

# ALTERATIONS & ADDITIONS

## 49 NORFOLK AVE,COLLAROY



DRAWING No.	DESCRIPTION	REV
DA01	COVER PAGE	AO
DA02	\$4.55 SCHEDULE OF CHANGES	AO
DA03	COMPLIANCE TABLE	AO
DA04	BASIX COMMITMENTS 1	AO
DA05	BASIX COMMITMENTS 2	AO
DA06	SITE & CONCEPT STORMWATER PLAN	AO
DA07	SITE WORK, SITE ANALYSIS & SITE CALCULATIONS PLAN	AO
DA08	EXISTING FLOOR PLANS	AO
DA09	DEMOLITION FLOOR PLANS	AO
DA10	LOWER GROUND FLOOR PLAN	AO
DA11	GROUND FLOOR PLAN	AO
DA12	FIRST FLOOR PLAN	AO
DA13	ROOF PLAN & WINDOW/ DOOR SCHEDULE	AO
DA14	SOUTH & NORTH ELEVATIONS	AO
DA15	WEST & EAST ELEVATIONS	AO
DA16	SECTIONS	AO
DA17	SHADOW DIAGRAMS	AO
DA18	STREETSCAPE ELEVATIONS & FINISHES SCHEDULE	AO
DA19	BUILDING ENVELOPE DIAGRAMS	AO
DA20	NOTIFICATION PLAN	AO

### DESIGNERS WORK HEALTH AND SAFETY STATEMENT

#### 1. FALLS, SLIPS, TRIPS a. WORKING AT HEIGHT

##### DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two meters. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation were falling more than two meters is a possibility.

##### DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof, or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practise, regulations, or legislation. For non-residential only - omit if not appropriate

##### ANCHORAGE POINTS

Anchorage points for scaffold or fall arrest have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

#### b. SLIPPERY OR UNEVEN FLOORS

##### FLOOR FINISHES

Finishes have not been specified by the designer but should be selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet.

##### FLOOR FINISHES BY OWNER

As the designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4589:2004.

##### STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warnings during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects, or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance, or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

#### 2. FALLING OBJECTS

##### LOOSE MATERIAL AND SMALL OBJECTS

Construction, maintenance, or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

- Prevent or resist access to areas below where the work is being carried out.
- Provide toe boards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have protective equipment (PPE).

##### BUILDING COMPONENTS

During construction, renovations or demolition of this building, parts of the structure including fabricated steel work, heavy panels and many other components, will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times where collapse, which may injure persons in the area, is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and the access to areas below the load is prevented or resisted.

#### 3. TRAFFIC MANAGEMENT

For building on a major road, narrow road, or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance, or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the subdivision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where other traffic is moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

#### 4. SERVICES

##### GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans, but the exact location and extent of services may vary from that indicated. Services should be located using appropriate services (such as Dial Before You Dig), appropriate excavation practise should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected, or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

#### 5. MANUAL TASK

Components within this design with a mass in excess of twenty-five kilograms should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

##### FINISHES NOTES:

1. RENDERED BRICK VENEER TO DWELLING
2. COLORBOND FLAT ROOF
3. PAINTED TIMBER DOORS
4. WINDOWS AS PER BASIX

Construction, maintenance, and demolition of this building will require the use of portable tools and equipment. This should be fully maintained in accordance with manufacturers specifications and not used where faulty or (in the case of electrical equipment) not carrying and electrical safety tag. All safety guards should be regularly checked, and Personal Protective Equipment should be used in accordance with manufacturer's specifications.

#### 1. HAZARDOUS SUBSTANCES

##### ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - It therefore may contain asbestos

1996 - It therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolition, cutting, sanding, drilling or otherwise disturbing the existing structure.

##### POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protections against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

##### TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational, maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protections against inhalation of harmful material when sanding, drilling, cutting, or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

##### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.

##### SYNTHETIC MINERAL FIBRE

Fiberglass, Rockwool, ceramic, and material used for either thermal or sound insulation may contain synthetic mineral which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protections against inhalation of harmful material should be used when installing, removing, or working near bulk insulation material.

##### TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.

#### 2. CONFINED SPACES

##### EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated areas should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

##### ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance, or any other purpose. The designer requires warning signs and barriers to unauthorised areas. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal protective Equipment should be provided.

##### SMALL SPACES

For building with small spaces where maintenance may be required:

Some small spaces within this building may require access by construction or maintenance workers. The designer requires warning signs and barriers to unauthorised areas. These should be maintained throughout the life of the building. Where workers are required to enter small spaces, they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

#### 3. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant, or loose materials are present they should be secured when not fully supervised.

##### OPERATIONAL USE OF BUILDING. GS RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

##### NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed to the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

#### 4. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to history of serious incidents, it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placements. All the above applies.

**NOTES:** THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, MAINTAINERS AND DEMOLISHERS.

##### CONSTRUCTION NOTES:

1. TIMBER FRAMING TO AS1685-2010
2. CONCRETE FOOTING TO AS2870-2011
3. PLUMBING TO AS3500-2003
4. TERMITE CONTROL TO AS2049
5. DOORS AND WINDOWS TO AS2047
6. STEEL BEAMS WHERE REQUIRED TO ENGINEERING SPECIFICATIONS

<div><div>BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES</div><div>- WHERE A DISCREPANCY ARISES SEEK DIRECTION PRIOR TO PROCEEDING WITH WORKS</div><div>- FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY +/-100mm FROM THE APPROVED DOCUMENTS. ALL DUE TO THE CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.</div></div> <div><div>FYFFE DESIGN</div><div>w. <a href="http://www.fyffedesign.com.au">www.fyffedesign.com.au</a>   e. <a href="mailto:info@fyffedesign.com.au">info@fyffedesign.com.au</a>   p. 02 9634 3600</div><div>5G/ 256 New Line Road Dural</div></div> <div><div>THE COPYRIGHT OF THIS DESIGN REMAINS THE PROPERTY OF FYFFE DESIGN PTY LTD - THIS DESIGN IS NOT TO BE USED, COPIED OR REPRODUCED WITHOUT THE AUTHORITY OF FYFFE DESIGN PTY LTD.</div></div>	<div><div><div>north</div><div><div>DATE</div><div>AMENDMENTS</div><div>REV</div><div>BY</div></div><div><div>05/03/2025</div><div>DA SUBMISSION</div><div>AH</div><div>SL</div></div><div><div>11/04/2025</div><div>S4.55</div><div>AI</div><div>SL</div></div><div><div>16/04/2025</div><div>S4.55</div><div>AJ</div><div>SL</div></div><div><div>17/04/2025</div><div>S4.55</div><div>AK</div><div>SL</div></div><div><div>22/04/2025</div><div>S4.55</div><div>AL</div><div>SL</div></div><div><div>23/04/2025</div><div>S4.55</div><div>AM</div><div>SL</div></div><div><div>24/04/2025</div><div>S4.55</div><div>AN</div><div>SL</div></div><div><div>02/05/2025</div><div>S4.55</div><div>AO</div><div>SL</div></div></div><div><div><div>bdaa</div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div><div>Full Member No. 4524-20</div></div></div>	ADDRESS	DRAWING TITLE	DRAWING STATUS			
		LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY	COVER PAGE	\$4.55			
		CLIENT		DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE @ A2
		SIMON CAO	PROJECT NEW DWELLING	DWG NO DA01	JOB NUMBER 24013	ISSUE AO	



## SCHEDULE OF CHANGES

DATE	NO	CHANGES
11/04/2025	1	Architectural Plans: Redesigned lower ground floor plan layout at the Southwestern corner. Locations of powder room, storage and linen adjusted.
	2	Architectural Plans: Replace an existing door on the South side in the lower ground floor with a new window (W22), and replace an existing window with a new door (D06).
	3	Architectural Plans: Add a new lift for ground floor and first floor near staircase
16/04/2025	4	Architectural Plans: Redesigned lower ground floor plan layout at the Southwestern corner. Storage room was changed into linen room; linen area from the previous revision was changed into lift which serves lower ground level and ground level.
	5	Architectural Plans / Window Schedule: joined W13 and W14, shown as W13 on Window Schedule. Detailed floor plan added to illustrate the dimensions of W13.

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			22/04/2025	S4.55	AL	SL	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY	\$4.55 SCHEDULE OF CHANGES	DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE  @ A2
			23/04/2025	S4.55	AN	SL						
			24/04/2025	S4.55	AN	SL						
			02/05/2025	S4.55	AO	SL						
								CLIENT SIMON CAO	PROJECT NEW DWELLING	DWG NO DA02	JOB NUMBER 24013	ISSUE AO

# DA COMPLIANCE TABLE

NORTHERN BEACHES COUNCIL DCP 2000/ LEP 2011

SITE DESCRIPTION		
SITE AREA	674.4m²	
LOT WIDTH	18.29m	
ZONING	R2	
Warringah LEP2011 - Land Slip Risk Map-Area D		
BUILDING HEIGHT		
MAX ALLOWABLE	8.5m	
PROPOSED	9m	
WALL HEIGHT		
MAX ALLOWABLE	7.2m	
PROPOSED	8.5m	
SITE SLOPES	15%	
SITE COVERAGE		
SITE AREA	674.40m²	
MAX ALLOWABLE	30%	202.32m²
<u>EXISTING AND PROPOSED</u>		
SITE COVERAGE	509.09	m²
AS PER EXISTING		

LANDSCAPE OPEN SPACE		
SITE AREA	674.40	
MIN REQUIRED	40%	269.76 m²
<u>PROPOSED</u>		
LANDSCAPED AREA	168.12 m²	
AS PER EXISTING		
EARTHWORKS		
MAX CUT	1m	
MAX FILL	1.5m	
PROPOSED CUT	1m	
PROPOSED FILL	0.2m	
PRIVATE OPEN SPACE		
MIN REQUIRED	MIN 5m	60m²
PROPOSED		60.00m²
AS PER EXISTING		

FRONT SETBACK	
MIN REQUIRED	6.5m
PROPOSED	9m
UNCHANGE	
GF SIDE SETBACK (LHS)	
MIN REQUIRED	0.9m
PROPOSED	1.55
GF SIDE SETBACK (RHS)	
MIN REQUIRED	0.9m
PROPOSED	1.39m
FF SIDE SETBACK (LHS)	
MIN REQUIRED	0.9m
PROPOSED	3m
FF SIDE SETBACK (RHS)	
MIN REQUIRED	0.9m
PROPOSED	3.2m
GF REAR SETBACK	
MIN REQUIRED	6m
EXISTING	9m
PROPOSED	7.8m
FF REAR SETBACK	
MIN REQUIRED	6m
EXISTING	11.4m
PROPOSED	10m



Minimum Insulation

- R1.70 (including construction) to new/altered external walls.
- R1.58 to new/altered ceilings with roof over.
- 55mm foil backed blanket under new/altered sheet metal roof.

Single Glazed (Low-e variations - refer to certification for values required to be achieved)

- To W16, W17, W18, W19, W20,

Timber or uPVC Double Glazed Low-e/air fill (Please note, does not have to be this type of unit as long as units meet certification values)

- To W21, SK02, SK03 and SK04.

Note: This type of unit is high spec and if reduction is preferred, external awning, louvre or blind would be required to enable reduction.

Additional Requirements

- 40% of new/altered light fixtures to be fitted with fluorescent, compact fluorescent or LED lamps.
- 3 star taps and showerheads to be installed to new/altered fixtures.

Confirmation Items

- New Gas HWU

BASIX™Certificate

Building Sustainability Index  
www.planningportal.nsw.gov.au/development-and-assessment/basix

Alterations and Additions

Certificate number: A1765643\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary  
Date of issue: Thursday, 24 April 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	49 Norfolk_02
Street address	49 NORFOLK Avenue COLLAROY 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP253629
Lot number	25
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small>	
Name / Company Name: PEREZ ARCHITECTURAL SERVICES PTY LTD	
ABN (if applicable): 40638145507	

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil	N/A			
suspended floor above garage: framed (R0.7).	nil	N/A			
floor above existing dwelling or building.	nil	N/A			
external wall: other/undecided	R1.70 (including construction)				
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

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Glazing requirements			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.				✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearair gap/clear glazing, or tonedair gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.				✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.			✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.			✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.				✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.				✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.			✓	✓	✓

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W15	NE	0.43	0.76	2.5	eave/ veranda/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W16	NE	0.43	0.76	2.5	eave/ veranda/ pergola/balcony >=450 mm	aluminium, single Lo- Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W17	NE	0.64	1.06	2.5	eave/ veranda/ pergola/balcony >=450 mm	aluminium, single Lo- Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W18	NE	0.64	1.06	2.5	eave/ veranda/ pergola/balcony >=450 mm	aluminium, single Lo- Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W19	NE	0.64	1.06	2.5	eave/ veranda/ pergola/balcony >=450 mm	aluminium, single Lo- Tsol low-e, (U-value: 5.6, SHGC: 0.36)			

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W20	NE	0.64	1.06	2.5	eave/ verandah/ pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W02	SE	2.96	1.85	2.5	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W03	SE	2.97	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	SE	5.94	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W08	SE	10.58	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W11	SW	1.4	2.3	2.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	SW	1.2	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	SW	0.58	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W14	SW	0.71	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W21	NW	2.43	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number:A1765643

page 8/12

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W05	NW	3.85	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	NW	2.35	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02-SL	NW	5.02	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	NW	4.06	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	NW	2.35	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Planning Industry And Environment

Building Sustainability Index www.basix.nsw.gov.au

- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES  
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5G/ 256 New Line Road Dural

NORTH

DATE

AMENDMENTS

REV

BY

ADDRESS

LOT 25/DP 253629  
49 NORFOLK AVE,COLLAROY

DRAWING TITLE

BASIX COMMITMENTS 1

DRAWING STATUS

**\$4.55**

DRAWN  
XW

CHECKED  
BG

DATE  
02/05/2025

SCALE

@ A2



Full Member  
No. 4524-20

CLIENT

SIMON CAO

PROJECT

NEW DWELLING

DWG NO

DA04

JOB NUMBER

24013

ISSUE

AO



Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W12	NW	0.66	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D04	NW	1.88	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	NW	2.84	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W14	NW	5.88	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D04	NW	1.88	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

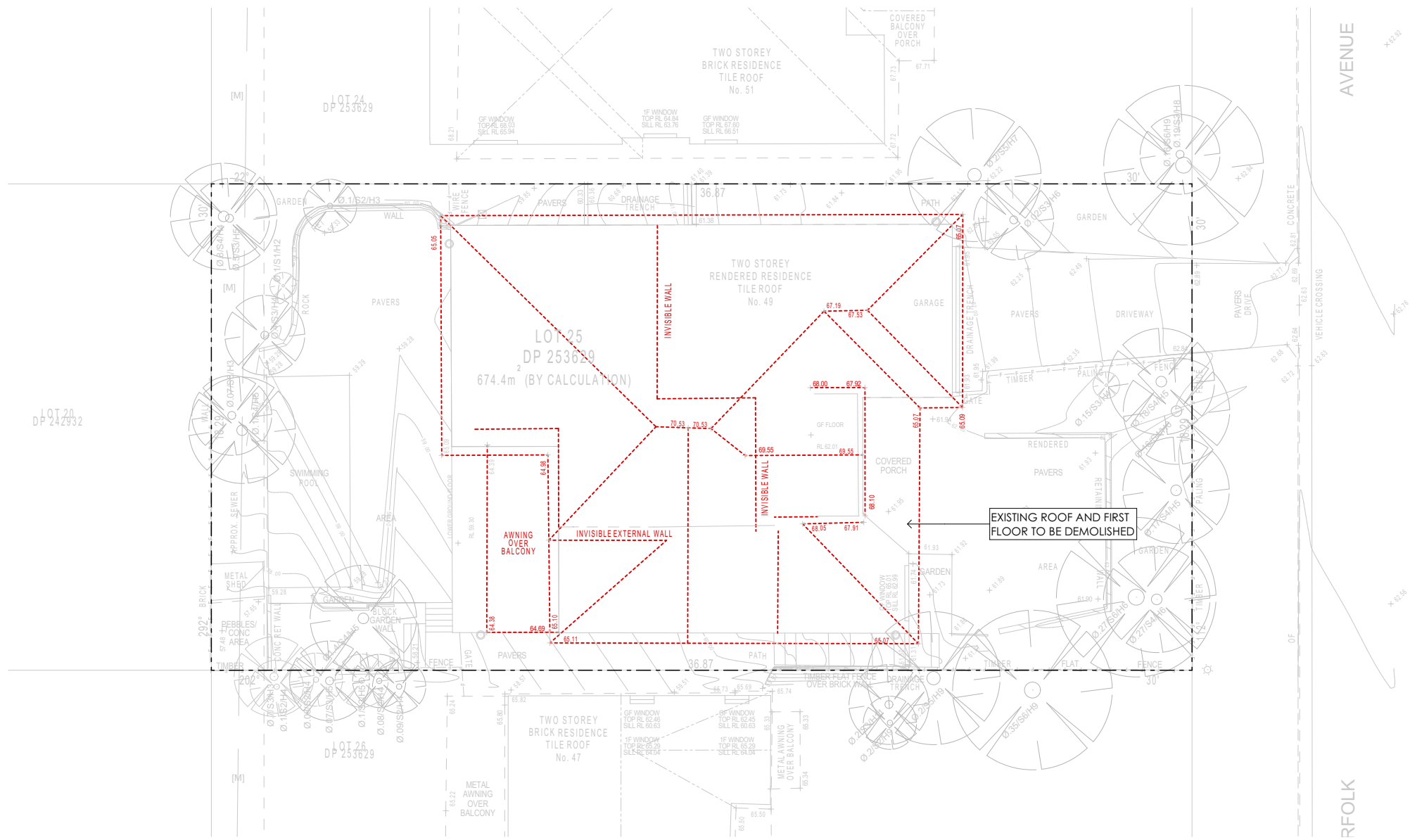
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D04-SL	NW	1.43	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.				✔	✔	✔
The following requirements must also be satisfied in relation to each skylight:					✔	✔
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✔	✔
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
SK01	0.47	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
SK02	3.84	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK03	0.61	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK04	0.61	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

<div><div>- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES</div><div>- WHERE A DISCREPANCY ARISES SEEK DIRECTION PRIOR TO PROCEEDING WITH WORKS</div><div>- FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY +/-100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO THE CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.</div></div> <div><div>THE COPYRIGHT OF THIS DESIGN REMAINS THE PROPERTY OF FYFFE DESIGN PTY LTD - THIS DESIGN IS NOT TO BE USED, COPIED OR REPRODUCED WITHOUT THE AUTHORITY OF FYFFE DESIGN PTY LTD.</div></div>	<div><div><div>FYFFE DESIGN</div></div><div><div>w. www.fyffedesign.com.au   e. info@fyffedesign.com.au   p. 02 9634 3600</div><div>5G/ 256 New Line Road Dural</div></div></div>	NORTH	DATE	AMENDMENTS	REV	BY	ADDRESS LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY	DRAWING TITLE BASIX COMMITMENTS 2	DRAWING STATUS							
			05/03/2025	DA SUBMISSION	AH	SL			S4.55							
			11/04/2025	S4.55	AI	SL			DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE				
			16/04/2025	S4.55	AJ	SL										
			17/04/2025	S4.55	AK	SL										
			22/04/2025	S4.55	AL	SL										
			<div><div><div>bdaa</div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div><div>Full Member No. 4524-20</div></div>			23/04/2025			S4.55	AM	SL	CLIENT SIMON CAO	PROJECT NEW DWELLING	DWG NO DA05	JOB NUMBER 24013	ISSUE AO
						24/04/2025			S4.55	AN	SL					
						02/05/2025			S4.55	AO	SL					

**NOTE:**  
- STRUCTURES MARKED IN RED ARE PROPOSED TO BE DEMOLISHED

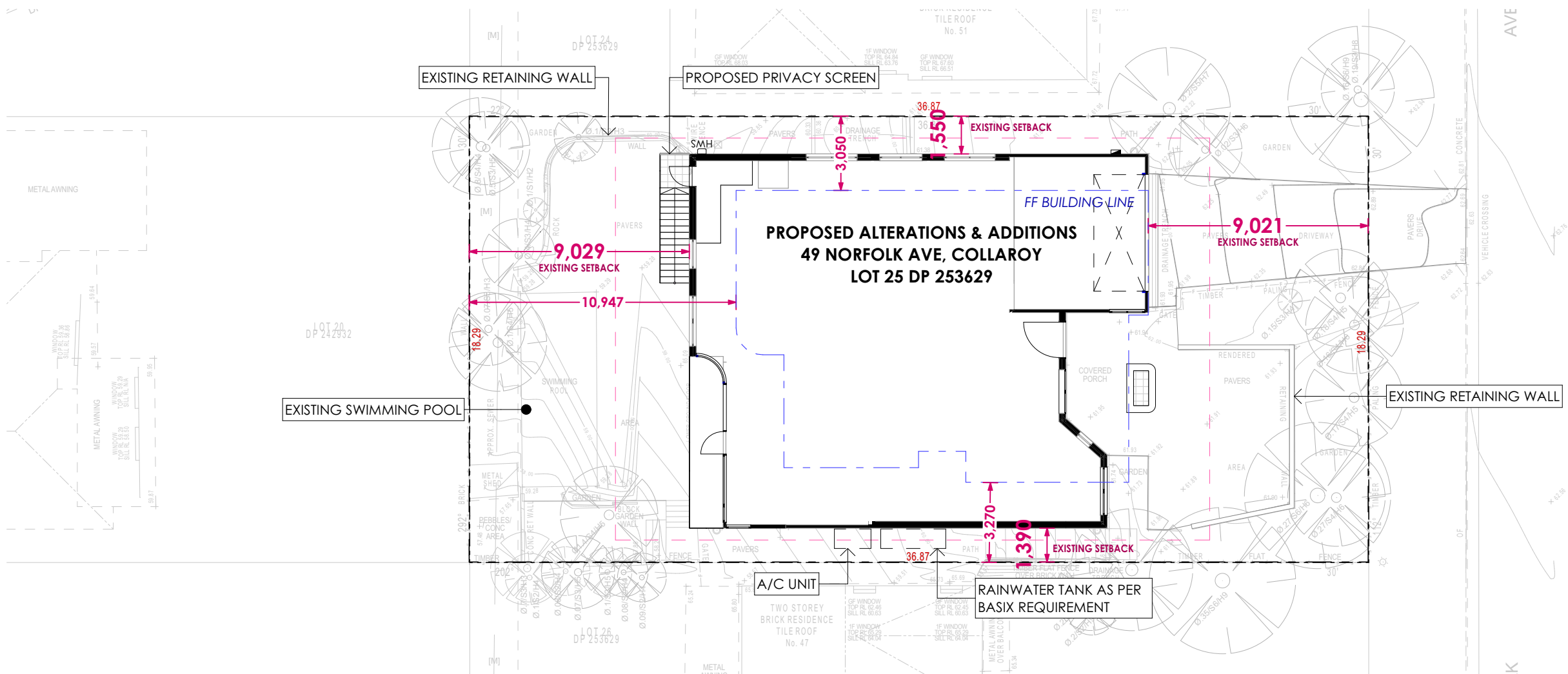


DEMOLITION PLAN

**NOTE:**  
- MINIMAL CHANGES TO EXISTING LANDSCAPING  
- LANDSCAPING TO REMAIN AS PER EXISTING

**GENERAL NOTE:**  
- FRAMING TO AS1685 - 2010  
- CONCRETE FOOTING TO AS2870 - 2011  
- PLUMBING TO AS3500 - 2003  
- MASONRY TO AS4773 & 3700  
- TERMITE CONTROL TO AS2049  
- DOORS AND WINDOWS TO AS2047

**SITE NOTE:**  
- STORMWATER AS PER STORMWATER ENGINEERS DESIGN



SITE PLAN

- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES  
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ASSOCIATION OF AUSTRALIA  
Full Member  
No. 4524-20

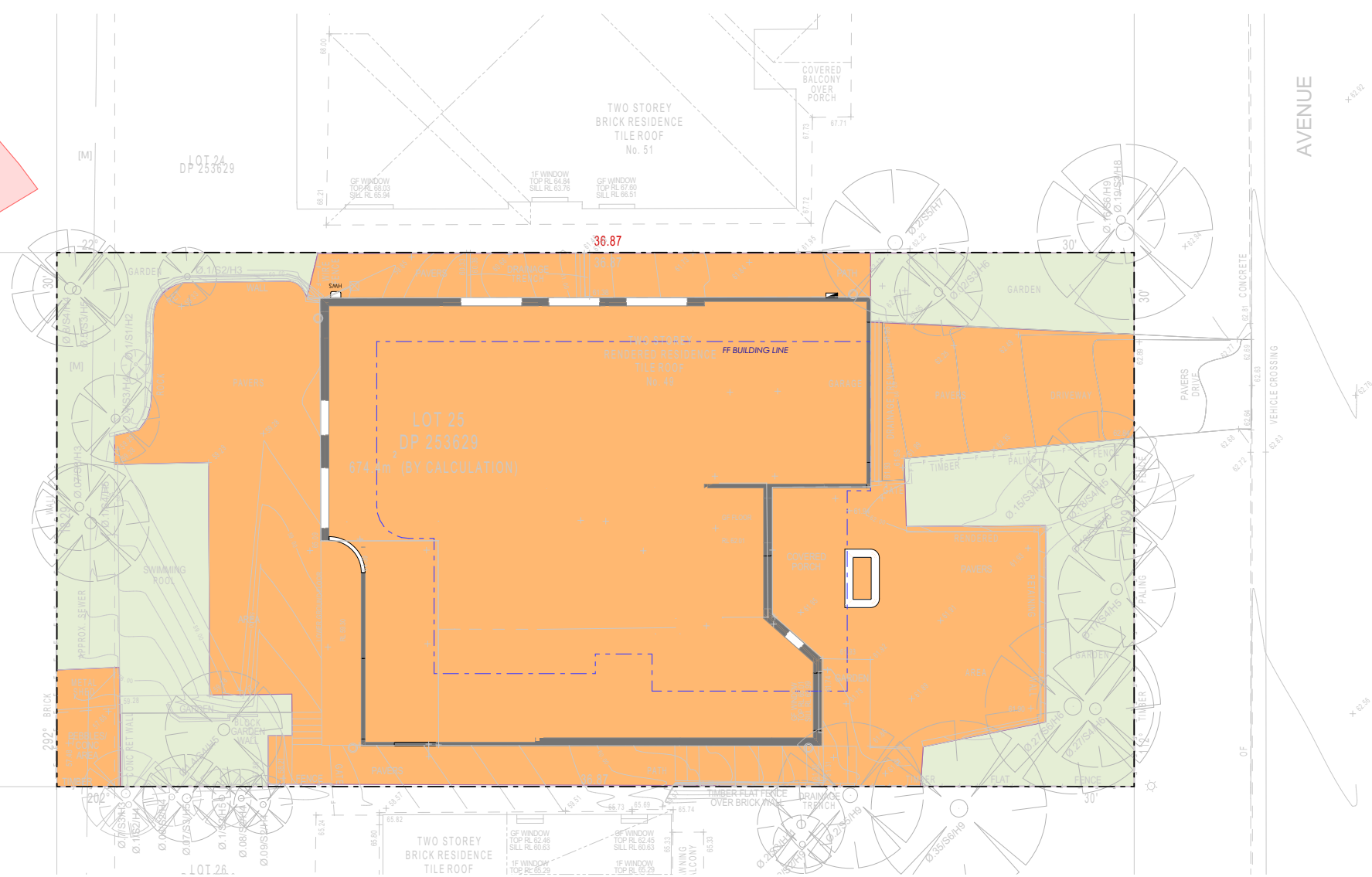
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17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
23/04/2025	S4.55	AM	SL
24/04/2025	S4.55	AN	SL
02/05/2025	S4.55	AO	SL

ADDRESS  
LOT 25/DP 253629  
49 NORFOLK AVE,COLLAROY  
CLIENT  
SIMON CAO

DRAWING TITLE  
SITE & CONCEPT  
STORMWATER PLAN  
PROJECT  
NEW DWELLING

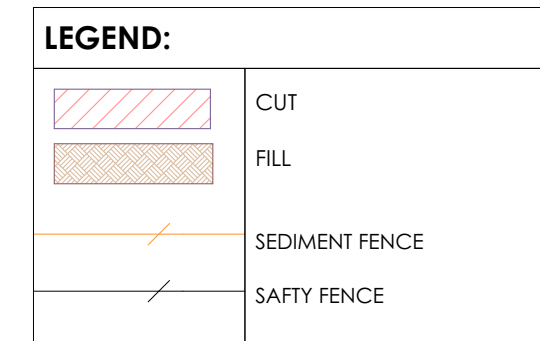
DRAWING STATUS			
<b>S4.55</b>			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:200 @ A2
DWG NO DA06	JOB NUMBER 24013	ISSUE AO	





SITE COVERAGE		
SITE AREA		674.40 m <sup>2</sup>
MAX ALLOWABLE	30%	202.32 m <sup>2</sup>
<u>EXISTING AND PROPOSED</u>		
SITE COVERAGE		509.09 m <sup>2</sup>
		AS PER EXISTING
LANDSCAPE OPEN SPACE		
SITE AREA		674.40 m <sup>2</sup>
MIN REQUIRED	40%	269.76 m <sup>2</sup>
<u>PROPOSED</u>		
LANDSCAPED AREA		168.12 m <sup>2</sup>
		AS PER EXISTING

 SITE COVERAGE  
 LANDSCAPED AREA



CONSTRUCTION SITE

EXIT

ENTRY

0.2m

SUB. WIDTH 3m

50-75mm GRAVEL

GEOTEXTILE FABRIC

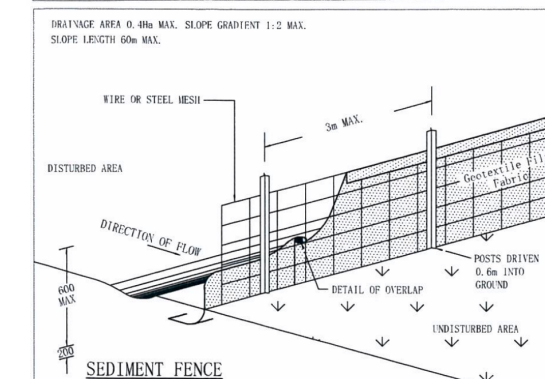
BENCH (HUS. 0.3m HIGH)

EXISTING ROADWAY

RUNOFF FROM PAD DIRECTED TO SEDIMENT TRAP

TEMPORARY CONSTRUCTION EXIT

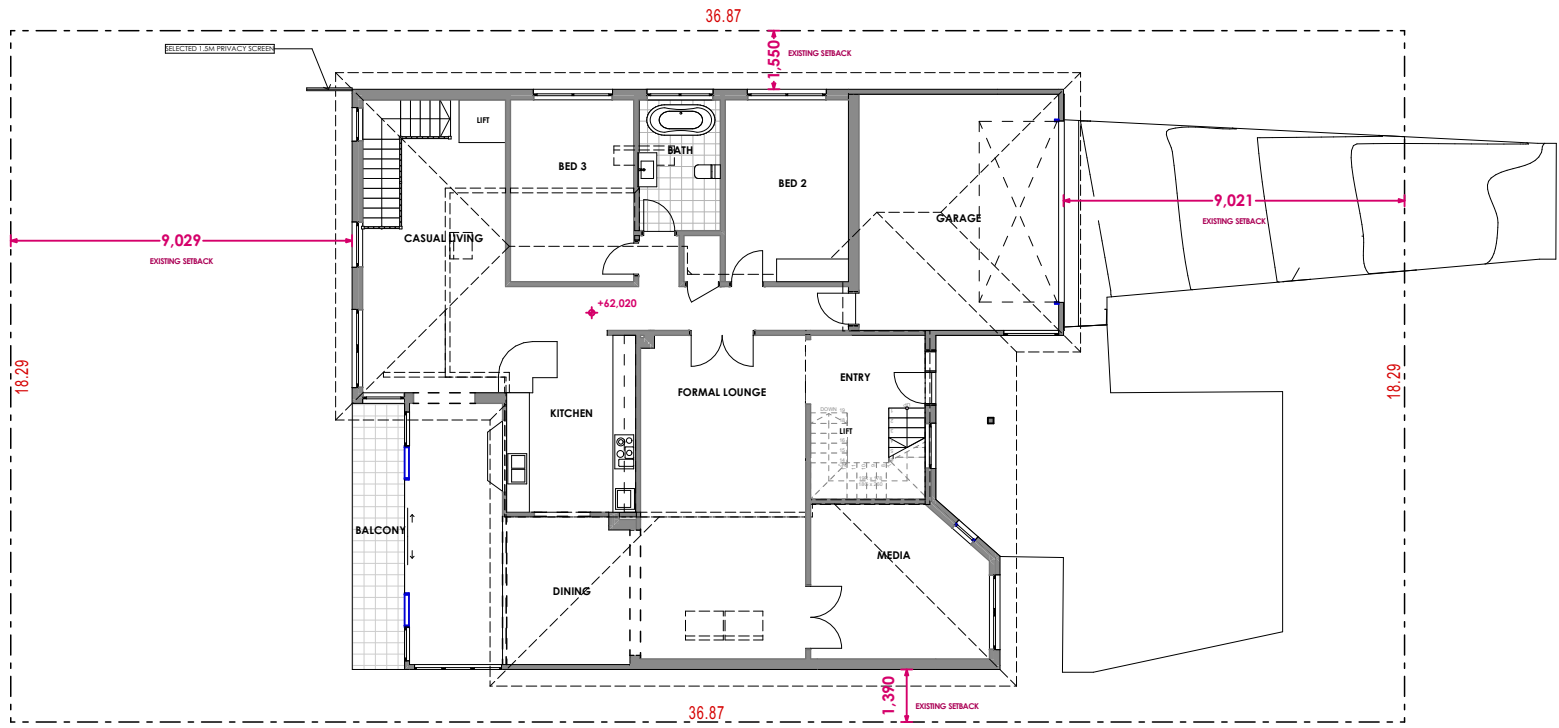
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES



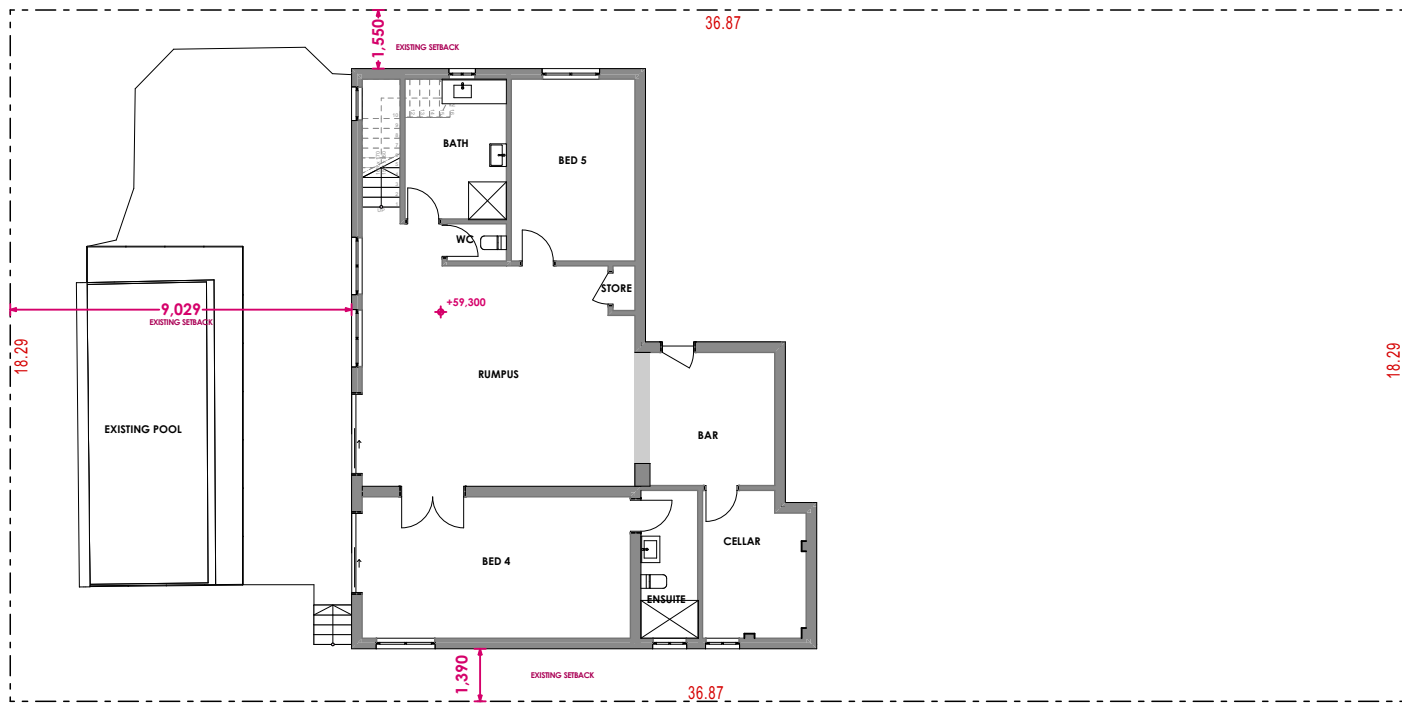


**GENERAL NOTE:**

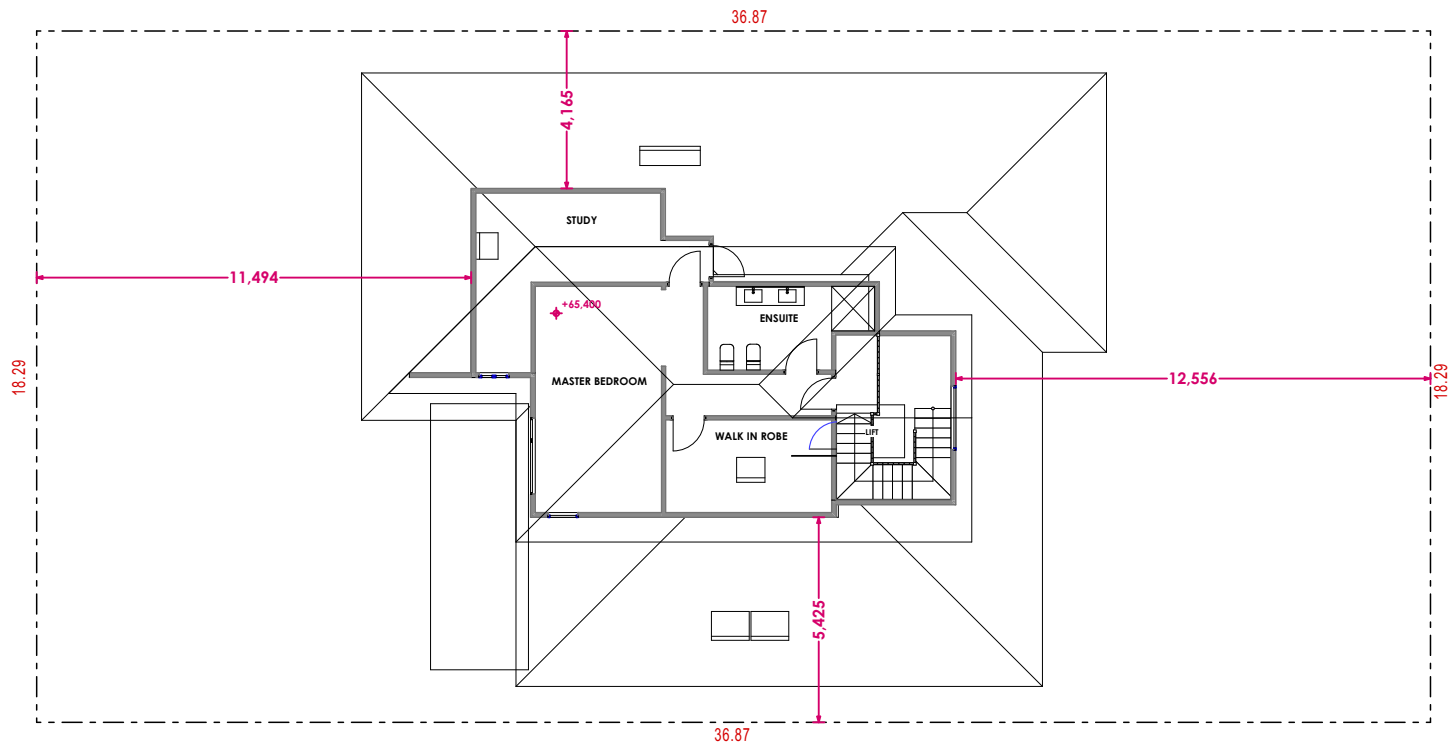
- FRAMING TO AS1685 - 2010
- CONCRETE FOOTING TO AS2870 - 2011
- PLUMBING TO AS3500 - 2003
- MASONRY TO AS4773 & 3700
- TERMITE CONTROL TO AS2049
- DOORS AND WINDOWS TO AS2047



EXISTING GROUND FLOOR



EXISTING LOWER GROUND FLOOR



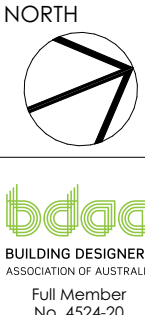
EXISTING FIRST FLOOR

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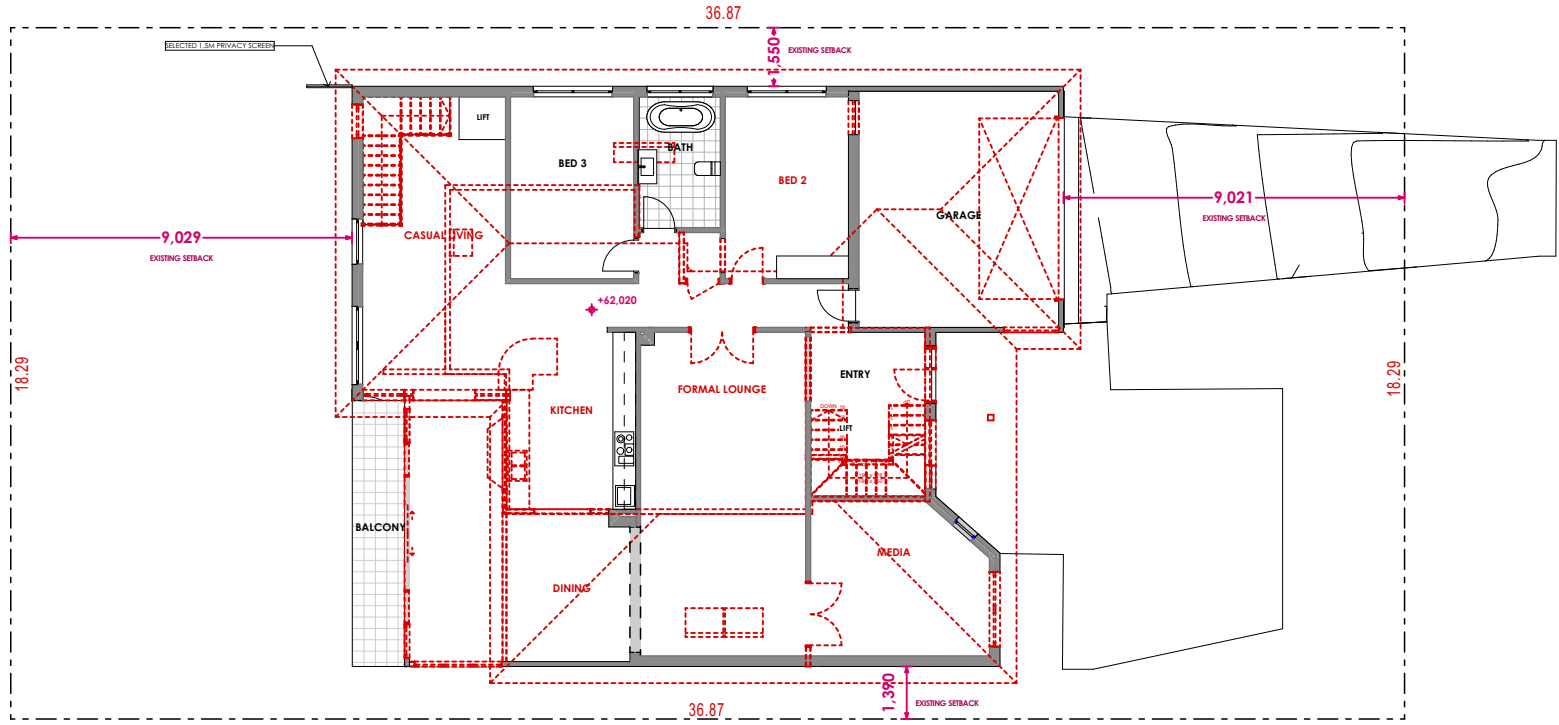
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11/04/2025	S4.55	AI	SL
16/04/2025	S4.55	AJ	SL
17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
23/04/2025	S4.55	AM	SL
24/04/2025	S4.55	AN	SL
02/05/2025	S4.55	AO	SL

ADDRESS	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY
CLIENT	SIMON CAO

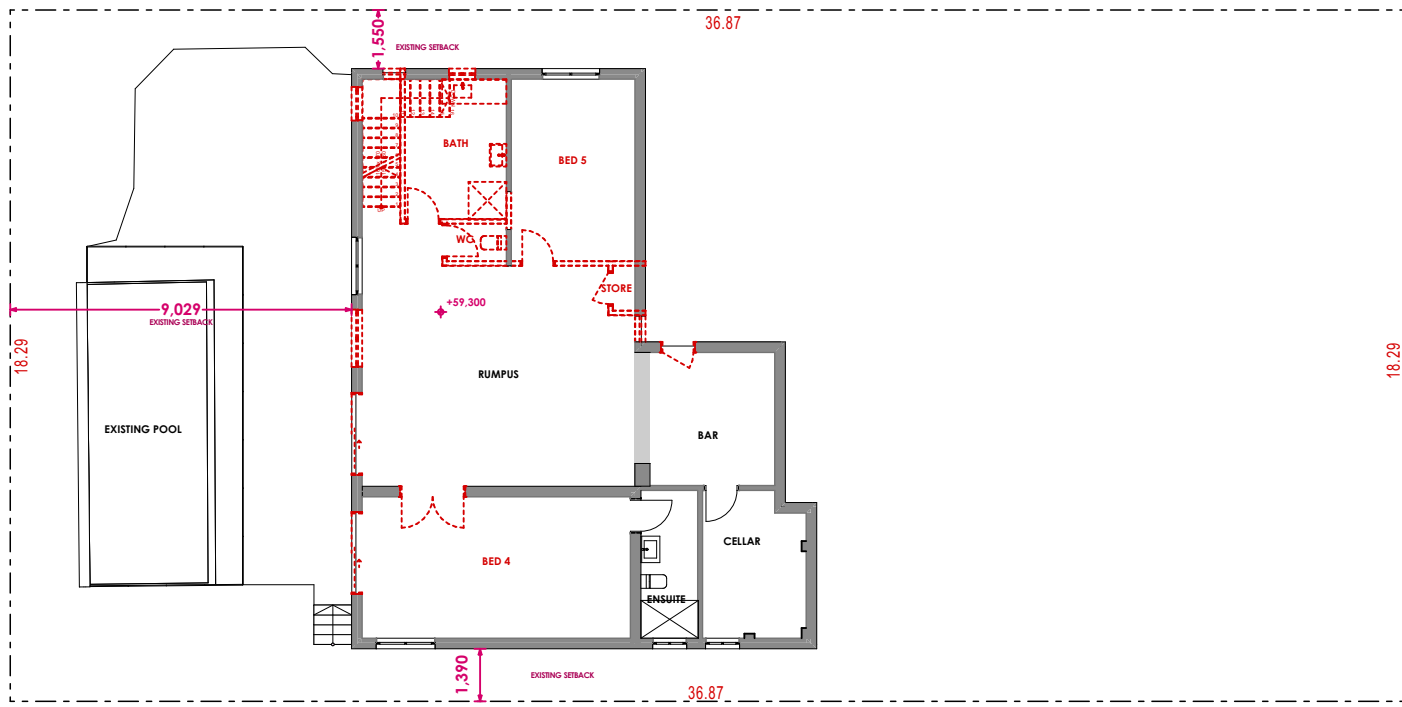
DRAWING TITLE	EXISTING FLOOR PLANS
PROJECT	NEW DWELLING

DRAWING STATUS			
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DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:200
DWG NO DA08		JOB NUMBER 24013	ISSUE AO

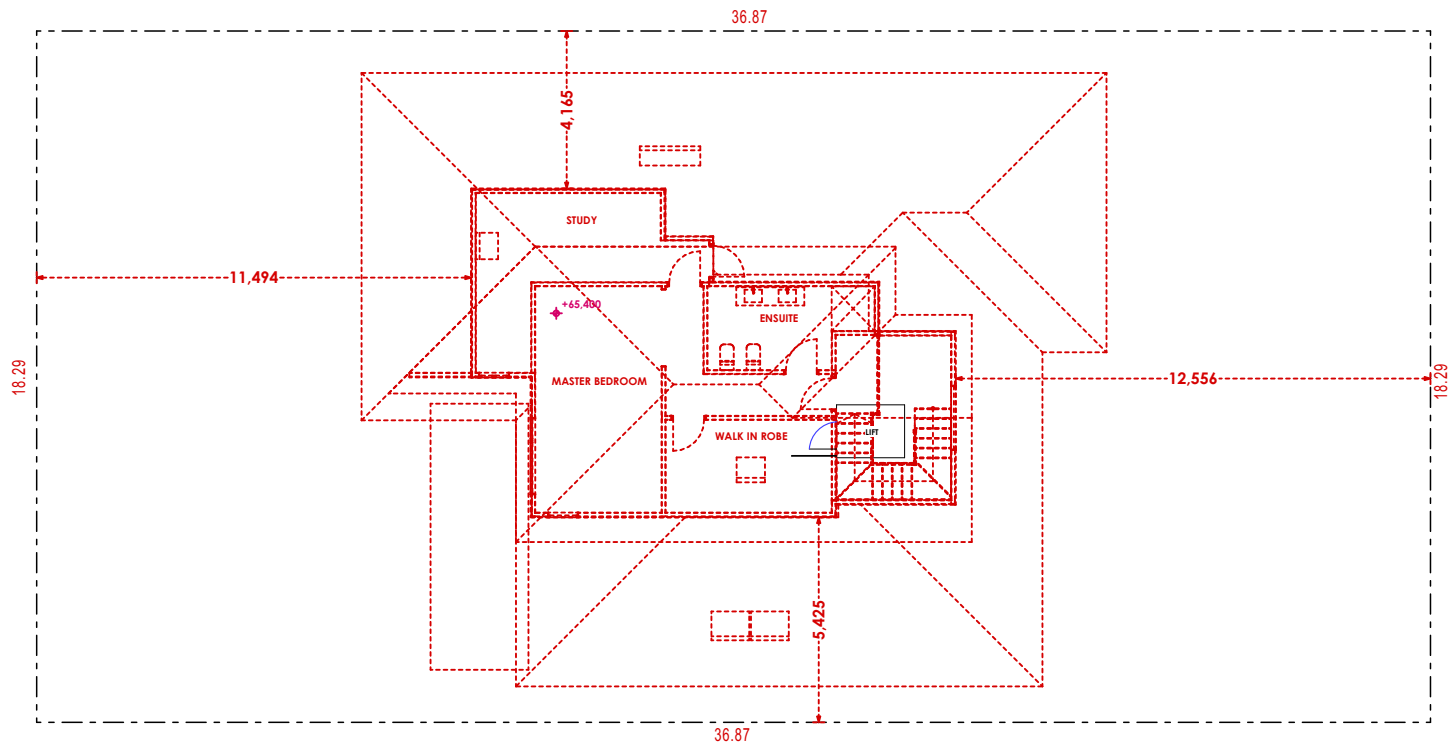
**GENERAL NOTE:**  
- FRAMING TO AS1685 - 2010  
- CONCRETE FOOTING TO AS2870 - 2011  
- PLUMBING TO AS3500 - 2003  
- MASONRY TO AS4773 & 3700  
- TERMITE CONTROL TO AS2049  
- DOORS AND WINDOWS TO AS2047




GROUND FLOOR DEMOLITION PLAN



LOWER GROUND FLOOR DEMOLITION PLAN

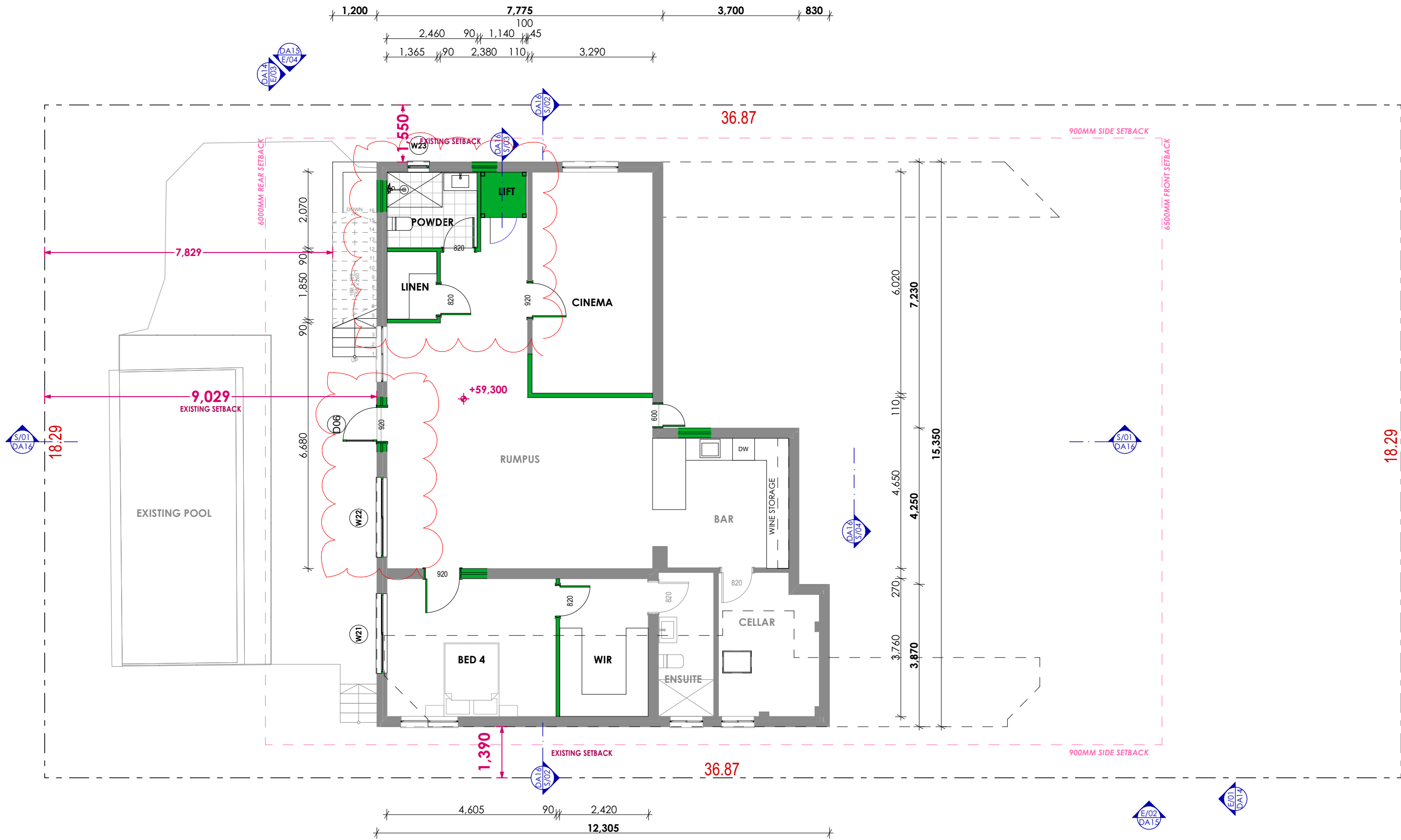


FIRST FLOOR DEMOLITION PLAN

<div><div>BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES</div><div>- WHERE A DISCREPANCY ARISES SEEK DIRECTION PRIOR TO PROCEEDING WITH WORKS</div><div>- FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY +/-100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO THE CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.</div></div> <div><div>THE COPYRIGHT OF THIS DESIGN REMAINS THE PROPERTY OF FYFFE DESIGN PTY LTD - THIS DESIGN IS NOT TO BE USED, COPIED OR REPRODUCED WITHOUT THE AUTHORITY OF FYFFE DESIGN PTY LTD.</div><div>www.fyffedesign.com.au   e. info@fyffedesign.com.au   p. 02 9634 3600</div><div>5G/ 256 New Line Road Dural</div></div>	<div><div>FYFFE DESIGN</div></div>	<div><div>NORTH</div><div></div><div><div>bdaa</div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div><div>Full Member No. 4524-20</div></div></div>	DATE	AMENDMENTS	REV	BY	ADDRESS	DRAWING TITLE	DRAWING STATUS			
			05/03/2025	DA SUBMISSION	AH	SL	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY	DEMOLITION FLOOR PLANS	<div><div>\$4.55</div></div>			
			11/04/2025	S4.55	AI	SL						
			16/04/2025	S4.55	AJ	SL						
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			22/04/2025	S4.55	AL	SL						
			23/04/2025	S4.55	AM	SL	CLIENT SIMON CAO	PROJECT NEW DWELLING	DWG NO DA09	JOB NUMBER 24013	ISSUE AO	
			24/04/2025	S4.55	AN	SL						
			02/05/2025	S4.55	AO	SL						

**GENERAL NOTE:**

- FRAMING TO AS1685 - 2010
- CONCRETE FOOTING TO AS2870 - 2011
- PLUMBING TO AS3500 - 2003
- MASONRY TO AS4773 & 3700
- TERMITE CONTROL TO AS2049
- DOORS AND WINDOWS TO AS2047

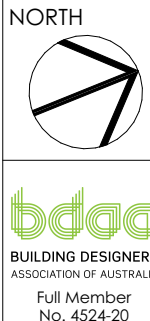


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DATE	AMENDMENTS	REV	BY
05/03/2025	DA SUBMISSION	AH	SL
11/04/2025	S4.55	AI	SL
16/04/2025	S4.55	AJ	SL
17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
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02/05/2025	S4.55	AO	SL

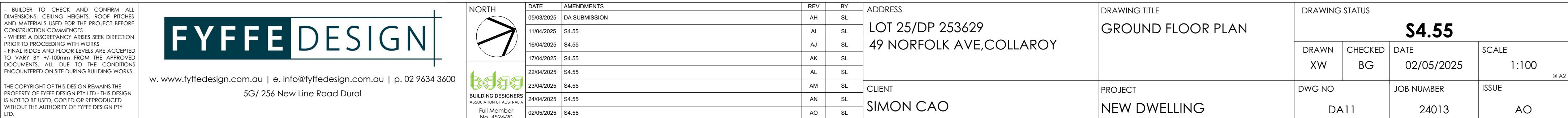
ADDRESS	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY
CLIENT	SIMON CAO

DRAWING TITLE	LOWER GROUND FLOOR PLAN
PROJECT	NEW DWELLING

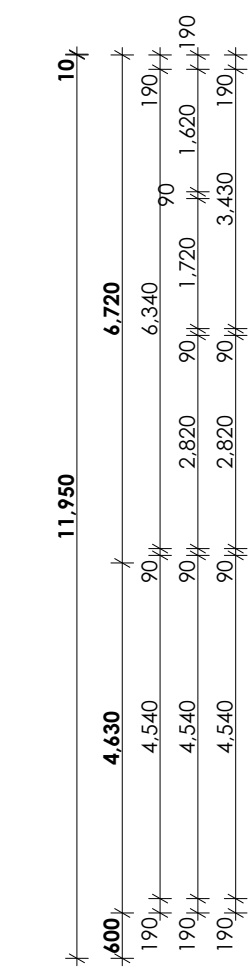
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S4.55			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:100
DWG NO DA10		JOB NUMBER 24013	ISSUE AO



- FRAMING TO AS1685 - 2010
- CONCRETE FOOTING TO AS2870 - 2011
- PLUMBING TO AS3500 - 2003
- MASONRY TO AS4773 & 3700
- TERMITE CONTROL TO AS2049
- DOORS AND WINDOWS TO AS2047



- FRAMING TO AS1685 - 2010
- CONCRETE FOOTING TO AS2870 - 2011
- PLUMBING TO AS3500 - 2003
- MASONRY TO AS4773 & 3700
- TERMITE CONTROL TO AS2049
- DOORS AND WINDOWS TO AS2047



1,925	190	8,600	90	4,360	90	2,560	190	800
3,885	190		11,090		90	2,560	190	800
3,885	190	5,120	190	1,960	1,620	4,570	190	800
1,930	1,960	5,500		1,960		6,660		800
1,930			16,880					

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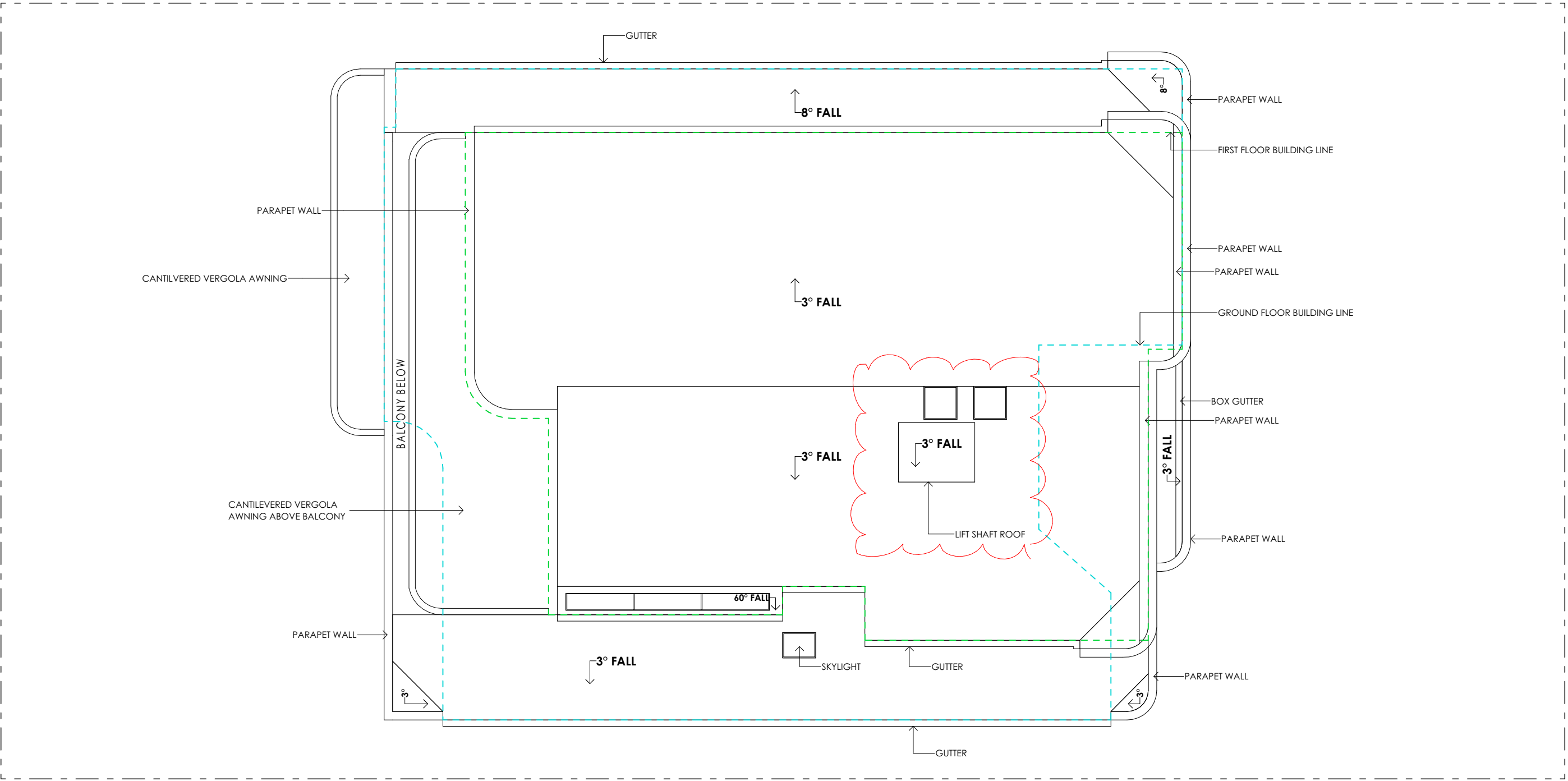
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23/04/2025	\$4.55	AM	SL
24/04/2025	\$4.55	AN	SL
02/05/2025	\$4.55	AO	SL

ADDRESS	LOT 25/DP 253629 49 NORFOLK AVE, COLLAROY
CLIENT	SIMON CAO

PROJECT  
NEW DWELLING

DRAWING STATUS			
<b>\$4.55</b>			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:100 @ A2
DWG NO DA12		JOB NUMBER 24013	ISSUE AO

<b>GENERAL NOTE:</b> - FRAMING TO AS1685 - 2010 - CONCRETE FOOTING TO AS2870 - 2011 - PLUMBING TO AS3500 - 2003 - MASONRY TO AS4773 & 3700 - TERMITE CONTROL TO AS2049 - DOORS AND WINDOWS TO AS2047		
<b>ROOF AREA</b>		
Level	Pitch	Area
GROUND FLOOR FCL	3.00°	39.50
GROUND FLOOR FCL	8.00°	29.56
FIRST FLOOR FCL	3.00°	172.50
FIRST FLOOR FCL	8.00°	1.81
FIRST FLOOR FCL	60.00°	1.64
		<b>245.01 m²</b>



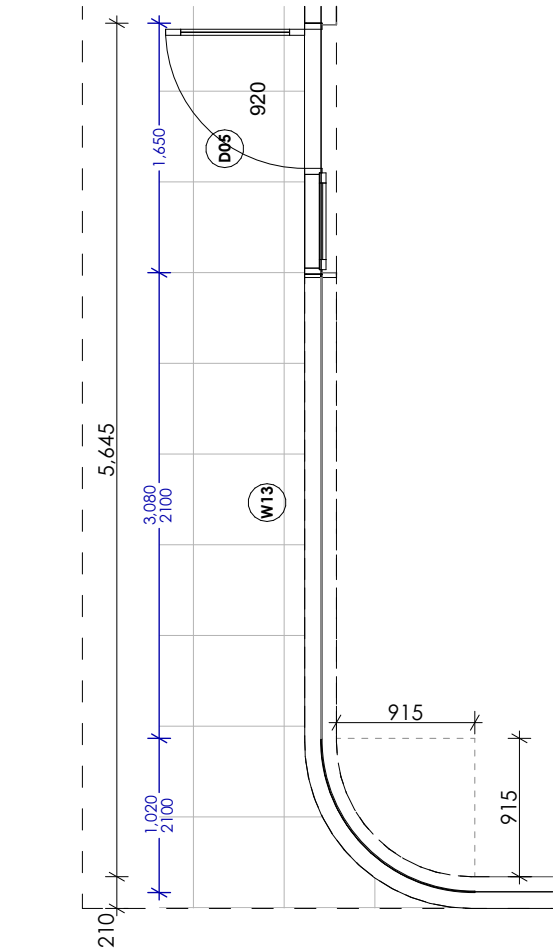
ROOF PLAN

WINDOW SCHEDULE											
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11
W x H	1,450×1,500	1,826×1,620	1,980×1,500	1,000×1,400	2,750×1,400	REFER TO PLAN 5 - GLAZING DETAIL	3,300×1,800	5,875×1,800	1,090×1,100	640×900	1,180×600
ELEVATION											

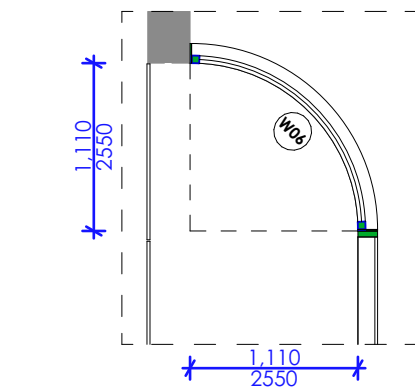
WINDOW SCHEDULE											
ID	W12	W13	W15	W16	W17	W18	W19	W20	W21	W22	W23
W x H	600×1,100	REFER TO PLAN 4 - GLAZING DETAIL	710×600	710×600	710×900	710×900	710×900	710×900	2,170×1,120	2,170×1,120	600×500
ELEVATION											

DOOR SCHEDULE						
ID	D01	D02	D03	D04	D05	D06
W x H	1,450×2,400	920×2,550	900×2,610	920×2,040	920×2,040	1,000×2,100
ELEVATION						

SKYLIGHT SCHEDULE				
ID	SK01	SK02	SK03	SK04
W x H	780×600	4,800×800	780×780	780×780
Elevation				



PLAN4 GLAZING DETAIL



PLAN5 GLAZING DETAIL

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- WHERE A DISCREPANCY ARISES SEEK DIRECTION PRIOR TO PROCEEDING WITH WORKS  
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5G/ 256 New Line Road Dural



DATE	AMENDMENTS	REV	BY
05/03/2025	DA SUBMISSION	AH	SL
11/04/2025	S4.55	AI	SL
16/04/2025	S4.55	AJ	SL
17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
23/04/2025	S4.55	AM	SL
24/04/2025	S4.55	AN	SL
02/05/2025	S4.55	AO	SL

ADDRESS	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY
CLIENT	SIMON CAO

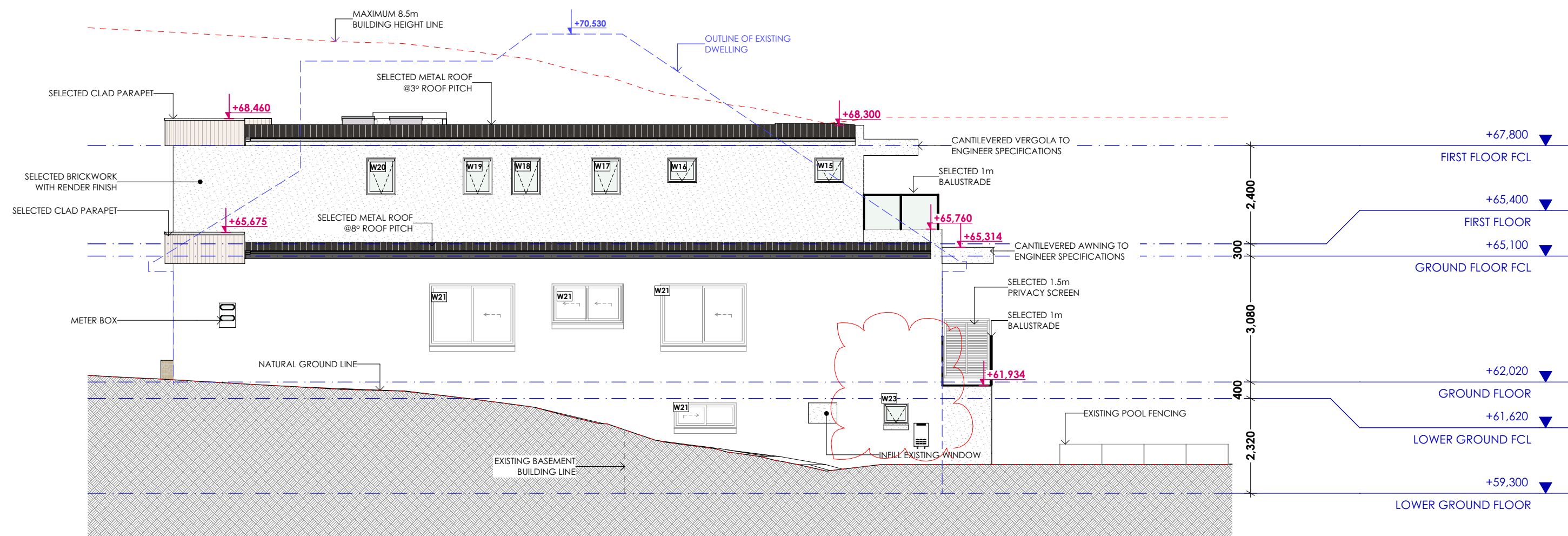
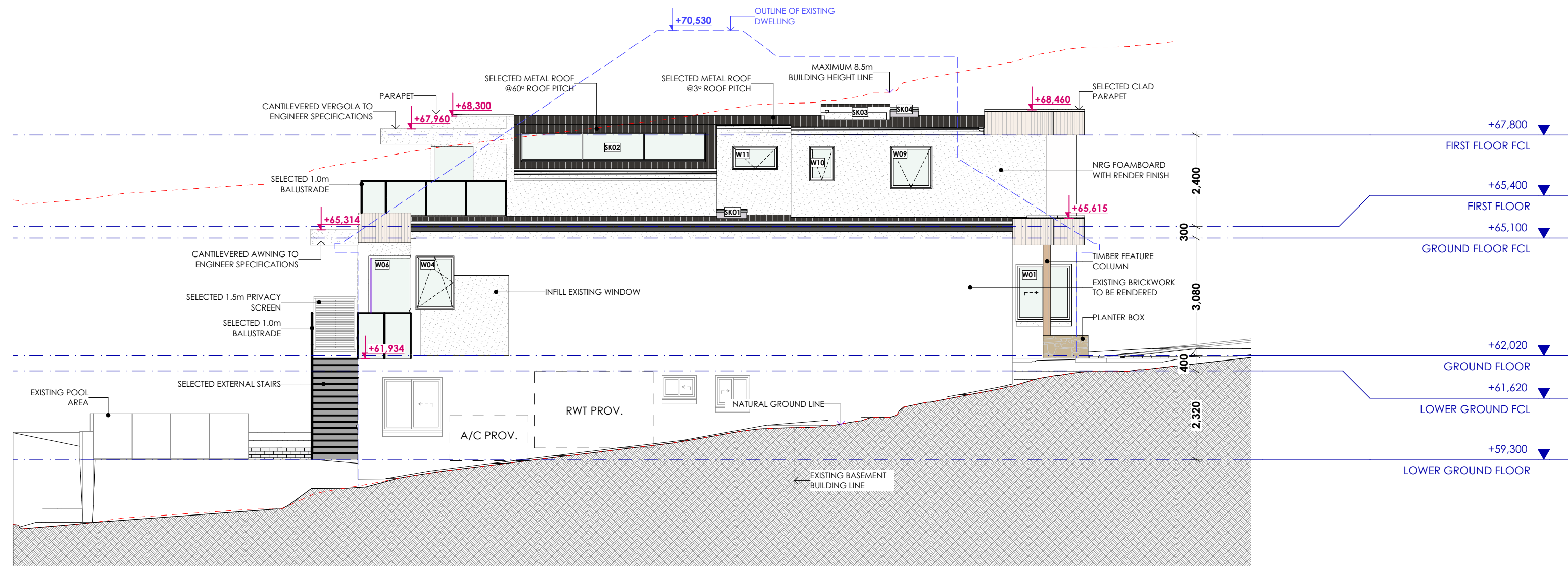
DRAWING TITLE	ROOF PLAN & WINDOW/ DOOR SCHEDULE
PROJECT	NEW DWELLING

DRAWING STATUS			
<b>S4.55</b>			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:100
DWG NO DA13	JOB NUMBER 24013	ISSUE AO	

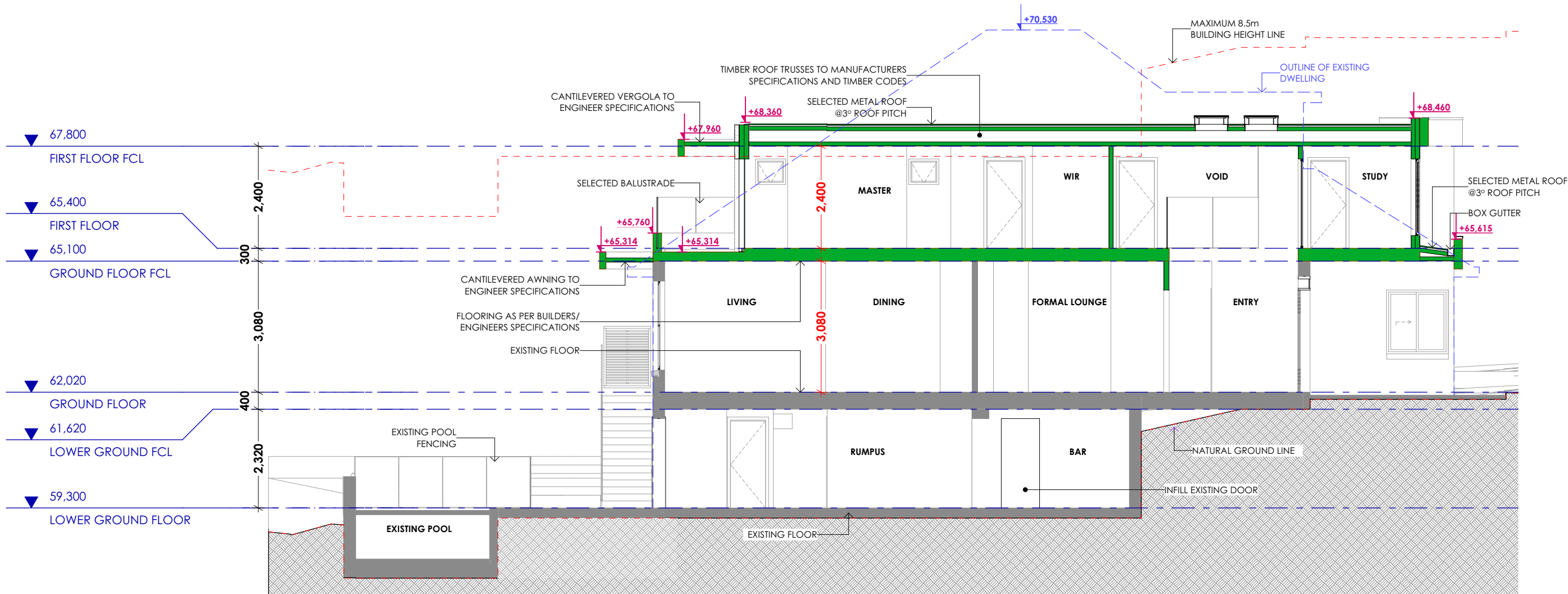






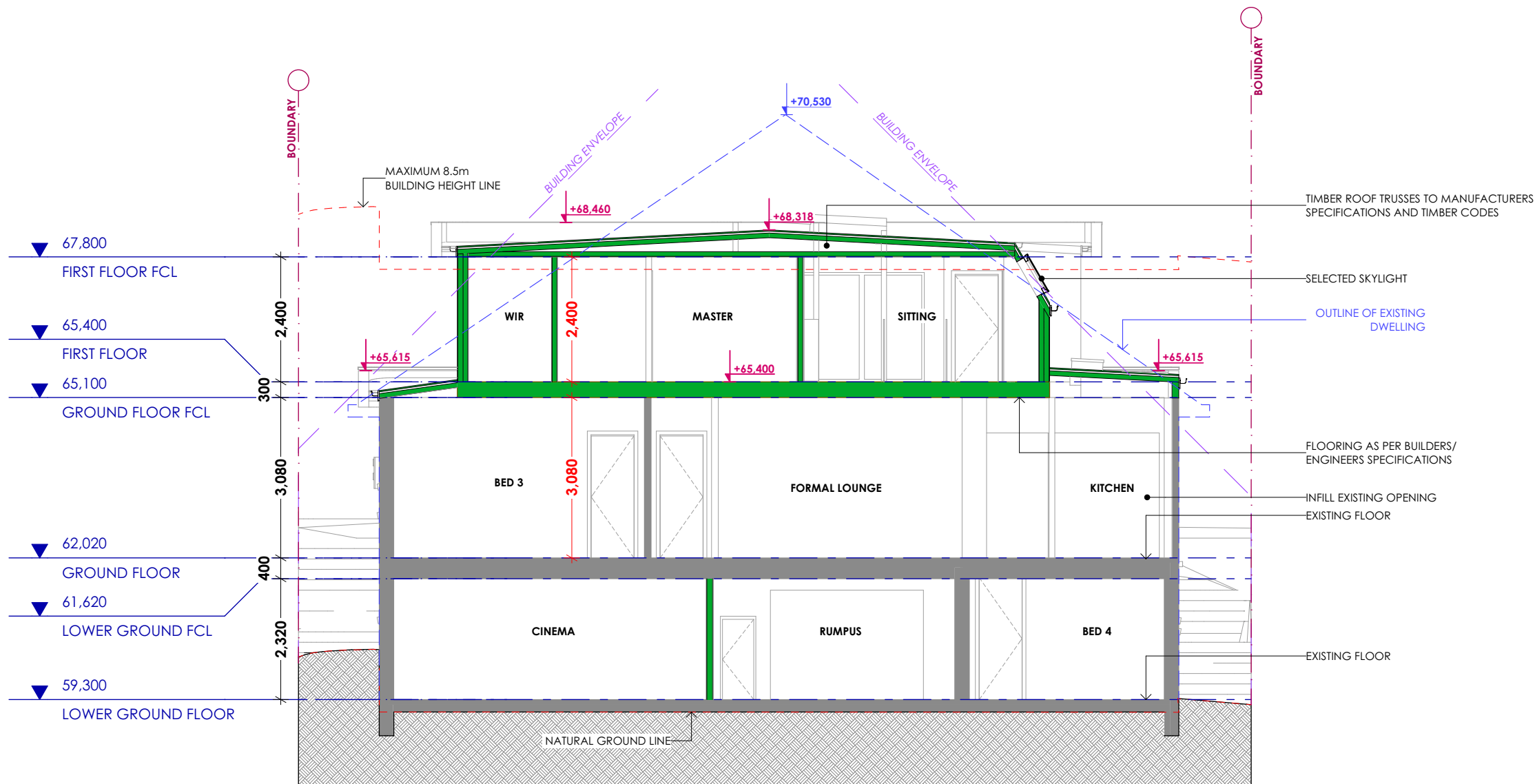


<div><div><div>- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES</div><div>- WHERE A DISCREPANCY ARISES SEEK DIRECTION PRIOR TO PROCEEDING WITH WORKS</div><div>- FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY +/-100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO THE CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.</div></div></div> <div><div>THE COPYRIGHT OF THIS DESIGN REMAINS THE PROPERTY OF FYFFE DESIGN PTY LTD. THIS DESIGN IS NOT TO BE USED, COPIED OR REPRODUCED WITHOUT THE AUTHORITY OF FYFFE DESIGN PTY LTD.</div></div>	<div><div><div>FYFFE</div><div>DESIGN</div></div></div>	<div>w. <a href="#">www.fyffedesign.com.au</a>   e. <a href="#">info@fyffedesign.com.au</a>   p. 02 9634 3600</div> <div>5G/ 256 New Line Road Dural</div>	<div><div><div>bdaa</div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div><div>Full Member Since 2014-20</div></div></div>	NORTH	DATE	AMENDMENTS	REV	BY	ADDRESS LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY	DRAWING TITLE WEST & EAST ELEVATIONS	DRAWING STATUS			
				05/03/2025	DA SUBMISSION	AH	SL	S\$4.55						
				11/04/2025	\$4.55	AI	SL							
				16/04/2025	\$4.55	AJ	SL							
				17/04/2025	\$4.55	AK	SL							
				22/04/2025	\$4.55	AL	SL							
				23/04/2025	\$4.55	AM	SL	CLIENT SIMON CAO			PROJECT NEW DWELLING	DRAWN	CHECKED	DATE
				24/04/2025	\$4.55	AN	SL		XW	BG		02/05/2025	1:100	
02/05/2025	\$4.55	AO	SL	DWG NO	JOB NUMBER	ISSUE	@ A2							
				DA15	24013	AO								



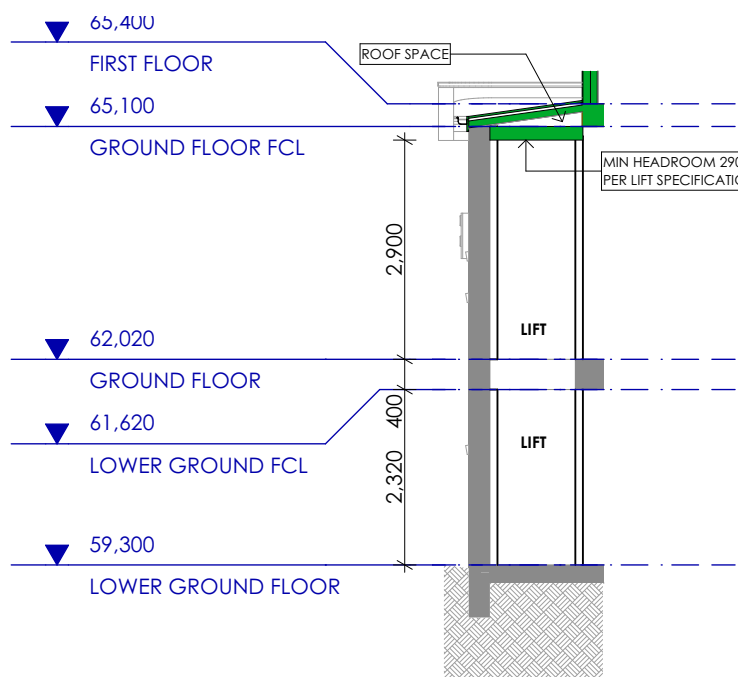
S/01

SECTION 01



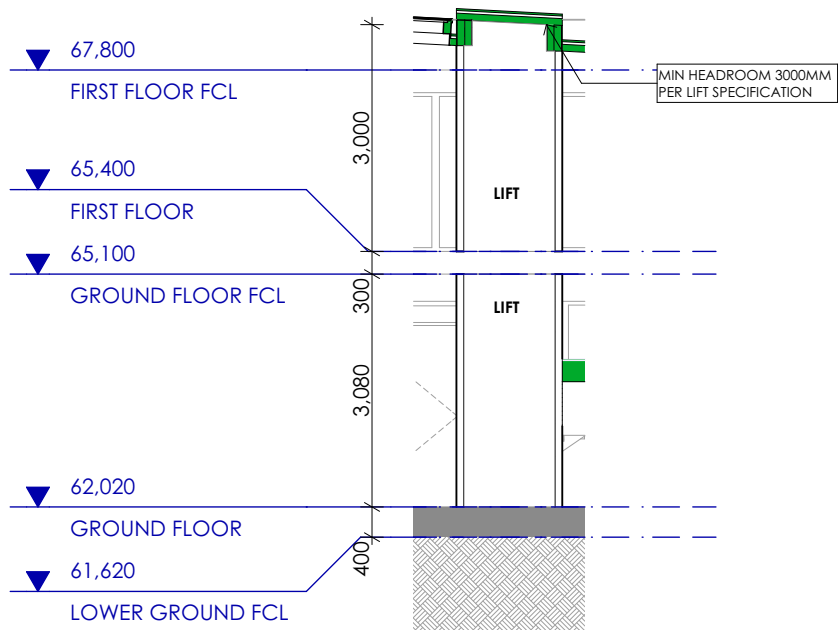
S/02

SECTION 02



S/03

LIFT SECTION



S/04

LIFT SECTION 2

- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES  
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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA  
Full Member  
No. 4524-20

DATE	AMENDMENTS	REV	BY
05/03/2025	DA SUBMISSION	AH	SL
11/04/2025	S4.55	AI	SL
16/04/2025	S4.55	AJ	SL
17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
23/04/2025	S4.55	AM	SL
24/04/2025	S4.55	AN	SL
02/05/2025	S4.55	AO	SL

ADDRESS  
LOT 25/DP 253629  
49 NORFOLK AVE, COLLAROY

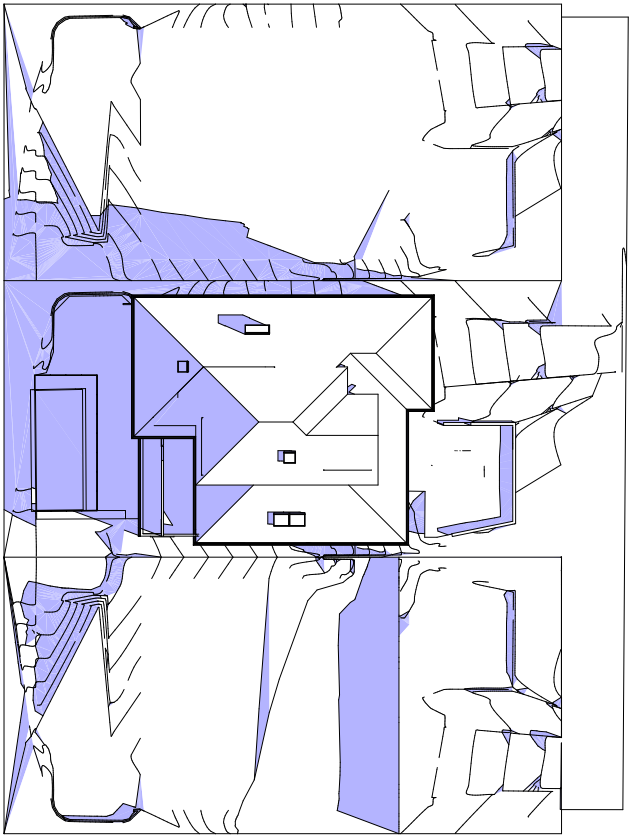
CLIENT  
SIMON CAO

DRAWING TITLE  
SECTIONS

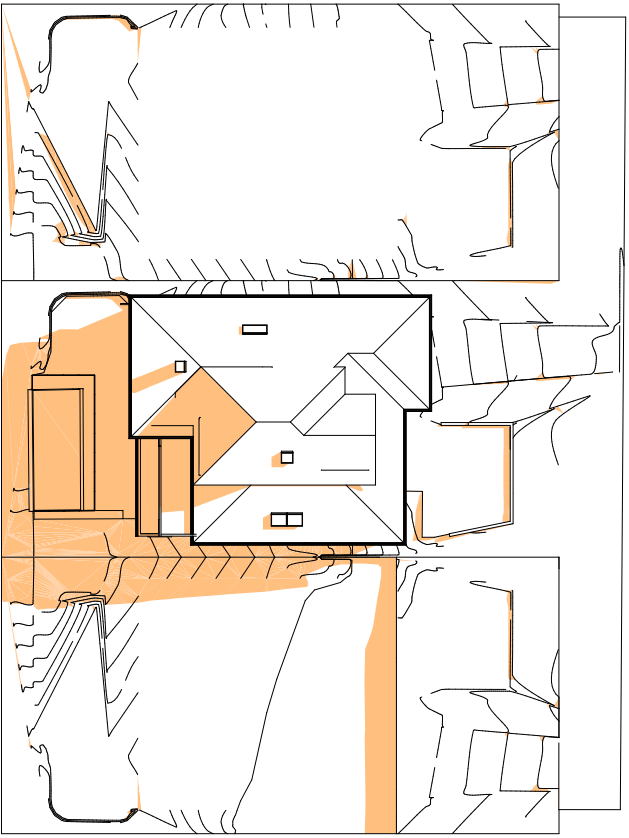
PROJECT  
NEW DWELLING

DRAWING STATUS			
<b>S4.55</b>			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:100
DWG NO DA16	JOB NUMBER 24013	ISSUE AO	





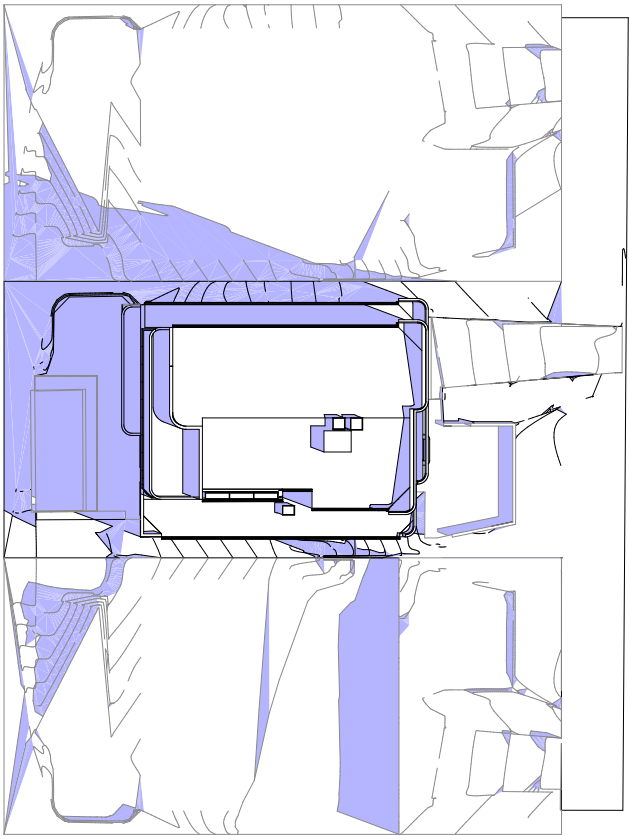
EXISTING 9AM SHADOW DIAGRAM



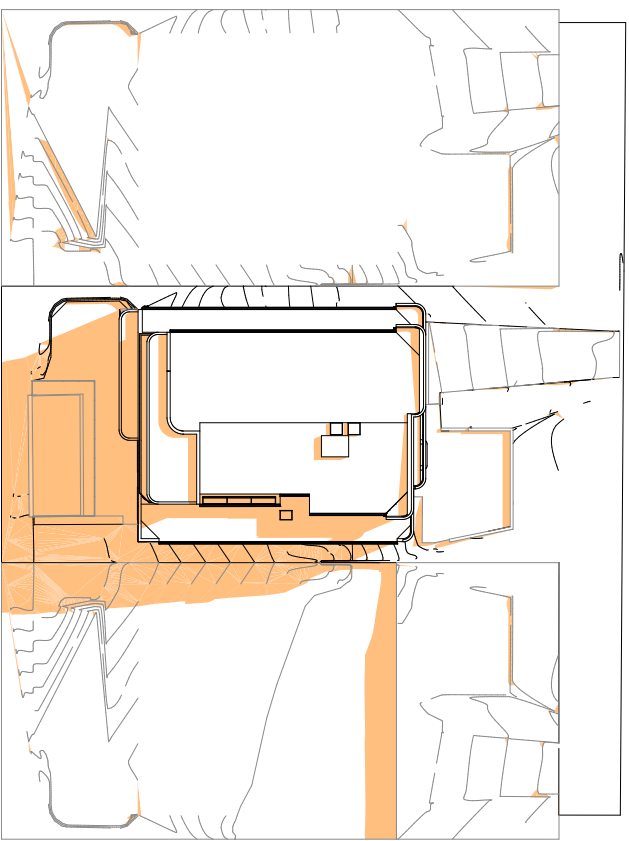
EXISTING 12PM SHADOW DIAGRAM



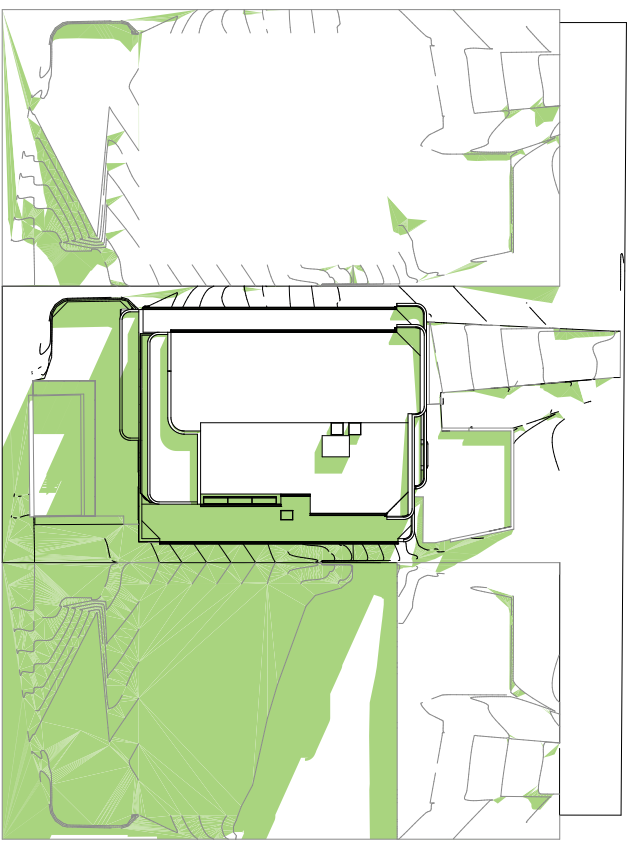
EXISTING 3PM SHADOW DIAGRAM



PROPOSED 9AM SHADOW DIAGRAM



PROPOSED 12PM SHADOW DIAGRAM



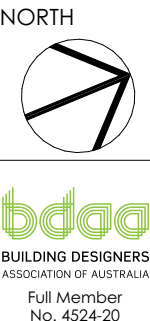
PROPOSED 3PM SHADOW DIAGRAM

- BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS, CEILING HEIGHTS, ROOF PITCHES AND MATERIALS USED FOR THE PROJECT BEFORE CONSTRUCTION COMMENCES  
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DATE	AMENDMENTS	REV	BY
05/03/2025	DA SUBMISSION	AH	SL
11/04/2025	S4.55	AI	SL
16/04/2025	S4.55	AJ	SL
17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
23/04/2025	S4.55	AM	SL
24/04/2025	S4.55	AN	SL
02/05/2025	S4.55	AO	SL

ADDRESS	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY
CLIENT	SIMON CAO

DRAWING TITLE	SHADOW DIAGRAMS
PROJECT	NEW DWELLING

DRAWING STATUS			
S4.55			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE 1:500
DWG NO DA17		JOB NUMBER 24013	ISSUE AO





**Dulux**  
Natural White™  
over 100 years

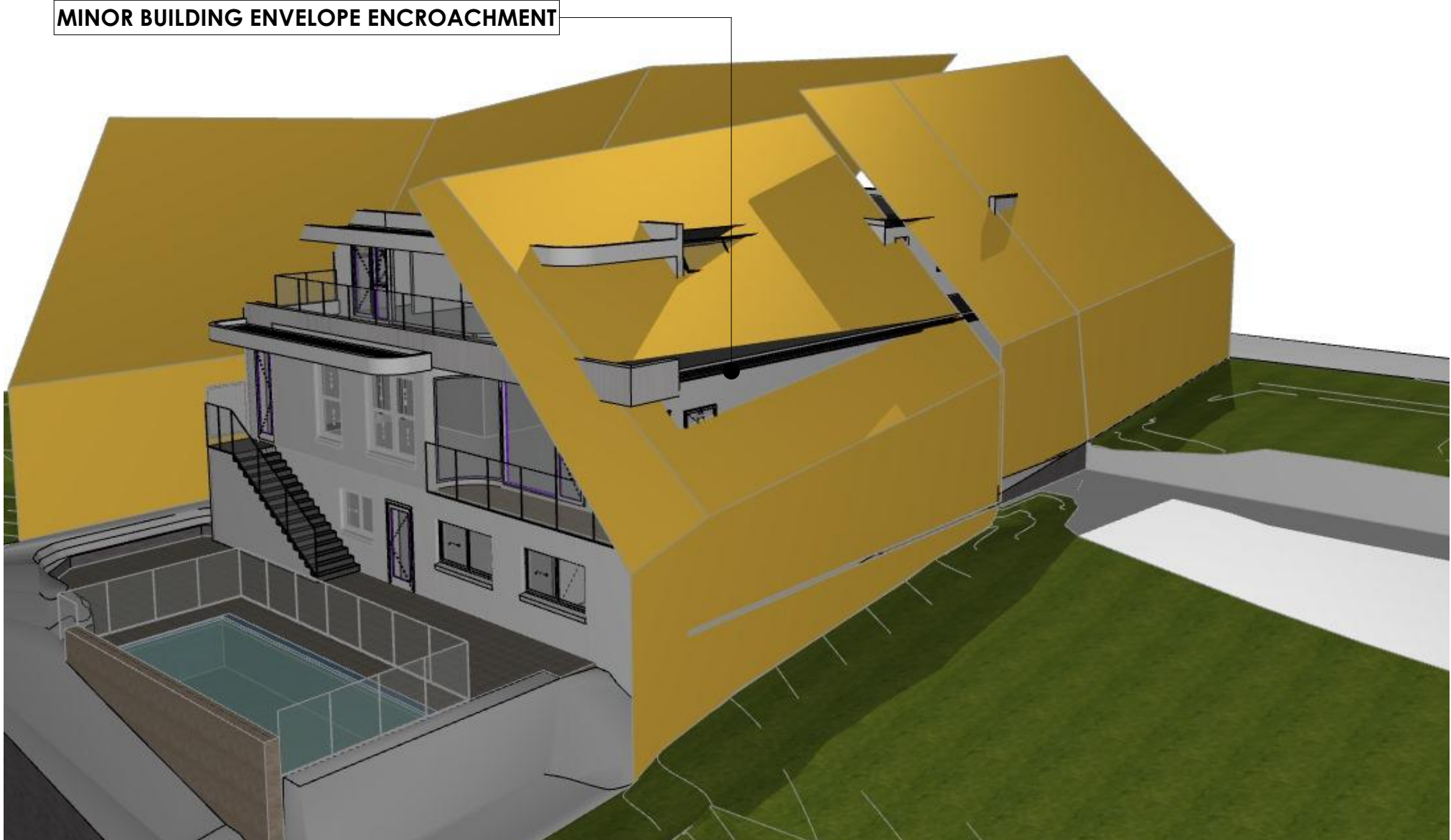
**DULUX NATURAL WHITE OR  
EQUIVALENT**

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		<div>DRAWN</div> <div>XW</div>	<div>CHECKED</div> <div>BG</div>	<div>DATE</div> <div>02/05/2025</div>	<div>SCALE</div> <div>1:100</div>			
		<div>CLIENT</div> <div>SIMON CAO</div>		<div>PROJECT</div> <div>NEW DWELLING</div>	<div>DWG NO</div> <div>DA18</div>	<div>JOB NUMBER</div> <div>24013</div>	<div>ISSUE</div> <div>AO</div>	

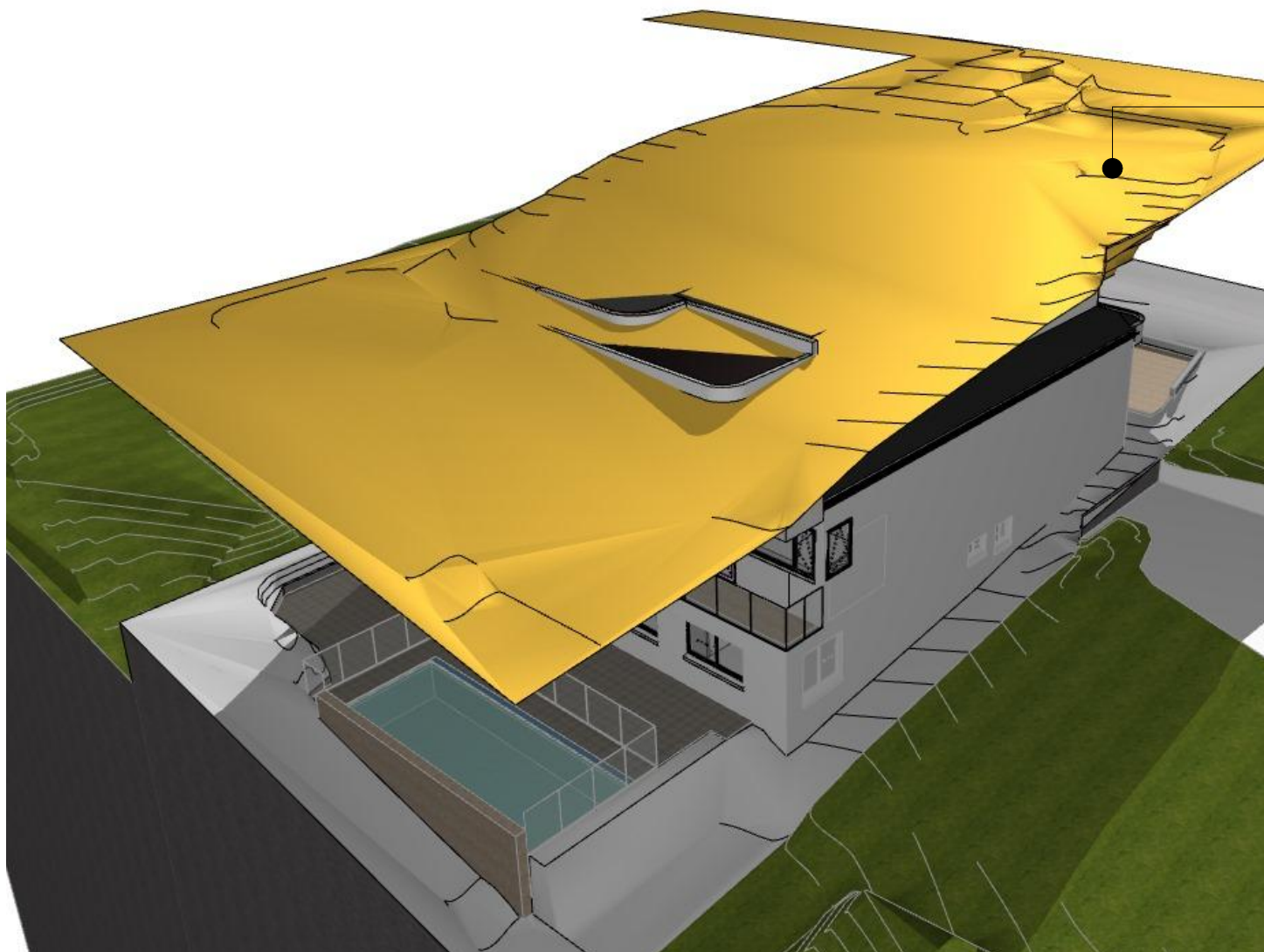




BUILDING ENVELOPE EAST



BUILDING ENVELOPE WEST



MAXIMUM BUILDING HEIGHT DIAGRAM

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DATE	AMENDMENTS	REV	BY
05/03/2025	DA SUBMISSION	AH	SL
11/04/2025	S4.55	AI	SL
16/04/2025	S4.55	AJ	SL
17/04/2025	S4.55	AK	SL
22/04/2025	S4.55	AL	SL
23/04/2025	S4.55	AM	SL
24/04/2025	S4.55	AN	SL
02/05/2025	S4.55	AO	SL

ADDRESS	LOT 25/DP 253629 49 NORFOLK AVE,COLLAROY
CLIENT	SIMON CAO

DRAWING TITLE	BUILDING ENVELOPE DIAGRAMS
PROJECT	NEW DWELLING

DRAWING STATUS			
S4.55			
DRAWN XW	CHECKED BG	DATE 02/05/2025	SCALE @ A2
DWG NO DA19	JOB NUMBER 24013	ISSUE AO	



