENT	PROJECT:	CIVIL - HYDRAULICS	PRIME CONSULTING ENGINEERS	
0	For Submission	20.06.2024	KK	SD	BEN GIBSON JAH DESIGN	HYDRAULIC DETAILS FOR PROPOSED ALTERATIONS & ADDITIONS AT 41 WILSON STREET FRESHWATER NSW	Size A3 Scale U.N.O 1:100	REGISTERED NER Engineers Australia	BIJAYA GIRI (MIEAust, CPEng, NER) Prime Consulting Engineers Pty Ltd
						TITLE: FIRST FLOOR DRAINAGE PLAN	DWG no. H-24-938 Sheet no. 03	THE COPY RIGHT OF THIS DRAWING REMAINS WITH PRIME CONSULTING ENGINEERS PTY. LTD.	



Prime Consulting Engineers

CIVIL - STRUCTURAL - HYDRAULICS A.B.N. 34 641 874 795
Level M/ 394 LANE COVE ROAD, MACQUARIE PARK, NSW 2113
e: info@primeengineers.com.au
p: 02 8964 1818

www.primeengineers.com.au
m: 0466 053 516



LEGEND:

- DP1 NEW DOWNPIPE (Ø100 mm uPVC)
- DPS DOWNPIPE SPREADER (Ø100 mm uPVC)
- SW1 NEW Ø100 uPVC STORMWATER PIPE MIN. 1% FALL (U.N.O)
- SEDIMENT CONTROL FENCE
- RAIN WATER TANK

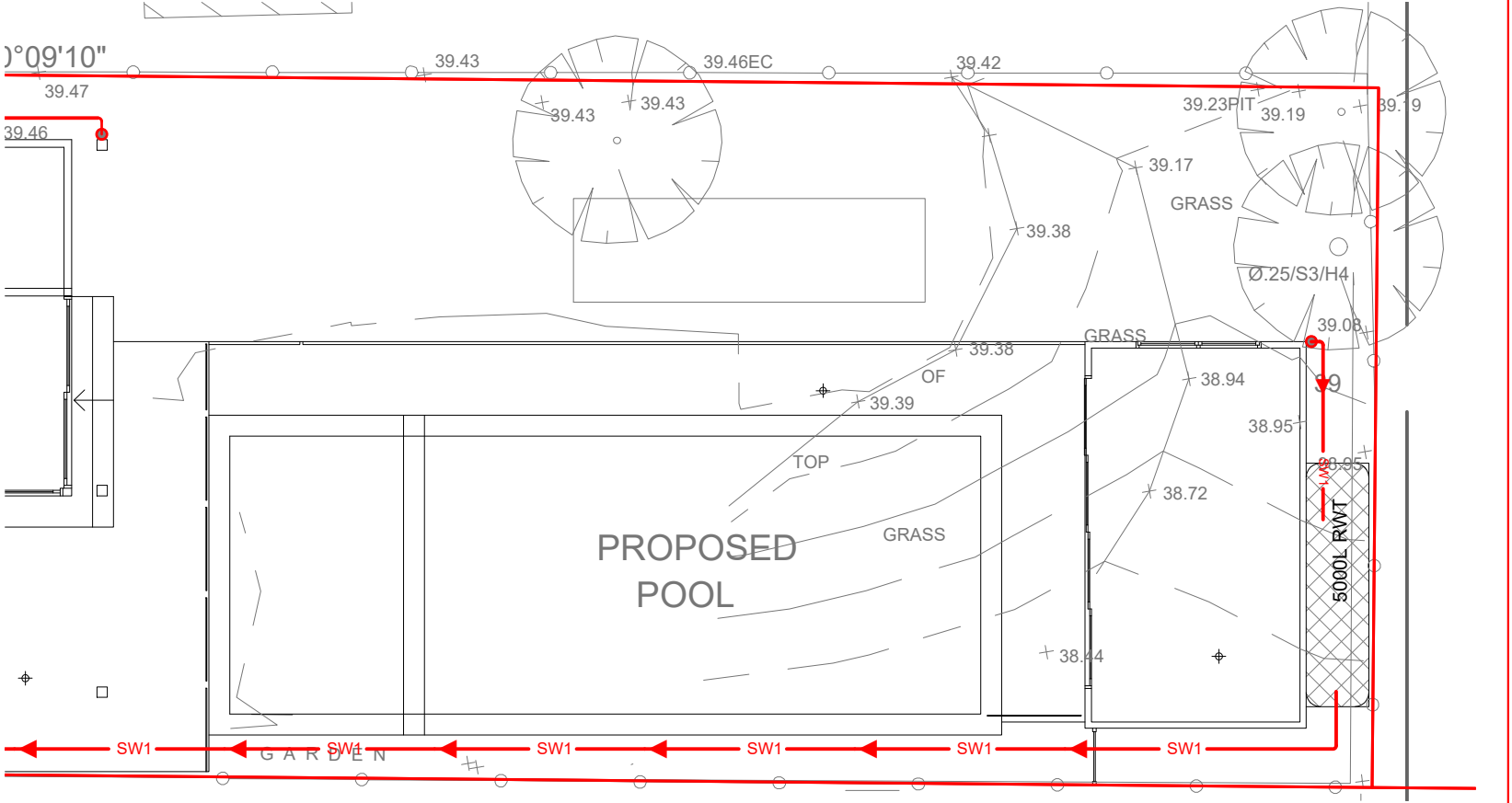
SITE PARAMETERS & TANK DETAILS	
SITE AREA	459.00 m2
PROPOSED IMPERVIOUS AREA	270.49 m2
OSD VOLUME REQ.	NO
RAINWATER TANK VOLUME	TO BASIX



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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2024/0488



GROUND FLOOR DRAINAGE PLAN
SCALE 1:100

NOTE:

FOR RETENTION WATER TO BE USED IN THE GREY WATER SYSTEM, GUTTERS MUST BE FITTED WITH GUTTER GUARDS AND DOWNPIPES FITTED WITH FIRST FLUSH DIVERTER SYSTEMS.

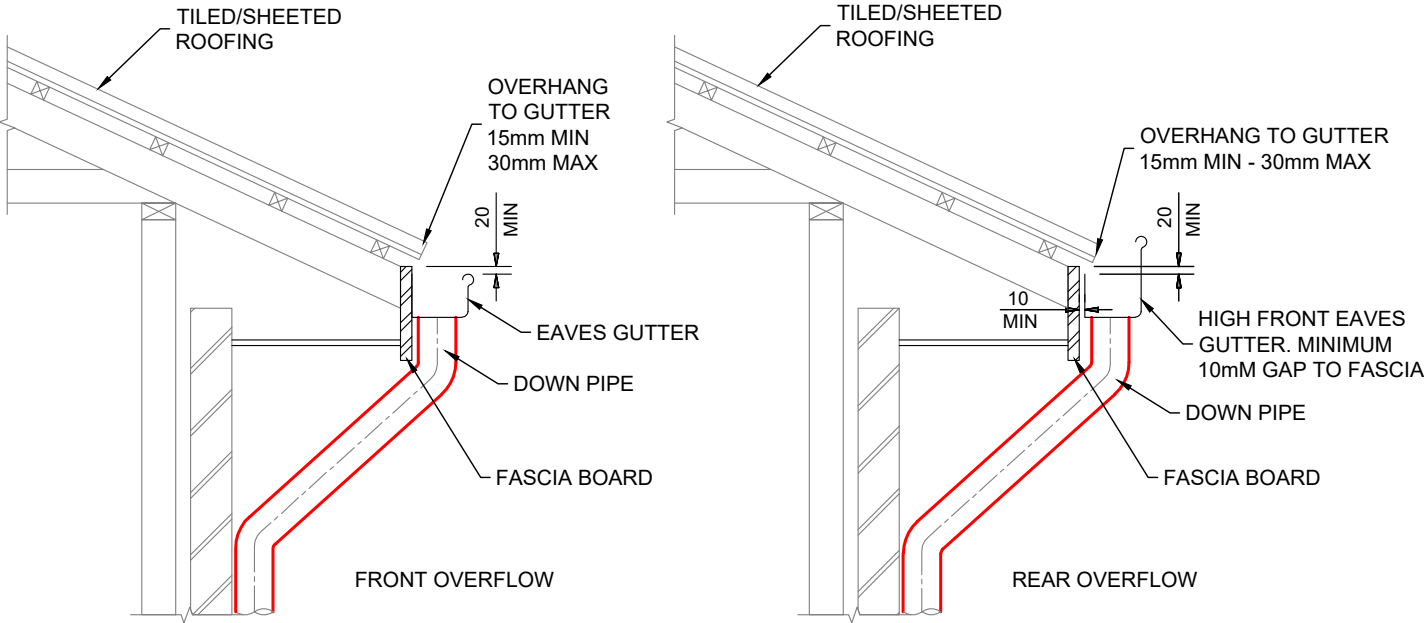
ALL PIPELINES MUST BE ACCESSIBLE FOR CLEANING THROUGH CLEANING EYES.

CONNECTION INTO THE GREY WATER SYSTEM MUST COMPLY WITH SYDNEY WATER GUIDELINES.

NOTE:

ALL GUTTERS MUST BE FITTED WITH GUTTER GUARDS AND DOWN PIPES FITTED WITH FIRST FLUSH DIVERTER SYSTEMS.

ALL PIPELINES MUST BE ACCESSIBLE FOR CLEANING THROUGH CLEANING EYES.



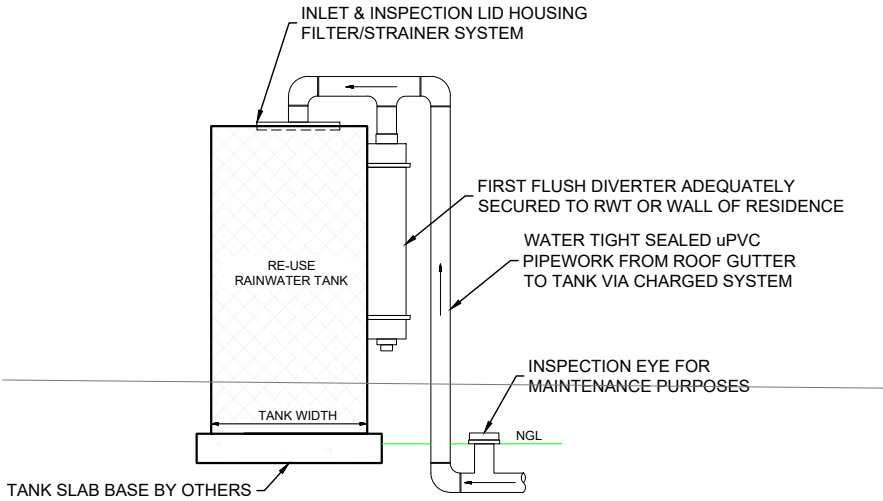
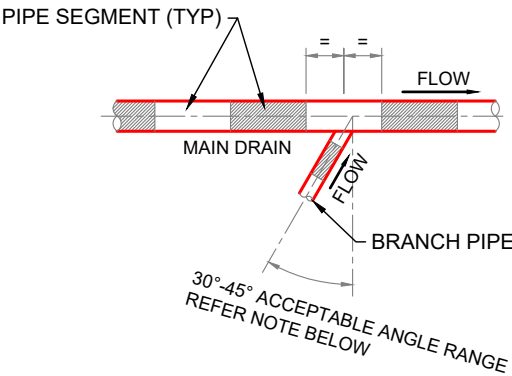
TYPICAL EAVES GUTTER DETAIL

SCALE 1:20

 **northern beaches council**

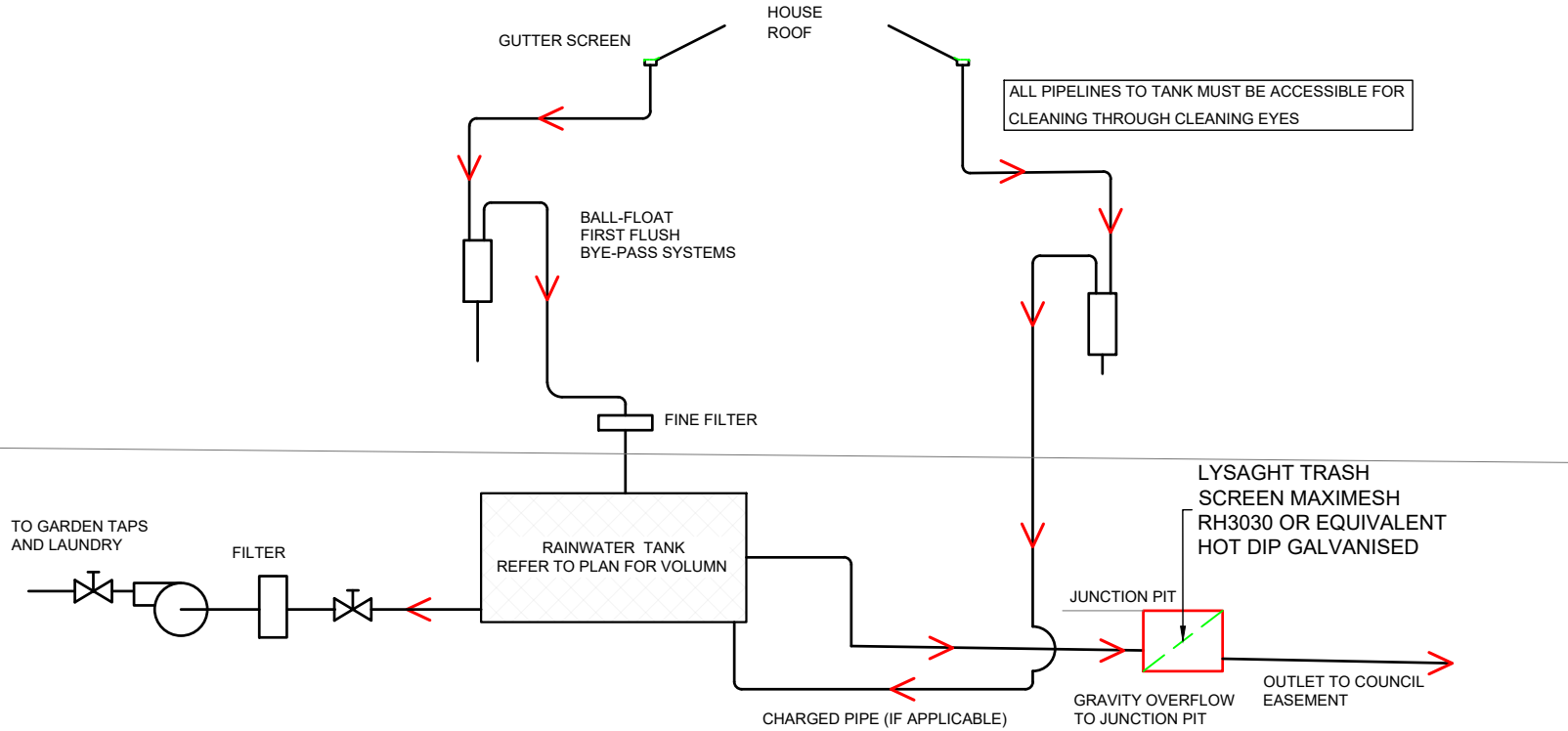
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/0488



TYPICAL FIRST FLUSH DETAIL

N.T.S



FLOW DIAGRAM

N.T.S

Issue	Description	Date	Design	Check	ARCHITECT/CLIENT	PROJECT:	CIVIL - HYDRAULICS	REGISTERED	BIJAYA GIRI (MIEAust, CPEng, NER)	Prime Consulting Engineers Pty Ltd	PCE	Prime Consulting Engineers
0	For Submission	20.06.2024	KK	SD	BEN GIBSON	HYDRAULIC DETAILS FOR PROPOSED ALTERATIONS & ADDITIONS AT 41 WILSON STREET FRESHWATER NSW	Size A3	Scale U.N.O 1:100	Engineers Australia	THE COPY RIGHT OF THIS DRAWING REMAINS WITH PRIME CONSULTING ENGINEERS PTY. LTD.		CIVIL - STRUCTURAL - HYDRAULICS A.B.N. 34 641 874 795
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Issue	Description	Date	Design	Check	ARCHITECT/CLIENT	PROJECT:	CIVIL - HYDRAULICS		 BIJAYA GIRI (MIEAust, CPEng, NER) Prime Consulting Engineers Pty Ltd THE COPY RIGHT OF THIS DRAWING REMAINS WITH PRIME CONSULTING ENGINEERS PTY. LTD.	 Prime Consulting Engineers CIVIL - STRUCTURAL - HYDRAULICS A.B.N. 34 641 874 795 Level M/ 394 LANE COVE ROAD, MACQUARIE PARK, NSW 2113 e: info@primeengineers.com.au w: www.primeengineers.com.au p: 02 8964 1818 m: 0466 053 516
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					JAH DESIGN					
						TITLE: SEDIMENT CONTROL PLAN	DWG no. H-24-938	Sheet no. 06		