

TOTAL SITE AREA = 557.0m² (BY TITLE)

EXISTING GFA CALCULATION

	EXISTING MAIN HOUSE GFA:	122.83 m ²
	EXISTING GARAGE GFA:	29.87 m ²

TOTAL GFA: 152.7 m²

TOTAL FSR: 0.27:1

	EXISTING BUILDING MAIN OUTLINE (GFA)	122.83	
	EXISTING GARAGE	29.87	
	EXISTING SHED	9.09	
	EXISTING CABANA	5	
	POOL PUMP	1	
	STAIRS	1.06	
	EXISTING CARPORT	18.81	
BUILDING FOOT PRINT			187.7 m2
	PAVED AREAS	33.24	
	POOL	22.78	
	EXISTING DRIVEWAY	36.48	
	Garden Walls	3.3	
TOTAL CONCRETE AREAS			95.8 m2
TOTAL IMPERVIOUS AREA			283.5 m2
	EXISTING FRONT VERANDAH (MAIN HOUSE)	9.211	
	EXISTING REAR DECK AREAS	57.323	
TOTAL DECK AREAS			66.5 m2
TOTAL PERVIOUS AREA			273.5
EXISTING SOFT LANDSCAPED AREA			207.0 m2

EXISTING LANDSCAPED CALCULATION

LANDSCAPE AREA WITH WIDTH < 1.5m

AREA L1, L4, L71, L8	34.743 m2
LANDSCAPE AREA WITH WIDTH > 1.5m	
AREA L2, L72,L9,L10	172.29 m2
Deck Areas	66.5
TOTAL	273.5 m2

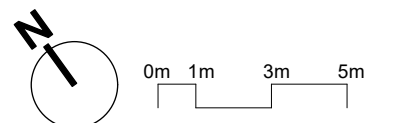
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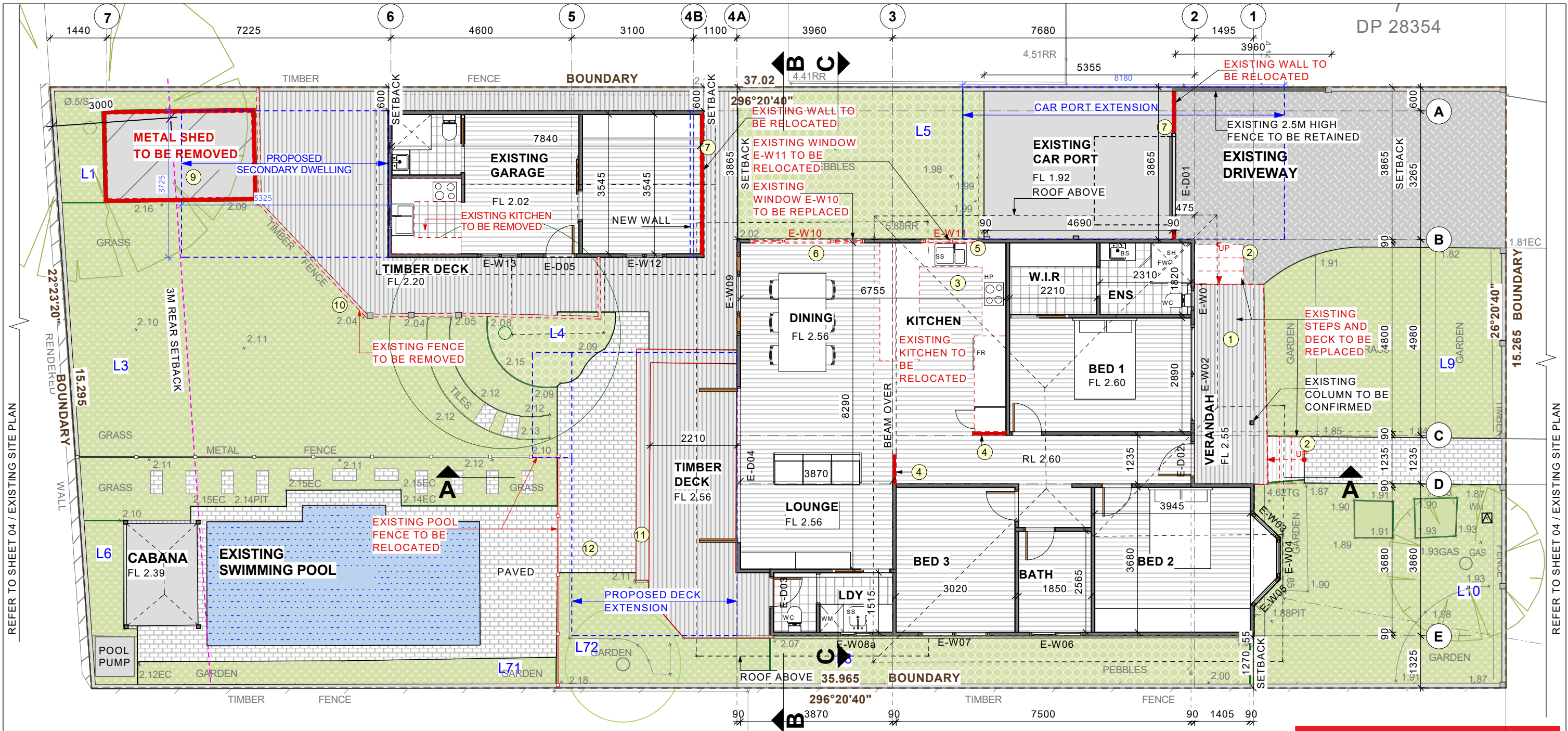
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DA2025/0651



For Development Application

			Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au	 Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT: ERICA MARSHALL-EVANS : NO. 61513  The Association of Consulting Engineers Australia	Client: BRENDAN STOUT Proposed Alteration and Additional 11 DARIUS AVENUE NORTH NARRABEEN 2101/ Lot 6/-/DP28354 EXISTING SITE PLAN/ GFA CALCULATION PLAN	Design By EMMC	Job No. 5161-24				
A	12/11/2024	FOR DA SUBMISSION	COPYRIGHT THIS DRAWING IS THE PROPERTY OF LYLE MARSHALL AND PARTNERS P/L AND MAY ONLY BE USED FOR THE PURPOSES FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THAT COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED.			Suite 15 Level 1 265-271 Pennant Hills Road Thornleigh NSW 2120	phone: (02) 9436 0086 email: lyle@lylemarshall.com.au web: www.lylemarshallandassociates.com.au	Drawn By EMMC	Scale 1:200	Reviewed By EMMC	Date 07/03/2025
No.	Date	Issue Notes				Passed By EMMC	Date of Issue				



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LEGEND:

- Ø3.1 CH CEILING HEIGHT ABOVE FINISHED FLOOR LEVEL
- EXISTING WALLS
- EXISTING WALL TO BE REMOVED
- PROPOSED WORKS OUTLINED
- - - EXISTING WORKS TO BE REMOVED

(NOTE: FOR EXISTING WALL TYPES AND DIMEINSIONS TO BE CONFIRMED ON SITE DURING CONSTRUCTION)

- BS BASIN
CH CEILING HEIGHT
DW DISHWASHER
D DOOR
E- EXISTING
FR FRIDGE
FW FLOOR WASTE
FP FIRE PLACE
SH SHOWER
SS STAINLESS STEEL SINK
W WINDOW
WC WATER CLOSET
WM WASHING MACHINE

EXISTING WORKS TO BE REMOVED

- 1 EXISTING DECK TO BE REPLACED
- 2 EXISTING STAIRS TO BE RELOCATED
- 3 EXISTING KITCHEN TO BE REPLACED
- 4 EXISTING WALLS TO BE REMOVED
- 5 EXISTING WINDOW E-W11 TO BE RELOCATED

- 6 EXISTING WINDOW E-W10 TO BE REPLACED
- 7 EXISTING WALL TO BE RELOCATED
- 9 EXISTING METAL SHED TO BE REMOVED
- 10 EXISTING FENCE TO BE REMOVED
- 11 EXISTING TIMBER STEPS TO BE REMOVED
- 12 EXISTING PAVING TO BE REMOVED



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0m 1m 3m

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Consultant / Notes:
Survey Prepared by URBAN SURVEYING
Phone: 0452 066 506
Email: gs@urbansurveying.com.au

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Lyle Marshall & Partners Pty Ltd

consulting engineers, transport and environmental planners & architects

NOMINATED ARCHITECT: ERICA MARSHALL-LEVANS : NO. 6513

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Professional Engineer

The Association of Consulting Engineers Australia

Client:
BRENDAN STOUT

Proposed Alteration and Additional
11 DARIUS AVENUE NORTH NARRABEEN 2101/ Lot 6/-/DP28354
EXISTING GROUND FLOOR PLAN

Design By
EMMC

Job No.
5161-24

Scale
1:100

Reviewed By
EMMC

Date
07/03/2025

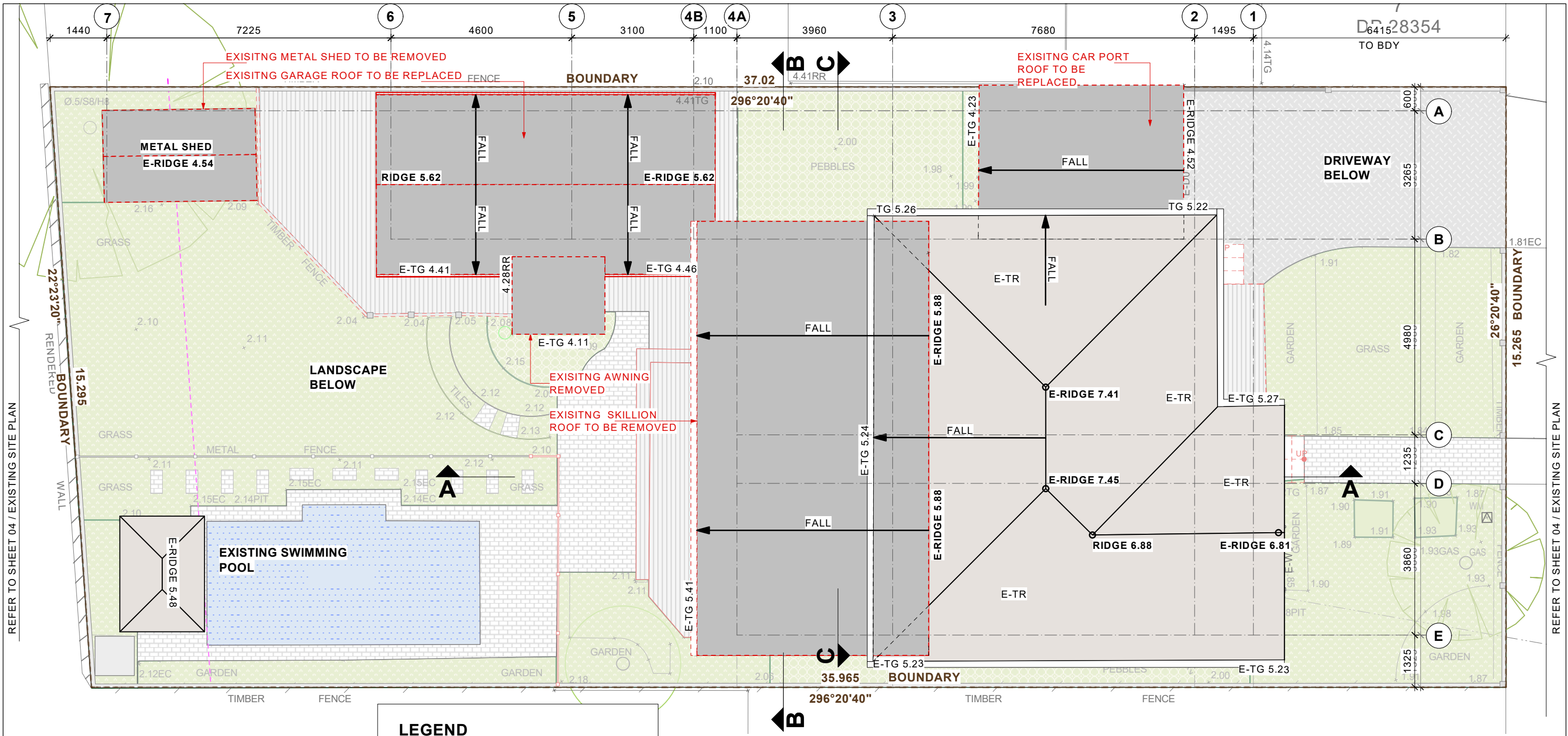
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Date of Issue

Sheet No.
05

Issue
of

A



REFER TO SHEET 04 / EXISTING SITE PLAN

REFER TO SHEET 04 / EXISTING SITE PLAN

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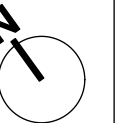
LEGEND

- | | |
|----|------------------------------|
| DP | DOWN PIPE |
| E- | EXISTING |
| EG | EXISTING EDGE GUTTER |
| MS | EXISTING METAL ROOF SHEETING |
| TR | EXISTING TERRACOTTA TILES |
| TG | EXISTING TOP GUTTER |
| | BUILDING OUTLINE |
| | PROPOSED WORKS OUTLINED |
| | EXISTING ROOF TO BE REMOVED |



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0m 1m 3m

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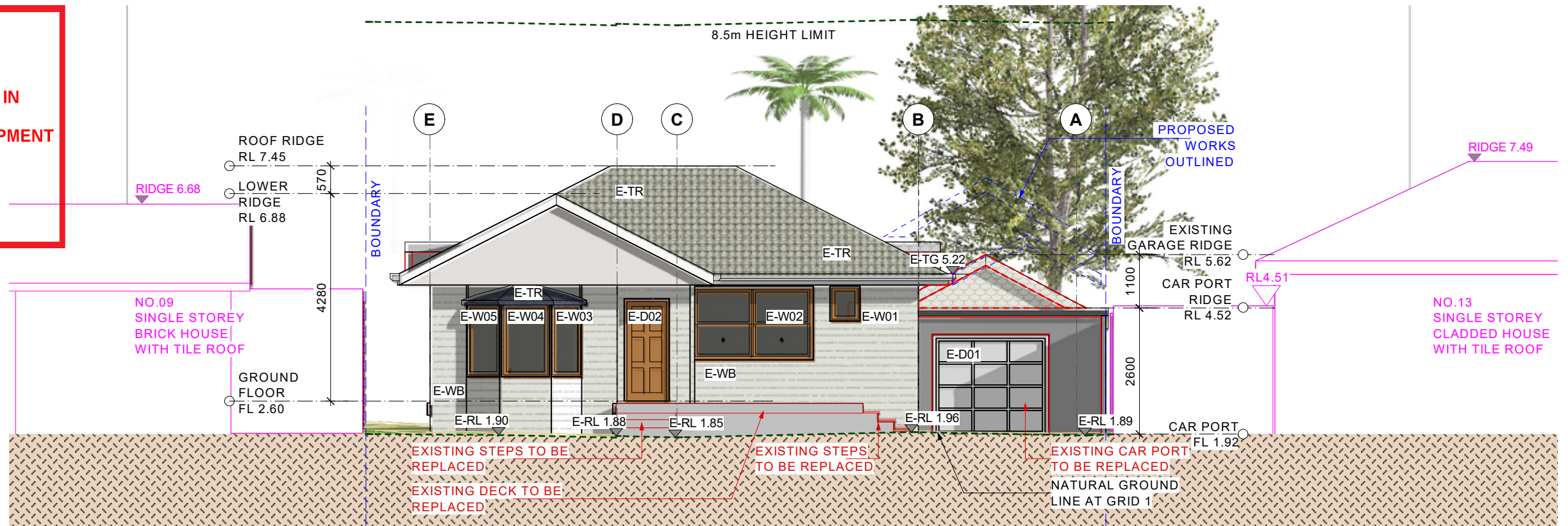
			Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au		 Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT: ERICA MARSHALL-LEVANS : NO. 6513 Suite 15 Level 1 265-271 Pennant Hills Road Thornleigh NSW 2120 phone: (02) 9436 0086 email: lyle@lylemarshall.com.au web: www.lylemarshallandassociates.com.au	 BRENDAN STOUT Proposed Alteration and Additional 11 DARIUS AVENUE NORTH NARRABEEN 2101/ Lot 6/-/DP28354 EXISTING ROOF PLAN	Design By EMMC	Job No. 5161-24			
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No.	Date	Issue Notes			Passed By EMMC		Date of Issue				



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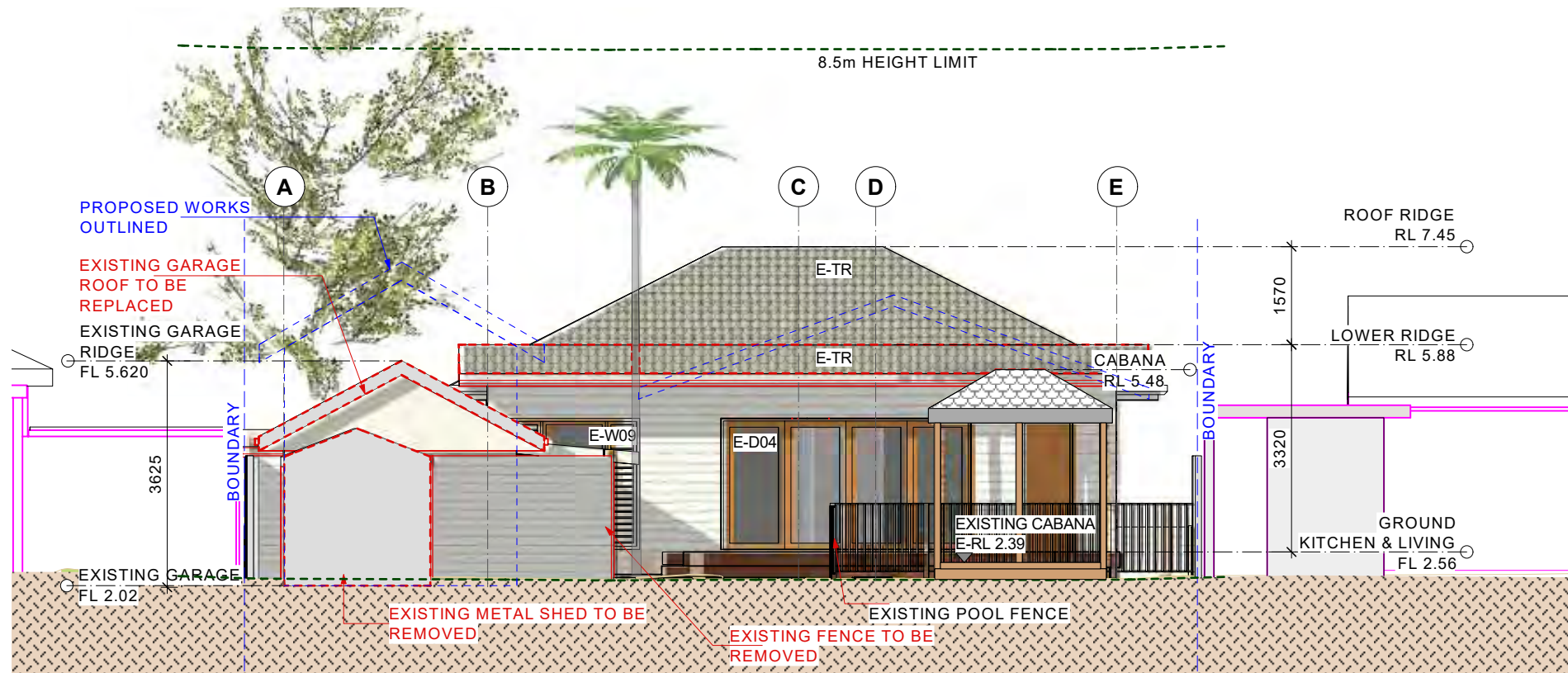
EXISTING EAST ELEVATION (FRONT ELEVATION)

SCALE - 1:100 (A3)

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EXISTING WEST ELEVATION

SCALE - 1:100 (A3)

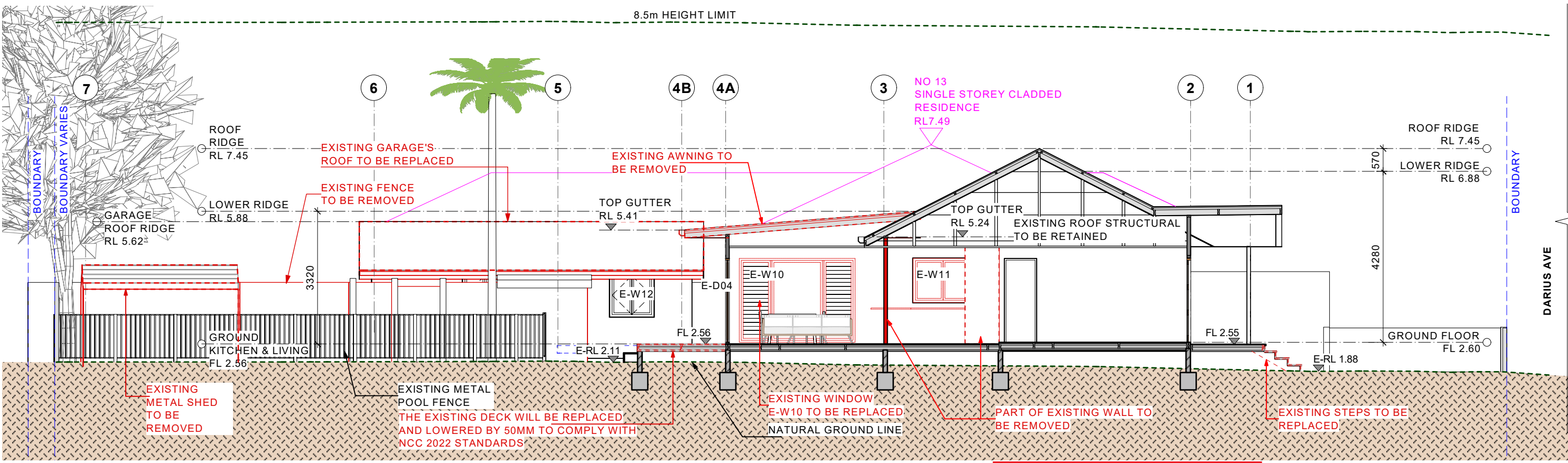
LEGEND

- D DOOR
- DP DOWN PIPE
- E- EXISTING
- W WINDOW
- TR TERRACOTTA TILE ROOF
- RB RENDER BRICK
- MS METAL ROOF
- NOTATIONS FOR ADJOINING BUILDINGS
- EXISTING WORKS TO BE REMOVED
- PROPOSED EXTENSION OUTLINED

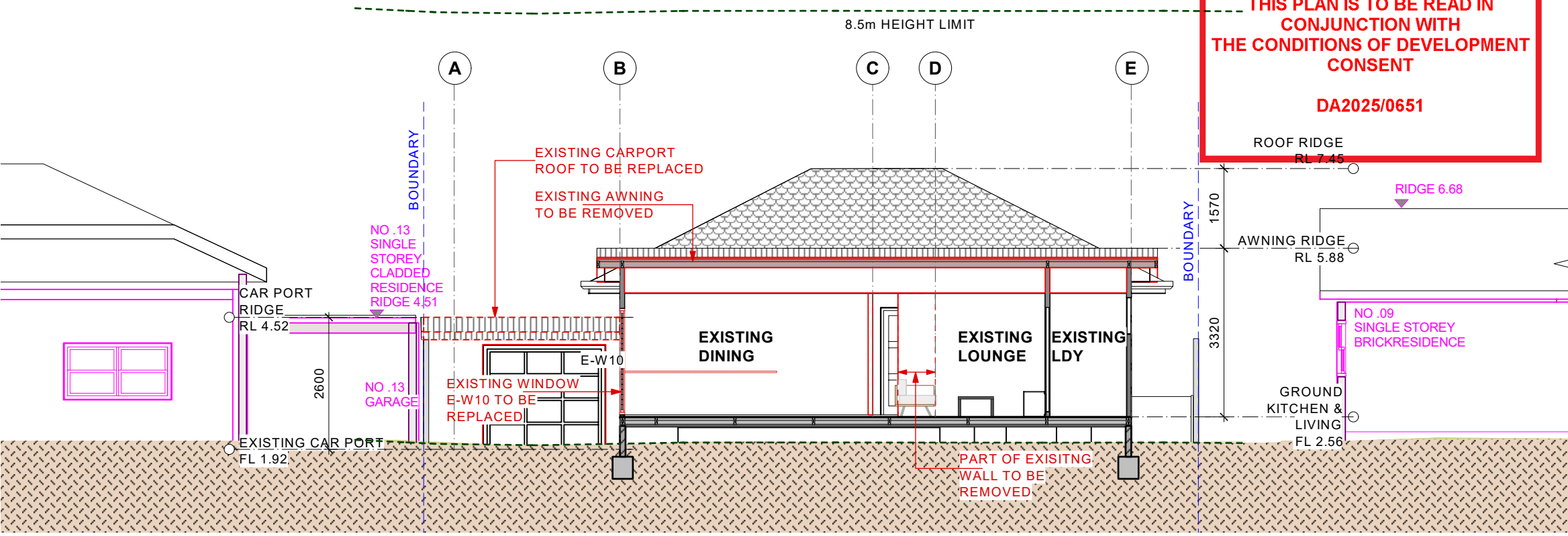


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A 12/11/2024 FOR DA SUBMISSION									Reviewed By EMMC			Date 12/11/2024		Sheet No. 07		Issue A		
No. Date Issue Notes									Passed By EMMC			Date of Issue		of				



EXISTING SECTION A-A
SCALE - 1:100 (A3)



EXISTING SECTION B-B
SCALE - 1:100 (A3)

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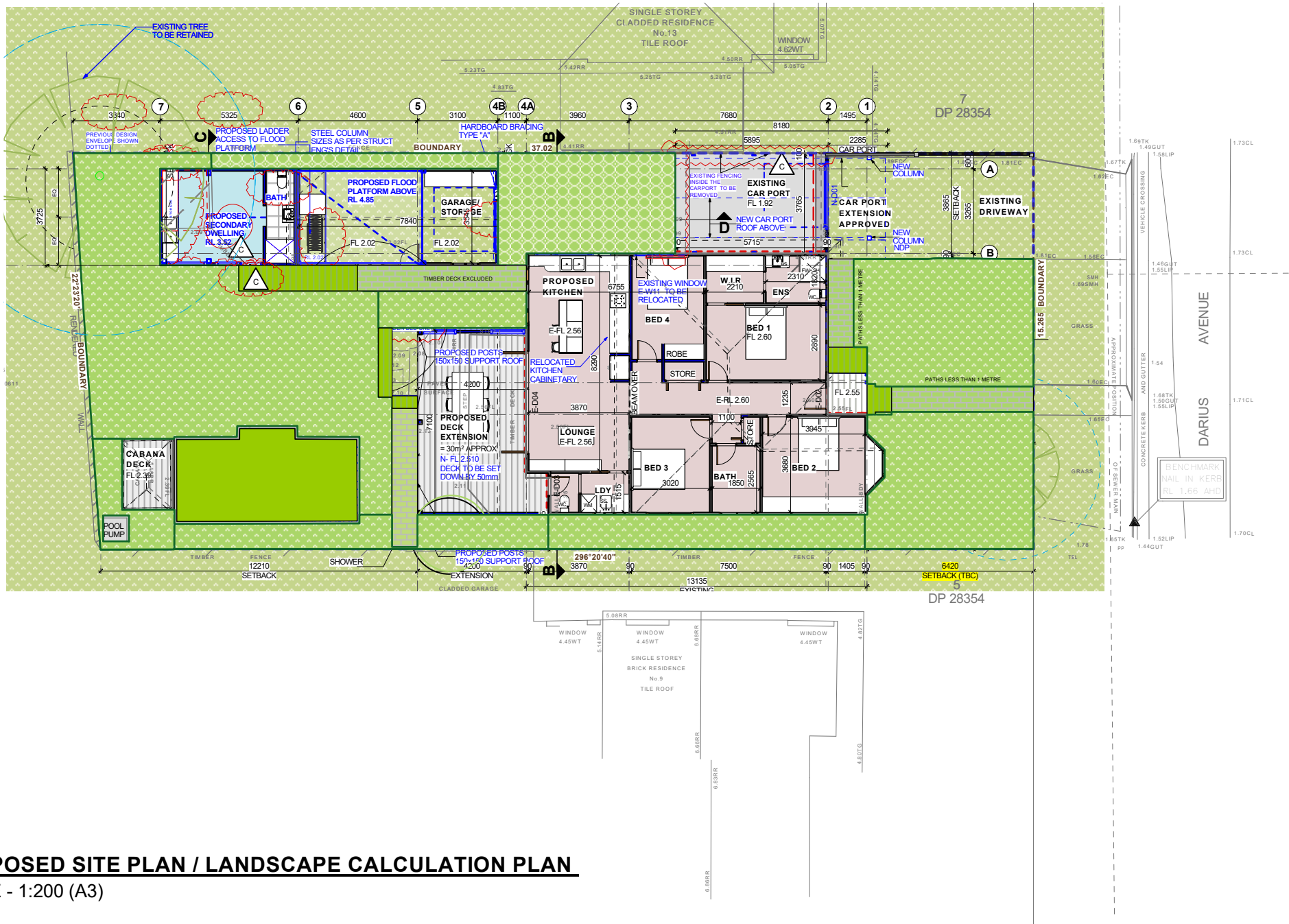
- LEGEND**
- D DOOR
 - DP DOWNPIPE
 - E- EXISTING
 - W WINDOW
 - TR TERRACOTTA TILES
 - NOTATIONS FOR ADJOINING BUILDINGS
 - EXISTING WORKS TO BE REMOVED
 - EXISTING CAVITY BRICK WALL
 - EXISTING WALL TO BE REMOVED
 - EXISTING MASONRY WALL
 - PROPOSED EXTENSION OUTLINED

- NOTES:**
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No.			Date	Issue Notes					Drawn By EMMC		Scale 1:100							
									Reviewed By EMMC		Date 12/11/2024	Sheet No. 10 of	Issue A					
									Passed By EMMC		Date of issue							



LEGEND

SITE AREA 557 m²

LANDSCAPE UP TO 6% OF TOTAL
SITE ALLOCABLE
RAISED DECKS STAIRS AND POOL
= 31.225 m²

SOFT LANDSCAPE= 254.37 m²

TOTAL LANDSCAPE = 285.60 m²
=51.27%

PATH LESS THAN 1 METRE
INCLUDED IN LANDSCAPE = 20.37 m²

PROPOSED SITE PLAN / LANDSCAPE CALCULATION PLAN

SCALE - 1:200 (A3)

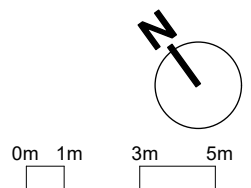
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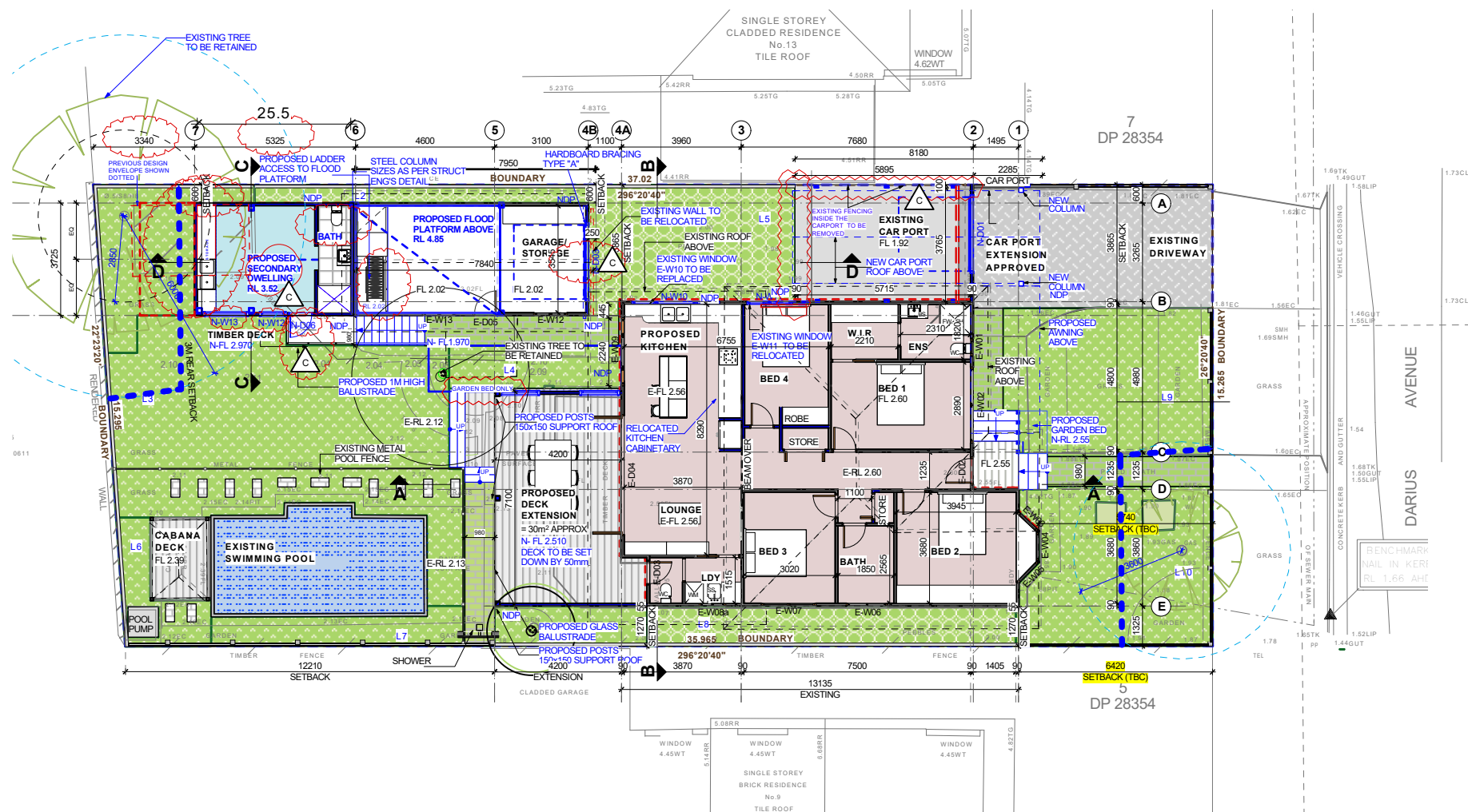
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B	17/02/2025	DA AMENDMENTS TO RESPOND TO COUNCIL RFI					Reviewed By EMMC	Date 14/04/2025	Sheet No. 11	Issue C	
No.	Date	Issue Notes						Passed By EMMC	Date of Issue	of	



PROPOSED SITE PLAN / GROUND FLOOR PLAN

SCALE - 1:200 (A3)

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TOTAL SITE AREA = 557.0m² (BY TITLE)

PROPOSED GFA CALCULATION

PROPOSED GROUND FLOOR GFA: 122.9 m²

PROPOSED SECONDARY DWELLING GFA: 19.59 m²

TOTAL GFA: 142.49 m²

TOTAL FSR: 0.255:1

TOTAL SITE AREA

557 m²

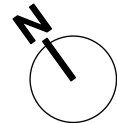
PROPOSED SITE CALCULATIONS

EXISTING BUILDING MAIN OUTLINE	122.83	
PROPOSED SECONDARY DWELLING	19.59	
EXISTING GARAGE	29.87	
POOL PUMP	1	
CAR PORT	22.7	
PROPOSED REAR DECK	31.5	
CABANA	5.51	
PROPOSED FRONT VERANDAH (MAIN HOUSE)	2.40	
BUILDING FOOT PRINT		235.40 m ²
EXISTING DRIVEWAY	34.60	
TOTAL CONCRETE AREAS		34.60 m ²
TOTAL IMPERVIOUS AREA		270.00 m ²
REAR DECK AND STAIRS NOT COVERED>1m	8.445	
POOL	22.78	
OTHER LANDSCAPE <6%		31.225 m ²
REAR PAVED AREAS AT GRADE<1m	11.68	
PAVING LESS THAN <1m	8.69	
PAVING <1M		20.37 m ²
TOTAL PERVIOUS AREA LANDSCAPED		285.60 m ²
PROPOSED SOFT LANDSCAPED AREA		254.37 m ²



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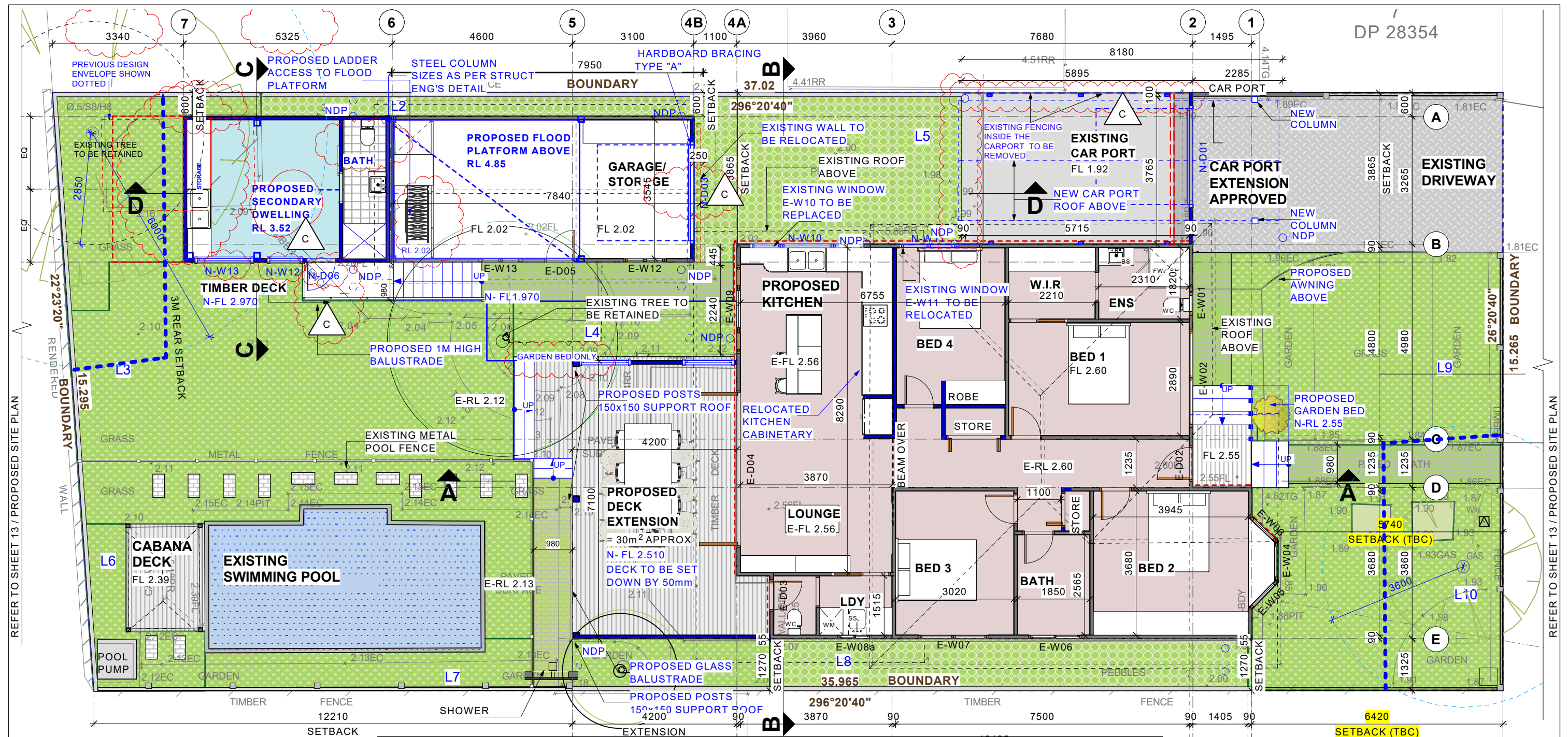
DA2025/0651



0m 1m 3m 5m

For Development Application

D14/04/2025AMENDED FOR DA SUBMISSION C19/02/2025AMENDMENTS TO RESPOND TO COUNCIL RFI B27/11/2024AMENDED LANDSCAPED AREAS A12/11/2024FOR DA SUBMISSION	Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au	Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT : ERICA MARSHALL-EVANS : NO. 6513	Client: BRENDAN STOUT Proposed Alteration and Additional 11 DARIUS AVENUE NORTH NARRABEEN 2101/ Lot 6/-/DP28354 PROPOSED SITE PLAN / GROUND FLOOR PLAN	Design By EMMC	Job No. 5161-24
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					Sheet No. 13 of
					Issue D



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5. FOR STORMWATER DRAINAGE DESIGN REFER TO TAYLOR CONSULTING CIVIL ENGINEERS STORMWATER PLANS-STORM-1
6. FOR STRUCTURAL UPDATED TO SECONDARY DWELLING REFER TO TAYLOR CONSULTING STRUCTURAL DRAWINGS REF STRUCT-1 AND TYPICAL DETAILS

LEGEND:

- Ø3.1 CH CEILING HEIGHT ABOVE FINISHED FLOOR LEVEL
FL FINISH FLOOR LEVEL
— EXISTING 'X' WALLS
- - - EXISTING WORKS TO BE REMOVED
[] PROPOSED WORKS OUTLINED
[] PROPOSED NEW WALLS (NOTE: FOR EXISTING WALL TYPES AND DIMEINIONS TO BE CONFIRMED ON SITE DURING CONSTRUCTION) (NOTE: ALL MATERIALS UP TO RL 4.85 FLOOD LEVEL ARE TO BE FLOOD RESISTANT MATERIALS WITHIN THE STUDIO AND STORAGE AREA)

- BS BASIN
CH CEILING HEIGHT
DW DISHWASHER
D DOOR
E- EXISTING
N- PROPOSED NEW WORKS
FR FRIDGE
FW FLOOR WASTE
FP FIRE PLACE
SH SHOWER
SS STAINLESS STEEL SINK
W WINDOW
WC WATER CLOSET
WM WASHING MACHINE

- [] TREE PROTECTION FENCING
[] TREE PROTECTION ZONE



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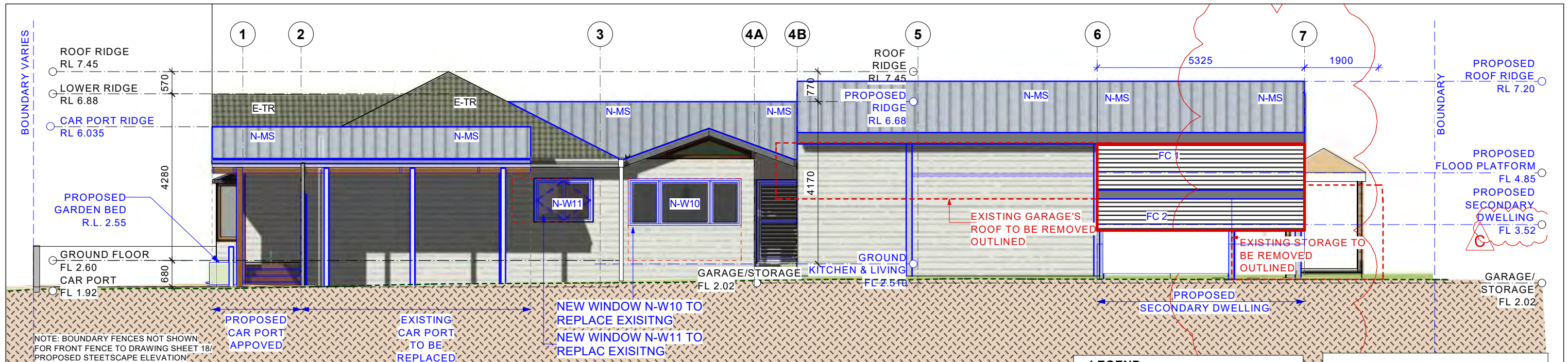
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C	27/05/2025	AMENDED FOR DA SUBMISSION	COPYRIGHT THIS DRAWING IS THE PROPERTY OF LYLE MARSHALL AND PARTNERS PTY LTD AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THAT COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. EMC-01-14				The Association of Consulting Engineers Australia		Drawn By EMMC Scale 1:100					
B	19/02/2025	AMENDMENTS TO RESPOND TO COUNCIL RFI							Reviewed By EMMC Date 27/05/2025		Sheet No. 14 Issue			
A	27/11/2024	FOR DA SUBMISSION							Passed By EMMC Date of Issue		of C			
No.	Date	Issue Notes												



4. ALL EXISTING DOORS, WINDOWS AND WALLS MUST BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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Passed By EMMC	Date of Issue		



PROPOSED NORTH ELEVATION / LARGE SCALE

SCALE - 1:100 (A3)

 northern beaches council

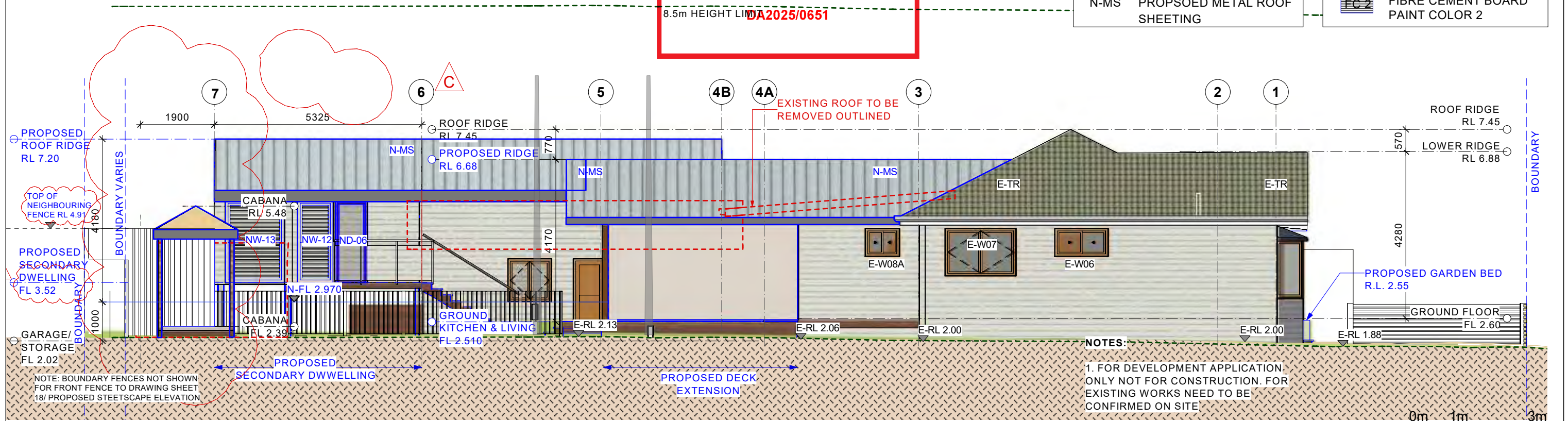
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

8.5m HEIGHT LIMIT DA2025/0651

LEGEND

D DOOR
DP DOWN PIPE
E- EXISTING
N- PROPOSED NEW WORKS
W WINDOW
TR TERRACOTTA TILE ROOF
RB RENDER BRICK
N-MS PROPOSED METAL ROOF SHEETING

 NOTATIONS FOR ADJOINING BUILDINGS
 EXISTING WORKS TO BE REMOVED
 PROPOSED EXTENSION OUTLINED
 FIBRE CEMENT BOARD PAINT COLOR 1
 FIBRE CEMENT BOARD PAINT COLOR 2



PROPOSED SOUTH ELEVATION / LARGE SCALE

SCALE - 1:100 (A3)

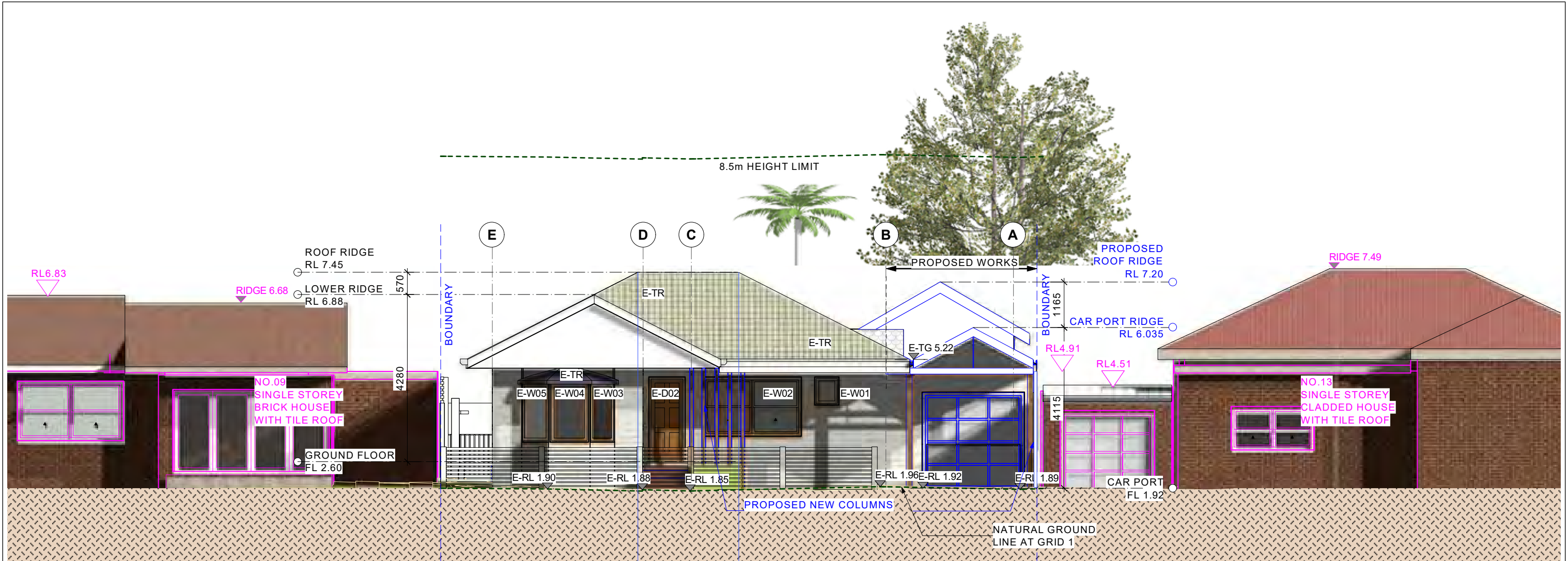
NOTES:

1. FOR DEVELOPMENT APPLICATION, ONLY NOT FOR CONSTRUCTION. FOR EXISTING WORKS NEED TO BE CONFIRMED ON SITE

4. ALL EXISTING DOORS, WINDOWS AND WALLS MUST BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

For Development Application

			Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au	 Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT: ERICA MARSHALL-EVANS : NO. 6513  The Association of Consulting Engineers Australia	Client: BRENDAN STOUT	Design By EMMC	Job No. 5161-24			
C	14/04/2025	AMENDED FOR DA SUBMISSION	COPYRIGHT THIS DRAWING IS THE PROPERTY OF LYLE MARSHALL AND PARTNERS PTY LTD AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THAT COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. FORM 2.0 1/18	Suite 15 Level 1 265-271 Pennant Hills Road Thornleigh NSW 2120	phone: (02) 9436 0086 email: lyle@lylemarshall.com.au web: www.lylemarshallandassociates.com.au	Drawn By EMMC	Scale 1:100			
B	19/02/2025	AMENDMENTS TO RESPOND TO COUNCIL RF1					Reviewed By EMMC	Date 14/04/2025	Sheet No. 17	Issue C
A	12/11/2024	FOR DA SUBMISSION					Passed By EMMC	Date of Issue	of	
No.	Date	Issue Notes								



PROPOSED EAST ELEVATION (FRONT ELEVATION) / STREET SCAPE ELEVATION
SCALE - 1:100 (A3)

 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/0651

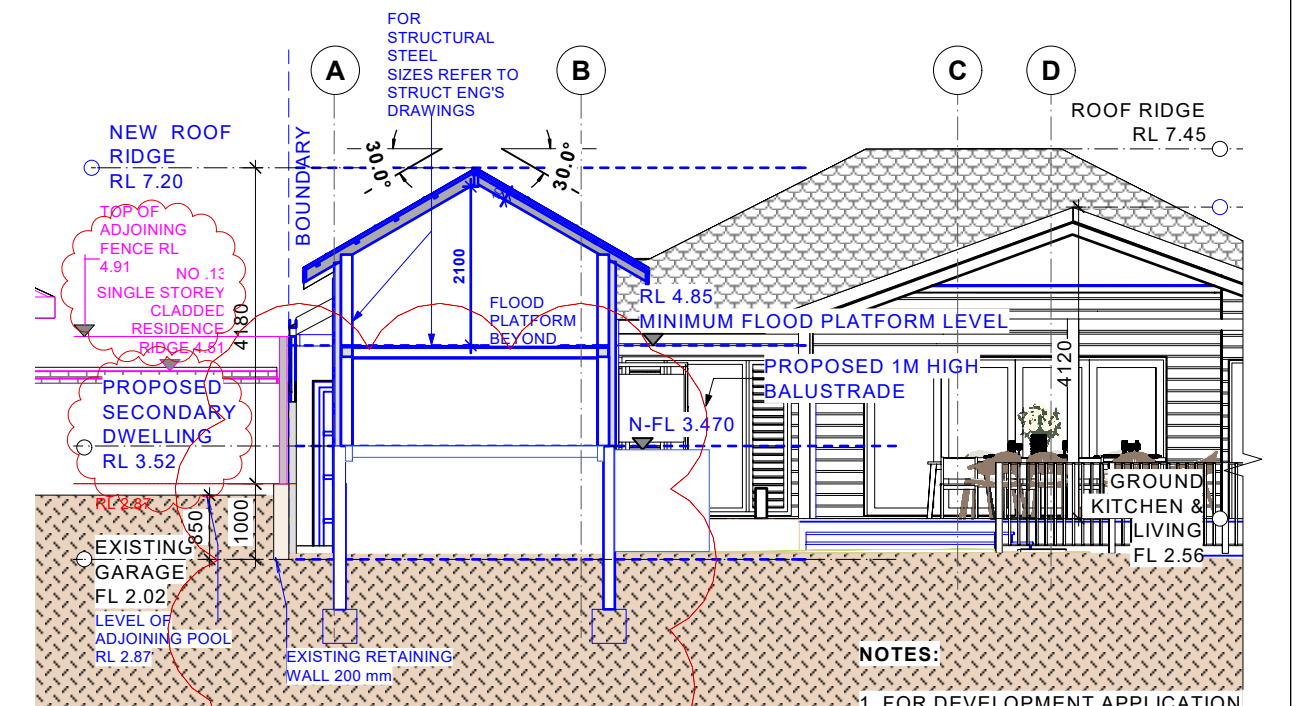
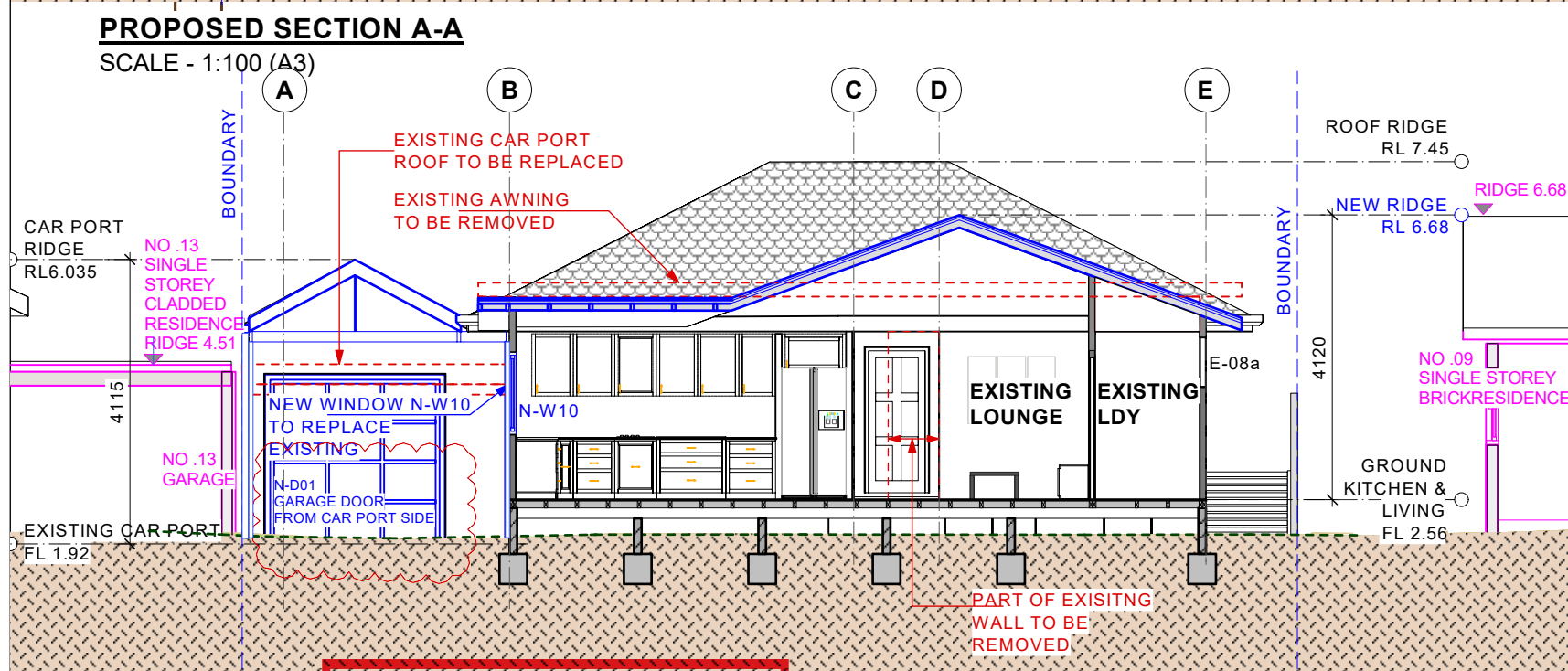
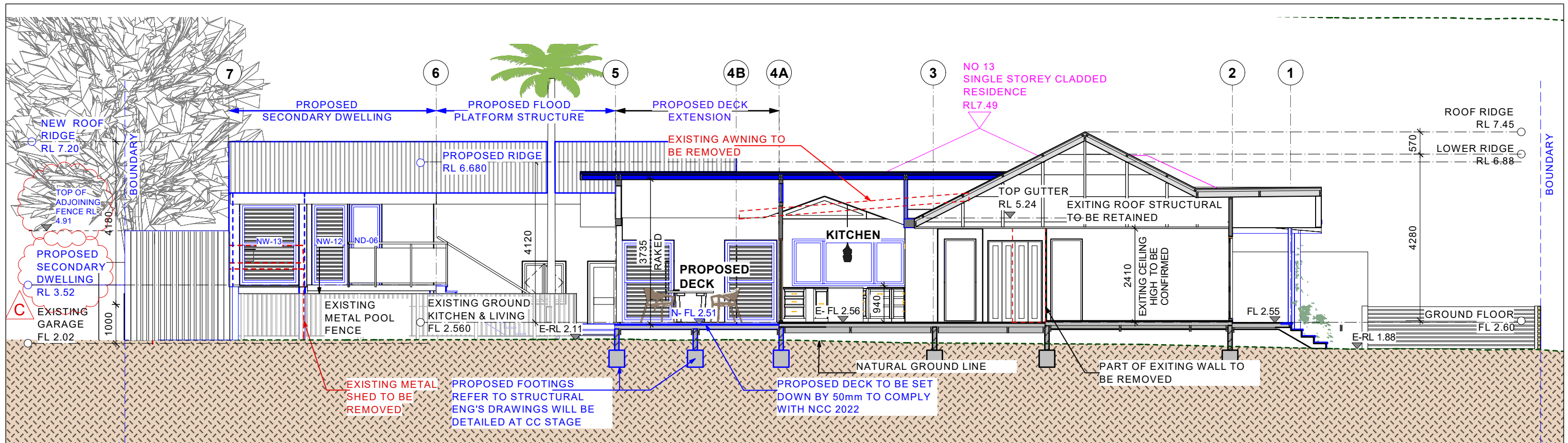
- NOTES:**
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- LEGEND**
- D DOOR
 - DP DOWN PIPE
 - E- EXISTING
 - N- PROPOSED NEW WORKS
 - W WINDOW
 - TR TERRACOTTA TILE ROOF
 - RB RENDER BRICK
 - MS METAL ROOF
 - NOTATIONS FOR ADJOINING BUILDINGS
 - EXISTING WORKS TO BE REMOVED
 - PROPOSED EXTENSION OUTLINED

0m 1m 3m

For Development Application

B A	14/04/2025 12/11/2024	AMENDED FOR DA SUBMISSION FOR DA SUBMISSION	Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au	 Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT : ERICA MARSHALL-EVANS : NO. 6513 Suite 15 Level 1 265-271 Pennant Hills Road Thornleigh NSW 2120 phone: (02) 9436 0086 email: lyle@lylemarshall.com.au web: www.lylemarshallandassociates.com.au	 The Association of Consulting Engineers Australia	Client: BRENDAN STOUT	Job No. 5161-24			
	Proposed Alteration and Additional 11 DARIUS AVENUE NORTH NARRABEEN 2101/ Lot 6/-/DP28354 PROPOSED STREETSCAPE ELEVATION		Drawn By EMMC			Scale 1:100				
No.	Date	Issue Notes	COPYRIGHT THIS DRAWING IS THE PROPERTY OF LYLE MARSHALL AND PARTNERS PTY LTD AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THAT COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. FORM 2.0 - 0.1 (06-2020)			Reviewed By EMMC	Date 14/04/2025	Sheet No. 18 of	Issue B	
						Passed By EMMC	Date of Issue			



NOTES:

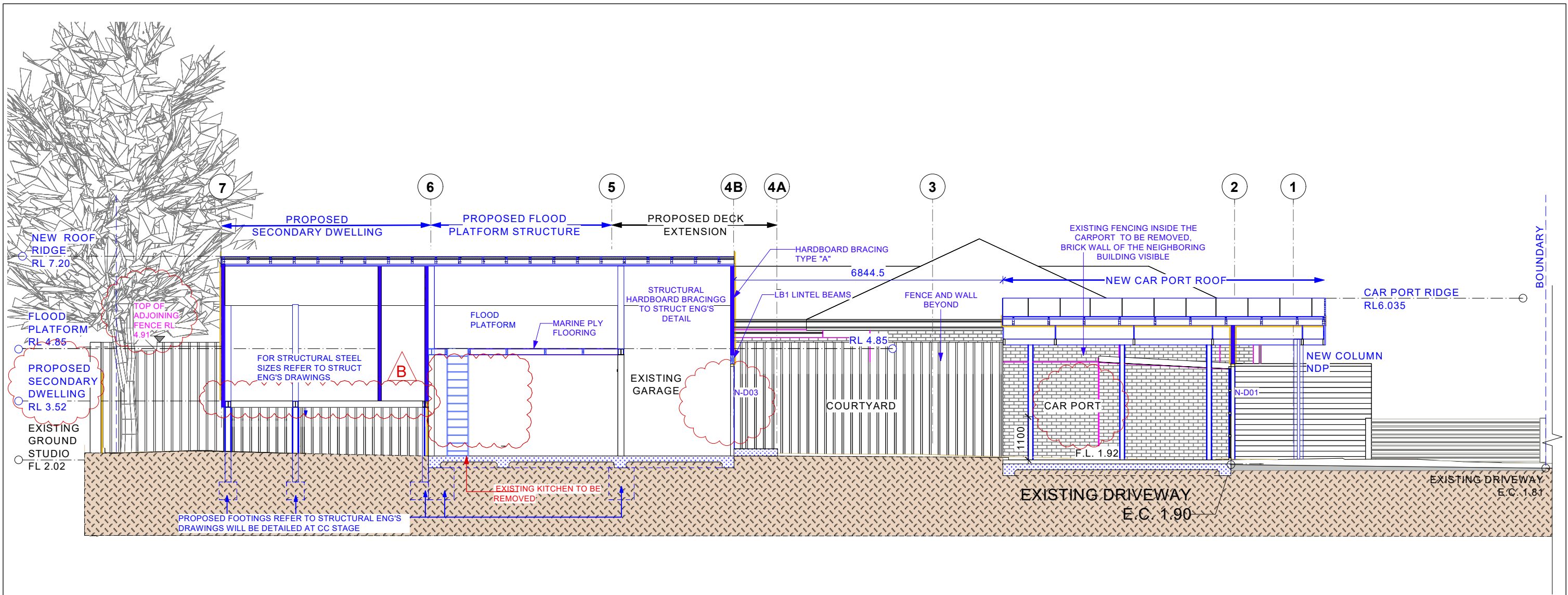
1. FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION. FOR EXISTING WORKS NEED TO BE CONFIRMED ON SITE

4. ALL EXISTING DOORS, WINDOWS AND WALLS MUST BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

0m 1m 3m 5m

For Development Application

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PROPOSED SECTION D-D
SCALE - 1:100 (A3)

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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2025/0651

LEGEND

- | | | | |
|----|--------------------|---|-----------------------------------|
| D | DOOR |  | NOTATIONS FOR ADJOINING BUILDINGS |
| DP | DOWNPIPE |  | EXISTING WORKS TO BE REMOVED |
| E- | EXISTING |  | EXISTING WALL |
| N- | PROPOSED NEW WORKS |  | PROPOSED WORKS |
| W | WINDOW |  | PROPOSED WALL |
| TR | TERRACOTTA TILES | | |

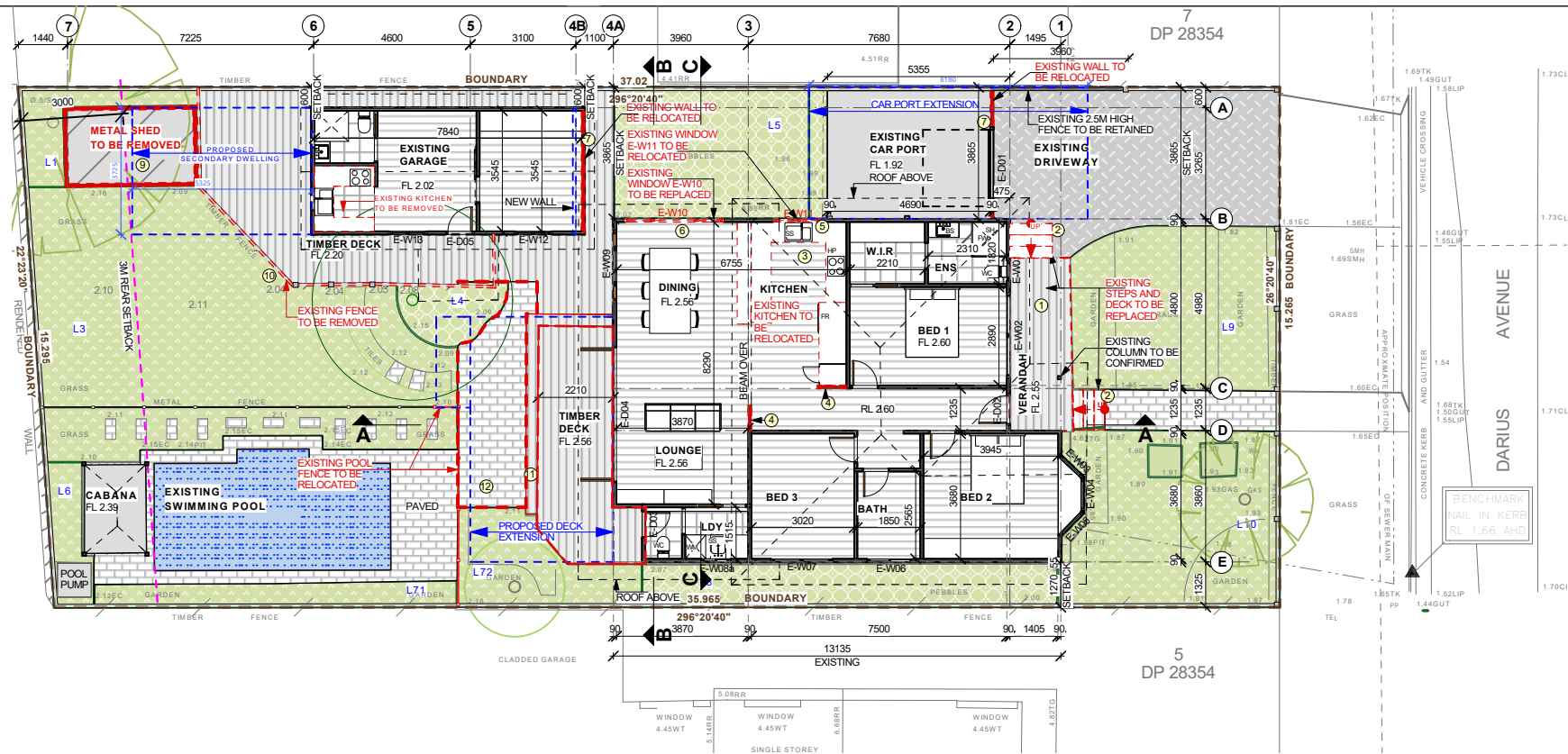
NOTES:

1. FOR DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION. FOR EXISTING WORKS NEED TO BE CONFIRMED ON SITE
3. REFER TO STRUCTURAL ENGINEER'S DETAIL FLOOD PALATFORM PREPARED BY TAYLOR CONSULTING ENGINEERING DRAWING NO.: STRUCT-1/A
4. ALL EXISTING DOORS, WINDOWS AND WALLS MUST BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

0m 1m 3m 5m

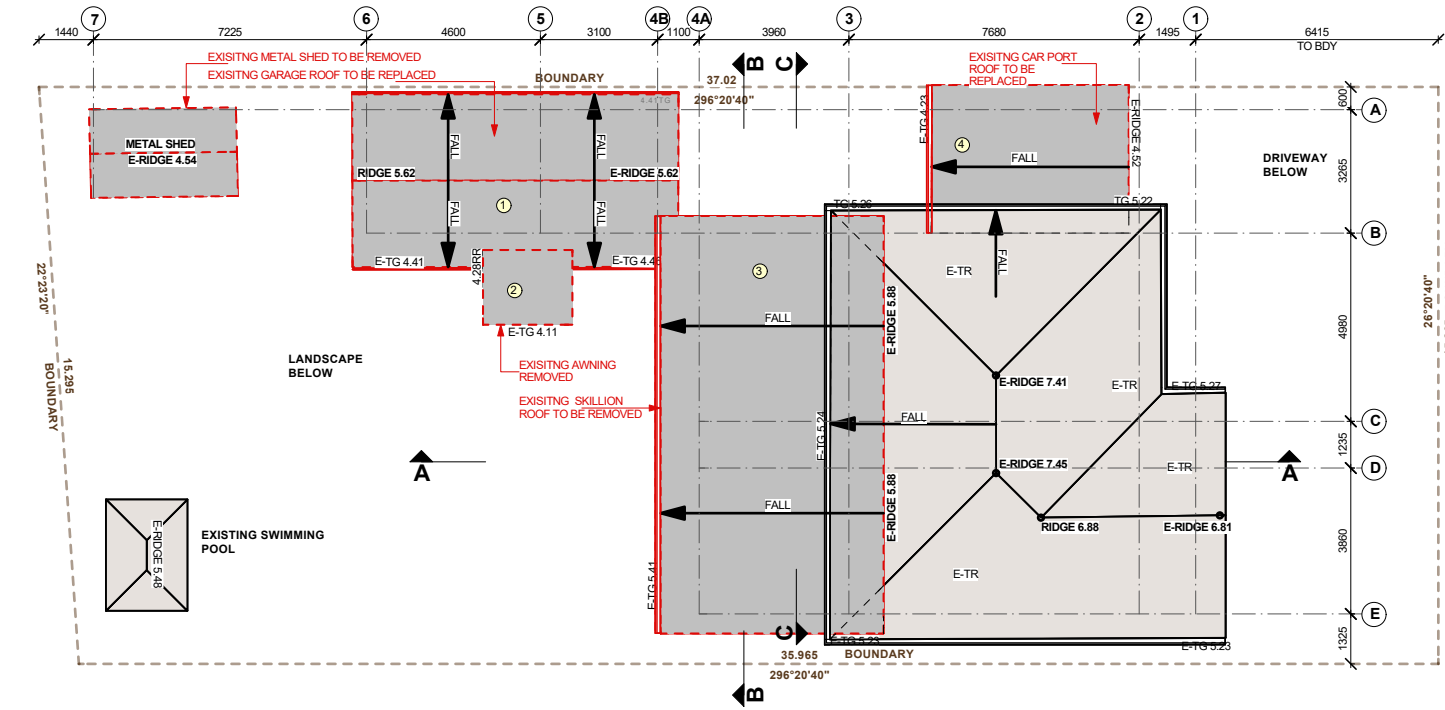
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			Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au		 Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT: ERICA MARSHALLEVANS : NO. 6513 Suite 15 Level 1 265-271 Pennant Hills Road Thornleigh NSW 2120 phone: (02) 9436 0086 email: lyle@lylemarshall.com.au web: www.lylemarshallandassociates.com.au	 Client: BRENDAN STOUT Proposed Alteration and Additional 11 DARIUS AVENUE NORTH NARRABEEN 2101/ Lot 6/-/DP28354 PROPOSED SECTIONS SHEET 2	Design By EMMC	Job No. 5161-24			
B	27/05/2025	AMENDED FOR DA SUBMISSION	COPYRIGHT THIS DRAWING IS THE PROPERTY OF LYLE MARSHALL AND PARTNERS PTY LTD AND MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED & IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THAT COMMISSION. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. Page 12 of 13 Date: 27/05/2025				Drawn By EMMC	Scale 1:100	Reviewed By EMMC	Date 27/05/2025	Sheet No. 20 of
A	12/11/2024	FOR DA SUBMISSION					Passed By EMMC	Date of Issue			
No.	Date	Issue Notes									



EXISTING GROUND FLOOR DEMOLITION PLAN

SCALE - 1:200 (A3)



EXISTING ROOF DEMOLITION PLAN

SCALE - 1:200 (A3)

DEMOLITION WORKS TO GROUND FLOOR

- EXISTING DECK TO BE REPLACED
- EXISTING STAIRS TO BE RELOCATED
- EXISTING KITCHEN TO BE REPLACED
- EXISTING WALLS TO BE REMOVED
- EXISTING WINDOW E-W11 TO BE RELOCATED

 EXISTING WORKS TO BE REMOVED

- EXISTING WINDOW E-W10 TO BE REPLACED
- EXISTING WALL TO BE RELOCATED
- EXISTING METAL SHED TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING TIMBER STEPS TO BE REMOVED
- EXISTING PAVING TO BE REMOVED



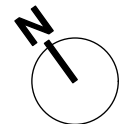
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DA2025/0651

DEMOLITION WORKS TO ROOF

- EXISTING AWNING TO BE REMOVED AND STUDIO ROOF TO BE REPLACED
- EXISTING AWNING ROOF TO BE REMOVED
- EXISTING SKILLION ROOF TO BE REMOVED
- EXISTING CAR PORT ROOF TO BE REPLACED



0m 1m 3m 5m

For Development Application

A P3	12/11/2024 14-Aug-24	FOR DA SUBMISSION CONCEPT PLAN TO CONSULTANTS	Consultant / Notes: Survey Prepared by URBAN SURVEYING Phone: 0452 066 506 Email: gs@urbansurveying.com.au	 Lyle Marshall & Partners Pty Ltd consulting engineers, transport and environmental planners & architects NOMINATED ARCHITECT: ERICA MARSHALL-EVANS : NO. 6513 Suite 15 Level 1 265-271 Pennant Hills Road Thornleigh NSW 2120 phone: (02) 9436 0086 email: lyle@lylemarshall.com.au web: www.lylemarshallandassociates.com.au	 Member The Association of Consulting Engineers Australia	Client: BRENDAN STOUT		Design By	Job No.	5161-24	
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						PROPOSED DEMOLITION PLAN		Reviewed By	Date	Sheet No.	Issue
								Passed By	Date of Issue	22 of	A