



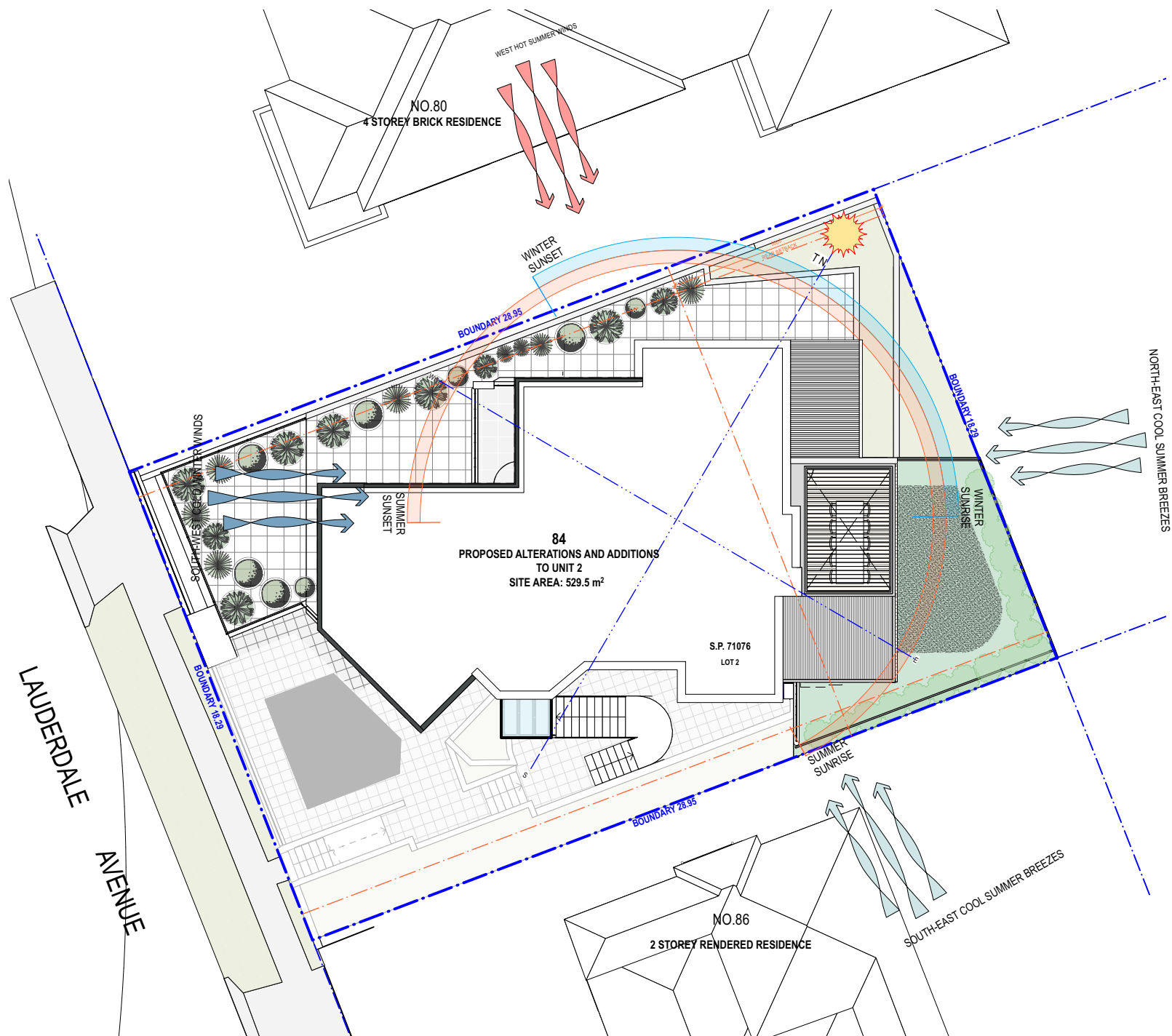
LEGEND		
BLK	-	CONCRETE BLOCK RETAINING WALL TO ENG. DETAILS
BRK	-	BRICKWORK WALL TO ENG. DETAILS
COL	-	STEEL COLUMN TO ENGINEERS DETAILS
CPT	-	CARPET ON UNDERLAY
CT1	-	CERAMIC FLOOR TILES (REFER FINISHES SCHEDULE)
EX	-	EXISTING
EP1	-	WALL FINISH - REFER EXTERNAL FINISHES SCHEDULE
FFL	-	FINISHED FLOOR LEVEL
RF	-	SMOOTH RENDER FINISH
NTS	-	NOT TO SCALE
TB1	-	INTERNAL POLISHED TIMBER FLOOR BOARDS

DRAWING LIST				
SHEET NO.	SHEET NAME	SHEET SIZE	REV NO.	REV. DATE
A000	COVER PAGE	A3	A	JULY 2025
A001	SITE ANALYSIS AND SITE PLAN	A3	A	JULY 2025
A010	EXISTING BASEMENT FLOOR PLAN	A3	A	JULY 2025
A011	EXISTING GROUND FLOOR PLAN	A3	A	JULY 2025
A012	APPROVED FIRST FLOOR PLAN	A3	A	JULY 2025
A013	DEMOLITION GROUND FLOOR PLAN	A3	A	JULY 2025
A101	FIRST FLOOR PLAN	A3	A	JULY 2025
A201	EAST ELEVATION	A3	A	JULY 2025
A202	WEST ELEVATION	A3	A	JULY 2025
A203	NORTH ELEVATION	A3	A	JULY 2025
A204	SOUTH ELEVATION	A3	A	JULY 2025
A221	SECTION A-A	A3	A	JULY 2025
A301	STREET PERSPECTIVE	A3	A	JULY 2025
A302	EXTERNAL SCHEDULE	A3	A	JULY 2025
N01	NOTIFICATION PLAN	A4	A	JULY 2025
SK01	FSR CALCULATION	A3	A	JULY 2025
SK02	WASTE MANAGEMENT PLAN	A3	A	JULY 2025
SK03	STORMWATER MANAGEMENT PLAN	A3	A	JULY 2025

BASIX NOTES		
BUILDER TO INCORPORATE BASIX COMMITMENTS DURING CONSTRUCTION AND CERTIFY AT COMPLETION		
FIXTURES		THERMAL COMFORT CONTINUED
SHOWERHEADS:	MINIMUM RATING 3 STAR	DOORS/WINDOWS: W-G/01a: U-VALUE 7.63 & SHGC 0.75
TOILET:	MINIMUM RATING 3 STAR	STANDARD ALUMINIUM
TAPS:	MINIMUM RATING 3 STAR	SINGLE CLEAR
THERMAL COMFORT		W-G/01b: U-VALUE 7.63 & SHGC 0.75
EXTERNAL WALLS:		STANDARD ALUMINIUM
FRAMED (METAL CLAD)		SINGLE CLEAR
INSULATION: R1.30 (OR R1.70 INCLUDING CONSTRUCTION)		SKYLIGHTS: NOT APPLICABLE
FRAMED (FC)		
INSULATION: R1.30 (OR R1.70 INCLUDING CONSTRUCTION)		
CEILINGS:	NOT APPLICABLE	
ROOF:	NOT APPLICABLE	

FOR DEVELOPMENT APPLICATION ONLY





1 SITE ANALYSIS PLAN
SCALE 1:200



2 SITE PLAN
NOT TO SCALE

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AMENDMENT
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ALTERATIONS AND ADDITIONS 2/84 LAUDERDALE AVENUE FAIRLIGHT

SITE ANALYSIS AND SITE PLAN

2508

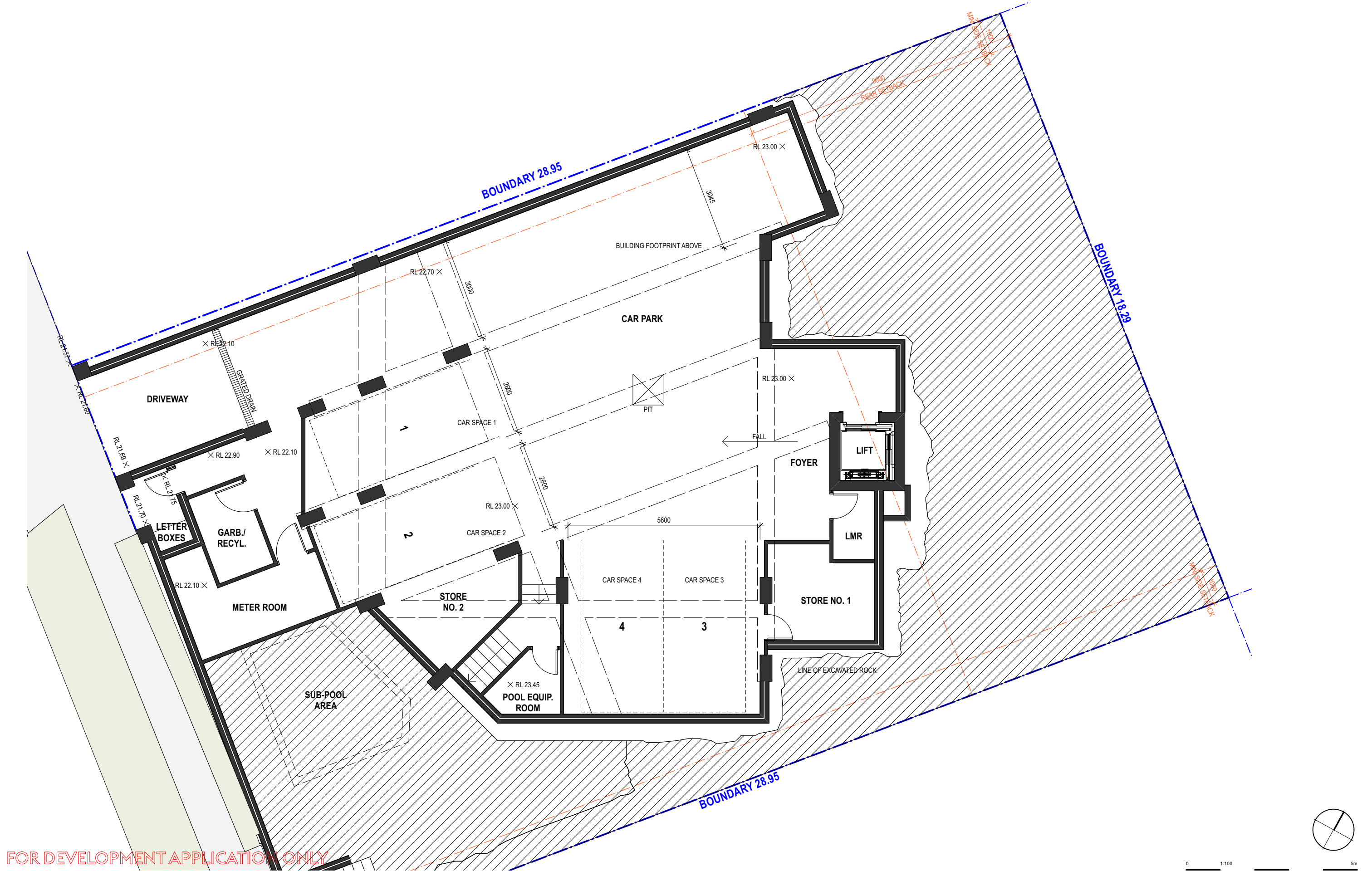
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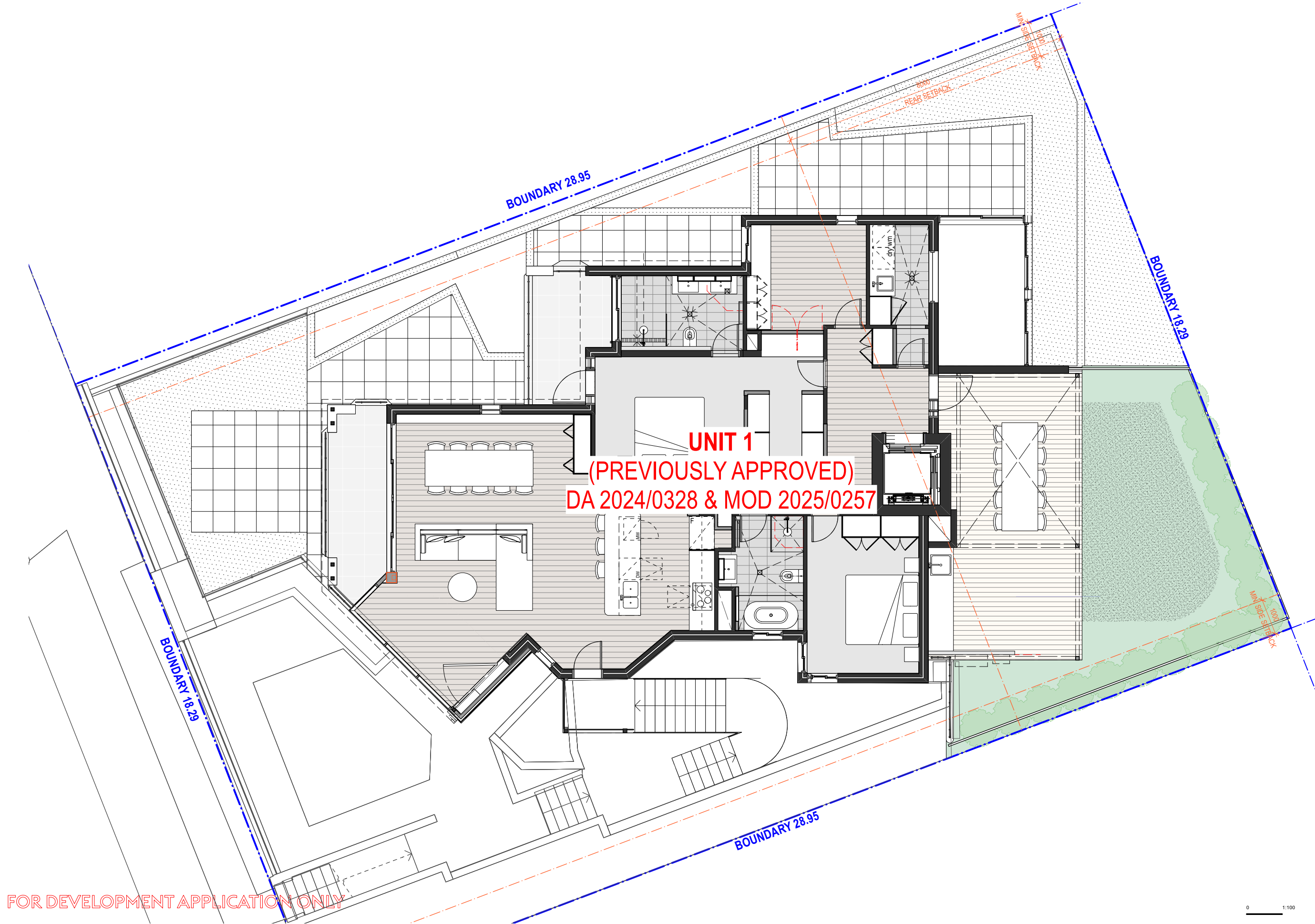
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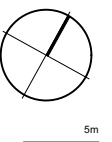
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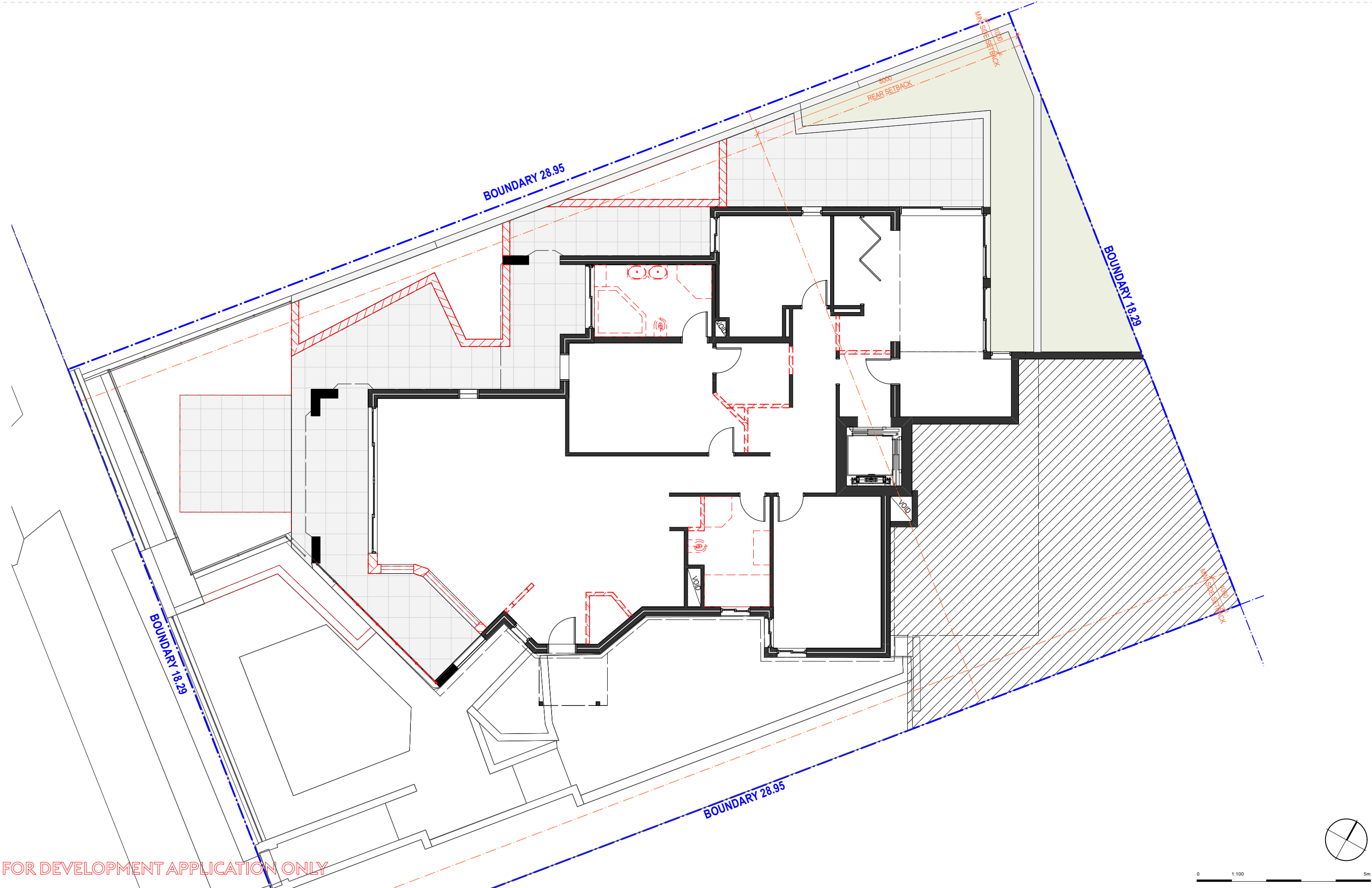
ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

APPROVED FIRST FLOOR PLAN

2508 A012 A
1:100 @ A3 JUNE 2025

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ALTERATIONS AND ADDITIONS 2/84 LAUDERDALE AVENUE FAIRLIGHT

DEMOLITION GROUND FLOOR PLAN

2508

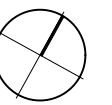
A013

A

1:100 @ A3

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0 1:100 5m

LEGEND

EXISTING WALLS

EXISTING WALLS TO BE DEMOLISHED

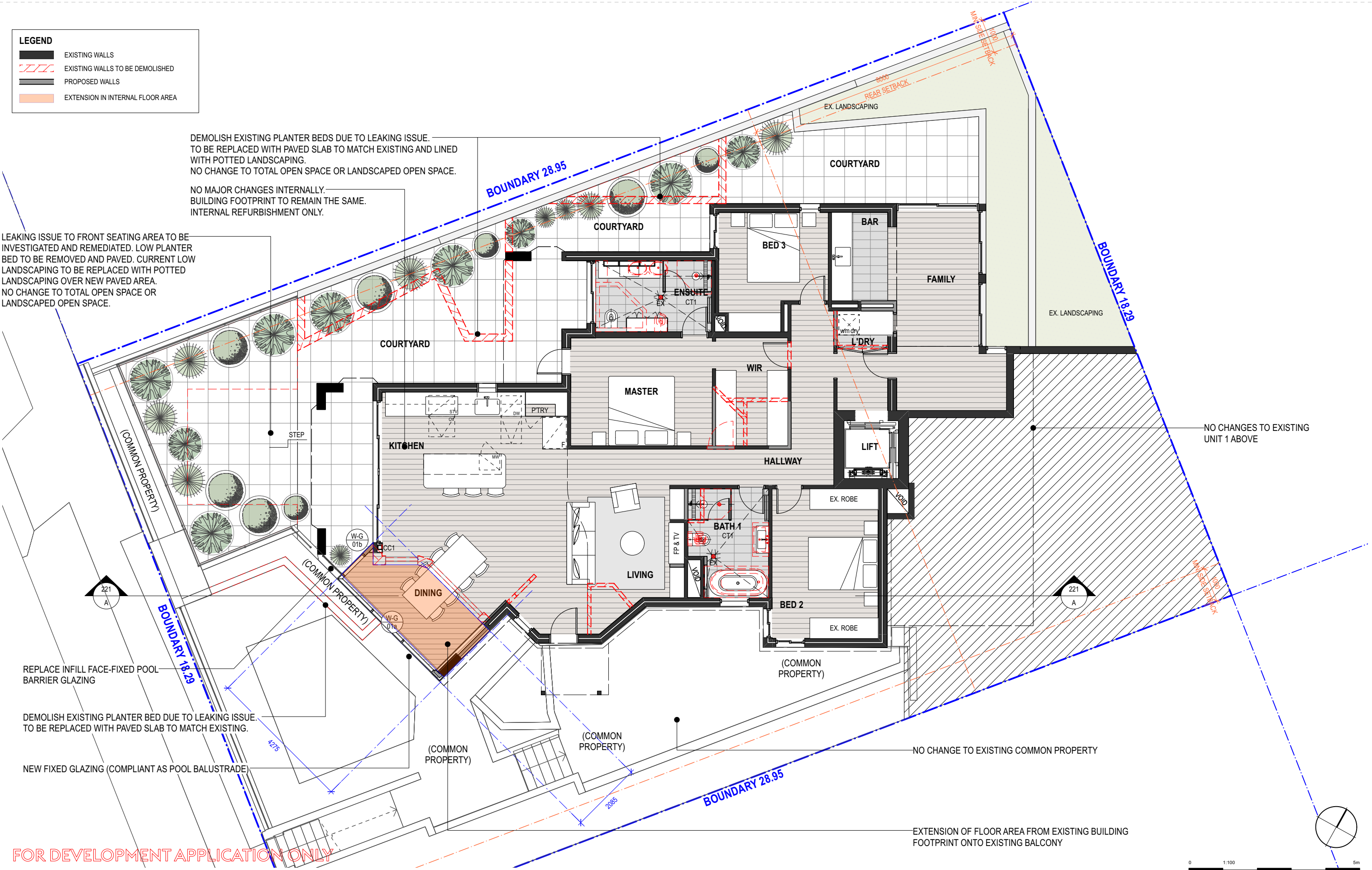
PROPOSED WALLS

EXTENSION IN INTERNAL FLOOR AREA

DEMOLISH EXISTING PLANTER BEDS DUE TO LEAKING ISSUE.
TO BE REPLACED WITH PAVED SLAB TO MATCH EXISTING AND LINED
WITH POTTED LANDSCAPING.
NO CHANGE TO TOTAL OPEN SPACE OR LANDSCAPED OPEN SPACE.

NO MAJOR CHANGES INTERNALLY.
BUILDING FOOTPRINT TO REMAIN THE SAME.
INTERNAL REFURBISHMENT ONLY.

LEAKING ISSUE TO FRONT SEATING AREA TO BE
INVESTIGATED AND REMEDIATED. LOW PLANTER
BED TO BE REMOVED AND PAVED. CURRENT LOW
LANDSCAPING TO BE REPLACED WITH POTTED
LANDSCAPING OVER NEW PAVED AREA.
NO CHANGE TO TOTAL OPEN SPACE OR
LANDSCAPED OPEN SPACE.



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ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

GROUND FLOOR PLAN

2508 A101 A

1:100 @ A3 JUNE 2025

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▽ ROOF HOB LEVEL
32210

8.5m HEIGHT PLANE

▽ FIRST FLOOR
28940

▽ GROUND FLOOR
26100

UNIT 1
(PREVIOUSLY APPROVED)
DA 2024/0328 & MOD 2025/0257

EXTENT OF DA

EXTENSION OF FLOOR AREA IN LIVING
AND DINING.
NOTE: EXTENSION OF FLOOR AREA IS
FROM EXISTING BUILDING FOOTPRINT.

BOUNDARY

W-G
01a

GL

BOUNDARY

EXISTING
UNIT 2

EXISTING UNIT 1

BOUNDARY

1 **EAST ELEVATION**
1:100

EXTERNAL FINISHES

EP1
RENDER AND PAINT FINISH
LIGHT - MID NEUTRAL

GL
ALUMINIUM FRAMED
WINDOWS AND DOORS
POWDERCOAT MONUMENT

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0 1:100 5m

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ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

EAST ELEVATION

2508

1:100@ A3

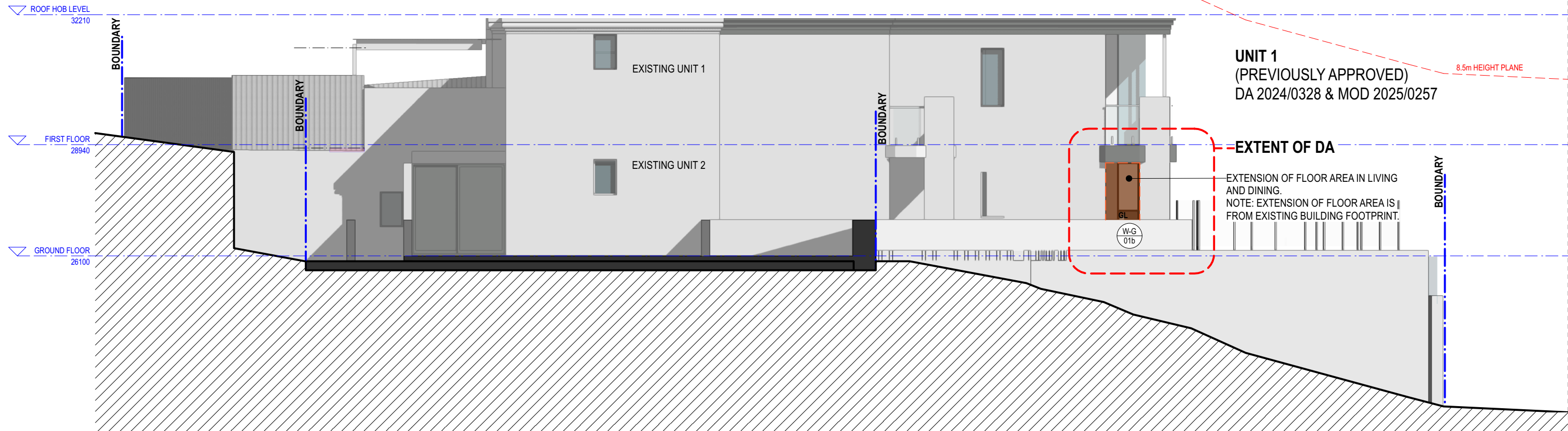
A201

JUNE 2025

A

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1 WEST ELEVATION
1:100

EXTERNAL FINISHES

- EP1
RENDER AND PAINT FINISH
LIGHT - MID NEUTRAL
- GL
ALUMINIUM FRAMED
WINDOWS AND DOORS
POWDERCOAT MONUMENT

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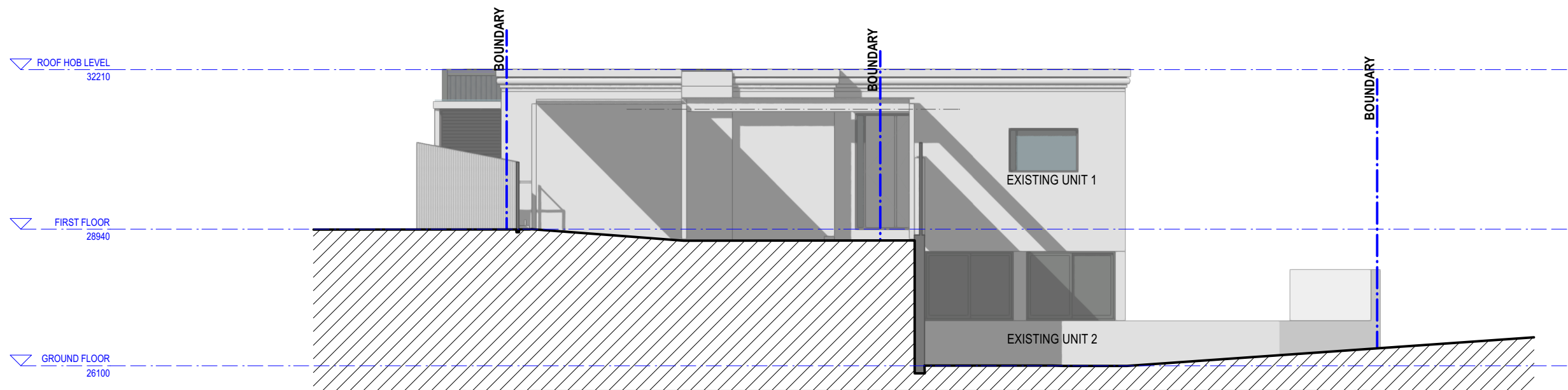
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ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

WEST ELEVATION

2508 A202 A
1:100@ A3 JUNE 2025





EXTERNAL FINISHES

- EP1**
RENDER AND PAINT FINISH
LIGHT - MID NEUTRAL
- GL**
ALUMINIUM FRAMED
WINDOWS AND DOORS
POWDERCOAT MONUMENT

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0 1:100 5m

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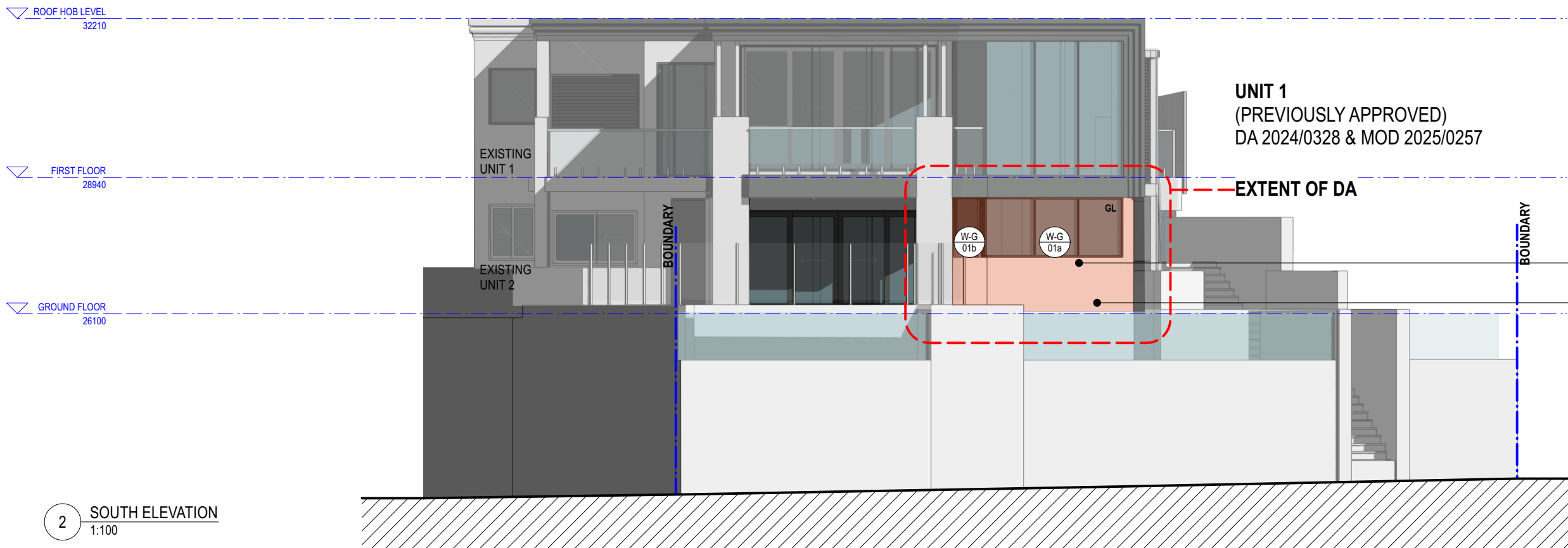
ALTERATIONS AND ADDITIONS 2/84 LAUDERDALE AVENUE FAIRLIGHT

NORTH ELEVATION

2508
1:100@ A3
A203
JUNE 2025
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UNIT 1
(PREVIOUSLY APPROVED)
DA 2024/0328 & MOD 2025/0257

EXTENT OF DA

NEW FIXED GLAZING (COMPLIANT AS POOL BARRIER)

EXTENSION OF FLOOR AREA IN LIVING AND DINING.
NOTE: EXTENSION OF FLOOR AREA IS FROM EXISTING
BUILDING FOOTPRINT.

EXTERNAL FINISHES

- EP1
RENDER AND PAINT FINISH
LIGHT - MID NEUTRAL
- GL
ALUMINIUM FRAMED
WINDOWS AND DOORS
POWDERCOAT MONUMENT

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ALTERATIONS AND ADDITIONS 2/84 LAUDERDALE AVENUE FAIRLIGHT

SOUTH ELEVATION

2508

A204 A

1:100@ A3

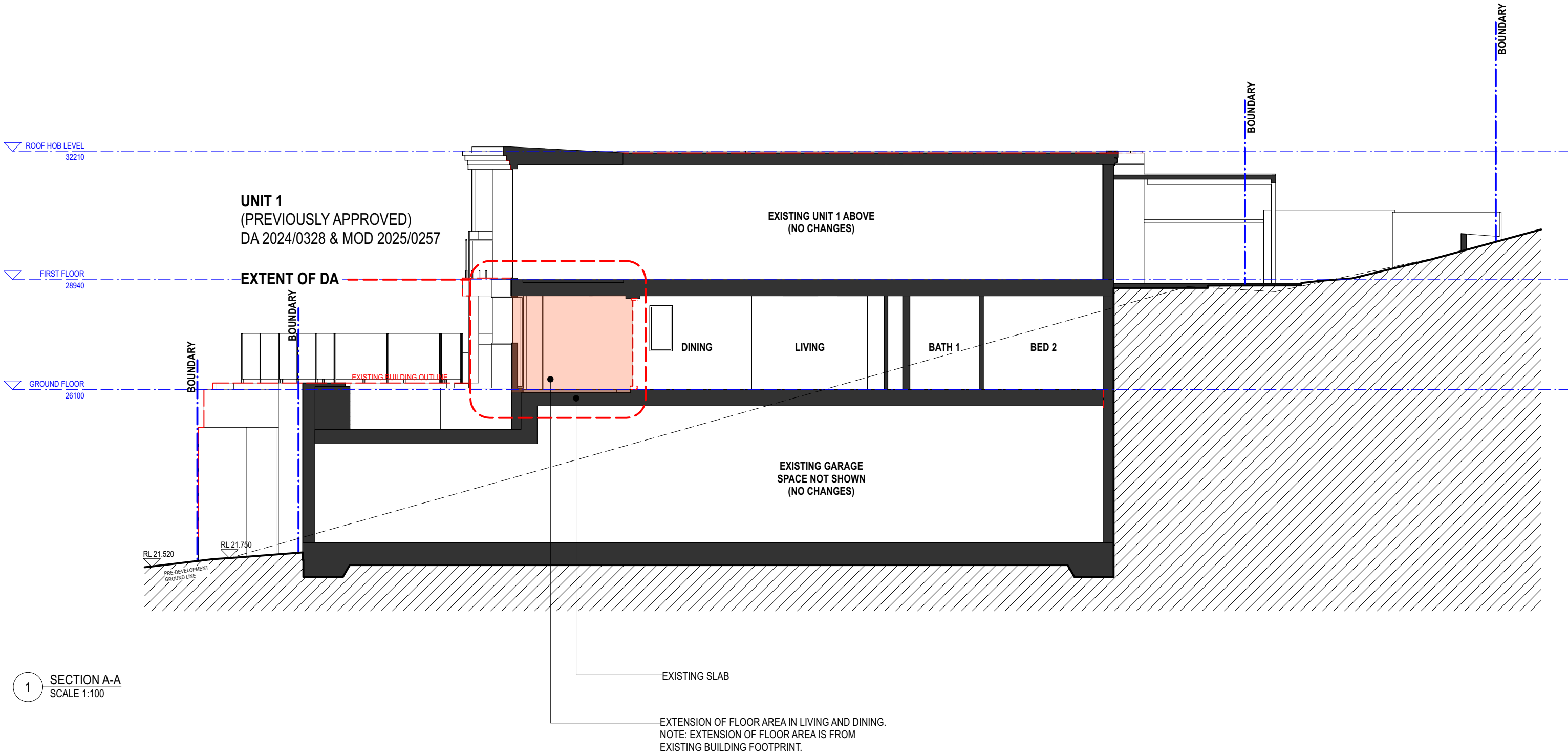
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LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- PROPOSED WALLS
- EXTENSION IN INTERNAL FLOOR AREA



1 SECTION A-A
SCALE 1:100

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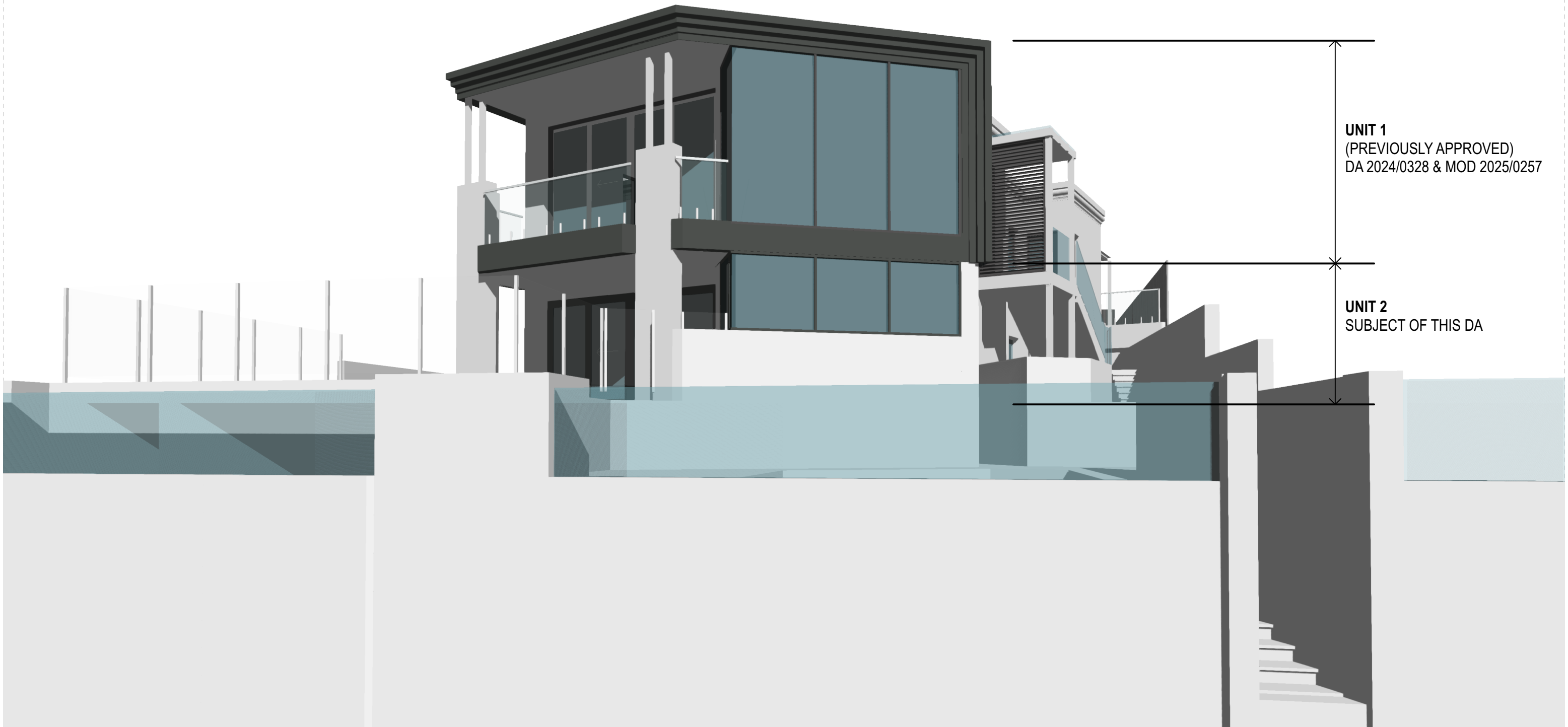
ALTERATIONS AND ADDITIONS 2/84 LAUDERDALE AVENUE FAIRLIGHT

SECTION A-A

2508
1:100@ A3

A221 A
JUNE 2025





UNIT 1
(PREVIOUSLY APPROVED)
DA 2024/0328 & MOD 2025/0257

UNIT 2
SUBJECT OF THIS DA

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ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

STREET PERSPECTIVE

2508
NTS@ A3
A301
JUNE 2025
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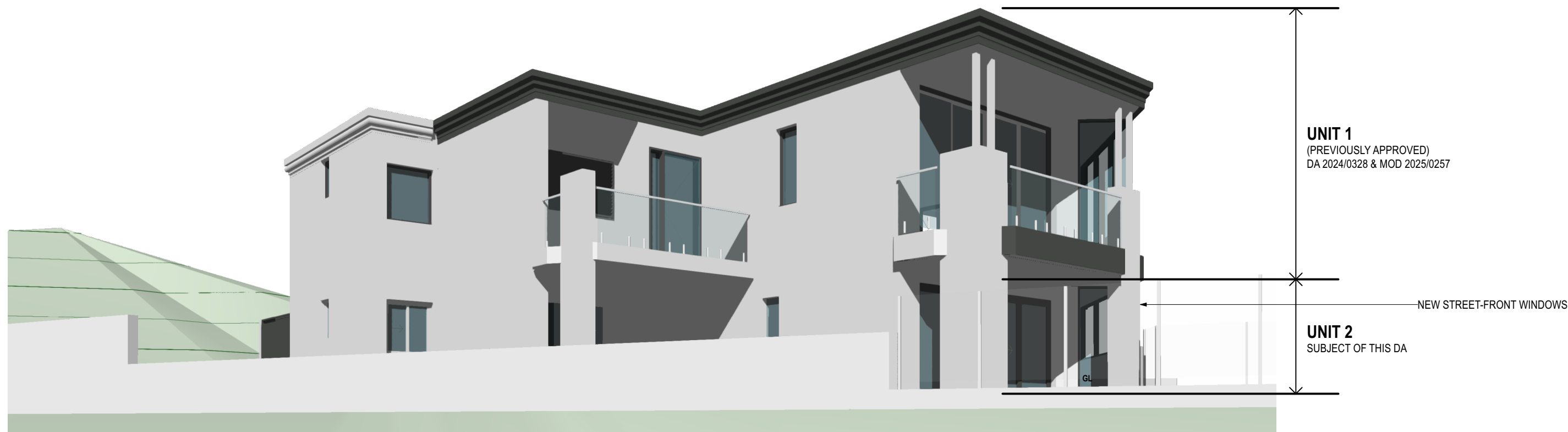




EXTERNAL FINISHES

- EP1**
RENDER AND PAINT FINISH
LIGHT - MID NEUTRAL
- GL**
ALUMINIUM FRAMED
WINDOWS AND DOORS
POWDERCOAT MONUMENT

1 EAST PERSPECTIVE
NTS



2 WEST PERSPECTIVE
NTS

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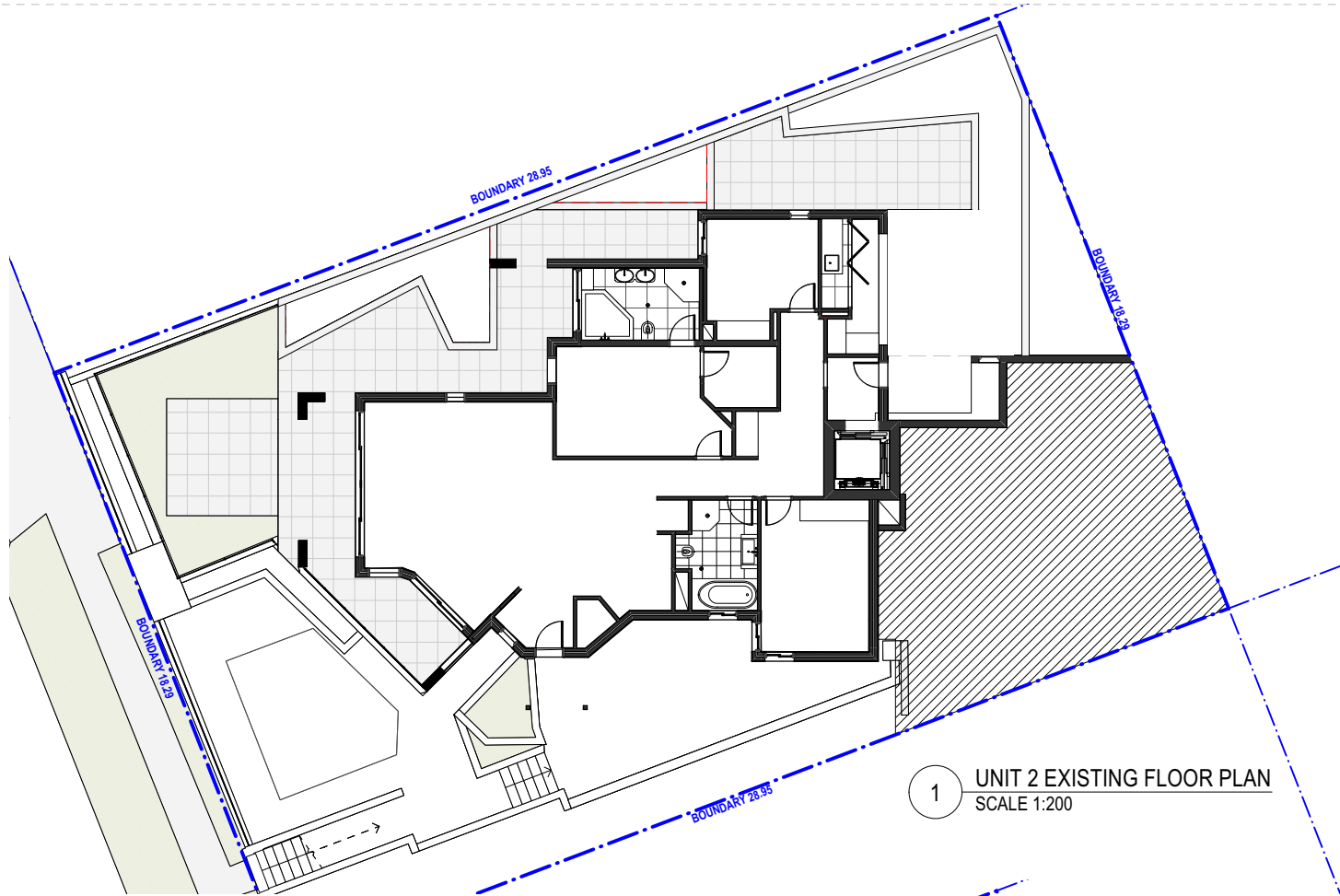
EXTERNAL SCHEDULE

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NTS@ A3

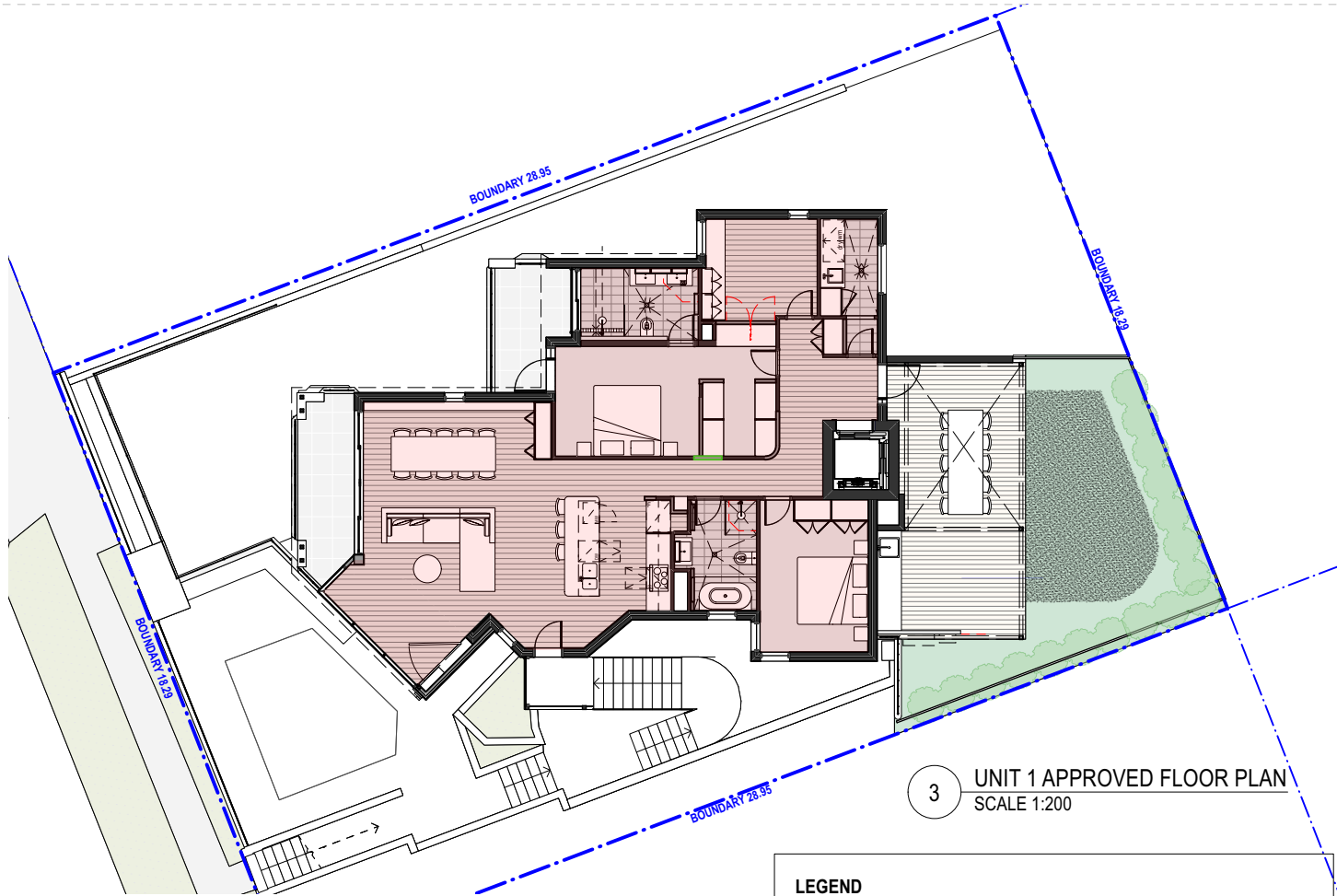
A302 A
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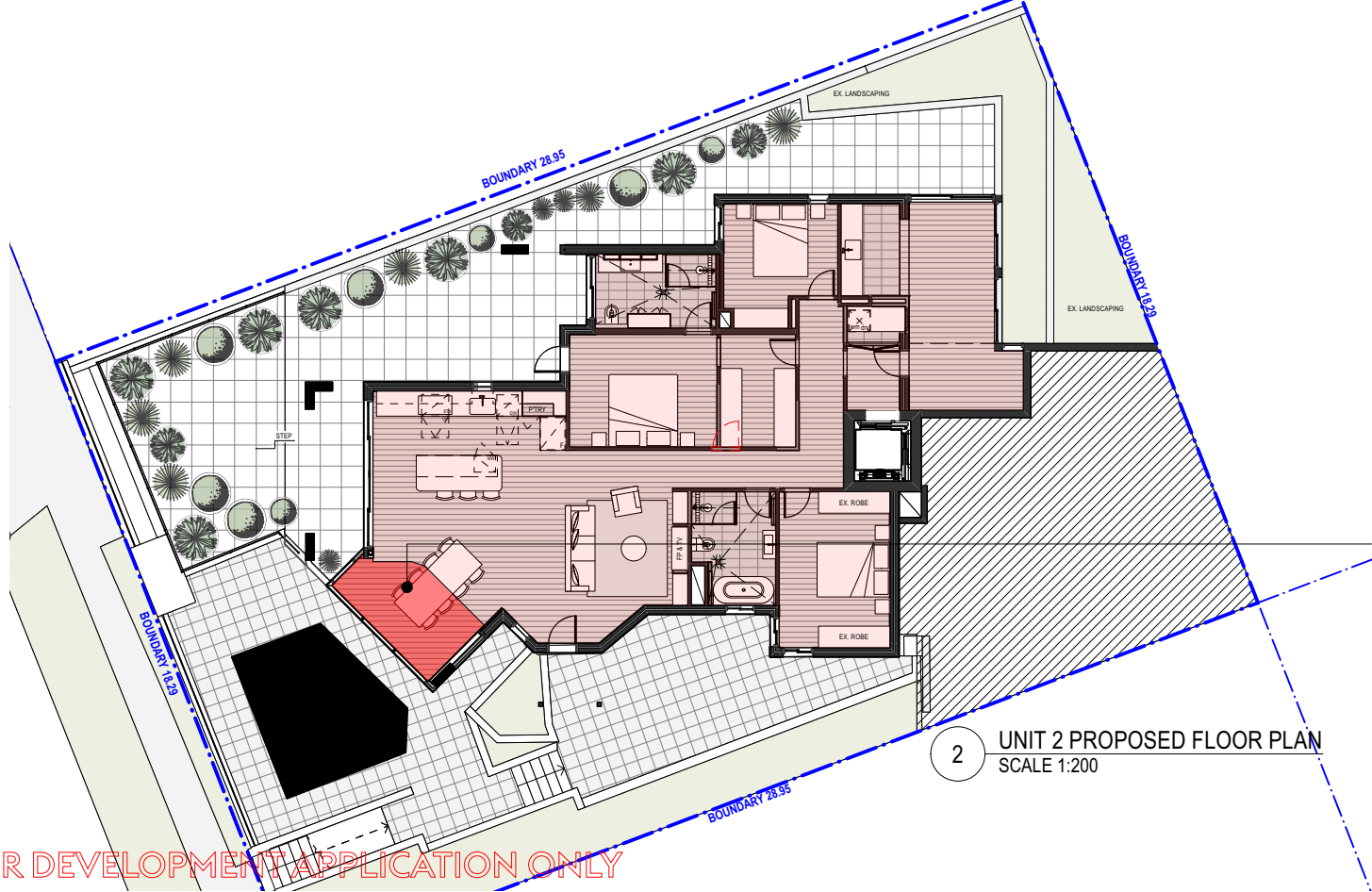
1 UNIT 2 EXISTING FLOOR PLAN
SCALE 1:200



3 UNIT 1 APPROVED FLOOR PLAN
SCALE 1:200

LEGEND

FLOOR SPACE RATIO (FSR)
NORTHERN BEACHES COUNCIL
MANLY LOCAL ENVIRONMENTAL PLAN 2013



2 UNIT 2 PROPOSED FLOOR PLAN
SCALE 1:200

NEW PROPOSED
FLOOR SPACE

AREA COMPLIANCE CALCULATIONS

SITE AREA	529.5m ²		
FSR PERMISSABLE	0.5:1 (max) 265m ²		
EXISTING FLOOR SPACE RATIO (FSR) (BEFORE UNIT 1 DA2024/0328 APPROVAL)	EXISTING FLOOR SPACE RATIO (FSR) (AFTER UNIT 1 DA2024/0328 & MOD2025/0257 APPROVAL)	PROPOSED FLOOR SPACE RATIO (FSR)	
EXISTING UNIT 1 (BEFORE DA2024/0328 APPROVAL)	129.6m ²	UNIT 1 (AFTER DA2024/0328 & MOD2025/0257 APPROVAL)	137.8m ²
EXISTING UNIT 2	144.5m ²	EXISTING UNIT 2	144.5m
TOTAL FSR	274.1m ² EXCESS OF 9.1m ²	TOTAL FSR	282.3m ² EXCESS OF 17.3m ²
" THE PROPOSED FSR LIES WITHIN THE 10% VARIATION, WITH A VARIATION OF 3.4%.		" THE PROPOSED FSR LIES WITHIN THE 10% VARIATION, WITH A VARIATION OF 6.5%.	
		PROPOSED UNIT 2	152.5m ²
		TOTAL FSR	290.3m ² EXCESS OF 25.3m ²
		" THE PROPOSED FSR LIES WITHIN THE 10% VARIATION, WITH A VARIATION OF 9.5%.	

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ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

FSR CALCULATION

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ALTERATIONS AND ADDITIONS
2/84 LAUDERDALE AVENUE FAIRLIGHT

WASTE MANAGEMENT PLAN

2508 SK02 A
1:100 @ A3 JUNE 2025

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REMEDATION OF EXISTING PLANTER BOXES ARE PROPOSED.
ANY NEW STORMWATER CONNECTIONS ARE TO CONNECT TO
EXISTING STORMWATER SYSTEM.

DINING ROOM EXTENSION WITHIN EXISTING BUILT ZONE
ANY NEW STORMWATER CONNECTIONS TO CONNECT TO
EXISTING STORMWATER SYSTEM.

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ALTERATIONS AND ADDITIONS 2/84 LAUDERDALE AVENUE FAIRLIGHT

STORMWATER MANAGEMENT PLAN

2508

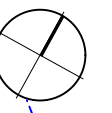
SK03

A

1:100 @ A3

JUNE 2025

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0 1:100 5m