

Application for a construction certificate

John J Briggs Associates P/L
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Brookvale NSW 2100
Phone (02) 9907 1018
Fax (02) 9907 1344
johnjbriggs1@bigpond.com

If you want to carry out some building work or subdivision work (such as building roads or a stormwater drainage system) you need a construction certificate before you can start work. You can use this form to apply for a construction certificate. To complete the form, please place a cross in the boxes ☐ and fill out the white sections as appropriate. To minimise delay in receiving a decision about your application, please ensure you submit all relevant information. You need to apply to a certifying authority (either your council or a private certifier).

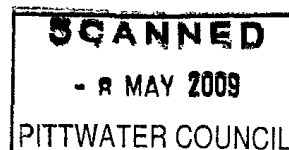
1. Details of the applicant

Mr ☐	Ms ☐	Mrs ☐	Dr ☐	Other ☐	Mr ☒
First name		Family name			
A		Gordon			
Flat/street no		Street name			
28		Warriewood Rd			
Suburb or town		State	Postcode		
Warriewood		NSW	2102		
Daytime telephone		Fax	Mobile		
Email					

2. Identify the land

Flat/street no		Street name	
28		Warriewood Rd	
Suburb or town		Postcode	
Warriewood		2102	
Lot no	Section		
DP/MPS no	Volume/folio		

You can find the lot no, section, DP/MPS no, and volume/folio details on a map of the land or on the title documents for the land. If you need additional room, please attach a schedule and/or a map with these details.



3. Estimated cost of the development

\$ including GST

4. Describe the development

What type of work do you propose to carry out?

Building work ☒

Subdivision work ☐

Describe the work

Alterations & additions

For building work what is the class of the building under the Building Code of Australia?

1a + 10a .

This can be found on the development consent

Has development consent been granted for the development?

No ☐

Yes ☒ What is the development application no ?

737/07

What date was development consent granted?

18 1 08

5. Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐

1 If you are going to carry out **building work**

- ☐ a copy of any compliance certificates on which you rely
☒ detailed plans of the building (4 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any) and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

- ☒ detailed specifications of the building (4 copies)

The specifications are to

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second hand materials to be used

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

- ☒ a plan of the existing building drawn to scale where the application involves building work to alter, enlarge or extend that building

This plan will assist the certifying authority to assess whether the work will reduce the fire protection capacity of the building.

5. continued

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to satisfy provisions of the BCA
- a list of the performance requirements you will meet by using the alternative solution
 - the details of the assessment methods you will use to meet those performance requirements
 - a copy of any compliance certificates on which you rely
- ☐ evidence of any accredited component process or design on which you seek to rely
Components processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000
- ☐ details of the fire safety measures unless you are building a single dwelling or a non-habitable building or structure (such as a private garage carport shed fence antenna wall or swimming pool) These details are to include
- a list of any fire safety measures you propose to include in the building or on the land
 - if you propose to alter add to or rebuild a building that is already on the land a list of the fire safety measures that are currently used in the building or on the land
- The lists must describe the extent capability and the basis of design of each measure*
- ☐ the attached schedule completed for the development
The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services
- You may also need to pay a long service levy under section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such a levy is payable by instalments, the first instalment of the levy) before the certifying authority can issue a certificate to you**

- 2 If you are going to carry out work to do a subdivision (eg building roads or a stormwater drainage system)
- ☐ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- ☐ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water road electricity sewerage)
- ☐ the existing ground levels and the proposed ground levels when the subdivision is completed
- ☐ copies of any compliance certificates on which you rely
- ☐ detailed engineering plans (4 copies) The detailed plans might include the following
- earthworks
 - roadworks
 - road pavement
 - road furnishings
 - stormwater drainage
 - water supply works
 - sewerage works
 - landscaping works
 - erosion control works
- Where you propose to modify plans that have already been approved please mark the approved plans (by colour or otherwise) to show the modification*

5. continued

- 3 If you are going to change the use of a building or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool))

- ☐ a list of any fire safety measures you propose to include in the building or on the land
- ☐ if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land
- ☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure

6. Signatures

The owner(s) of the land must sign this application if

- at the time the owner signed the development application, the owner did not give consent to the applicant to lodge a construction certificate, or
- the owner of the land has changed since the owner signed the development application

As the owner(s) of the above property, I/we consent to this application

Signature



Name

ANGUS GORDON

Date

21 4 09

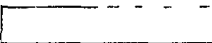
Signature



Name



Date

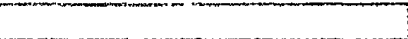


The applicant, or the applicant's agent, must sign the application

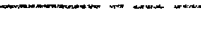
Signature



Name, if you are not the applicant



Date



In what capacity are you signing if you are not the applicant?



7. Privacy policy

The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact the council if the information you have provided in your application is incorrect or changes.

ENTERED

2009 210

Schedule to application for a construction certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics

All new buildings

Please complete the following

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

- 1/2 - 125 /
 adds to
 ex-dwellings

Residential buildings only

Please complete the following details on residential structures

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

—
 —
 —

Yes ☐ No ☐

Yes ☐ No ☐

Yes ☐ No ☐

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s)

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	☐ 11	Tiles	☐ 10	Concrete or slate	☐ 20	Timber	☐ 40
Brick (veneer)	☐ 12	Concrete or slate	☐ 20	Timber	☐ 40	Steel	☐ 60
Concrete or stone	☐ 20	Fibre cement	☐ 30	Other	☐ 80	Aluminium	☐ 70
Fibre cement	☐ 30	Steel	☐ 60	Not specified	☐ 90	Other	☐ 80
Timber	☐ 40	Aluminium	☐ 70			Not specified	☐ 90
Curtain glass	☐ 50	Other	☐ 80				
Steel	☐ 60	Not specified	☐ 90				
Aluminium	☐ 70						
Other	☐ 80						
Not specified	☐ 90						

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ABN 99 089 896 159

Mr A Gordon
28 Warriewood Rd
Warriewood NSW 2102

Construction Certificate

Certificate

I certify that if the work is completed in accordance with the attached plans and specifications which have been approved it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979 This certificate is issued without any conditions for the following premises

Address of Property 28 Warriewood Rd, Warriewood

Plan Numbers Approved Drawings 996-01 to 06 & 08 all dated 23 7 07 prepared by J D Evans & Co Pty Ltd

NOTE REFER TO THE ATTACHED 'SCHEDULE A' LIST OF DETAILS TO BE READ IN CONJUNCTION WITH THIS CONSTRUCTION CERTIFICATE

Information attached to this decision



A Fire Safety Schedule



The Conditions of the Certificate

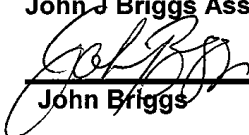
Construction Certificate No 1327CC1

Date of this Decision and Certificate 1st May 2009

Certifying Authority John J Briggs Associates Pty Ltd

Signature

Name of accredited Certifier


John Briggs

**Building Professionals Board
Accreditation No** BPB 0049

Proposal Alterations & additions

Development Consent No 737/07

Date of Determination 18 1 08

Council Area Pittwater

Applicant's right of appeal – If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision

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Phone 02 9907 1018 Fax 02 9907 1344
johnjbriggs1@bigpond.com

JOHN J BRIGGS

ASSOCIATES

ACCREDITED BUILDING CERTIFIERS
ACN 089 896 159

Construction Certificate No 1327CC1

Address 28 Warriewood Rd, Warriewood

Applicant Mr A Gordon

SCHEDULE A

The following is a list of details/plan references that should be read in conjunction with Construction Certificate No 1327CC1

- Structural Engineers details Job SD0809-01 sheets 1, 2 & 4 dated 31 10 08 & sheet 3 dated 25 10 08 prepared by V D M Consulting Engineers
- Pittwater Council – Access Driveway Profiles dated 3 9 08
- Stormwater Management Plan drawing 996-10 dated 23 7 07 prepared by J D Evans & Co Pty Ltd
- Erosion & Sediment control plan drawing 996-09 dated 23 7 07 prepared by J D Evans & Co Pty Ltd
- Schedule of Exterior finishes
- Basix Specification by Upstairs design & Building Co
- Certification of driveway for compliance with Pittwater Council DCP21 & structural design

PO Box 800 Brookvale NSW 2100
Phone 02 9907 1018 Fax 02 9907 1344
johnjbriggs1@bigpond.com.au



PITTWATER COUNCIL

Information for Access Driveway Profiles

1 July 2008 – 30 June 2009

This Plan / Details
to be read in
conjunction with

CONSTRUCTION CERTIFICATE

APPROVAL NO 1327CC1

To
Postal Address Ali Gordon
9 Lakeview Parade
WARRIEWOOD NSW 2102

Date 3rd September 2008

Receipt No 244641
Amount \$73 00

ACCESS DRIVEWAY PROFILE AT 9 Lakeview Parade WARRIEWOOD

- The proposed vehicular access driveway profile shall be as per the enclosed plan EL
- **Type of Construction** Domestic
 - **For Residential single & dual occupancy** - 20MPa Concrete, 150mm thick
 - **For Other** - 20MPa Concrete, 180mm thick with F72 mesh
- **Slab Construction** Vehicular access slab 7.6 long, 4.0 wide at gutter crossing to 5.5 wide at the boundary
 - "G" 450mm from edge of road
 - 50mm below edge of road
- Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an easement may be required for access into the car stand area, carport or garage. Refer to relevant attached profile
- All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised Contractors only,
- Quotations for the work specified above should be obtained from any of the contractors on Council's list and should be for the whole of the work stated,
- Construction of vehicular access will be strictly in accordance with the profile supplied, and
- A formwork inspection by Council is required prior to construction (Provide minimum 24 hours notice)

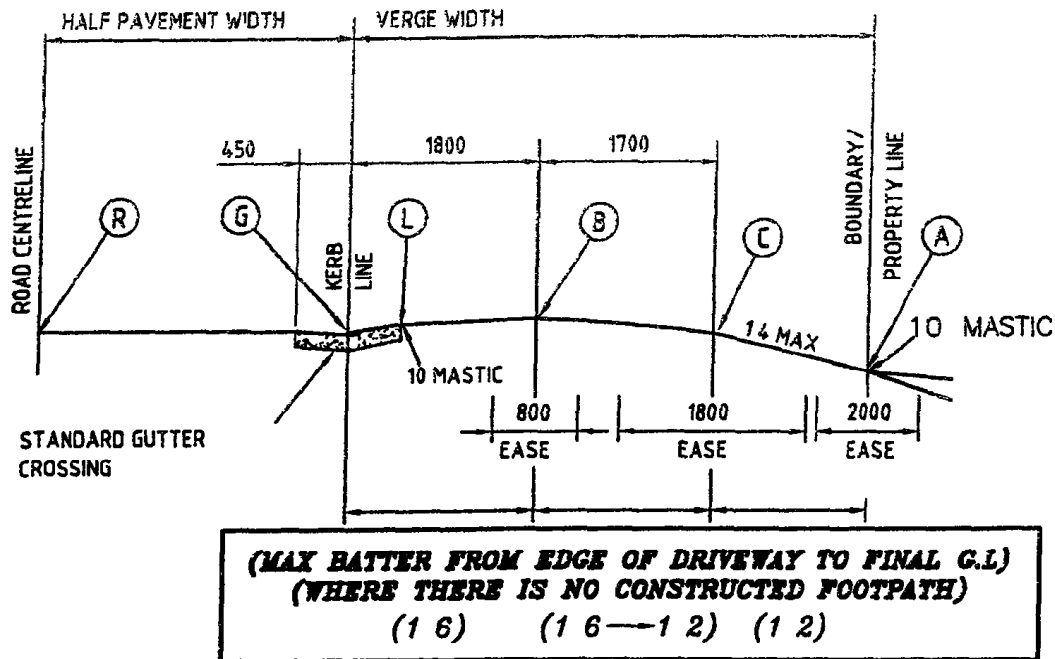
- 1 **NOTE THAT THIS INFORMATION SHEET DOES NOT CONSTITUTE AN APPROVAL TO COMMENCE OR PROCEED WITH ANY WORK ON SITE**
- 2 **A SECTION 139 CONSENT UNDER THE ROADS ACT – 1993 IS REQUIRED (FORM UI203)**
- 3 **FAILURE TO OBTAIN SUCH CONSENT PRIOR TO COMMENCING WORK WILL INCUR A PENALTY**

Sigi Melders
ASSETS / RESTORATIONS OFFICER
Telephone 9970 1348

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

EXTRA LOW (EL)

FOR USE ONLY FOR SINGLE DWELLINGS
OR DUAL OCCUPANCIES



This Plan / Details
to be read in
conjunction with

CONSTRUCTION CERTIFICATE
APPROVAL NO. 1327CC1

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100

POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	MAX 100 ABOVE "G"
B	1800 FROM KERB LINE	135 ABOVE "G"
C	3500 FROM KERB LINE	15 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

NOTES

- To be read in conjunction with Pittwater 21 Development Controls



PITTWATER COUNCIL

Standard Driveway Profile
EXTRA LOW

PLAN No.

PWC-DW07

REV No. B

DATE 5/9/05



VDM Consulting Engineers Pty Ltd
ABN 40 10 544 763
94 Bassett Street
Mona Vale NSW 2103 Australia
Ph (02) 9959 4485
Fax (02) 9959 0193

27 April 2009

Our ref: SD0809-01
Your ref:

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

STRUCTURAL ENGINEERING COMPLIANCE CERTIFICATE

Re additions & alterations to 9 Lakeview St., Warriewood, NSW

We hereby certify that the driveway geometrical dimension and structural components associated with the Additions and Alterations of the proposed development at the above-mentioned address have been specified, designed, drafted by VDM Consulting Engineers Pty using the following Australian Standards and references,

- ⇒ AS/NZS 1170 0 2002 *Structural design actions - General principles*
- ⇒ AS/NZS 1170 1 2002 *Structural design actions - Permanent, imposed and other actions*
- ⇒ AS 2870-1996 *Residential Slabs and Footings-Construction*
- ⇒ AS/NZS 2890 1 2004 *Parking facilities-Off-street car parking*
- ⇒ AS 3600-2001 *Concrete structures*
- ⇒ Pittwater Council Conditions & specifications DCP 21 (DCP Vol 4 App 10-Driveway Profiles) & others
- ⇒ Building Code of Australia (BCA)
- ⇒ Fundamental principles of structural engineering

This certificate shall not construe as relieving any other party of their responsibilities, liabilities or contractual obligations

CERTIFICATION

Responsibility for this report is acknowledged as follows:

Name of person signing - Mario F. Benitez B.E.(Struct) CPEng MIE Aust No - 418917

Signature

Position - Structural Engineer

Name of responsible firm

for and on behalf of person

is signing for - VDM Consulting Engineers Pty Ltd

Address of firm - 94 Bassett Street, Mona Vale NSW 2103

driveway-compliance certificate

28/04/2009 10:38 AM

This Plan / Drawing is
to be read in
conjunction with

CONSTRUCTION CERTIFICATE
1327ccf

JJ BRIGGS
ASSOCIATES
PO BOX 800 BROOKVALE 2100



Upstairs Design
& Building Co

**BASIX Commitments
for
9 Lakeview Parade, Warriewood, 2102
BASIX Certification Number: A20220**

Light Fixings

A minimum of 40% of new or old fixtures will be fitted with fluorescent, compact fluorescent or LED lamps

Bathroom Fixings

New or altered showerheads, toilets and taps will have a minimum 3star water rating

Glazing Requirements/Windows

Window 1, 4 and 5 will be single pyrolytic low-E with a U value of 3.99, SHGC 0.4
Windows 2, 3 and 6 will be single clear with a U value of 5.71, SHGC 0.66

Insulation

- * New or altered framed external walls will have an R value of 1.7 including construction.
- * New suspended floor with open sub-floor framed with have an R value of 1.5 including construction

Kind regards,

Stuart Kelman
28th April 2009

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO 1327CC1

BRIGGS
ASSOCIATES
BROOKVALE



Upstairs Design & Building Co
7 Brinawa Street Mona Vale 2103
Phone 02 9979 4599
Fax 02 9940 0203
Mobile 0402 902 296
Email upstairsdesign@optusnet.com.au
ABN 22 067 710 141 Lic 125621c

Schedule of Exterior Finishes

For 9 Lakeview Pde, Ali Gordon, 23/03/09.

Roof & Gutters

- Woodland Grey (Dulux Colourbond)



Woodland Grey EB & SL *CP

Windows & Trims

- Surfmist (Dulux Colourbond)

Surfmist W ⊙

Walls

- Birch (at 50% as shown, Dulux)



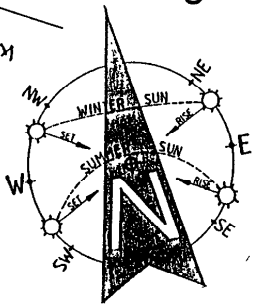
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JJ BRIGGS
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JJ BRIGGS

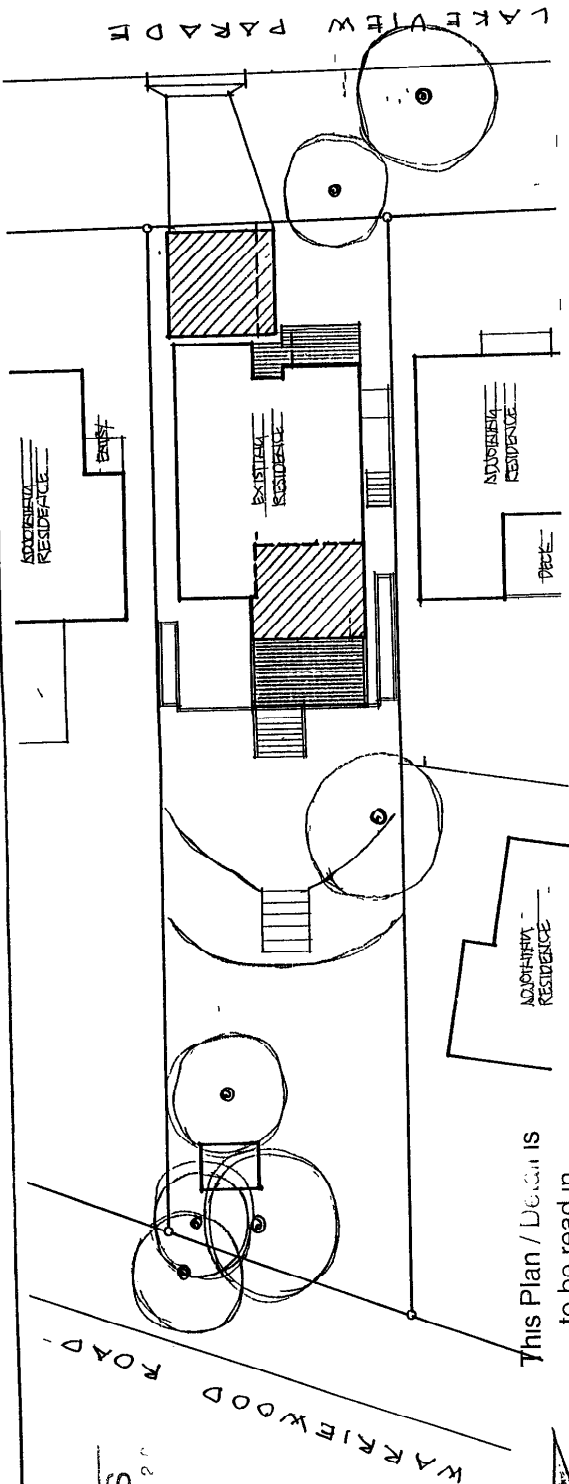
ASSOCIATES

PO BOX 800 BROOKVALE 2100

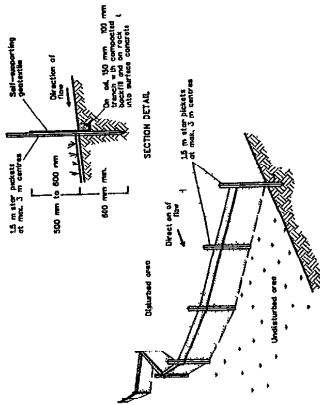


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APPROVAL NO 1327001

EROSION AND SEDIMENT MANAGEMENT PLAN



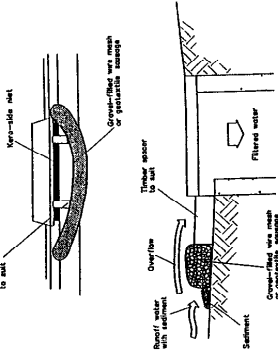
SEDIMENT FENCE



- CONSTRUCTION NOTES**
1. FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
 2. DRIVE 1.5 METRE LONG STRIP POKETS INTO GROUND 30 METRES APART.
 3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE.
 4. FOR THE BOTTOM OF THE TRENCH TO BE 100MM DEEPER THAN THE UPSLOPE LINE OF THE FENCE.
 5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 100MM OVERLAP.

1. Author to check and confirm all necessary information on site prior to construction.
2. All work to be done in accordance with the Australian Standard AS 4753-2001.
3. All work to be done in accordance with the Australian Standard AS 4753-2001.
4. All work to be done in accordance with the Australian Standard AS 4753-2001.
5. All work to be done in accordance with the Australian Standard AS 4753-2001.
6. All work to be done in accordance with the Australian Standard AS 4753-2001.
7. All work to be done in accordance with the Australian Standard AS 4753-2001.

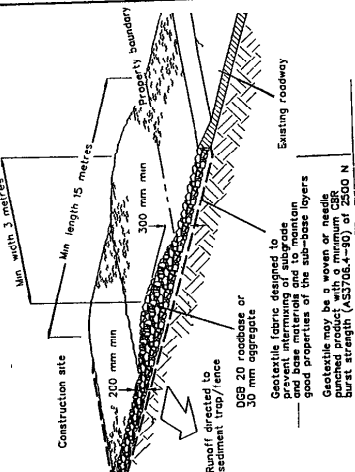
MESH AND GRAVEL INLET FILTER



- CONSTRUCTION NOTES**
1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
 2. FILL THE SLEEVE WITH 150MM GRAVEL.
 3. PLACE THE SLEEVE IN THE INLET PIT.
 4. PLACE THE FILTER AT THE OPENING OF THE KERB LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
 5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
 6. FORM A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE INLET PIT.
 7. FIT TO ALL KERB INLETS AT SAG POINTS.

1. Author to check and confirm all necessary information on site prior to construction.
2. All work to be done in accordance with the Australian Standard AS 4753-2001.
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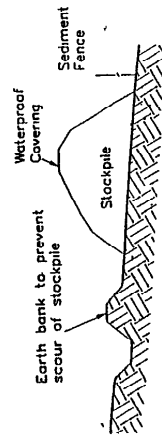
STABILISED SITE ACCESS



- CONSTRUCTION NOTES**
1. STRIP TOPSOIL AND LEVEL SITE.
 2. COMPACT SUBGRADE.
 3. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE.
 4. OR 300MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
 5. CONSTRUCT A SEDIMENT FENCE AT THE BOUNDARY TO DRYWET WATER TO A SEDIMENT FENCE OF OTHER SEDIMENT TRAP.

1. Author to check and confirm all necessary information on site prior to construction.
2. All work to be done in accordance with the Australian Standard AS 4753-2001.
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6. All work to be done in accordance with the Australian Standard AS 4753-2001.
7. All work to be done in accordance with the Australian Standard AS 4753-2001.

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION
I, JOHN EVANS MEMBER NO 385-96 OF THE BUILDING DESIGN ASSOCIATION OF N.S.W. INC. HEREBY CERTIFY THAT THE DRAWING HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.S.W. DEPARTMENT OF LAND AND WATER CONSERVATION'S "URBAN EROSION AND SEDIMENT CONTROL" MANUAL.

Signed
Date 3/10/2007

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No 9 LAKEVIEW PARADE
WARREWOOD N S W 2102
CLIENT
GUS & ALLI GORDON

DATE 23/07/2007
DRAWN JDE
CHECKED
996-09

CONSTRUCTION NOTES

GENERAL

- G1 These drawings are to be read in conjunction with the architect drawing
- G2 During construction the structure shall be maintained in a stable condition and no part shall be over stressed
- G3 N.O. stands for unless noted otherwise
- G4 The structural elements shown on these drawings have been designed for superimposed loads as follows
- 4.0 kPa - Balconies & stairs
 - 3.0 kPa - Offices & Garage
 - 0.25 kPa - Roofs
 - 1.5 kPa - Elsewhere
- G5 All materials and workmanship are to be of the highest standard and in accordance with any relevant codes of practice relating to their application. Certificates to this effect from a NATA approved testing laboratory shall be furnished on request
- G6 Annual probabilities of exceedance - Importance level
- AS/NZS 1170 C Structural design actions Part 0. General Principles and the Building Code of Australia (BCA) as described below
- Description of failure - Ordinary
 - Description - Medium consequence for loss of human life or considerable economic social or environmental consequences
 - Importance level - 2
- G7 Probability of Exceedance
- Design working life - 100 years
 - Importance level - 2 - 100 years
 - Wind (non-cyclonic) - 1/1000 (Category - N3)
 - Earthquake - 1/1000

CONCRETE

- C1 All workmanship and materials shall be in accordance with current editions of AS 3600 except as varied by contract documents
- C2 Cement to Type A UNO Concrete components and quality shall be as follows -

Element	MPa	Slump	Max Size Agg	Density (kg/cum)
Footings	25	60	20	2400
Walls	25	80	20	2400
Slabs on ground	25	60	20	2400
Structural concrete	32	80	20	2400
Beams	32	60	20	2400

- C3 Clear cover to reinforcement unless otherwise shown shall be

Element	Exposure to weather	Formed and exposed to weather	Not formed and exposed to weather
Slabs on ground	40	40	40
Slabs (ext) B1	30	40	45
Slabs (ext) B2	30	40	45
Beams	40	40	45
Columns	40	40	45
Footings	40	40	45

- C4 Mechanically vibrate all concrete in the forms to give maximum compaction without segregation
- C5 Conduits shall not be placed between reinforcement and concrete
- C6 Conduits shall be properly formed and used only where shown or specified by the Engineer
- C7 No holes chases or cutouts shall be made in concrete members without prior approval by the Engineer
- C8 Splices in reinforcement shall be staggered only in the positions shown or as otherwise approved by the Engineer

This Plan / Drawing is to be read in conjunction with

CONSTRUCTION CERTIFICATE

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A3

- C9 Lapped fabric splices shall be so made that the overlap measured between outermost transverse wires of each sheet of fabric is not less than the spacing of the wires plus 20mm
- C10 Reinforcement is shown diagrammatically it is not necessarily shown in true proportion
- C11 All reinforcement bars shall be to AS 1304
- C12 Where transverse tie bars are not shown provide Y12-400 Splice
- C13 All concrete shall be placed and compacted in accordance with AS 3600 Where curing compound is used it shall be applied (a) onto slabs within 2 hours of finishing operation (b) onto walls and columns immediately after removal of formwork
- C14 Scaffolding formwork shall be stripped when approved by the Engineer
- C15 Scaffolding beams shall bear only on the beams walls etc shown on the drawings
- C16 All slabs on ground shall be placed on waterproof membrane over 50mm layer of sand

EXCAVATOR

- E1 All excavation and backfill shall be carried out neatly to the lines Levels and grades specified
- E2 Any backfill material required or specified shall be compacted generally to a density equivalent to at least 95% of its maximum dry density (Test method in accordance with AS1289-E11 - Standard Compactive Effort)
- E3 Fill material beneath edge beams to be compacted in accordance with clause 6.4.2 of AS2870-1996 and as specified in note E2
- E4 All top soil vegetation and deleterious material shall be stripped from the building platform prior to the commencement of earthworks
- F1 Footings have been designed for a uniform bearing pressure of 200 kPa
- F2 Foundation material shall be approved for this pressure before placing concrete in footings

FOUNDATIONS

- F2 If the conditions encountered appear to differ substantially from the conditions depicted on these plans or reported in the Geotechnical Engineer's report the Structural Engineer and/or the Geotechnical Engineer must be notified immediately
- F3 If the conditions encountered appear to differ substantially from the conditions depicted on these plans or reported in the Geotechnical Engineer's report, the Structural Engineer and/or the Geotechnical Engineer must be notified immediately

STRUCTURAL STEELWORK

- S1 All workmanship and materials to be in accordance with AS 4100 AS 1534 and for tubular members, AS 1163
- S2 Unless otherwise noted all structural steel shall be Fy = 300 MPa in accordance with AS 3679 tubular members AS 1163 black
- S3 All welds to be 6mm continuous fillet unless noted otherwise and welding shall be in accordance with AS 1554
- S4 UNO all structural steelwork shall be primed with a zinc rich primer on 20mm thick and steelwork with cement mortar grout, pad
- S5 Except where steelwork is to be painted or where noted otherwise all structural steelwork shall be hot-dip galvanized. Should welding in-situ is required on any galvanized material the affected area must be painted using galvanneal paint, in accordance with AS/NZS 4680

- S6 Two copies of checked workshop drawing to be submitted to the Engineer and approval obtained in writing from him before fabrication is commenced. Approval covers structural sufficiency of joints and members and not dimensioning accuracy
- S7 Trench mesh shall be spaced where necessary by a lap of 500mm All cross wires to trench mesh shall be cut flush with outer main wires
- S8 All reinforcement shall be supported at 1000mm maximum centres to maintain the nominated position and covers
- S9 Splices in reinforcement shall be made in accordance with the provisions of Table 1512.2 A of AS3600-2000 or in accordance with the following table

Bar Size	N12	N16	N20	N24	N28	N32
Splice Length (in mm)	400	600	800	1200	1200	1200

STRUCTURAL TIMBER

- T1 All workmanship and materials to be in accordance with current editions of AS 1720 and AS 1684
- T2 All timber to be minimum stress grade F5 UNO
- T3 No timber beams or posts to be notched unless specified by Engineer
- T4 Provide double joists around openings and under walls above UNO
- T5 External timber to be durability class 1 or 2

MASONRY

- M1 Provide sliding surface consisting of 2 layers of galvanized iron sheet with graphite grease in between top and bottom of all load bearing masonry walls in contact with suspended slabs. Prior to application of sliding surface the concrete or masonry shall be level and smooth
- M2 No masonry walls to be erected on suspended slabs and beams until all propping has been removed
- M3 Bricks used in load bearing construction shall have a minimum compressive strength (as per AS 3700) of 20 MPa unless otherwise noted
- M4 Provide 12mm polyethylene bond breaker between vertical face of masonry walls and concrete

BLACKWORK

- B1 Block walls shall be constructed with Double "J" blocks throughout
- B2 "Clean-Out" openings shall be provided at the base of the wall to permit removal of mortar droppings
- B3 Where horizontal reinforcement is used, special block units with recessed webs are to be provided
- B4 Grout shall have a 28 day compressive strength of 25 MPa (min) and a slump of 120 mm
- B5 Mortar shall be composed of one part cement one tenth part fine and three parts sands
- B6 Mortar droppings at joints to be rodded and removed at bottom of blocks through clean out openings prior to filling all cores
- B7 Where total reinforcement is to be provided in both faces bars are to be provided in alternate cores
- B8 Where horizontal reinforcement is to be provided in both faces it shall be provided in staggered courses
- B9 a) total cover to outside of blockwork shall 65mm
b) vertical reinforcement bars shall be girth & if inspection reveals the vertical steel cannot be located accurately the wall must be demolished
c) starter bars must be provided as recommended by templates or similar means Starter bars must be approved by the Structural Engineer
d) vertical bars shall be tied to starter bars through inspection openings at the base of the wall & also accurately fixed in position at the top
e) steel shall be appropriately placed and firmly held into position to a tolerance of 10mm
f) grout shall be compacted by vibrating or rodding

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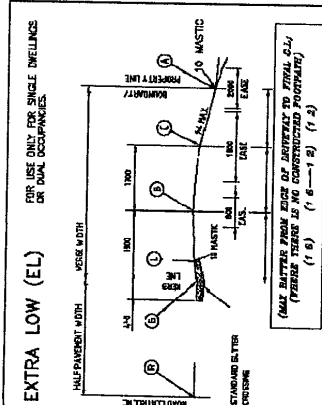
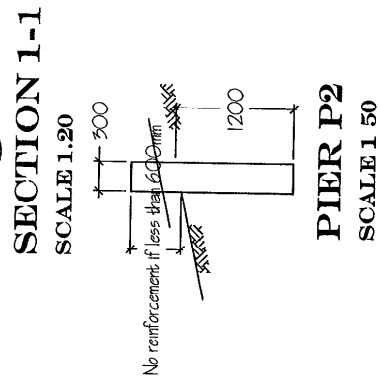
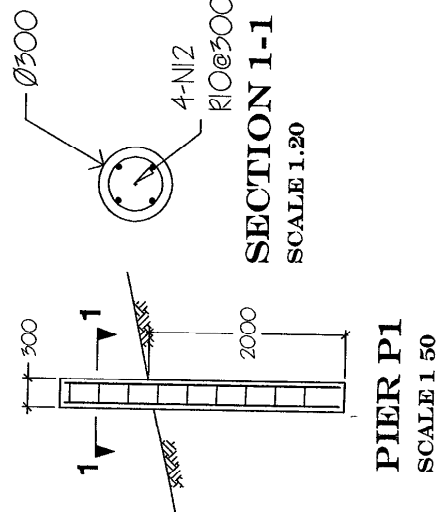
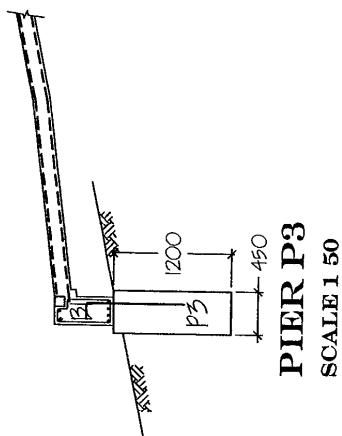
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JJ BRIGGS ASSOCIATES

PO BOX 800 BROOKVALE 2100

including photocopying without

DATE	17/10/2006	BY	JJB
FOR	ADDENDUM	DATE	31/10/2006
BY	ADDENDUM	DATE	31/10/2006
FOR	ADDENDUM	DATE	31/10/2006
BY	ADDENDUM	DATE	31/10/2006
FOR	ADDENDUM	DATE	31/10/2006
BY	ADDENDUM	DATE	31/10/2006
FOR	ADDENDUM	DATE	31/10/2006
BY	ADDENDUM	DATE	31/10/2006



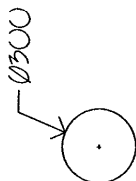
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R	ROAD CENTRE LINE	
G	SUPPORT OF BUTTER	
L	BAGGS OF LAVERLEY	MAY 17 ABOVE "B"
D	WEST FRONT BRIDGE	105 ABOVE "C"
T	TRAM RAIL KERR LINE	"A" ABOVE "
A	FOR MOLE	EASE DELIVERED AT GRATING VIA WIP

NOTES

To be read in conjunction with Filterwater 2: Development Controls

 PITTWATER COUNCIL	Standard Recovery Profile EXTRA LOW	For file
		PWC-DW07 Ref No. E Date 17/06/22

Call 1-800-NEW-Groups. Current Address & E-mail Address for Correspondence: P.O. Box 1111, Laurel, MD 21092. Page 2 of 2

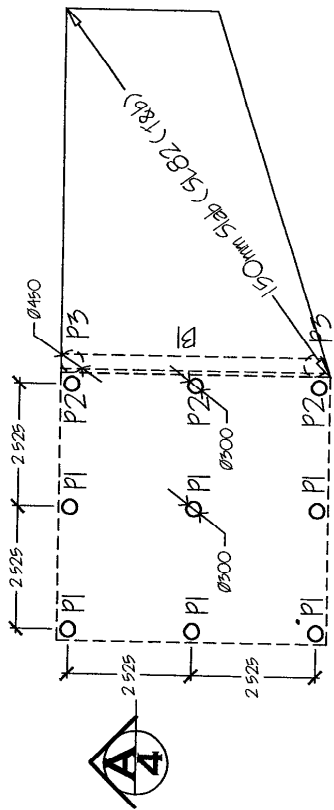


SECTION 1-1
SCALE 1:20

R10@300cts,
SECTION 1-1
SCALE 1.20

PIER P1
SCALE 1 50

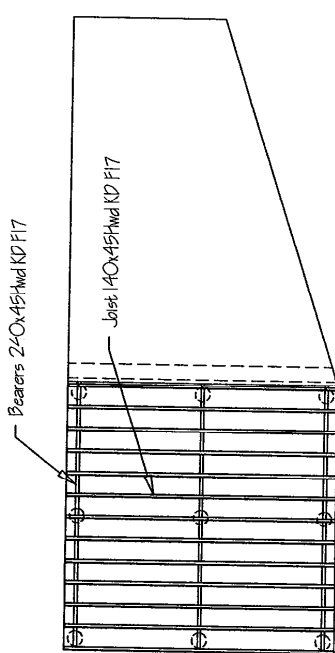
PIER P2
SCALE 1 50



PLAN VIEW

CARPORT FLOOR PLAN-SLAB + PIERS

SCALE 1:100



PLAN VIEW

CARPORT FLOOR PLAN-TIMBER FRAME

SCALE 1.100

This Plan / Design is to be read in conjunction with

**JJ BIGGS
ASSOCIATES**

1000 CHALERS
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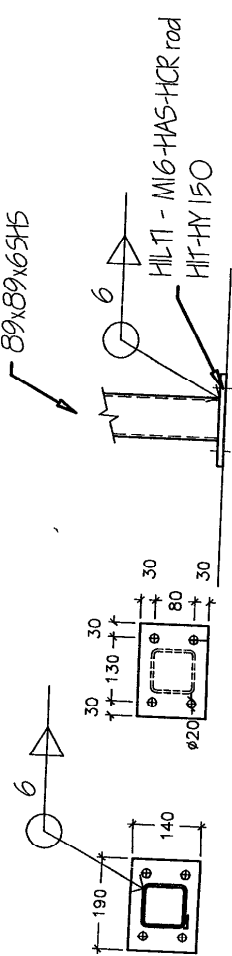
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Internal Formulation

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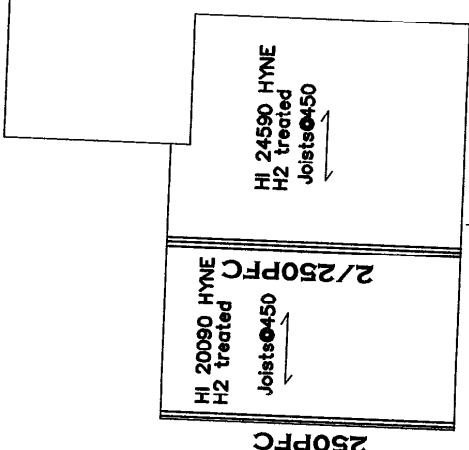


This Plan / Detail is to be read in conjunction with CONSTRUCTION CERTIFICATE APPENDIX No. 1327cc1

C4 & C5 - BASE PLATES
DETAILS
SCALE 1:10

PLAN VIEW
LOWER FLOOR PLAN
SCALE 1:100

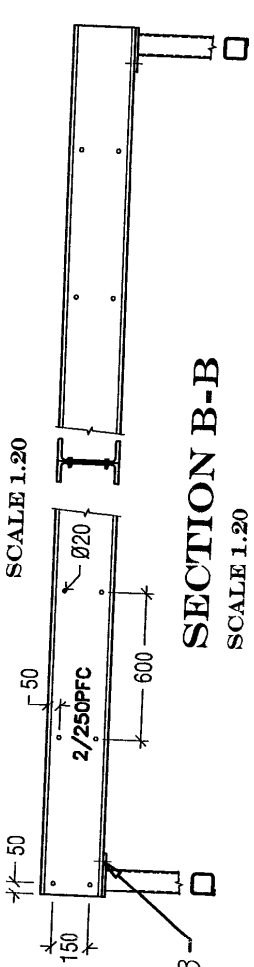
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PO BOX 800 BROCKVALE 2100



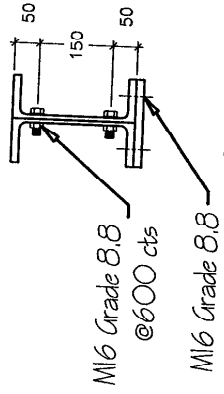
PLAN VIEW
LOWER FLOOR PLAN
SCALE 1:100

A3
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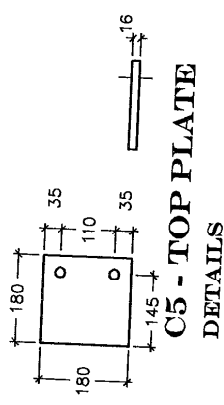
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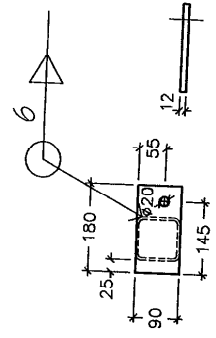
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SCALE 1:20



C5 - TOP PLATE
DETAILS
SCALE 1:10

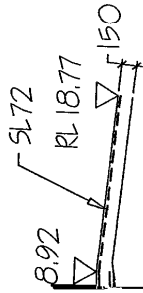


C4 - TOP PLATE
DETAILS
SCALE 1:10

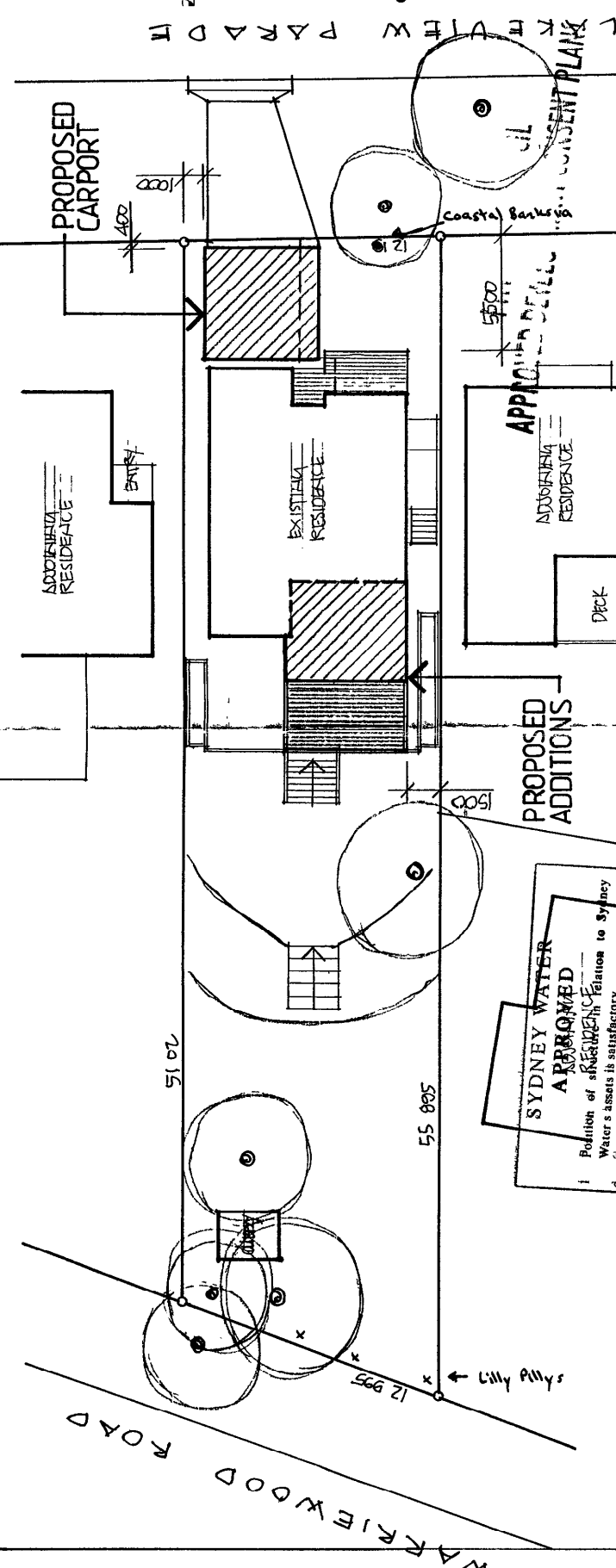


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PROJECT	ADDITIONS & ALTERATIONS FOR Mr & Mrs G GORDON 9 LAKEVIEW PDE WAREWOOD NSW 2102
DATE	10/10/2008
SCALE	1:10, 1:20, 1:100
PLAN VIEW & SECTIONS 2	
3/4	SD0809-01



PROJECT ADDITIONS & ALTERATIONS FOR MR & MRS G GORDON 9 LAKEVIEW PDE WARREWOOD NSW 2102	
DRAWN BY W. J. J. J.	DATE Oct., 2008
CHECKED BY W. J. J. J.	DATE 31/10/2008
SHEET NO. 1 OF 1	



Construction Certificate No 1327CC1 dated 1/5/09.
Plans to be read in conjunction with Consent 737/07

JJ BIGGGS
ASSOCIATES
2X 800 BROOKVALE 2100

DEVELOPMENT CALCULATIONS		
DESCRIPTION	EXISTING sqm	PROPOSED sqm
FLOOR AREA	133	78 (161)
ROOF AREA	98	185
SITE COVERAGE (HARD SURFACE ETC)	210	245 (386)
LANDSCAPING AREA		374 (576)
SITE AREA	652	NOT APPLICABLE

PROJECT	PROPOSED ALTERATIONS/ADDITIONS
OWNER	JD EVANS and COMPANY PTY LTD
CLIENT	No 9 LAKEVIEW PARADE WARRIEWOOD N S W 2102
DATE	23/07/2007
SCALE	1:200
CREATED	
996-01	

PROPOSED ADDITIONS SITE PLAN

SYDNEY WATER APPROVED

1. Position of sewerage in relation to Sydney Water's assets is satisfactory.

2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit by a licensed plumber/drainlayer.

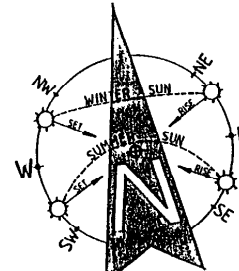
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.

4. Any Plumbing and/or Drains Work to be carried out in accordance with the Sydney Water Act 1994 AS 3500 and the NSW Code of Practice.

5. Any traps in Sheds and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

Property No 3461897

Reece Mona Vale
Quick Check Agent on behalf of SYDNEY WATER



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PITTSBURGH COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE

1327001

DATE	23/01/2017	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING NO.	996-02		

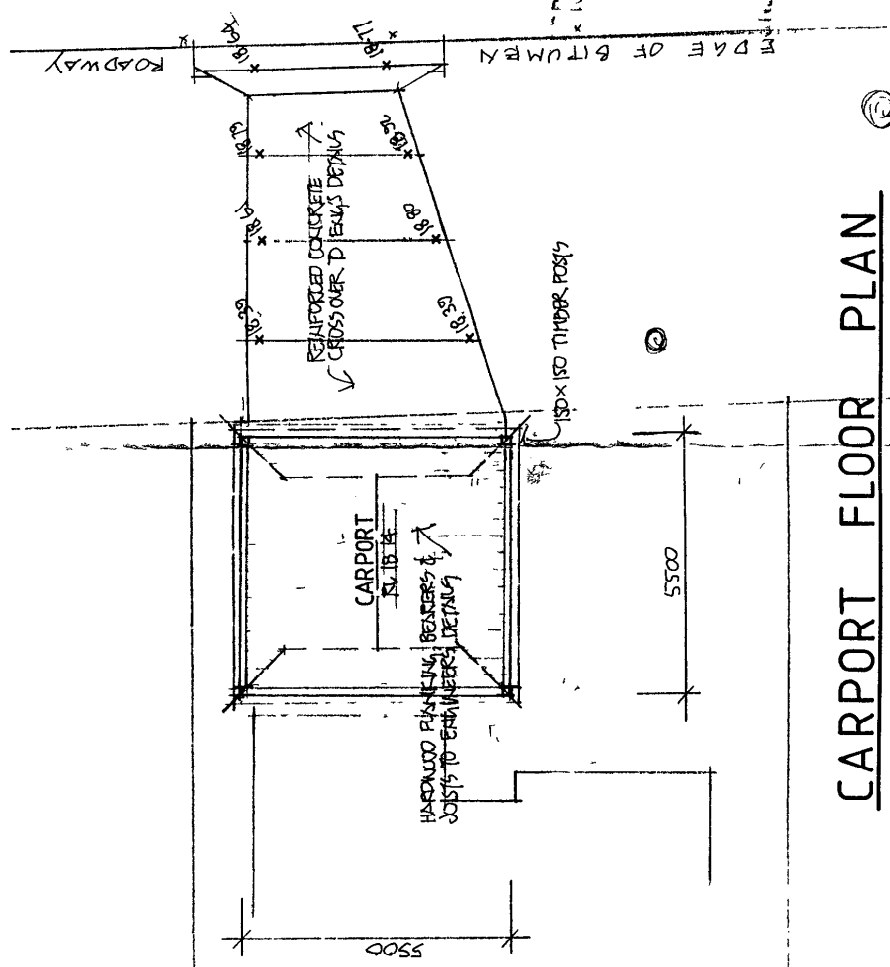
PROJECT	PROPOSED ALTERATIONS/ADDITIONS
CLIENT	WARRENWOOD N S W 2102
CLIENT	GUS & ALLI GORDON

J.D. EVANS and COMPANY PTY LTD BUILDING DESIGN CONSULTANTS 74 EVELING AVE, AVALON BEACH 2107 Mobile: 088 976 596

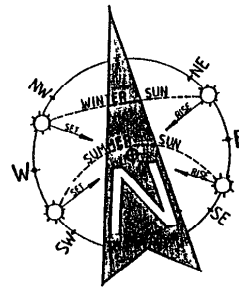
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DRAWING NO.	996-02

DATE	23/01/2017
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CHECKED	
DRAWING NO.	996-02

DATE	23/01/2017
SCALE	1:100
DRAWN	JDE
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DRAWING NO.	996-02



CARPORT FLOOR PLAN



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AND COMMENCING CONSTRUCTION DO NOT SCALE OFF THE DRAWING

1. These plans are subject to the provisions of the Building Act 1993 and the Building Regulations 1993.
2. All dimensions and levels are to be confirmed on site prior to ordering materials and commencing construction.
3. All dimensions and levels are to be confirmed on site prior to ordering materials and commencing construction.
4. All dimensions and levels are to be confirmed on site prior to ordering materials and commencing construction.
5. All dimensions and levels are to be confirmed on site prior to ordering materials and commencing construction.
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CONSTRUCTION CERTIFICATE
APPROVAL NO. 1327cc /

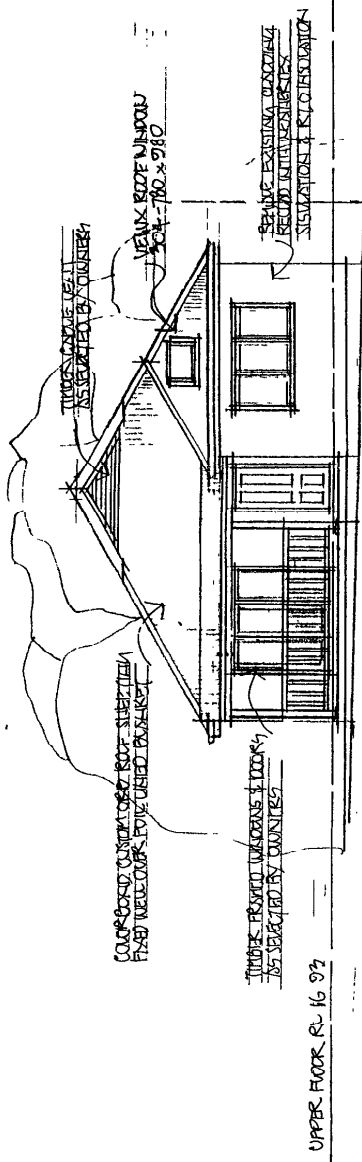


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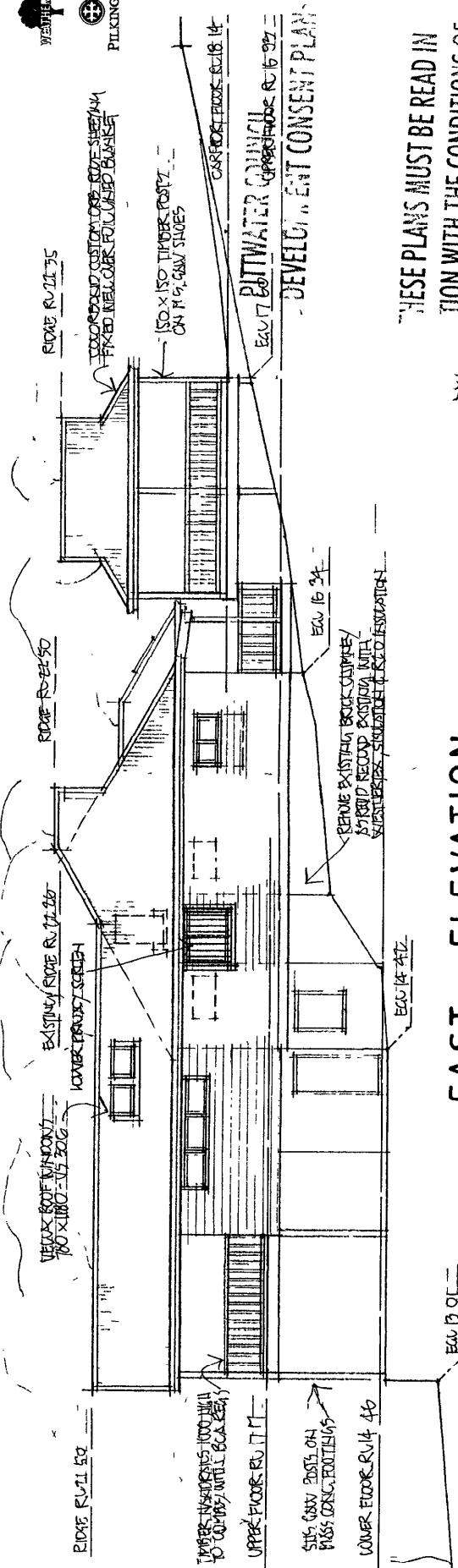


**JJ BRIGGS
ASSOCIATES**
PO BOX 800 BROOKVALE

NORTH ELEVATION



EAST ELEVATION



THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

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74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9200 Fax (02) 9973 2454
Mobile 088 978 596

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No 9 LAKEVIEW PARADE
WARRIEWOOD N S W 2102
CLIENT
MR & MRS CONNOR

DATE	23 07/2007	SCALE	1:100
DRAWN	JDE	CHECKED	

996-0

DATE 23/07/2007	SCALE 1:100
DRAWN JOE	CHECKED

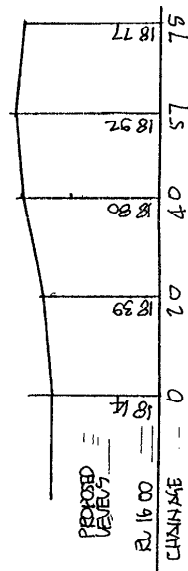
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APPROVAL NO. 13270

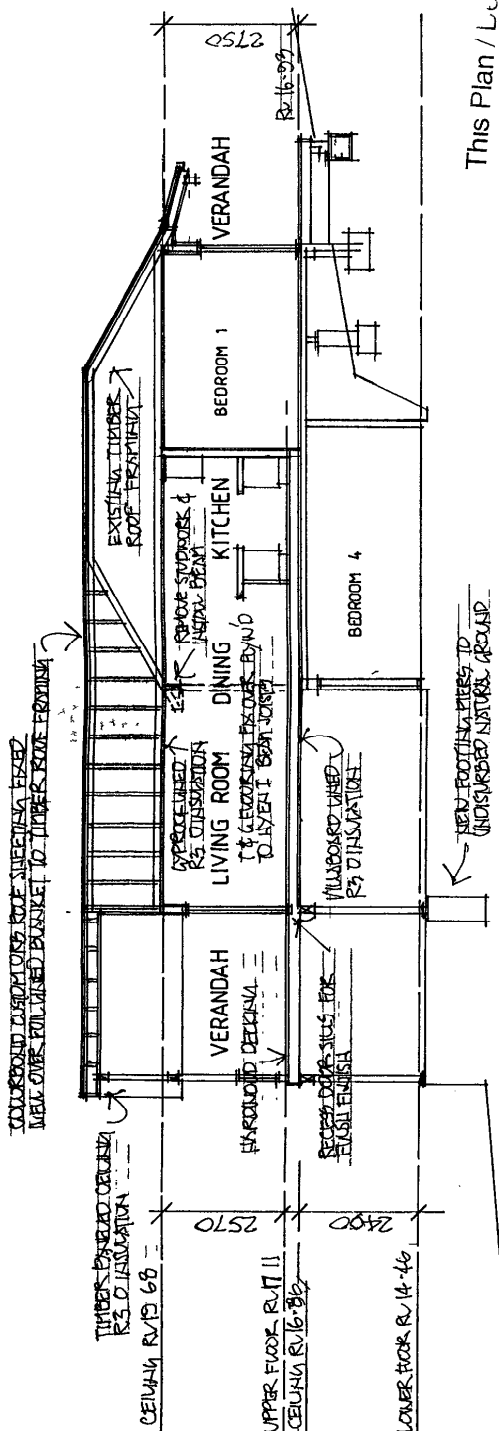
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SECTION A - A



LONGITUDINAL SECTION THROUGH DRIVEWAY

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PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No 9 LAKEVIEW PARADE
WARRIEWOOD N S W 2102
CLIENT

DATE 23/07/2007	SCALE 100 1 200
DRAWN JOE	CHECKED

DRAWING No 996-08 ESSE