

GOODMANORS

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR

CONSTRUCTION OF A NEW REINFORCED CONCRETE PLUNGE POOL AND SPA,
TILED POOL SURROUNDS, REINFORCED BLOCK BOUNDARY WALL, AWNING,
HARDWOOD TIMBER DECKING & ASSOCIATED SOFT LANDSCAPE WORKS

AT

166 PITTWATER ROAD, MANLY 2095

PREPARED FOR

MR BEN LAWS

25th APRIL 2020

BY

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1.0 SUMMARY

This statement has been prepared pursuant to Section 78A of the Environmental Planning and Assessment Act 1979 and Clause 50 of the Environmental Planning and Assessment Regulation 2000.

It is to accompany a development application to Northern Beaches Council for construction of a new reinforced concrete plunge pool and spa, tiled pool surrounds, reinforced block boundary wall, awning, hardwood timber decking and associated soft landscape works at **No. 166 Pittwater Road, Manly.**

The purpose of this document is to:

- Detail the proposed development.
- Review the applicable planning regime relating to the proposal and assess the degree of compliance.
- Examine the environmental effects of the development when measured against the Evaluation Criteria prescribed under the Environmental Planning and Assessment Act, 1979.

In respect to the assessment of the proposal, where impacts are identified, measures proposed to mitigate any harm to environmental amenity have been addressed by this report.

This report should be read in conjunction with the following plans and reports:

- Survey Plan
- Site Analysis
- Landscape Concept Plan
- Site Plan - existing and proposed (10.04.20)
- Erosion and sediment control plan
- Landscape Plan proposed plant list
- Section - AA & BB
- Section - CC

This statement assesses any numeric non-compliance as acceptable on merit, resulting in no adverse impacts and in compliance with all relevant Manly Local Environmental Plan (LEP) 2013 and Manly Development Control Plan (DCP) 2013 objectives.

The submission contains: a brief site description; a brief description of the proposed development; a site suitability analysis; a conclusion and, a compliance table.

2.0 SITE DESCRIPTION

The subject site is located approximately 16km north-east of the Sydney CBD, 0.5 km from Manly Beach, and is located within the Local Government Area (LGA) of Manly (see Figure 1 on the following page).

Summary of planning controls:

- Land Zoning R3 Medium Density Residential.
- Heritage – Pittwater Road Conservation Area Significance: Local
- Acid Sulfate Soils Class 4
- Scenic Protection Land – Scenic Protection

The site is located on the Eastern side of Pittwater Road and is known as No. 166 Pittwater Road, Manly. The site has a Western frontage to Pittwater Road of 7.91m and a depth of 33.26m on the Northern boundary and 31.06m on the Southern boundary providing a site area of 244.5 sqm.

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The site is occupied by a 1920's single-storey semi-detached dwelling with a tiled roof. The front facade consists of a pedestrian pathway sandstone based fence and piers with white picket infill, tiled entry and stairs leading to an undercover verandah (see Photograph 1 on the following page). The dwelling is situated between two single storey weatherboard cottages.

The dwelling comprises living and dining areas, a study, kitchen, bathroom, 3 bedrooms and an external laundry and toilet. The rear comprises a treated pine timber deck, treated pine pergola and a turfed area (see Photograph 2 & 3 & 4 on the following page).

The site is relatively flat with a slight slope from the western frontage to the eastern rear of approx. 150mm.

Access to the rear garden can be made via the southern walkway running parallel to the dwelling. Access from inside of the house to the rear garden is made via a single door through the dining room.

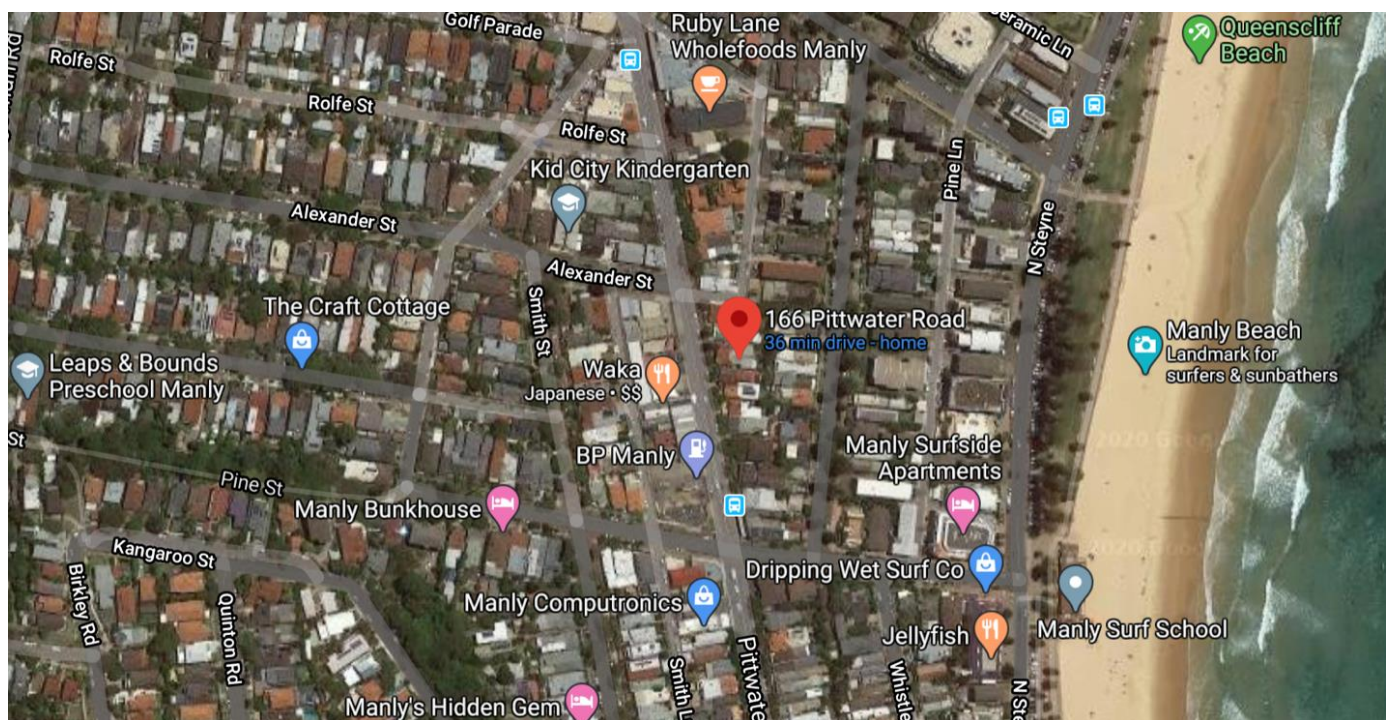


Figure 1: Aerial Photograph of site location



Image 1: The site as viewed from Pittwater Rd



Image 2: View from the rear yard, facing the dwelling

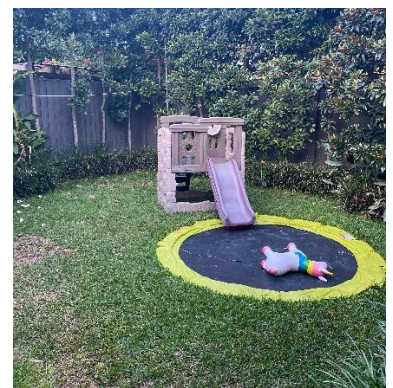


Image 3: The site facing East toward the rear fence

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3.0 THE PROPOSED DEVELOPMENT

Construction of a new reinforced concrete plunge pool and spa, tiled pool surrounds, reinforced block boundary wall, awning, hardwood timber decking and associated soft landscape works

3.1 Proposed plunge pool and spa

- Reinforced concrete plunge pool and spa with a fully tiled interior. Plunge pool size is 3.27m x 2.3m, with a depth of 1.7m at the deep end and 1.2m at the shallow end. Spa size is 2.5m x 1.5m with a depth of 1m.
- Surrounding tiled limestone coping, 1.0m wide on two side.
- The proposed plunge pool will sit 200mm higher than the existing ground level and 350mm lower than the finished floor level (FFL) of the residence, rear hardwood deck and spa.
- The reinforced concrete spa will sit level with the finished floor level of the dwelling.
- The proposed levels of the plunge pool and spa have been carefully designed to keep the need to raise the existing ground level to a minimum while providing a seamless connection to all areas within the property. This serves for maximum use for private open space, outdoor entertaining & recreation for the whole family. The proposed levels of surrounding landscaping works will match the existing RL's where possible to ensure minimal excavation and disturbance to the soil profile. The finished height of the pool also reduces the depth of excavation required.
- The proposed position of the pool and spa created additional functional open space areas within the property, providing increased amenity whilst maximising the use of the private open space.
- The proposed works shall not be visible from the street will have no adverse effects on the existing streetscape or surrounding properties.
- The proposed plunge pool and spa will have a set-back of 200mm in from the Southern boundary, 500mm from the rear Eastern boundary and 4900m from the Northern boundary.
- Along two sides frameless glass pool fencing with two gates to comply with Australian Standard 1926.1 – 2012.
- Reinforced block wall along the Southern boundary, the top of the wall is TOW +8.915. Height returning along the Eastern end of the pool is TOW +7.963 to comply with Australian Standard 1926.1 – 2012.
- The proposed spa sits 550mm higher than the existing ground level, with the pool 200mm higher than the existing ground level. This minimises the amount of excavated material to be removed from site.
- The pool and spa filter equipment shall be located on the Northern side of the property in a space not to be visible by the street frontage or neighboring properties. Housed underneath the BBQ bench, set 900mm in from the Northern boundary, this location has been selected to minimize noise impact upon neighboring properties. Pool and spa filter equipment shall be enclosed within an acoustic control structure rated to meet with requirements of all authorities.
- The pool and spa will be a magnesium mineral based system which has been recommended and selected as it is more sympathetic to the environment. Wastewater from the pool and spa will be discharged into the existing sewer system via an overflow pipe connected to the pool skimmer box. Necessary drainage will also be installed where required.
- The pool and spa will be located over an existing Sydney Water asset (sewer main). Appropriate liaison with engineers and Sydney Water certifiers will be carried out prior too and during construction.

3.2 Associated hard and soft landscape works

- The rear deck will be raised 515mm to match the existing internal floor level and replaced with Australia hardwood timber.
- The existing lawn level will be raised 110mm to meet the same height as the proposed pool.

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- The proposed awning to run along the Southern boundary, running of the new reinforced block wall to improve privacy from the southern neighbour.
- The proposed plants have been carefully selected to include an Australian native species to create privacy & exotics to complement the existing location & surrounds. The garden beds will be improved with organic matter and incorporated into existing site soil.
- The limestone tile paved area will connect the residence and private open space areas to the proposed swim spa. The softscape planting will allow movement of stormwater reducing runoff and add aesthetic value. The layout and gentle grading of the garden beds will slow down water run off to allow more on-site catchment & infiltration.
- Materials have been selected for their natural properties with limestone as the proposed pool coping, Australian forest grown hardwood decking to the resuscitation area to compliment the house and enhance the amenity of the property and surrounds.
- Any material to be excavated will be reused onsite where possible to minimise the generation of unnecessary waste, disturbance to the soil profile & importing materials. Excavated top soil will be stored, reused in proposed garden beds & incorporated into site soil.
- Presently, this garden provides minimal interest and few engaging elements. The plunge pool and spa offers amenity and useable space to the site. The functional properties of the landscaped area will be dramatically changed. This means areas of the garden will be enhanced to provide a far more usable outdoor environment, private open space.

4.0 SITE SUITABILITY

The subject site is suitable for the proposal as:

- The site is zoned R3 Medium Density Residential and the proposal included the construction of a reinforced concrete pool and spa and associated hard and soft landscaping works on the existing site which is permissible in the zone.
- Adequate water, stormwater drainage and sewage facilities are available on the site for the proposed development.
- Soil characteristics are class 4 Acid Sulphate Soils.
- The site is not subject to natural hazards, such as bush fire, tidal inundation and mass movement.
- There are no precipitate constraints posed by adjacent land uses.
- Appropriate sediments and erosion control measures will be employed during construction.
- The development will not result in environmental degradation of the coastal foreshore.
- The proposed development will be aesthetically pleasing with high quality finishes and materials.
- The proposed works will not affect neighboring views and will minimize impact on all neighboring properties.
- The proposed works satisfies the requirements of Manly Councils LEP and all relevant DCPs (see compliance table).
- Northern Beaches Council's Development Control Plan has been followed closely when designing this swimming pool and surrounding landscape.
- In our opinion, the proposed development satisfies the relevant zone objectives and development standards in the Manly Local Environmental Plan (LEP) 2014 and complies with the provisions within the Northern Beaches Development Control Plan (DCP) 2015 objectives.
- The proposed changes have been carefully designed to ensure the amenity of the surrounding residences is maintained. The proposed development is suitable and not out of character for the immediate area.
- The levels create no adverse effects to privacy; overlooking or shadow to neighbouring properties. The habitable rooms of the neighbouring properties are a significant distance from the proposed spa.
- There is no evidence of contamination on the site.
- The design is generally in-keeping with the local planning objectives and is compatible with surrounding development.

The Manly Development Control Plan has been followed closely when designing this plunge pool spa and surrounding landscape. In our opinion, the proposed development satisfies the relevant zone objectives and development

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standards in the Manly Local Environmental Plan (LEP) 2014 and complies with the provisions within the Manly Development Control Plan (DCP) 2015 objectives. The proposed changes have been carefully designed to ensure the amenity of the surrounding residences is maintained. The proposed development is suitable and not out of character for the immediate area.

5.0 CONCLUSION

The proposed development has been assessed in light of Section 79C of the EP & A Act, 1979 and Council's planning instruments.

The proposal is permissible in the R2 Zone, under Council's LEP and in our opinion, is consistent with the relevant objectives of the LEP.

The proposed works fundamentally comply with council's planning guidelines and will improve the property with the construction of a reinforced concrete plunge pool and spa, hardwood timber decking and associated soft landscaping works that are in a fashion that is sympathetic to the subject site and neighbouring properties.

The new doors, level garden spaces will provide a garden and house that is not only aesthetically pleasing but also practical, usable and to be enjoyed to its maximum potential given the spaces available. The flow of indoor and outdoor spaces will be greatly increased and the works will be done sympathetically to the 1920's heritage design of this house whilst maintaining the modern updated way of living.

The inclusion and the positioning of the swim spa covered within this assessment has been carefully considered in conjunction with not only the residence and structures but also with neighbouring homes and gardens and adjacent open space. All proposed work shall be undertaken to the highest standards utilising high quality material and finishes.

In the circumstances of this case, the proposal should be supported and approved by Council.

6.0 PRINCIPAL DEVELOPMENT STANDARDS MANLY DEVELOPMENT CONTROL PLAN

Heritage Conservation Areas and Heritage Items

The Pittwater Road Conservation Area Significance: Local Manly Local Environmental Plan (LEP) 2013. It is important to note that this application will not impact them in any way.

Solar Access

The proposed swimming pool is located on the southern rear side of the site. The height of the proposal and the location on site ensure that there will be no change to any neighbouring property regarding solar access. To the rear yard the private open space will receive a full complement of sunlight throughout the day. The neighbouring properties will retain existing shadows and should not have any additional windows blocked by shadow as a result of this development.

Visual and Acoustic Privacy

The rear yard addition, located completely in ground, has been planned for this location to minimise impact on neighbours. The pool equipment will be enclosed in a sound suppressing enclosure and will be located outside the proposed pool area. Noise will be at a minimum.

Streetscape

The streetscape will not be altered with this application. No work will be visible from the road.

View Sharing

The proposal has taken the neighbouring properties and views into consideration. The proposed pool is located at rear of the residence and at ground level. There are no portions of the pool located out of ground and it will not be possible to walk on the southern side of the pool. The position of the pool on site also ensures that there will be no

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change to any neighbouring views and that the proposal will not affect view sharing. The proposal should have no impact on the south, north, and west neighbours regarding views.

Floor Space Ratio

There is no change to the FSR for the site. The property will fully comply with the Council requirements.

Landscaped Area

The proposal will meet all of Council's landscape requirements including landscape ratio and site coverage. The calculation of landscaped area requires 16.035m² of the site. The proposed meets the requirement with 25.139m² of landscaped area.

Stormwater

Stormwater on site will continue to flow as existing. The existing stormwater system will be upgraded if necessary. No detention is required as part of this proposal.

Site Management

There will be approximately 20 cubic metres of excavation required. All excavation will occur at the proposed swimming pool location with much of the fill being removed from site. Any additional fill, except for some topsoil used to refurbish the gardens, will be taken off site by small trucks at the responsibility of the excavating contractor. There will be no stockpiling of soil; it will be removed straight away after excavation. A licensed builder will be conducting all work in and around the residence. During the construction process utmost care and consideration will be taken to ensure the privacy and lifestyle of the neighbouring residences is uninterrupted.

7.0 COMPLIANCE TABLE

DCP Clause	Controls	Proposal	Compliance
4.1.9	Swimming Pools, Spas and Water Features		
	<u>Objective 1</u>) To be located and designed to maintain the privacy (visually and aurally) of neighbouring properties and to minimise the impact of filter noise on neighbouring properties; <u>Objective 2</u>) To be appropriately located so as not to adversely impact on the streetscape or the established character of the locality; <u>Objective 3</u>) To integrate landscaping; and <u>Objective 4</u>) To become an emergency water resource in bush fire prone areas.	Location/height of pool 530mm higher than the existing ground level at the higher point to meet with the existing finished floor level of the house. The pool is in the rear of the property and can not be seen form the street. The pool has been designed to match the existing ground level to integrate with the current landscape.	Yes Yes Yes N/A
4.1.9.1	Height above ground		
	a) Swimming pools and spas must be built on or in the ground and not elevated more than 1m above natural ground level. Consideration of any exception to exceed the height above ground must demonstrate that any swimming pools and/or spa and their curtilage and/or concourse more than 1m above natural ground level: i) would not detract from the amenity or character of the neighbourhood; and ii) is a minimum distance from any side boundary equivalent to the height of the swimming pools and/or spa and their curtilage and/or concourse at any point above existing ground level.	The proposed pool and spa does not exceed 1m above ground N/A. N/A.	Yes. N/A. N/A.
4.1.9.2	Location and Setbacks		
	a) Swimming pools and spas must not be located within the front setback i.e. between the front boundary of the lot and the building line. Consideration of any exception to the required location must demonstrate that any swimming pools and/or spa and their curtilage and/or concourse: i) does not detract from the amenity or character of the neighbourhood; and ii) is a minimum distance from the front boundary equivalent to at least twice the height of the swimming pools and/or spa and their curtilage and/or concourse at any point above existing ground level. c) The setback of the outer edge of the pool/spa concourse from the side and rear boundaries must be at least 1m, with the water line being at least 1.5m from the boundary.	The proposed pool and spa are not located within the front setback. N/A N/A Th proposed pool and spa are not set back 1m from the rear boundaries. This has been done to maximise the amenity of the remaining landscaped area.	Yes N/A N/A No
4.1.9.3	Proportion of Total Open Space		
	Swimming pools and associated concourse areas must not comprise more than 30 percent of the total open space.		Yes

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4.1.9.4	Other matters - sewer connections, pumps, structural certificates, rainwater tank and pool blankets		
	a) All swimming pools and spas must be connected to the sewerage system; b) Pumps and filters must be located, enclosed and acoustically controlled to limit noise to the appropriate standard. c) A spa pool must not be located on a deck or balcony unless the structural integrity of the deck or balcony to accommodate the spa is certified by a structural engineer; d) A separate rain water tank, of adequate capacity, must be installed to recharge the pool when required; and e) Swimming pools should be covered with a secure “pool blanket”, or similar device, when not in use to minimize water loss by evaporation and to conserve energy in heated pools.	Pumps and equipment will be housed in a sound attenuating box. Pools is inground. N/A The pool will include a solar cover.	Yes. Yes Yes. N/A Yes