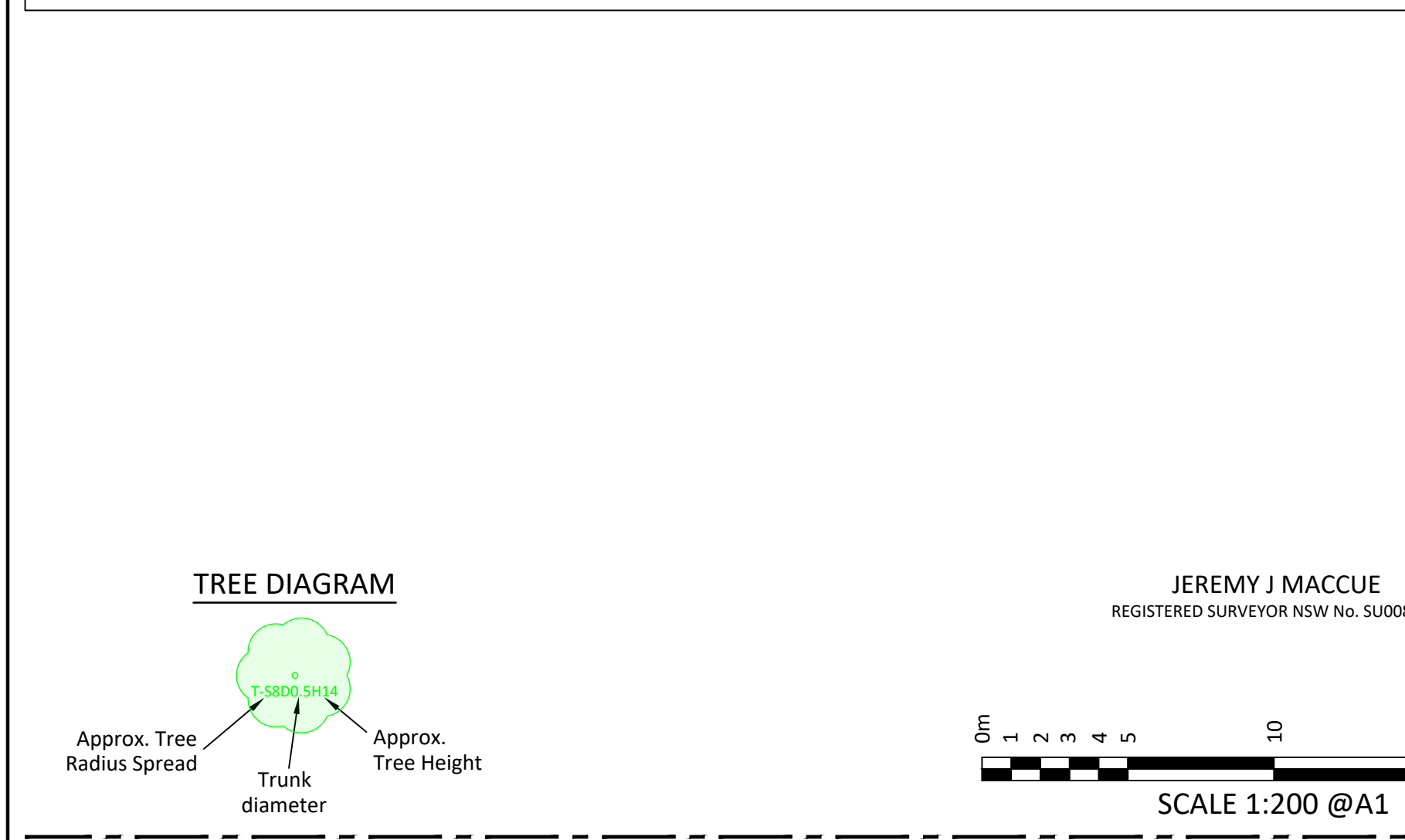




INTERESTS RELATING TO THE SUBJECT SITE:
The Certificate of Title for Lot 392 DP752017 ordered on 13.09.2019 identified the following interests [refer to the original DP752017 Instrument or Dealing charging the interest for specific terms and conditions that must be undertaken prior to design or construction]:
- Lease to Land Minerals and is subject to Reservations and conditions in favour of the Crown - See Crown Grant(s).
- Excepting land below a depth from the surface of 15.24 metres (Not investigated).
- Lease to Harrib North Sydney Pty limited being 1 Bibbelenue Avenue, Duffys Forest. Expires: 5/6/2021.
- Commencing 6 June 2016 Terminating 5 June 2021 (AG583327).
- Mortgage of lease AG53327 to Westpac Banking Corporation (AG655884) - (Not investigated).

NOTES

Do not scale from this plan.

Boundary locations and boundary setbacks have been determined using survey marks and monuments in existence on the date of survey. Boundary locations and boundary setbacks are not intended for planning and design purposes only and must not be used for construction set-out or any other purpose. If an intersection is proposed on or adjacent to a boundary then that boundary must be defined by a Registered Surveyor and a consent must be obtained from the Council.

The purpose of this Detail Survey plan is to show detail, levels and setbacks for planning and design. Do not use the information shown for any other purpose.

Boundaries are an indication of approximate location and should only be used for planning purposes. Spot levels only should be used for detailed design.

Building and feature descriptions are to be used for general information only. The purposes only and may require further investigation.

No services search has been undertaken. Only those services visible at the time of survey have been located. It is recommended that a separate services search be conducted to obtain relevant service authority prior to commencement of any work.

Tree information and canopy location is approximate (and not necessarily symmetrical) and if critical may require further investigation.

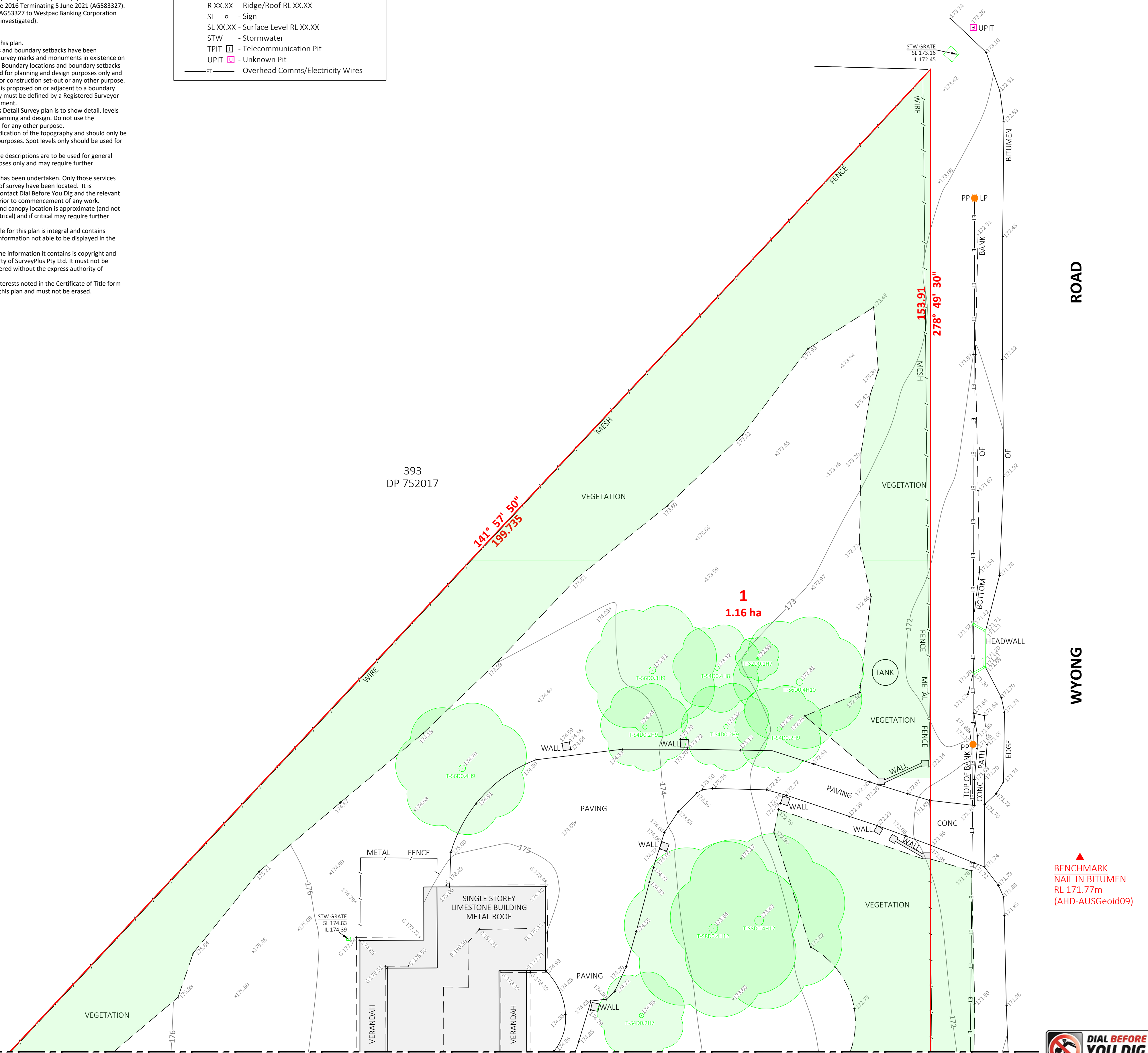
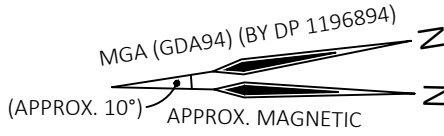
The DWG format file for this plan is integral and contains additional spatial information not able to be displayed in the PDF file.

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These notes and interests noted in the Certificate of Title form an integral part of this plan and must not be erased.

LEGEND

- FL - Floor Level
G XX.XX - Gutter RL XX.XX
ICV - Irrigation Control Valve
IL XX.XX - Invert Level RL XX.XX
LP ☀ - Light Pole
PP ● - Power Pole
R XX.XX - Ridge/Roof RL XX.XX
SI ○ - Sign
SL XX.XX - Surface Level RL XX.XX
STW - Stormwater
TPIT □ - Telecommunication Pit
UPIT □ - Unknown Pit
—ET— - Overhead Comms/Electricity Wires



BENCHMARK
NAIL IN BITUMEN
RL 171.77m
(AHD-AUSGeoid09)

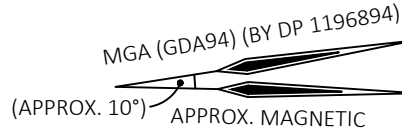


CLIENT Brian Anschau	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY	 We make it easy. We make it happen. 02 9651 2921 info@surveyplus.com.au www.surveyplus.com.au land development consultants	DATE OF SURVEY	08.10.2019	DRAWING TITLE DETAIL SURVEY PLAN PROPOSED SUBDIVISION OF LOT 392 DP 752017 No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST	SCALE AS SHOWN @A1		
	F	13.04.2021	DEMOLITION PLAN REMOVED FROM REVISION 1A	--	CE		MG	ORIGIN OF LEVELS		PM 50104 RL 179.328	REVISION	F
	E	12.04.2021	DEMOLITION PLAN REMOVED FROM REVISION 1D	--	CE		MG	ORIGIN OF COORDS		LOCAL	SHEET	2 OF 4
	D	10.12.2020	DEMOLITION PLAN UPDATED	--	CE		JM	CONTOUR INTERVAL		1.0m	REF	18273_SUB_1F
	C	04.12.2020	PROPOSED SUBDIVISION LAYOUT UPDATE	--	CE		JM					
	B	22.10.2020	SETBACKS TO BOUNDARIES ADDED	--	CE		JM					
	A	29.06.2020	AS SURVEYED ON SITE	DO	RS/CE		DO/JM					

INTERESTS RELATING TO THE SUBJECT SITE:
The Certificate of Title for Lot 392 DP752017 ordered on 13.09.2019 identified the following interests (refer to the original 888 instrument or Dealing creating the interest for specific terms - we recommend this be undertaken prior to design or construction):
•Land excludes minerals and is subject to Reservations and conditions in favour of the Crown - See Crown Grants(s).
•Excepting land below a depth from the surface of 15.24 metres (Not investigated).
•Lease to Hanrob Northern Sydney PTY limited being 1 Bibbenluke Avenue, Duffys Forest. Expires: 5/6/2021. Commencing 6 June 2016 Terminating 5 June 2021 (AG583327). Mortgage of lease AG53327 to Westpac Banking Corporation (AK695584) ~ (Not investigated).

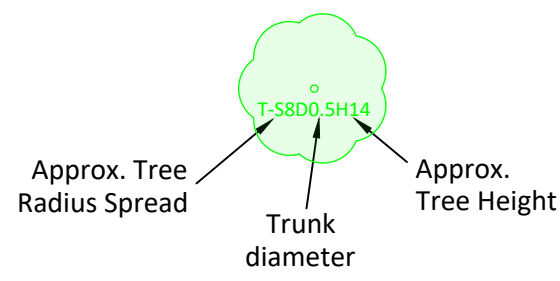
- NOTES**
•Do not scale from this plan.
•Boundary locations and boundary setbacks have been determined using survey marks and monuments in existence on the date of survey. Boundary locations and boundary setbacks shown are intended for planning and design purposes only and must not be used for construction set-out or any other purpose. If any construction is proposed on or adjacent to a boundary then that boundary must be defined by a Registered Surveyor prior to commencement.
•The purpose of this Detail Survey plan is to show detail, levels and setbacks for planning and design. Do not use the information shown for any other purpose.
•Contours are an indication of the topography and should only be used for planning purposes. Spot levels only should be used for detailed design.
•Building and feature descriptions are to be used for general identification purposes only and may require further investigation.
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•Tree information and canopy location is approximate (and not necessarily symmetrical) and if critical may require further assessment.
•The DWG format file for this plan is integral and contains additional spatial information not able to be displayed in the PDF file.
•This drawing and the information it contains is copyright and remains the property of SurveyPlus Pty Ltd. It must not be copied, used or altered without the express authority of SurveyPlus.
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LEGEND	
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TPIT	- Telecommunication Pit
UPIT	- Unknown Pit
ET	- Overhead Comms/Electricity Wires



JEREMY J MACCUE
REGISTERED SURVEYOR NSW No. SU008564

TREE DIAGRAM



0m 1 2 3 4 5 10 15 20
SCALE 1:200 @A1



CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
Brian Anschau	F 13.04.2021	DEMOLITION PLAN REMOVED FROM REVISION 1A	--	CE	MS
	E 12.04.2021	DEMOLITION PLAN REMOVED FROM REVISION 1D	--	CE	MG
	D 10.12.2020	DEMOLITION PLAN UPDATED	--	CE	JM
	C 04.12.2020	PROPOSED SUBDIVISION LAYOUT UPDATE	--	CE	JM
	B 22.10.2020	SETBACKS TO BOUNDARIES ADDED	--	CE	JM
	A 29.06.2020	AS SURVEYED ON SITE	DO	RS/CE	DO/JM



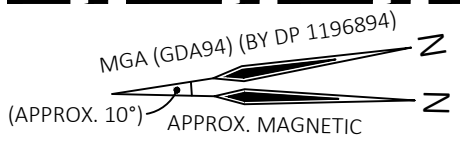
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02 9651 2921
info@surveyplus.com.au
www.surveyplus.com.au

DATE OF SURVEY	08.10.2019
ORIGIN OF LEVELS	PM 50104 RL 179.328
ORIGIN OF COORDS	LOCAL
CONTOUR INTERVAL	1.0m

DRAWING TITLE

DETAIL SURVEY PLAN
PROPOSED SUBDIVISION OF LOT 392 DP 752017
No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST

SCALE	AS SHOWN @A1
REVISION	F
SHEET	3 OF 4
REF	18273_SUB_1F



SEE SHEET 3



INTERESTS RELATING TO THE SUBJECT SITE:
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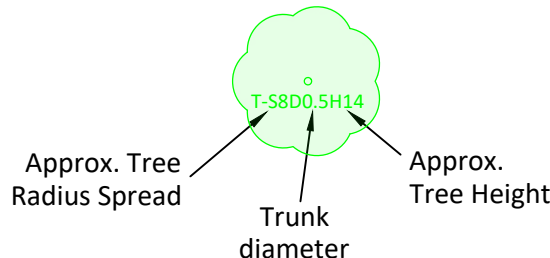
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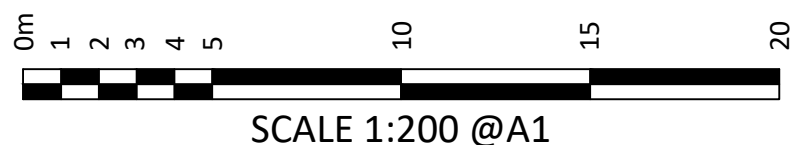
LEGEND

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TREE DIAGRAM



JEREMY J MACCUE
REGISTERED SURVEYOR NSW No. SU008564



CLIENT	REVISION / DATE	REVISION DETAILS	SURVEY BY	DRAWN BY	CHECKED BY
Brian Anschau	F 13.04.2021	DEMOLITION PLAN REMOVED FROM REVISION 1A	--	CE	MG
	E 12.04.2021	DEMOLITION PLAN REMOVED FROM REVISION 1D	--	CE	MG
	D 10.12.2020	DEMOLITION PLAN UPDATED	--	CE	JM
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	A 29.06.2020	AS SURVEYED ON SITE	DO	RS/CE	DO/JM



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DATE OF SURVEY	08.10.2019
ORIGIN OF LEVELS	PM 50104 RL 179.328
ORIGIN OF COORDS	LOCAL
CONTOUR INTERVAL	1.0m

DRAWING TITLE

DETAIL SURVEY PLAN
PROPOSED SUBDIVISION OF LOT 392 DP 752017
No. 1 BIBBENLUKE AVENUE, DUFFYS FOREST

SCALE	AS SHOWN @A1
REVISION	F
SHEET	4 OF 4
REF	18273_SUB_1F