

Peter J Boyce & Associates

Accredited Building Surveyors

Planning NSW Accreditation No: BPP0043

ABN: 92 616 124 481

t 9868 2855 | f 9868 2655

e info@boycecorp.com.au

PO Box 375, Strathfield NSW 2135

Suite 405, 51 Rawson Street, Epping NSW 2121

26 May 2017

Northern Beaches - Pittwater Council
Attention: The General Manager
PO Box 882
MONA VALE NSW 1660



Dear Sir / Madam

14 Mitala Street, Newport
Submission of Construction Certificate BNP17134

I have received application for a Construction Certificate ("CC") in respect of the above property in relation to Development Consent DAN0411/16. The CC has been approved.

As such, please find enclosed:

1. CC
2. Cheque for \$36 for the registration of the CC
3. Completed application form
4. Long Service Levy Corp receipts etc as required by DA conditions
5. Statement from the Applicant that the CC plans are generally in accordance with the DA.
6. Notice of Commencement
7. International Marina Consultants Design Certificate
8. Sydney Water receipt
9. Erosion & Sediment Control Plan
10. Waste Management details
11. Demolition Work Plan
12. Marina Reconfiguration
13. Pile layout, services layout etc.
14. Fire Safety Schedule

Should any of the above documents not be received please advise me immediately.

Yours faithfully

A handwritten signature in dark ink, appearing to read "Peter Boyce".

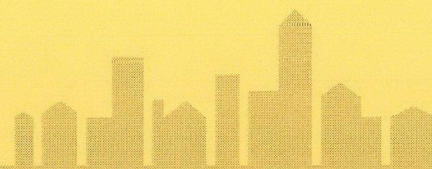
Peter Boyce

PRNC \$36-00 REC: 411077

30/5/17

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Construction Certificate

Certificate No.

BNBP17134

SECTION A. The Application

1. Details of the Applicant

Name

David Randall

Address

c/- Royal Prince Alfred Yacht Club
14 Mitala Street

Suburb or town

Newport

State

NSW

Postcode

2106

2. Details of the Property

Unit/Street no.

14

Street name

Mitala Street

Suburb or town

Newport

State

NSW

Postcode

2106

Lot no.

Lot

Section

DP / SP no.

DP 824054

Volume/folio

3. Description of the proposed development

Replace and reconfigure marina arm

4. Development Consent

Date of Development
Consent

2 March 2017

Development Consent
reference no.

DAN0411/16

Name of Council

Northern Beaches - Pittwater Council

5. Date of the Application for Construction Certificate

19 April 2017

Construction Certificate

Certificate No.

BNBP17134

6. Date Application received by the Certifying Authority

19 April 2017

SECTION B. Certifying Authority

Name

Peter Boyce

Accreditation no.

BPB0043

Address

Suite 405, 51 Rawson Street, Epping NSW 2121

SECTION C. Class of building

Class of the proposed building under the Building Code of Australia.
Note: If parts of the building will have different classes, include all classes.

7b

SECTION D. Conditions

☐

This Certificate is subject to the conditions set out in the attached Schedule of Conditions (indicate if applicable)

SECTION E. Attachments (indicate as appropriate)

☐

Conditions schedule

☒

Fire safety schedule

☐

Fire link conversion schedule

SECTION F. Date

Date of this Certificate

26 MAY 2017

SECTION G. Certification

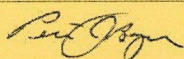
I certify that work completed in accordance with the documentation accompanying the Application for this Certificate (with such modifications, if any, verified by me as may be shown on that documentation) will comply with the requirements of the *Environmental Planning & Assessment Regulation 2000* as referred to in s.81A(5) of the *Environmental Planning & Assessment Act 1979*.

The documents listed below accompanied the Application for this Certificate.

Note: The Certificate is to be endorsed upon all relevant plans and specifications.

Michael Fountain Architects Pty Ltd drawin nos 0704-DA090 to DA092; International
Marina Consultants drawing nos 5197-01 to 04

SECTION H. Signature*



* Must only be signed by the Certifying Authority

Peter J Boyce & Associates

Accredited Building Surveyors

Planning NSW Accreditation No: BPB0043

t 9868 2855 | f 9868 2655

PO Box 375, Strathfield NSW 2135

ABN: 92 616 124 481

e Info@boycecorp.com.au

Suite 405, 51 Rawson Street, Epping NSW 2121

Application for a Construction Certificate

RECEIVED 19 APR 2017

Information for the Applicant

- This form may be used to apply for a construction certificate to carry out building work under your development consent from Council. To complete this form, please place a cross in the relevant boxes, fill out the white sections as appropriate and attach copies of all documents indicated in the form as being required to be provided. To minimise delays in receiving a decision about the Application, please ensure that all relevant information and documents are provided.
- Once completed, this Application form should be submitted to Peter J Boyce & Associates for determination.
- A construction certificate has no effect if it is issued after the building work or subdivision work to which it relates is physically commenced on the land to which the relevant development consent applies.

SECTION A - Details of the Applicant

**An application for a construction certificate may only be made by a person who has the benefit of the development consent. An application may not be made by person who will carry out the building work or subdivision work unless that person owns the land on which the work is to be carried out.*

1. Applicant name:

i) Where the Applicant is a natural person or persons:

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other _____

Mr ☐ Ms ☐ Mrs ☐ Dr ☐ Other _____

First name

First name

Family name

Family name

ii) Where the Applicant is a corporate entity:

Company (if applicable)

ROYAL PRINCE ALFRED YACHT CLUB

Company (if applicable)

2. Applicant contact details:

Unit/Street no.

14

Street Name / Postal Address

MITARA STREET

Suburb or town

NEWPORT

State

NSW

Postcode

2106

Daytime telephone

02 99971022

Fax

Mobile

Email

davidr@rpayc.com.au

SECTION B. Location and title details of the land where the building work or subdivision work is to be carried out

Unit/Street no.

14

Street Name

MITALA ST

Suburb or town

NEWPORT

State

NSW

Postcode

2106

Lot no.

Section

DP / SP no.

82A054

Volume/folio

SECTION C. Description of the building work or subdivision work to be carried out

Briefly describe the development. For example, if a dwelling is proposed, include information such as the type of building (house, townhouse, villa etc), the number of floors, the number of bedrooms, the major building material (brick, brick veneer, timber clad etc).

REPLACE & RE CONFIGURE MARINA ARM

Class(s) of building(s) under the Building Code of Australia

NA. 106 76

SECTION D. Estimated cost of the development

\$

1,987,714.30

The contract price, or if there is no contract a genuine and accurate estimate, for all labour and material costs associated with all demolition and construction required for the development, including the cost of construction of any building and the preparation of a building for the purpose for which it is to be used (such as the costs of installing plant, fittings, fixtures and equipment). GST is also to be included.

SECTION E. Development Consent

Date of Development Consent (if already granted)

3/3/17

Development Consent reference no.:

NO411/16

Name of consent authority:

NORTHERN BEACHES COUNCIL

Name of applicant for Development Consent:

ROYAL PRINCE ALFRED YACHT CLUB.

Provide:

A copy of the Development Consent, including:

- approved plans endorsed by the consent authority
- conditions of Development Consent
- other documents referenced by the Development Consent that are relevant to this Application.

SECTION F. Planning agreements

If the development or the land upon which the development is to be carried out is subject to a planning agreement as referred to in section 93F EP&A Act, provide a copy of the planning agreement.

SECTION G. Attachments relating to the proposed development

Applicants must provide the documents listed below that are relevant to the type of development that is proposed. Please place a cross in the appropriate box(s) to indicate the type of development involved. Please confirm with our office how many copies of each document are required prior to lodging this Application.

1. Does the Application relate **ONLY** to a **FIRE LINK CONVERSION**? ☐ Yes ☒ No

If Yes-provide:

A document that describes the design and construction and mode of operation of the new fire alarm communication link.

2. Does the development involve **SUBDIVISION WORK**? ☐ Yes ☒ No

If Yes-provide:

Appropriate subdivision work plans and specifications, which include copies of:

- (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)
- (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned
- (c) detailed engineering plans as to the following matters:
 - (i) earthworks
 - (ii) roadworks
 - (iii) road pavement
 - (iv) road furnishings
 - (v) stormwater drainage
 - (vi) water supply works
 - (vii) sewerage works
 - (viii) landscaping works
 - (ix) erosion control works
- (d) copies of any compliance certificates to be relied on.

3. BUILDINGS

3.1 Does the development involve building work (including in relation to a dwelling house or building or structure ancillary to a dwelling house)? ☐ Yes ☒ No

If Yes-provide:

- (1) A detailed description of the development, indicating:
 - (a) for each proposed new building:
 - (i) the number of storeys (including underground storeys) in the building
 - (ii) the gross floor area of the building (in square metres)
 - (iii) the gross site area of the land on which the building is to be erected (in square metres)
 - (b) for each proposed new residential building:
 - (i) the number of existing dwellings on the land on which the new building is to be erected
 - (ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building
 - (iii) the number of dwellings to be included in the new building
 - (iv) whether the new building is to be attached to any existing building
 - (v) whether the new building is to be attached to any other new building
 - (vi) whether the land contains a dual occupancy
 - (vii) the materials to be used in the construction of the new building by completing the table in **SECTION M**
- (2) Appropriate building work plans and specifications, which include copies of:
 - (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:

- (i) a plan of each floor section
- (ii) a plan of each elevation of the building
- (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- (iv) the height, design, construction and provision for fire safety and fire resistance (if any)
- (b) specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used
- (c) a statement as to how the performance requirements of the *Building Code of Australia* are to be complied with (if an alternative solution, to meet the performance requirements, is to be used)
- (d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C(4) of the *Environmental Planning and Assessment Act 1979* (EP&A Act)*
- (e) copies of any compliance certificate to be relied on
- (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building
- (g) if a BASIX certificate has been obtained for the development, such other matters as the BASIX certificate requires to be included in the plans and specifications.

* S.79C(4) EP&A Act provides that a consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the *Building Code of Australia* if the building product or system is accredited in respect of that requirement in accordance with the EP&A regulation 2000.

3.2 Does the development involve building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion) ? ☐ Yes ☒ No

If Yes-provide:

- (a) A list of any existing fire safety measures provided in relation to the land or any existing building on the land.
- (b) A list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work.

3.3 Does the development involve an alternative solution under the *Building Code of Australia* ("BCA") in respect of a fire safety requirement? ☐ Yes ☒ No

If Yes-provide:

Either or both of the following from a "fire safety engineer" (a private accredited certifier holding Category C10 accreditation):

- (a) A compliance certificate (as referred to in s.109C(1)(a)(v) EP&A Act) that certifies that the alternative solution complies with the relevant performance requirements of the BCA.
- (b) A written report that includes a statement that the alternative solution complies with the relevant requirements of the BCA.

Note: The above requirement only applies to building work in respect of:

- (a) a class 9a building that is proposed to have a total floor area of 2000 square metres or more
- (b) any building (other than a class 9a building) that is proposed to have:
 - (i) a fire compartment with a total floor area of more than 2000 square metres or
 - (ii) a total floor area of more than 6000 square metres

that involves an alternative solution under the BCA in respect of the requirements set out in EP1.4, EP2.1, EP2.2, DP4 and DP5 in Volume 1 of the BCA.

3.4 Does the Application relate to a residential flat development for which the development application was required under Clause 50(1A) of the EP&A Regulation to be accompanied by a design verification from a qualified designer? ☐ Yes ☒ No

If Yes-provide:

A statement from a qualified designer which verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of *State Environmental Planning Policy No. 65: Design Quality of Residential Flat Development* (SEPP 65)

Note: If the development application was also required to be accompanied by a BASIX certificate with respect to any building, the statement need not verify the design quality principles set out in SEPP 65 to the extent to which they aim to

- reduce consumption of mains-supplied potable water, or reduce emissions of greenhouse gases, in the building or in the use of the land that it is built on, or
- improve the thermal performance of the building.

3.5 Has the Fire Commissioner granted an exemption under clause 188 EP&A Regulation from compliance with any specified Category 3 fire safety provision?

☐ Yes ☐ No

If Yes-provide:

A copy of the exemption together with any conditions imposed.

3.6 Is any long service payment levy payable under s.34 of the Building and Construction Industry Long Service Payments Act 1986? ☒ Yes ☐ No

If Yes-provide:

A copy of a receipt for any long service payment levy that has been made (or, where such a levy is payable by instalments, a receipt for the first instalment of the levy).

Where a council is the certifying authority, the levy may be made to the council when this Application is lodged.

3.7 Does the Application involve a BASIX affected development, or a BASIX optional development for which a BASIX certificate has been obtained? ☐ Yes ☒ No

If Yes-provide:

The BASIX certificate(s) for the development (being either the BASIX certificate issued when the development consent was granted or some other BASIX certificate(s) that have been issued no earlier than three months before the date of the Application being made), and such other documents as the BASIX certificate(s) for the development requires to accompany the Application.

BASIX (the Building and Sustainability Index) ensures homes are built to be more energy and water efficient. BASIX uses an online program to assess a building's design and compares it against energy and water reduction targets. The design must meet these targets before a BASIX certificate can be printed. Any changes made to a building's design after a BASIX certificate has been issued requires another BASIX assessment and new BASIX certificate. "BASIX affected buildings" contain one or more dwellings (but do not include hotels or motels).

A BASIX certificate **MUST** be obtained for every "BASIX affected development", which are any of the following (other than development that is "BASIX excluded development"):

- (a) development that involves the erection (but not the relocation) of a BASIX affected building
- (b) development that involves a change of building use by which a building becomes a BASIX affected building
- (c) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is \$50,000 or more
- (d) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of 40,000 litres or more.

"BASIX excluded development" is

- (a) development for the purpose of a garage, storeroom, car port, gazebo, verandah or awning
- (b) alterations, enlargements or extensions to a building listed on the State Heritage Register under the Heritage Act 1977
- (c) alterations, enlargements or extensions that result in a space that cannot be fully enclosed (for example, a veranda that is open or enclosed by screens, mesh or other materials that permit the free and uncontrolled flow of air), other than a space can be fully enclosed but for a vent needed for the safe operation of a gas appliance
- (d) alterations, enlargements or extensions that the Director-General has declared, by order published in the Gazette, to be BASIX excluded development.

A BASIX Certificate **MAY** be obtained for certain developments by an Applicant even though there is no obligation to do so. This is called "BASIX optional development". "BASIX optional development" means any of the following development that is not BASIX excluded development:

- (a) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimate of the construction cost of the development is less than \$50,000
- (b) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of less than 40,000 litres.

If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.

Further information about BASIX and to obtain a BASIX Certificate, go to <http://www.basix.nsw.gov.au>.

SECTION H: List of documents

Prepare and attach a list of all of the documents to be provided under SECTIONS E, F and G above and as may otherwise be advised as required.

SECTION I. Authority to enter and inspect land

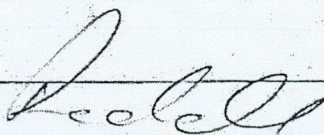
A certifying authority must not issue a construction certificate for development on a site which affects an existing building unless the certifying authority, or an accredited certifier, council or consent authority on behalf of the certifying authority, has carried out an inspection of the site of the development.

If the Applicant is the owner of the land, by signing this Application authority is given to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this Application. The Applicant undertakes to take all necessary steps make access available to the property to enable the inspection to be carried out.

If the Applicant is not the owner of the land, the owner(s) must sign the following statement.

As the owner(s) of the above property, I/we consent to the certifying authority, or an accredited certifier, council or consent authority, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this Application. I/we undertake to take all necessary steps make access available to the property to enable the inspection to be carried out.

Owners Signature(s)



Name(s)

DAVID RANDALL

Date

19-4-2017

SECTION J. Delivery of the Application

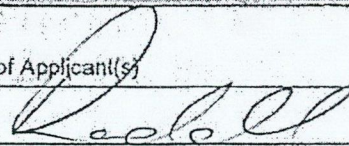
Applications for construction certificates must be delivered by hand, by post or transmitted electronically to this office at:

- Suite 405, 51 Rawson Street, Epping NSW 2121; or
- PO Box 375, Strathfield NSW 2135; or
- info@boycecorp.com.au

Applications MAY NOT be sent by facsimile transmission.

SECTION K. Signature of Applicant(s)

Signature of Applicant(s)



Name(s)

David Randall

Date

19-4-2017

SECTION L. Date of Receipt of Application

To be completed by the certifying authority immediately after receiving this Application.

This Application was received on

19 APR 2017

(insert date).

SECTION M. Development statistics

Place a cross in each appropriate box.

Walls	Code	Roof	Code	Floor	Code	Frame	Code
☐ Brick (double)	11	☐ Tiles	10	☐ Concrete/slate	20	☐ Timber	40
☐ Brick (veneer)	12	☐ Concrete/slate	20	☐ Timber	40	☐ Steel	60
☐ Concrete/stone	20	☐ Fibre cement	30	☐ Other	80	☐ Aluminium	70
☐ Fibre cement	30	☐ Steel	60	☐ Not specified	90	☐ Other	80
☐ Timber	40	☐ Aluminium	70			☐ Not specified	90
☐ Curtain glass	50	☐ Other	80				
☐ Steel	60	☐ Not specified	90				
☐ Aluminium cladding	70						
☐ Timber/weatherboard	40						
☐ Other	80						
☐ Not specified	90						

Gross site area (m²)

Number of dwellings to be demolished

Gross floor area of existing building (m²)

Number of dwellings to be constructed

Gross floor area of new building work (m²)

Will the new building be attached to an existing building

Number of pre-existing dwellings on the site

Does the site contain a dual occupancy

How many storeys will the building have

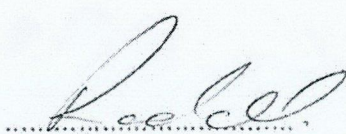
What are the current uses of the building

What will be the new building uses (if changed)

TO WHOM IT MAY CONCERN

RE: 14 MITALA ST NEWPORT (property address)

I hereby certify that the Architectural Plans submitted with the Construction Certificate application are generally in accordance with the Development Approved NO411/16 (DA number) plans approved by NORTHERN BEACHES (council name).
COUNCIL.


Signature

Name:

DAVID RANDALL

Address:

14 MITALA STREET NEWPORT

Contact Number:

0439556885

Levy Online Payment Receipt

Building and Construction



BELLINGHAM MARINE AUSTRALIA
U 4 341 ROCKY POINT RD
SANS SOUCI NSW 2219

Application Details:

Applicant Name:	BELLINGHAM MARINE AUSTRALIA
Levy Number:	5162835
Application Type:	DA
Application Number:	N0411/16
Approving Authority:	NORTHERN BEACHES COUNCIL-NORTH

Work Details:

Site Address:	14 MITALA ST NEWPORT NSW 2106
Value of work:	\$1,987,714
Levy Due:	\$6,956.00

Payment Details:

LSC Receipt Number:	281236
Payment Date:	13/04/2017 3:36:37 PM
Bank Payment Reference:	991664921
Levy Paid:	\$6,956.00
Credit card surcharge:	\$27.82
Total Payment Received:	\$6,983.82

International Marina Consultants - Consultants to the Marina Industry

International Marina Consultants Pty Ltd
Australian Company Number 079 905 481
GST Registration/Australian Business Number 85 079 905 481

"The skill of an engineer is to harness the
forces of nature for the benefit of mankind"

473 Annerley Road
ANNERLEY QLD 4103
AUSTRALIA
Phone : (07) 3892 5711
Fax : (07) 3892 5611
International Access (617)
Email: john@imc-marinas.com

12 May 2017

Bellingham Marine Australia Pty Ltd
Unit 4 / 341 Rocky Point Road
Sans Souci
NSW 2219

Attn: Gary Charlwood

RE: RPAYC MARINA A ARM RECONFIGURATION DESIGN CERTIFICATION

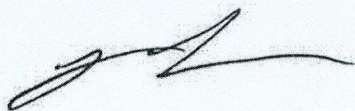
International Marina Consultants certify that the floating pontoons and piles as depicted in our drawing 5197-01 to 5197-07 have been designed in accordance with NSW Maritime Engineering Standards and Guidelines for Maritime Structures and the latest editions of the following Australian Standards.

AS 1170.2	Loading Code Part 2: Wind actions
AS1664	Aluminium Structures Code
AS1720	Timber Structures Code
AS2159	Piling Code
AS3600	Concrete Structures
AS3962	Guidelines for Design of Marinas
AS4100	Steel Structures
AS4997	Guidelines for the Design of Maritime Structures

We certify that the design of the pontoon complies with the relevant codes and will be structurally adequate for anticipated usage.

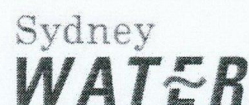
Yours faithfully

INTERNATIONAL MARINA CONSULTANTS PTY LTD



JOHN LEMAN BE, RPEQ No. 2938, MIPENZ, ATBP No. CC4190W
Director

Transaction Summary



Tax invoice: **AAA-165124753**

Company name: **Combined Marina Services**

Date requested 24 May 2017

Sydney Water Corporation
PO Box 399 Parramatta NSW 2124
A.B.N 49 776 225 038

Applicant details Alan Bentley
49 Keanes Rd, Rosewood, 4340

Transaction Details

14 Mitala St, Newport 2106

Order number: **SW-23442884**

Building Plan Assessment

Application number: **247770**

Application Fee Manual Assessment **\$17.85**

Transaction total **\$17.85**
Incl. \$0.00 GST

Head Office:
Telephone (07) 3376 6955
Facsimile (07) 3376 7955

Sydney Office:
Suite 4, 341 Rocky Point Road,
Sggs Souci NSW 2088

Email: gcharlwood@bellingham-marine.com.au

Sydney Office:
Telephone (02) 9439 9066
Facsimile (02) 9583 9265
Mobile 0407 249 057

1 May 2017

RPAYC – A arm replacement

EROSION & SEDIMENT CONTROL PLAN

The Royal Prince Alfred Yacht Club have contacted Bellingham Marine Australia to demolish & reconstruct 'A' arm in accordance with DA N^oNO411/16 & approved drawings. Consistent with DA condition B6 this Erosion & Sediment Control plan addresses the requirements of that condition.

Bellingham marine contact responsible for the adherence to this plan is Gary Charlwood on mobile 0407 249 057. Site contact responsible for adherence to this plan is Steve Hill on mobile 0415 247 210.

The site is located at 14 Mitala Street, Newport NSW 2106. The works involve removal of existing piles, pontoons and construction of new piles & pontoons. All materials will be fabricated off site & delivered to site via Rowland Reserve & towed to site.

The works do not involve any excavation works, so soil erosion & sediment migration are nil.

If drilling of piles is required a silt curtain will be deployed.

Nil building materials or other materials are to be placed on foreshore, seagrass beds, salt marshes or mangroves.

When extracting existing piles mud & clay stuck to extracted piles shall not be scraped off & allowed to fall in the waterway.

Gary Charwood
Bellingham Marine Project Manager.

Sydney Office:
Suite 4, 341 Rocky Point Road,
San Souci NSW 2088

Email: gcharlwood@bellingham-marine.com.au

Sydney Office:
Telephone (02) 9439 9066
Facsimile (02) 9583 9265
Mobile 0407 249 057

1 May 2017

RPAYC - A arm replacement

WASTE MANAGEMENT



The Royal Prince Alfred Yacht Club have contacted Bellingham Marine Australia to demolish & reconstruct 'A' arm in accordance with DA N° NO411/16 & approved drawings. Consistent with DA condition D8 this Waste Management Plan addresses the requirements of that condition.

Bellingham Marine contact responsible for the adherence to this plan is Gary Charlwood on 0407 249 057. Site contact responsible for adherence to this plan is Steve Hill on mobile 0415 247 210.

The site is located at 14 Mitala Street, Newport NSW 2106. The works involve removal of existing piles & pontoons and construction of new piles & pontoons. All materials will be fabricated off site & delivered to site via Rowland Reserve & towed to site.

The demolition works will be carried out in accordance with AS2601-2001 & Workcover authority requirements.

WASTE MANAGEMENT PLAN.

The marina components will be dismantled by removing thru-rods. The marina walkway shall be dismantled into pieces under 12m & towed from site to be craned out of the water straight onto trucks for removal. The marina fingers shall be disconnected from the walkways by undoing thru-rods. The fingers also will be towed from site & craned from water straight onto trucks. There shall be nil jack hammering or 'breaking' of components, all shall be disassembled by undoing bolts & thru-rods.

We have commitment from two (2) separate marinas that want to take the removed pontoons. They plan on repairing any cracks & replacing walers & rods and re-using. One (1) of these marinas is in northern NSW and the other is in southeast QLD.

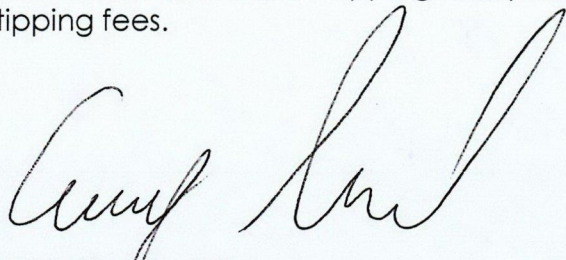
The pontoons that will be lifted onto trucks will be transported straight to those marinas. Ownership of the pontoons transfers to those third parties as soon as they are placed on third party trucks.

The piles shall be extracted by the barge using slow tidal force to lift the piles from there sockets. Should a pile not dislodge by tidal force we shall use a jetting probe to loosen material around the pile & then try tidal force once again.

If piles still do not extract we shall cut off at sea level whilst holding the top of pile with the barge crane.

Extracted piles shall be placed on a dumb barge & towed from side to be lifted from the water & placed on a truck for removal from site.

The piles extracted from site were not fit for re-use. These piles shall be transported to legal waste transfer station & tipping fees paid for their disposal. We shall keep receipts of tipping fees.



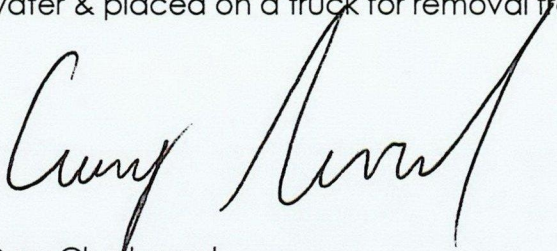
Gary Charlwood
Bellingham Marine Project Manager

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If piles still do not extract we shall cut off at sea level whilst holding the top of pile with the barge crane.

Extracted piles shall be placed on a dumb barge & towed from side to be lifted from the water & placed on a truck for removal from site.



Gary Charlwood
Bellingham Marine Project Manager

GENERAL NOTES:

- 1.0 ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE.
- 2.0 WHEN IN DOUBT 'ASK' DO NOT SCALE.
- 3.0 ALL DIMENSIONS ARE SHOWN IN MILLIMETRES UNO.
- 4.0 ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO CHART DATUM (CD).
- 5.0 PILES
 - TOLERANCE FOR DRIVING IN PLAN ± 50 mm, MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 150 MAX OUT OF PLUMB.
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS FROM DESIGN LEVEL BY MORE THAN 300mm.
- 6.0 PONTOON DIMENSIONS ARE NOMINAL
 - DIMENSIONS ARE MEASURED TIMBER TO TIMBER
- 7.0 ALL THRU-RODS ARE TO BE M20 NOMINAL FRP RODS UNO. SPACING TO VARY WITH LOCATION.
- 8.0 ALL TIMBER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1720.1
WALER SIZES
ONE PIECE FINGERS
 - 1/75 x 200 GRADE F8 SOFTWOOD TIMBER WALER
 MULTI PIECE FINGERS
 - 2/50 x 200 GRADE F17 HARDWOOD TIMBER WALERS
 WALKWAYS, T-HEAD AND L-HEADS
 - 2/50 x 200 GRADE F17 HARDWOOD TIMBER WALERS PLUS 40 x 200 GRADE F8 SOFTWOOD COVERBOARD
 - ALL COVERBOARDS TO BE TREATED SOFTWOOD.
 - ALL TIMBER WALERS TO BE SEASONED AND TREATED TO HAZARD CLASS H4 IN ACCORDANCE WITH AS 1604.
 - STRUCTURAL TIMBER MUST NOT BE CUT OR DRILLED FOR ANY REASON OTHER THAN SHOWN ON THESE DRAWINGS.
- 9.0 ALL STEEL SECTIONS TO BE GRADE 300 PLUS MINIMUM UNO. ALL STEEL PLATES TO BE GRADE 250 MINIMUM UNO.
 - ALL STEEL TO BE HOT DIP GALVANIZED IN ACCORDANCE WITH AS 4680.
 - PROTECTIVE COATINGS TO STEEL COMPONENTS :
 - a. ACID DIP AND HOT DIP GALVANIZE IN ACCORDANCE WITH AS4680.
 - b.
 - AVERAGE COATING $750g/m^2$
 - EQUIVALENT THICKNESS 100 MICRONS.
- 10.0 ALL ALUMINIUM WORK TO BE IN ACCORDANCE WITH AS 1664.
 - ALL EXTRUSIONS TO BE TYPE 6061-T6 OR 6082-T5 UNO.
 - PLATES TO BE TYPE 5083 TEMPER H321.
 - ALL WELDS SHALL BE INERT GAS WELD USING PULSE MIG. OR TIG. FUSION WELDING PROCESS.
 - ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD.
- 11.0 ALL STEEL AND ALUMINIUM WORK SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GROUND SMOOTH.
- 12.0 PILE GUIDE BLOCKS ARE TO BE ADJUSTED AS REQUIRED TO SUIT PILE SIZE AND POSITION ON SITE.
 - CLEARANCE MUST BE PROVIDED BETWEEN PILE AND GUIDE TO PREVENT "HANGING" OF PONTOON UNDER FULL TIDAL RANGE.
- 13.0 CONCRETE
 - ALL CONCRETE WORKS SHALL COMPLY WITH AS 3600.
 - MINIMUM CONCRETE STRENGTH $f'c = 50MPa$ UNO.
 - ALL REINFORCEMENT TO BE HOT DIP GALVANIZED.
 - MINIMUM COVER TO STRUCTURAL REINFORCEMENT = 45mm.
- 14.0 ALL PEDESTRIAN SURFACES SHALL BE FINISHED IN ACCORDANCE WITH AS4586.
 - CLASS P4 FOR PONTOONS, PLATFORMS, ABUTMENTS, INFILL PANELS, LIDS, BEAMS, STRUCTURAL MEMBERS AND FRAMES
 - CLASS P5 FOR GANGWAYS

15.0 INSULATION

BOLTED MATERIAL	INSULATING MATERIAL
ALUMINIUM / GALV. STEEL	DURALAC ANTI CORROSION COMPOUND OR NYLON SEPARATION WASHERS
ALUMINIUM / CONCRETE	3mm NEOPRENE
STEEL / CONCRETE	3mm NEOPRENE

16.0 DESIGN PARAMETERS

WIND

- BASIC WIND SPEED
 $V_{50} = 41$ m/s
- TERRAIN CATEGORY TC2

WAVE

- WIND GENERATED WAVE
 $H_{max} = 0.6$ m
 $T_p = 2.0$ s
- BOAT WAKE
 $H_{max} = 0.6$ m
 $T_p = 2.0$ s

CURRENT

- $V_{max} = 1.0$ m/s

BERTHING IMPACT

- NORMAL BERTHING VELOCITY
 $v = 0.3$ m/s
- ACCIDENTAL BERTHING VELOCITY
 $v = 0.45$ m/s

LIVE LOAD ON PONTOONS

- MAX. UNIFORMLY DISTRIBUTED LOAD 3 kPa
- CONCENTRATED LOAD 4.5kN

FREEBOARD UNDER DEAD LOAD 500 ± 25 mm EXCEPT WHERE FLOATING STRUCTURES NEED TO ATTACH THE TO EXISTING LOWER FREEBOARD PONTOONS (NORTHERN CORNER).

DESIGN VESSELS

VESSEL LENGTH (m)	WIND PROFILE AREA (m ²)		DISPLACEMENT (t)
	BEAM	HEAD	
12	29.0	11.0	11.0
14	39.7	15.7	16.0
16	51.3	19.3	22.0



LOCALITY MAP

N.T.S.

Peter J Boyce & Associates
 Ph: 0412 928 500
 This PLAN/DRAWING forms part of the approval granted under Complying Development Cert No. B08917734
 And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments
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FOR CONSTRUCTION

Bellingham
MARINE
 The World's Most Comprehensive Marine Builder
 22 Sharnon Road
 Seventeen Mile Rocks Qld 4073
 Australia
 Phone (07) 3376 6955
 Fax (07) 3376 7955
 International (617)
 Email: sales@bellingham-marine.com.au

UNIFLOAT.

Precision engineered flotation systems

Revisions

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International
 Marina
 Consultants

Consultants to the Marina Industry.

International Marina
 Consultants Pty. Ltd.
 A.C.N. 079 905 481

473 Annerley Road
 ANNERLEY QLD 4103
 Australia
 Phone (07)3892 5711 Fax (07)3892 5611
 Email: inc@inc-marinas.com

CLIENT:

BELLINGHAM MARINE
AUSTRALIA PTY. LTD

PROJECT:

RPAYC MARINA A ARM
RECONFIGURATION

TITLE:

GENERAL NOTES

Date: 29/03/2017

Drawing No.: 5197-100

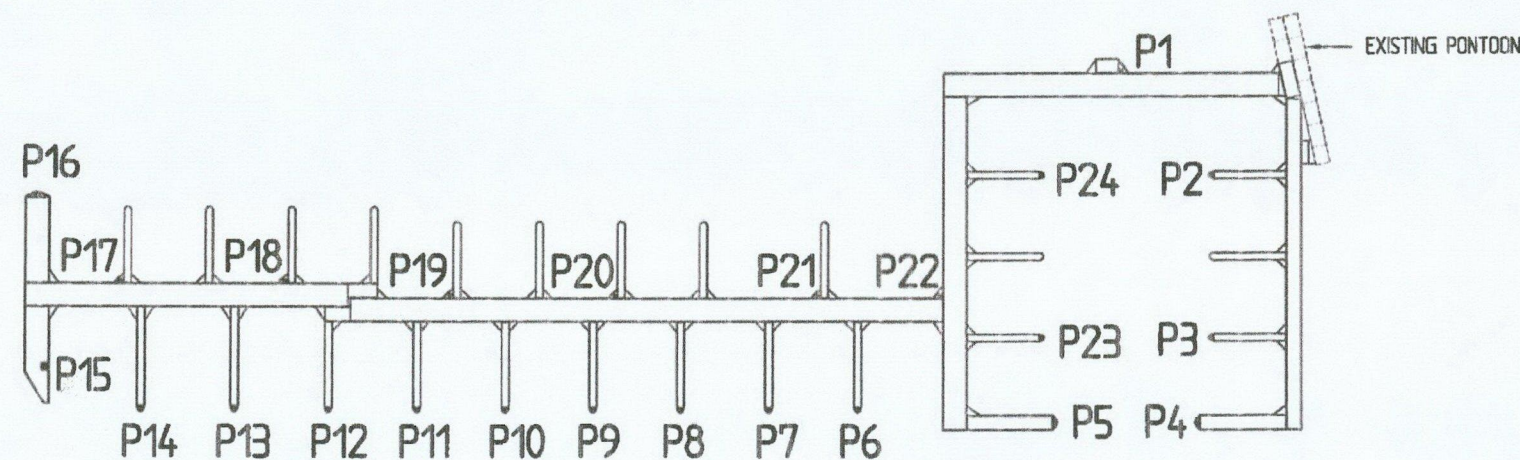
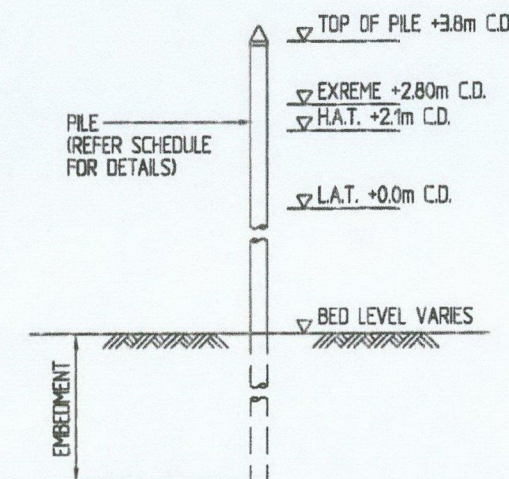
Scale: N.T.S.

Drawn By: T.J.S. Designed By:

Approved By:

PILE No.	DESIGN BED LEVEL (m C.D.)	HARD CLAY/WEAK ROCK LEVEL (m C.D.)	PILE SIZE	MINIMUM EMBEDMENT (m)		PILE TOP LEVEL (m C.D.)	OVERALL PILE LENGTH (m)
				TOTAL	HARD CLAY/WEAK ROCK		
P1	-1.10	-1.60	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.6	2.8	+3.8	8.5
P2	-2.60	-3.10	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.3	2.8	+3.8	10.0
P3	-4.60	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.9	-	+3.8	13.5
P4	-5.10	-	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.7	-	+3.8	15.0
P5	-4.60	-	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.6	-	+3.8	14.5
P6	-3.80	-4.80	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.8	2.8	+3.8	11.5
P7	-3.70	-4.70	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.8	2.8	+3.8	11.5
P8	-3.70	-4.70	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.0	3.0	+3.8	11.5
P9	-4.10	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.4	-	+3.8	13.5
P10	-5.10	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.6	-	+3.8	14.5
P11	-5.90	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.7	-	+3.8	15.5
P12	-6.50	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.8	-	+3.8	16.5
P13	-7.00	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	6.0	-	+3.8	17.0
P14	-7.60	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.8	-	+3.8	17.5
P15	-8.10	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	6.4	-	+3.8	18.5
P16	-7.30	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.9	-	+3.8	17.5
P17	-7.30	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.9	-	+3.8	17.5
P18	-5.80	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	6.3	-	+3.8	16.0
P19	-4.20	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.7	-	+3.8	14.0
P20	-2.30	-3.30	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.4	3.4	+3.8	11.0
P21	-2.30	-3.30	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.3	3.3	+3.8	10.5
P22	-2.50	-3.50	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.0	3.0	+3.8	10.5
P23	-3.50	-4.50	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.4	2.7	+3.8	11.0
P24	-1.90	-2.40	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.4	2.5	+3.8	9.5

1. FOR GENERAL NOTES REFER TO DRAWING No. 5197-100.
2. PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm,
MEASURED AS THE WORST COMBINATION OF PLAN
DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE.
VERTICAL = 1 IN 150 MAX OUT OF PLUMB.
3. CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS
FROM THE DESIGNED LEVELS BY MORE THAN 300mm.
4. ALL STEEL PILES SHALL BE CORROSION PROTECTED WITH HOPE SLEEVES,
THE SLEEVE TO BE FROM TOP OF PILE TO 1.5m BELOW BED LEVEL AND
SEALED AT THE TOP AFTER INSTALLATION.



PLAN
SCALE 1 : 1000

SCALE 1 : 200

Peter J Boyce & Associates
Ph: 0412 928 590

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FOR CONSTRUCTION

Bellingham
MARINE
The World's Most Comprehensive
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22 Shearman Road
Sorrentum Hill Rocks Qld 4073
Australia

Bellingham
Marine
Australia Pty. Ltd.
ACN. 074 864 887

Phone 071 3276 6995
Fax 071 3276 7955
International 6177
Email: sales@bellingham-marine.com.au

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International Marina Consultants Pty. Ltd.
A.C.N. 079 905 481

Client:
**BELLINGHAM MARINE
AUSTRALIA PTY. LTD**

Project:
RPAYC MARINA A ARM
RECONFIGURATION

Title: **PILE LAYOUT, PROFILE AND SCHEDULE**

Revision:

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Date: 29/03/2017

Drawing No.: 5197-102

Scale: AS SHOWN

Drawn By: T.J.S.

Designed By:

Approved By: _____

LEGEND:



SERVICE MODULE FITTED WITH:
1 No. 15AMP (SINGLE PHASE) OUTLET
1 No. RCD/MCB
1 No. (kWh) METER
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT



SERVICE MODULE FITTED WITH:
4 Nos. 15AMP (SINGLE PHASE) OUTLETS
2 Nos. RCD/MCB's
2 Nos. (kWh) METERS
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT



FIRE HOSE REEL



SERVICE MODULE FITTED WITH:
2 Nos. 15AMP (SINGLE PHASE) OUTLETS
2 Nos. RCD/MCB's
2 Nos. (kWh) METERS
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT



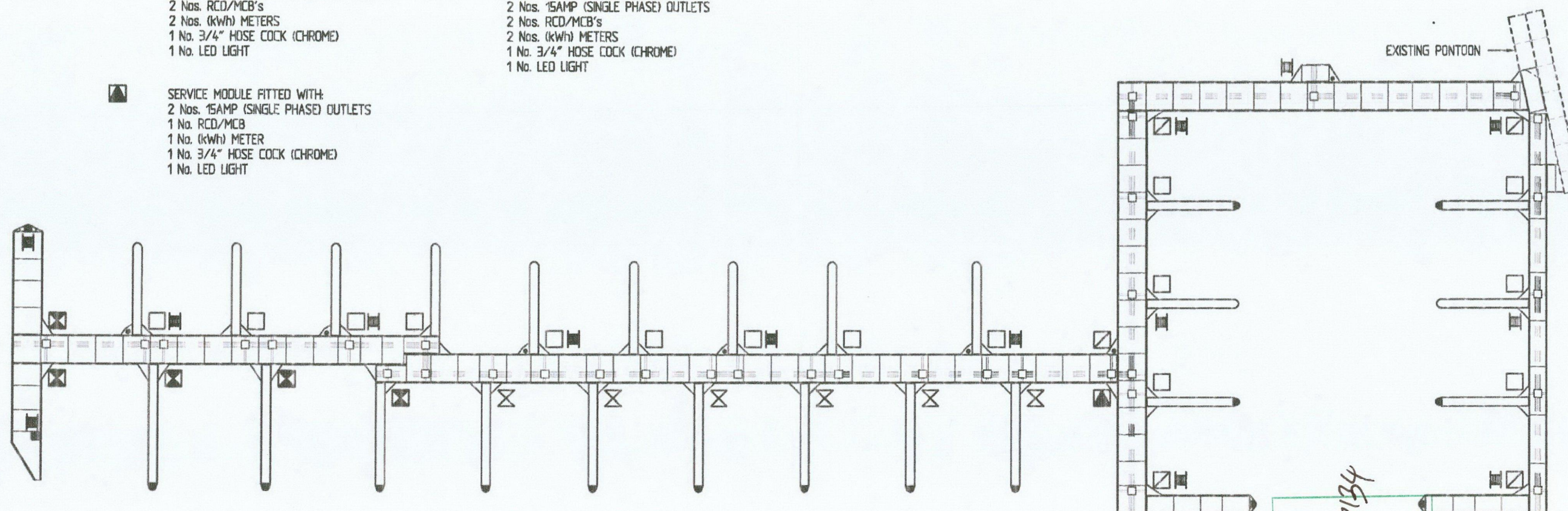
SERVICE MODULE FITTED WITH:
2 No. 32AMP (3 PHASE) OUTLETS
2 Nos. 15AMP (SINGLE PHASE) OUTLETS
2 Nos. RCD/MCB's
2 Nos. (kWh) METERS
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT



SERVICE MODULE FITTED WITH:
2 Nos. 15AMP (SINGLE PHASE) OUTLETS
1 No. RCD/MCB
1 No. (kWh) METER
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING No. 5197-100.



PLAN

SCALE 1 : 500

Peter J Boyce & Associates
Ph: 0412 928 500

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Bellingham
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Seventeen Mile Rocks Qld 4073
Australia

Bellingham
Marine
Australia Pty. Ltd.
A.C.N. 074 864 887

Phone (07) 3376 6955
Fax (07) 3376 7955
International (617)
Email: sales@bellingham-marine.com.au

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International Marina
Consultants Pty. Ltd.
A.C.N. 079 905 481

473 Annerley Road
ANNERLEY QLD 4103
AUSTRALIA
Phone (07) 38925711
Fax (07) 38925611
Email: inc@imc-marinas.com

Client:
**BELLINGHAM MARINE
AUSTRALIA PTY. LTD**

Project:
**RPAYC MARINA A ARM
RECONFIGURATION**

Title:
SERVICES LAYOUT

Revision:

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Date: 29/01/2017

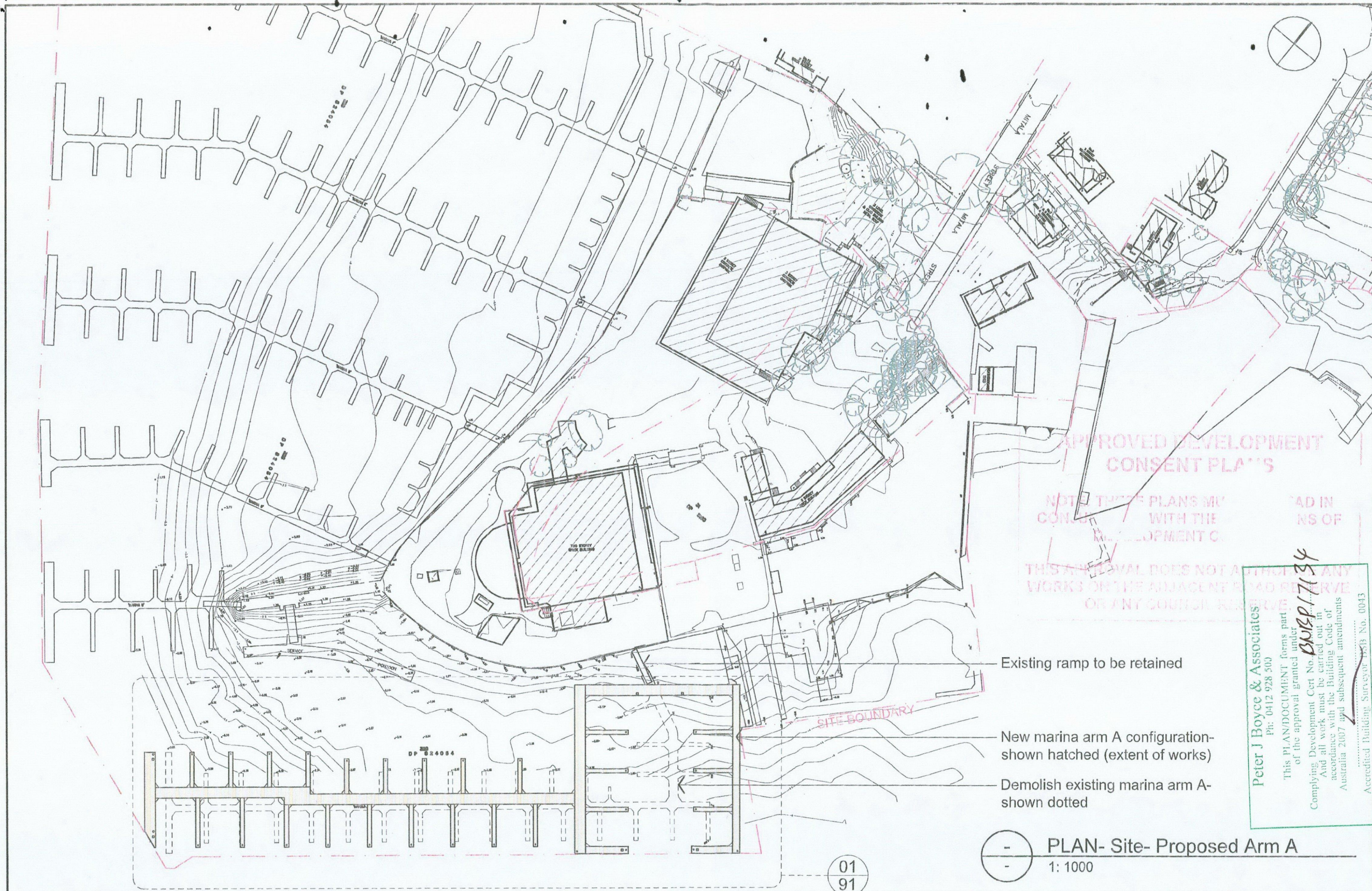
Drawing No.: 5197-103

Scale: 1 : 500 (A3)

Drawn By: T.J.S.

Designed By:

Approved By:



APPROVED DEVELOPMENT
CONSENT PLANS

NOTE: THESE PLANS MUST BE
CONSISTENT WITH THE
DEVELOPMENT CONSENT

THIS APPROVAL DOES NOT AFFECT ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNTRY RESERVE.

- Existing ramp to be retained
- New marina arm A configuration-
shown hatched (extent of works)
- Demolish existing marina arm A-
shown dotted

Peter J Boyle & Associates
Ph: 0412 928 500

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Complying Development Cert No. **DP624084**
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Accredited Building Surveyor No. 0043

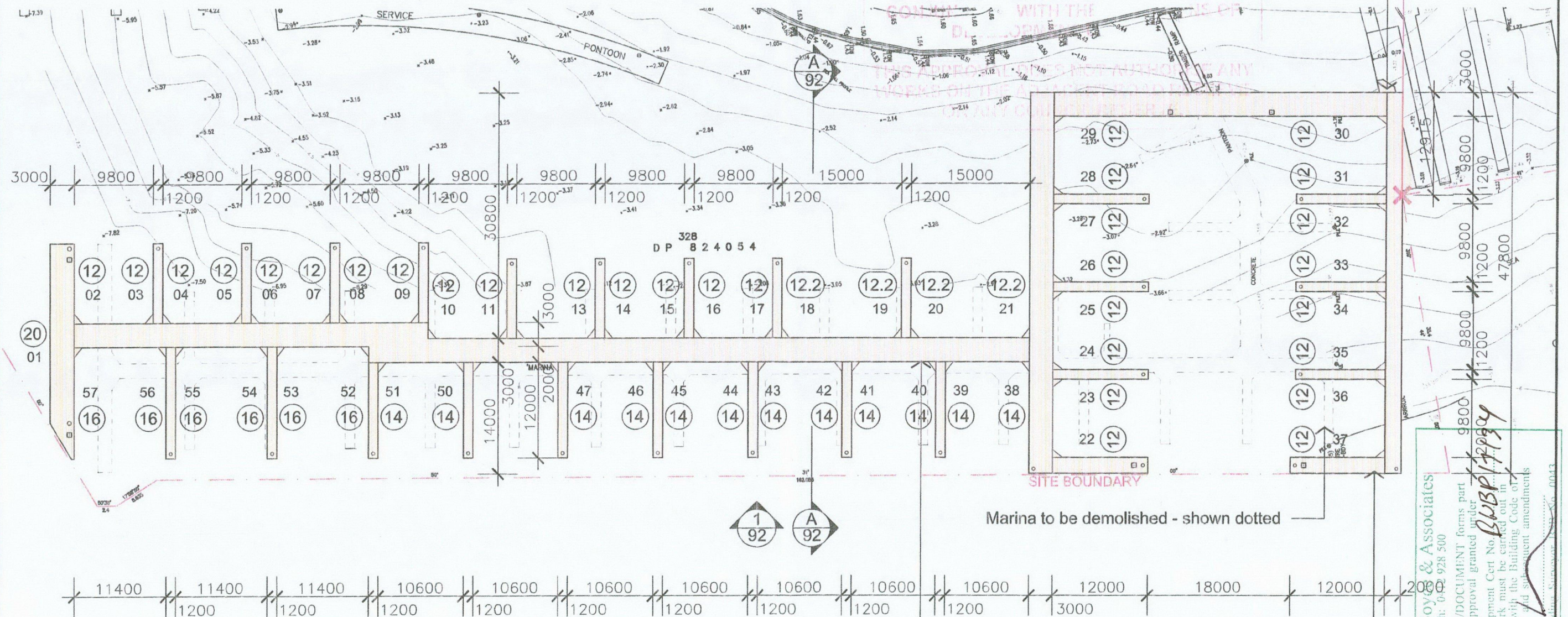
PLAN- Site- Proposed Arm A
1: 1000

 MICHAEL FOUNTAIN ARCHITECTS PTY. LTD. 2/5 MARSDEN WAY BELMORE NSW 2161 TEL (02) 9450 8100 FAX (02) 9450 8107	ISSUE	AMENDMENT	DATE	THIS DRAWING IS SUBJECT TO COPYRIGHT AND IS NOT TO BE USED OR REPRODUCED FOR PURPOSES OTHER THAN THE CONSTRUCTION OF THE SUBJECT BUILDING ON THE SUBJECT SITE WITHOUT THE CONSENT OF MICHAEL FOUNTAIN ARCHITECT. FIGURED DIMENSIONS TAKE PRECEDENCE. ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING ANY MATERIALS AND/OR BUILDING ELEMENTS AND PRIOR TO COMMENCEMENT OF THE AFFECTED WORKS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE AUTHOR IMMEDIATELY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS ISSUED FOR CONSTRUCTION AND SO MARKED IN THE AMENDMENT COLUMN, AND IS APPROVED AND SIGNED BY THE PRINCIPAL OF MICHAEL FOUNTAIN ARCHITECTS.	CUST#	Royal Prince Alfred Yacht Club	PROJECT	Marina Reconfiguration Royal Prince Alfred Yacht Club Newport NSW 2106	DRAWING#	PLAN- Site	 MICHAEL FOUNTAIN ARCHITECTS PTY. LTD. 2/5 MARSDEN WAY BELMORE NSW 2161 TEL (02) 9450 8100 FAX (02) 9450 8107																		
	A	Issued for co-ordination	05.07.16																										
	B	Issued for Development Application	22.07.16																										
<table><tr><td>DRAWN</td><td>CHKD</td><td>APPROVED</td></tr><tr><td>RJC</td><td></td><td></td></tr><tr><td>SCALE</td><td>DATE</td><td>CAD FILE (s)</td></tr><tr><td>1 : 1000 @ A3</td><td>June 2016</td><td></td></tr><tr><td>JOB NO</td><td>DRAWING NO</td><td>ISSUE</td></tr><tr><td>0704</td><td>DA- 090</td><td>B</td></tr></table>												DRAWN	CHKD	APPROVED	RJC			SCALE	DATE	CAD FILE (s)	1 : 1000 @ A3	June 2016		JOB NO	DRAWING NO	ISSUE	0704	DA- 090	B
DRAWN	CHKD	APPROVED																											
RJC																													
SCALE	DATE	CAD FILE (s)																											
1 : 1000 @ A3	June 2016																												
JOB NO	DRAWING NO	ISSUE																											
0704	DA- 090	B																											

New marina:

(12)	32 x 12 metre standard berths	(20)	1 x 20 metre standard berth
(14)	14 x 14 metre standard berths	(12.2)	4 x 12.2 metre catamaran berths
(16)	6 x 16 metre standard berths		Total berths = 57

Provide infill between existing
& new pontoons



Marina to be demolished - shown dotted

Provide fire hose reels, fire extinguishes, alarms & escape ladders to the marina in compliance with Australian Standards

New marina arm A- shown hatched (extent of works). Pontoons & piles to be provided to engineer's design & specification - in compliance with AS 3962- 2001

Peter J. Boyce & Associates

This PLAN/DOCUMENT forms part
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Complying Development Cert No. **B463P1**
And all work must be carried out in
accordance with the Building Code of
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PLAN- Proposed- Arm A
1: 500

ISSUE	AMENDMENT	DATE
A	Issued for co-ordination	05.07.16
B	Issued for Development Application	22.07.16
C	Issued for Tender	20.10.16
	Boat berth sizes & numbers added	
D	Issued to Council for information	30.01.17

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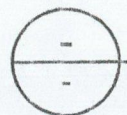
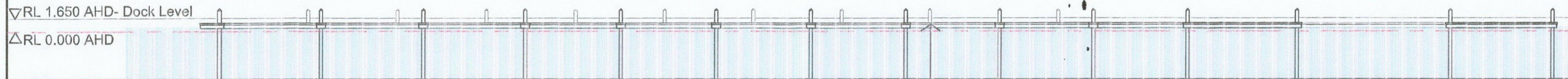
Royal Prince Alfred Yacht Club
Project
Marina Reconfiguration
Royal Prince Alfred Yacht Club
Newport NSW 2106

PLAN- Marina Arm A

DRAWN		CHKD		APPROVED	
RJG					
SCALE		DATE		CADD FILE No.	
1 : 500 @ A3		June 2016			
JOB NO			DRAWING NO		ISSUE
0704			DA- 091		D



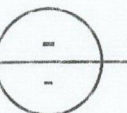
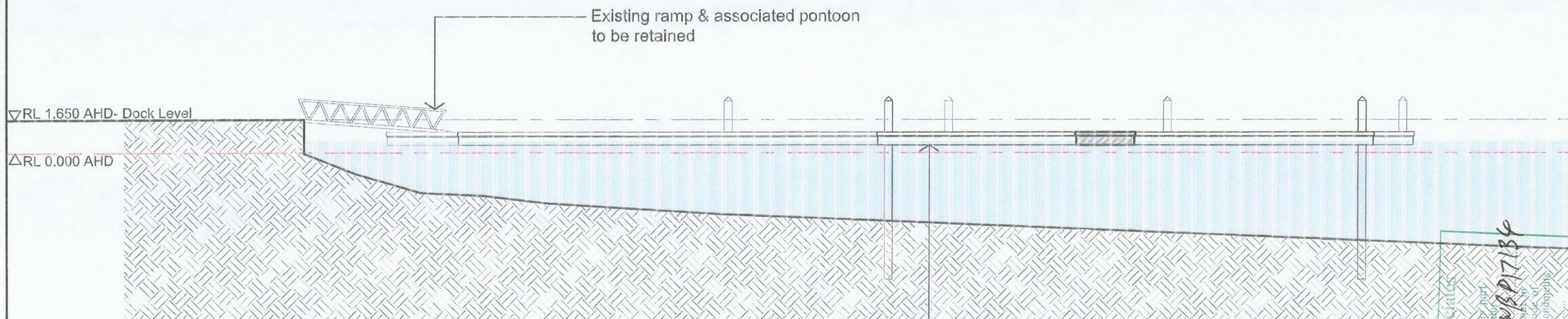
MICHAEL FOUNTAIN ARCHITECTS PTY. LTD.
2/51A VANDERWAY EELROSE NSW 2055
TEL: 02 9439 4200 FAX: 02 9439 4207



ELEVATION- Proposed- Arm A

1: 500

New marina arm A. pontoons & piles to be provided to engineer's design & specification - in compliance with AS 3962- 2001



SECTION AA- Proposed- Arm A

1: 200

New marina arm A. pontoons & piles to be provided to engineer's design & specification - in compliance with AS 3962- 2001

APPROVED DEVELOPMENT
CONSENT PLANS

NOTE: THESE PLANS MUST
CONJUNCTION WITH THE
DEVELOPMENT

THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT RESERVE
OR ANY OTHER RESERVE

Peter J Boyce & Associates
Ph: 0412 928 500
This PLAN/DRAWING forms part
of the approval granted under
Complying Development Cert No. 1588/17184
And all work must be carried out in
accordance with the Building Code of
Australia 2007 and subsequent amendments
Approved Building Surveyor: [Signature]



MICHEAL FOUNTAIN ARCHITECTS PTY. LTD.
2/10 NARABANG WAY BELROSE NSW 2106
TEL (02) 9450 2100 FAX (02) 9450 2107

ISSUE	AMENDMENT	DATE
A	Issued for co-ordination	05.07.16
B	Issued for Development Application	22.07.16

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Royal Prince Alfred Yacht Club
Marina Reconfiguration
Royal Prince Alfred Yacht Club
Newport NSW 2106

ELEVATION + SECTION- Arm A			
DRAWN BY	CHKD BY	APPROVED BY	
RJC			
SCALE	DATE	END FILE IN	
As Shown	June 2016		
JOB NO	DRAWING NO	ISSUE	
0704	DA- 092	B	



MICHEAL FOUNTAIN ARCHITECTS PTY. LTD.
2/10 NARABANG WAY BELROSE NSW 2106
TEL (02) 9450 2100 FAX (02) 9450 2107

GENERAL NOTES:

- 10 ALL DIMENSIONS AND LEVELS ARE TO BE VERIFIED ON SITE.
- 20 WHEN IN DOUBT 'ASK' DO NOT SCALE.
- 30 ALL DIMENSIONS ARE SHOWN IN MILLIMETRES U.N.O.
- 40 ALL LEVELS ARE SHOWN IN METRES AND ARE REDUCED TO CHART DATUM (CD).
- 50 PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm, MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 150 MAX OUT OF PLUMB.
 - CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS FROM DESIGN LEVEL BY MORE THAN 300mm.
- 60 PONTOON DIMENSIONS ARE NOMINAL
 - DIMENSIONS ARE MEASURED TIMBER TO TIMBER
- 70 ALL THRU-RODS ARE TO BE M20 NOMINAL FRP RODS U.N.O. SPACING TO VARY WITH LOCATION.
- 80 ALL TIMBER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1720.1
WALER SIZES
ONE PIECE FINGERS
 - 1/75 x 200 GRADE F8 SOFTWOOD TIMBER WALER
 MULTI PIECE FINGERS
 - 2/50 x 200 GRADE F17 HARDWOOD TIMBER WALERS
 WALKWAYS, T-HEAD AND L-HEADS
 - 2/50 x 200 GRADE F17 HARDWOOD TIMBER WALERS PLUS 40 x 200 GRADE F8 SOFTWOOD COVERBOARD
 - ALL COVERBOARDS TO BE TREATED SOFTWOOD.
 - ALL TIMBER WALERS TO BE SEASONED AND TREATED TO HAZARD CLASS H4 IN ACCORDANCE WITH AS 1604.
 - STRUCTURAL TIMBER MUST NOT BE CUT OR DRILLED FOR ANY REASON OTHER THAN SHOWN ON THESE DRAWINGS.
- 90 ALL STEEL SECTIONS TO BE GRADE 300 PLUS MINIMUM U.N.O. ALL STEEL PLATES TO BE GRADE 250 MINIMUM U.N.O.
 - ALL STEEL TO BE HOT DIP GALVANIZED IN ACCORDANCE WITH AS 4680.
 - PROTECTIVE COATINGS TO STEEL COMPONENTS :
 - a. ACID DIP AND HOT DIP GALVANIZE IN ACCORDANCE WITH AS4680.
 - b.
 - AVERAGE COATING 750g/m²
 - EQUIVALENT THICKNESS 100 MICRONS.
- 100 ALL ALUMINIUM WORK TO BE IN ACCORDANCE WITH AS 1664.
 - ALL EXTRUSIONS TO BE TYPE 6061-T6 OR 6082-T5 U.N.O.
 - PLATES TO BE TYPE 5083 TEMPER H321.
 - ALL WELDS SHALL BE INERT GAS WELD USING PULSE M.I.G. OR T.I.G. FUSION WELDING PROCESS.
 - ALL WELDS TO BE COMPLETE PENETRATION BUTT WELD.
- 110 ALL STEEL AND ALUMINIUM WORK SHALL BE NEATLY FINISHED WITH ALL SHARP EDGES GROUND SMOOTH.
- 120 PILE GUIDE BLOCKS ARE TO BE ADJUSTED AS REQUIRED TO SUIT PILE SIZE AND POSITION ON SITE.
 - CLEARANCE MUST BE PROVIDED BETWEEN PILE AND GUIDE TO PREVENT "HANGING" OF PONTOON UNDER FULL TIDAL RANGE.
- 130 CONCRETE
 - ALL CONCRETE WORKS SHALL COMPLY WITH AS 3600.
 - MINIMUM CONCRETE STRENGTH f_c = 50MPa U.N.O.
 - ALL REINFORCEMENT TO BE HOT DIP GALVANIZED.
 - MINIMUM COVER TO STRUCTURAL REINFORCEMENT = 45mm.
- 140 ALL PEDESTRIAN SURFACES SHALL BE FINISHED IN ACCORDANCE WITH AS4586.
 - CLASS P4 FOR PONTOONS, PLATFORMS, ABUTMENTS, INFILL PANELS, LIDS, BEAMS, STRUCTURAL MEMBERS AND FRAMES
 - CLASS P5 FOR GANGWAYS

15.0 INSULATION

BOLTED MATERIAL	INSULATING MATERIAL
ALUMINIUM / GALV. STEEL	DURALAC ANTI CORROSION COMPOUND OR NYLON SEPARATION WASHERS
ALUMINIUM / CONCRETE	3mm NEOPRENE
STEEL / CONCRETE	3mm NEOPRENE

16.0 DESIGN PARAMETERS

WIND

- BASIC WIND SPEED
V₅₀ = 41 m/s
- TERRAIN CATEGORY TC2

WAVE

- WIND GENERATED WAVE
H_{max} = 0.6m
T_p = 2.0s
- BOAT WAKE
H_{max} = 0.6m
T_p = 2.0s

CURRENT

V_{max} = 10m/s

BERTHING IMPACT

- NORMAL BERTHING VELOCITY
v = 0.3m/s
- ACCIDENTAL BERTHING VELOCITY
v = 0.45m/s

LIVE LOAD ON PONTOONS

- MAX. UNIFORMLY DISTRIBUTED LOAD 3 kPa
- FREEBOARD UNDER DEAD LOAD 500 ± 25mm

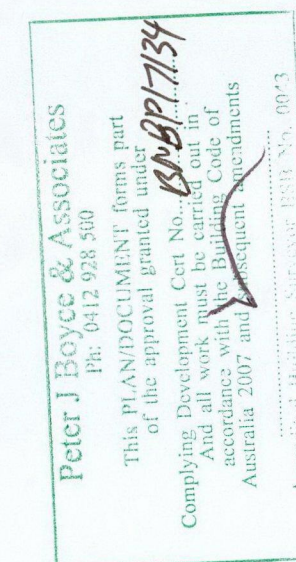
DESIGN VESSELS

VESSEL LENGTH (m)	WIND PROFILE AREA (m ²)		DISPLACEMENT (t)
	BEAM	HEAD	
12	29.0	11.0	11.0
14	39.7	15.7	16.0
16	51.3	19.3	22.0



LOCALITY MAP

N.T.S.



PLAN OR DOCUMENT CERTIFICATION

I am a qualified Engineer.

I hold the following qualifications or licence No. _____

BE, REPG No. 2938, MPENZ, ATBP No. CC4190W

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

J.M. LEMAN

Name

Signature

Date

FOR APPROVAL

Bellingham
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Bellingham
Marine
Australia Pty. Ltd.
A.C.N. 074 864 887

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Fax (07) 3376 7955
International (617)
Email: sales@bellingham-marine.com.au

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Revisions

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**International
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Consultants**
Consultants to the Marina Industry.
International Marina
Consultants Pty. Ltd.
A.C.N. 079 905 481
473 Annerley Road
ANERLEY QLD 4103
Australia
Phone (07)3892 5711 Fax (07)3892 5611
Email: lmc@lmc-marinas.com

CLIENT:
**BELLINGHAM MARINE
AUSTRALIA PTY. LTD**

PROJECT:
**RPAYC MARINA A ARM
RECONFIGURATION**

TITLE:
GENERAL NOTES

Date: 20/01/2017

Drawing No.: 5197-01

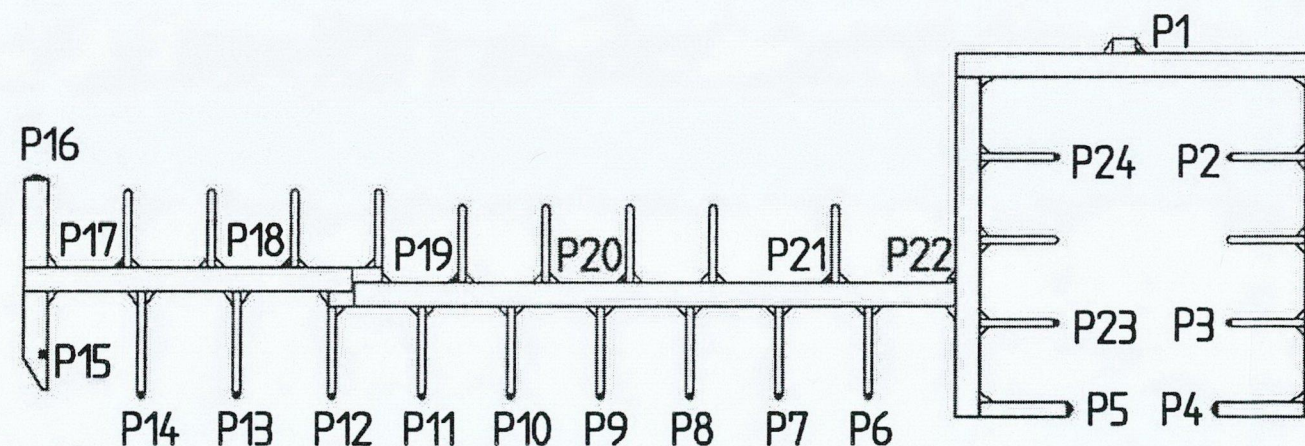
Scale: N.T.S.

Drawn By: T.J.S. **Designed By:**

Approved By:

PILE SCHEDULE

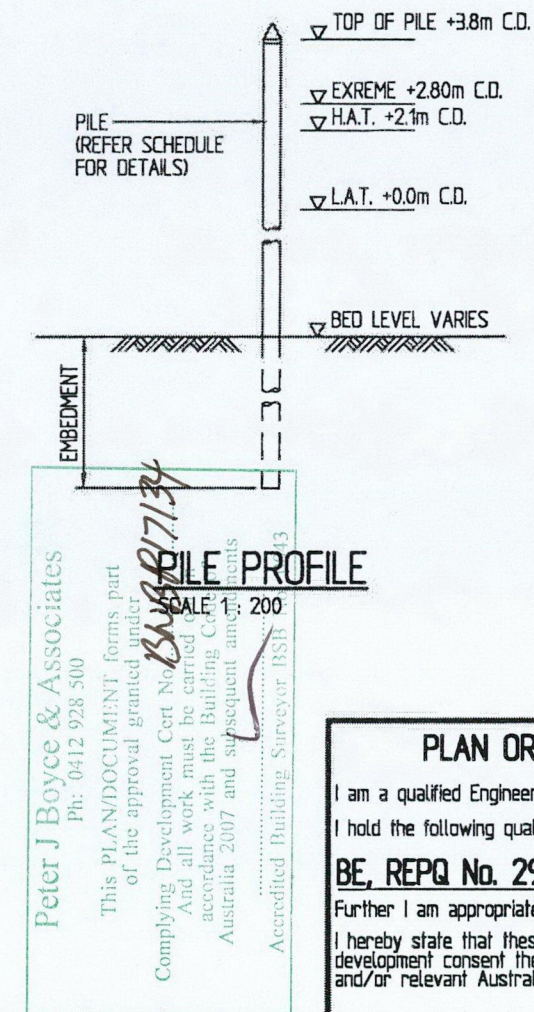
PILE No.	DESIGN BED LEVEL (m C.D.)	HARD CLAY/WEAK ROCK LEVEL (m C.D.)	PILE SIZE	MINIMUM EMBEDMENT (m)		PILE TOP LEVEL (m C.D.)	OVERALL PILE LENGTH (m)
				TOTAL	HARD CLAY/WEAK ROCK		
P1	-1.10	-1.60	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.6	2.8	+3.8	8.5
P2	-2.60	-3.10	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.3	2.8	+3.8	10.0
P3	-4.60	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.9	-	+3.8	13.5
P4	-5.10	-	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.7	-	+3.8	15.0
P5	-4.60	-	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.6	-	+3.8	14.5
P6	-3.80	-4.80	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.8	2.8	+3.8	11.5
P7	-3.70	-4.70	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.8	2.8	+3.8	11.5
P8	-3.70	-4.70	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.0	3.0	+3.8	11.5
P9	-4.10	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.4	-	+3.8	13.5
P10	-5.10	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.6	-	+3.8	14.5
P11	-5.90	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.7	-	+3.8	15.5
P12	-6.50	-	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.8	-	+3.8	16.5
P13	-7.00	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	6.0	-	+3.8	17.0
P14	-7.60	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.8	-	+3.8	17.5
P15	-8.10	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	6.4	-	+3.8	18.5
P16	-7.30	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.9	-	+3.8	17.5
P17	-7.30	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.9	-	+3.8	17.5
P18	-5.80	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	6.3	-	+3.8	16.0
P19	-4.20	-	457φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	5.7	-	+3.8	14.0
P20	-2.30	-3.30	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.4	3.4	+3.8	11.0
P21	-2.30	-3.30	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.3	3.3	+3.8	10.5
P22	-2.50	-3.50	406φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	4.0	3.0	+3.8	10.5
P23	-3.50	-4.50	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.4	2.7	+3.8	11.0
P24	-1.90	-2.40	355φ x 12.7 WALL GRADE 350 CORROSION PROTECTED STEEL PILE	3.4	2.5	+3.8	9.5



PLAN
SCALE 1 : 1000

NOTES:

- FOR GENERAL NOTES REFER TO DRAWING No. 5197-01.
- PILES
 - TOLERANCE FOR DRIVING IN PLAN +/- 50 mm, MEASURED AS THE WORST COMBINATION OF PLAN DEVIATION AND OUT OF PLUMB OVER FULL TIDAL RANGE. VERTICAL = 1 IN 150 MAX OUT OF PLUMB.
- CONTRACTOR TO ADVISE ENGINEER IF BED LEVEL DIFFERS FROM THE DESIGNED LEVELS BY MORE THAN 300mm.
- ALL STEEL PILES SHALL BE CORROSION PROTECTED WITH HDPE SLEEVES, THE SLEEVE TO BE FROM TOP OF PILE TO 15m BELOW BED LEVEL AND SEALED AT THE TOP AFTER INSTALLATION.



FOR APPROVAL

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Engineer.
I hold the following qualifications or licence No. _____
BE, REPQ No. 2938, MIPENZ, ATBP No. CC4190W
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

JM. LEMAN
Name _____ Signature _____ Date **1/2/17**

Bellingham
MARINE
The World's Most Comprehensive Marine Builder
22 Sirram Road
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Australia
Phone (07) 3376 6955
Fax (07) 3376 7955
International (617)
Email: sales@bellingham-marine.com.au

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International Marina
Consultants Pty. Ltd.
A.C.N. 079 905 481
473 Annerley Road
ANNERLEY QLD 4103
AUSTRALIA
Phone (07) 38925711
Fax (07) 38925611
Email: inc@imc-marinas.com

Client:
BELLINGHAM MARINE
AUSTRALIA PTY. LTD

Project:
RPAYC MARINA A ARM
RECONFIGURATION

Title:
PILE LAYOUT, PROFILE
AND SCHEDULE

Revision:

Date: **24/01/2017**
Drawing No.: **5197-03**
Scale: **AS SHOWN**
Drawn By: **T.J.S.**
Designed By:
Approved By:

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LEGEND:

☐ SERVICE MODULE FITTED WITH:
1 No. 15AMP (SINGLE PHASE) OUTLET
1 No. RCD/MCB
1 No. (kWh) METER
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

☐ SERVICE MODULE FITTED WITH:
2 Nos. 15AMP (SINGLE PHASE) OUTLETS
2 Nos. RCD/MCB's
2 Nos. (kWh) METERS
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

▲ SERVICE MODULE FITTED WITH:
2 Nos. 15AMP (SINGLE PHASE) OUTLETS
1 No. RCD/MCB
1 No. (kWh) METER
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

⊗ SERVICE MODULE FITTED WITH:
4 Nos. 15AMP (SINGLE PHASE) OUTLETS
2 Nos. RCD/MCB's
2 Nos. (kWh) METERS
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

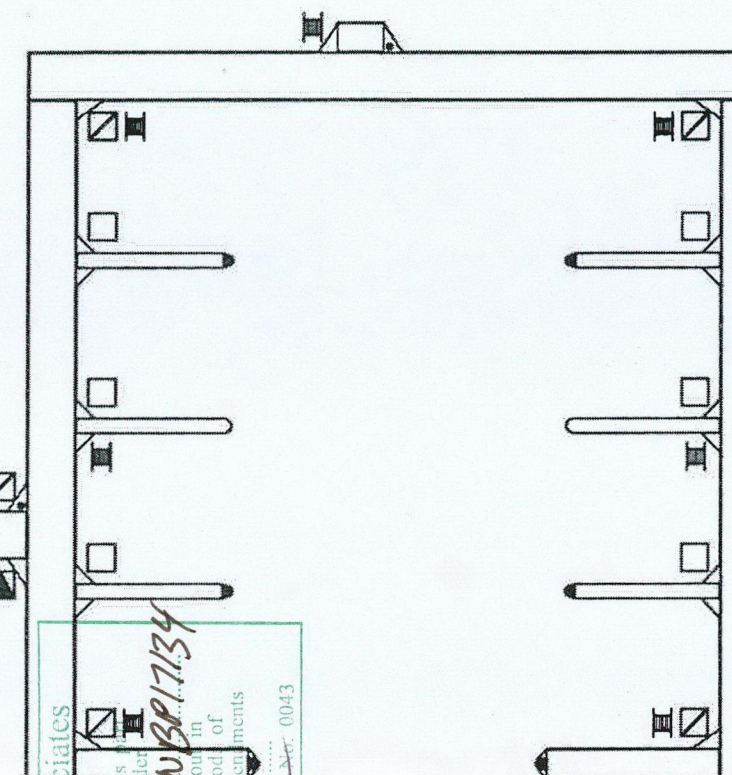
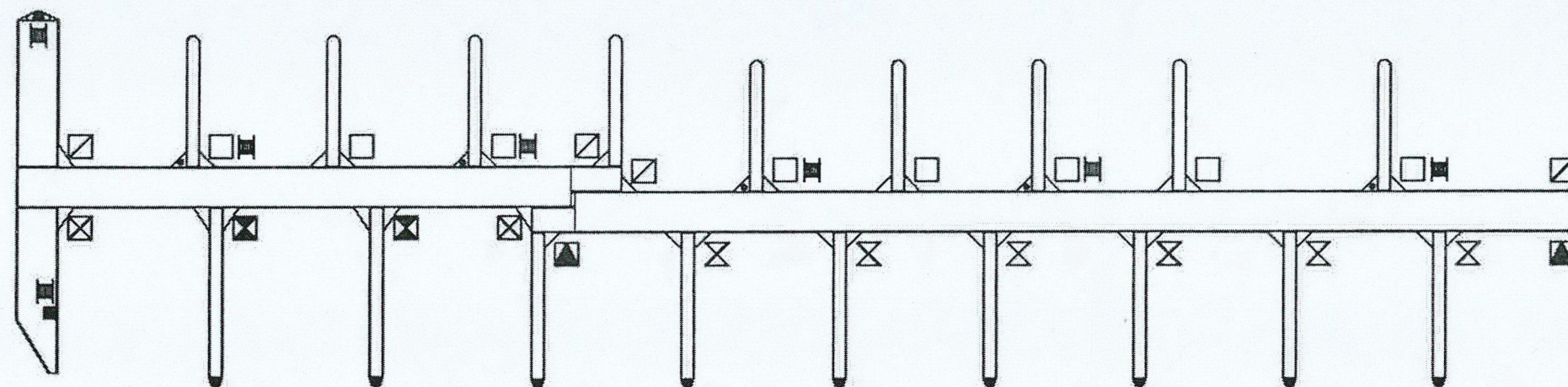
⊗ SERVICE MODULE FITTED WITH:
2 No. 32AMP (3 PHASE) OUTLETS
2 Nos. 15AMP (SINGLE PHASE) OUTLETS
2 Nos. RCD/MCB's
2 Nos. (kWh) METERS
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

⊗ SERVICE MODULE FITTED WITH:
1 No. 32AMP (3 PHASE) OUTLET
1 No. 15AMP (SINGLE PHASE) OUTLET
1 No. RCD/MCB
1 No. (kWh) METER
1 No. 3/4" HOSE COCK (CHROME)
1 No. LED LIGHT

⌘ FIRE HOSE REEL

NOTES:

1. FOR GENERAL NOTES REFER TO DRAWING No. 5197-01.



PLAN

SCALE 1 : 500

Peter J Boyce & Associates
Ph: 0412 928 500

This PLAN/DOCUMENT forms part of the approval granted under the Complying Development Cert No. 17/134

And all work must be carried out in accordance with the Building Code of Australia 2007 and subsequent amendments

Accredited Building Surveyor BSB No. 0043

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Engineer.

I hold the following qualifications or licence No. _____

BE, REPQ No. 2938, MIPENZ, ATBP No. CC4190W

Further I am appropriately qualified to certify this component of the project

I hereby state that these plans or details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

J.M. LEMAN

Name

Signature

Date

1/2/17

FOR APPROVAL

Bellingham
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22 Sharnon Road
Seventeen Mile Rocks Qld 4073
Australia

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Fax (07) 3976 7955
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International Marina
Consultants Pty. Ltd.

A.C.N. 079 905 481

473 Annerley Road
ANNERLEY QLD 4103
AUSTRALIA
Phone (07)38925711
Fax (07)38925611
Email: imc@imc-marinas.com

Client:

**BELLINGHAM MARINE
AUSTRALIA PTY. LTD**

Project:

**RPAYC MARINA A ARM
RECONFIGURATION**

Title:

SERVICES LAYOUT

Revision:

Date:

24/01/2017

Drawing No.:

5197 04

Scale:

1 : 500 (A3)

Drawn By:

T.J.S.

Designed By:

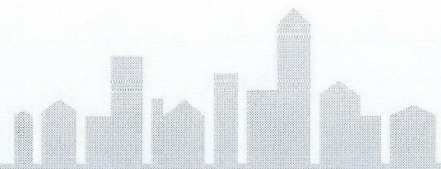
Approved By:



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Peter J Boyce & Associates

Accredited Building Surveyors



Planning NSW Accreditation No. BPB0043
ABN: 92 616 124 481

t 9868 2855 | f 9868 2655
e info@boycecorp.com.au

PO Box 375, Strathfield NSW 2135
Suite 405, 51 Rawson Street, Epping NSW 2121

Fire Safety Schedule

SECTION A. Development details

Unit/Street no. 14	Street name Mitala Street
Suburb or town Newport	Postcode 2106

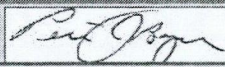
SECTION B. Construction certificate details

Name of certifying authority Peter J Boyce & Associates	Certificate number/identifier BNBP17134	Date of certificate
---	---	---

SECTION C. Statutory fire safety measures (as set out under clause 166 EP&A Reg)

No.	Measure	Particulars of measures (including where the measures are set out, eg, alternative solution report or building plans)	Currently implemented Yes/No	Proposed implementation Yes/No	Minimum performance standard
1	Portable Fire Extinguisher		No	Yes	BCA E1.6, AS 2444
2	Fire Hose Reels		Yes	Yes	BCA E1.4, AS2441-1998, AS 1851-2005

SECTION F. Certifying authority

Name Peter J. Boyce	Signature 
Accreditation No. BPB0043	Date