

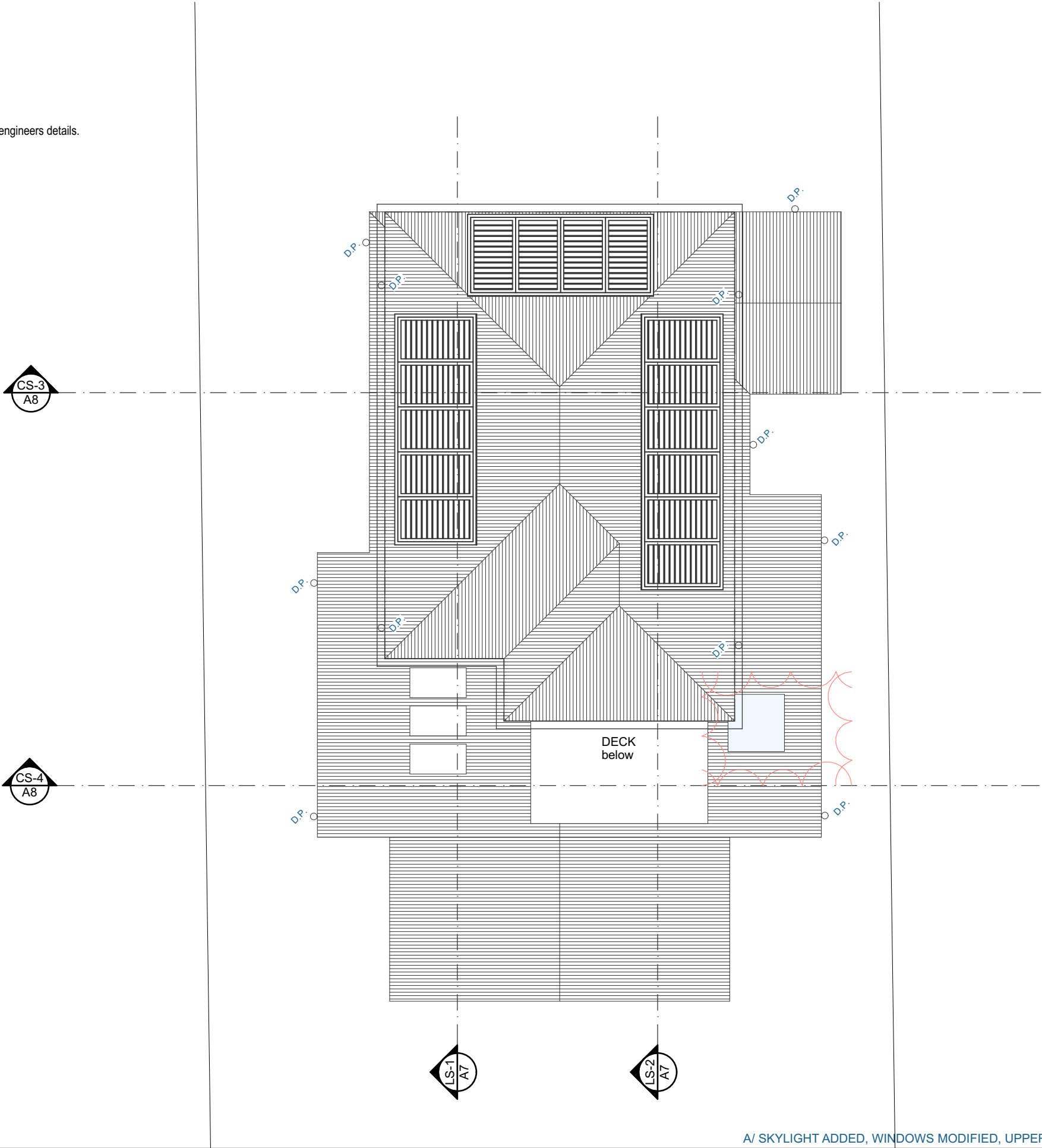
- Colorbond downpipes as per Hydraulic Engineers details.
- Colorbond Roof sheting
- Fixed to structure in Accordance with Manufacturers Specifications.
- Colorbond Gutters to all new eaves. As per Hydraulic Engineers details.
- Colorbond Metal Fascias
- Provide all Stormwater infrastructure in accordance with Council Stormwater management plan and as per the Hydraulic engineers details.
- Downpipes shown are indicative only and they are to be clear of all windows.
- Provide 5KW Solar System to Roof



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0160



A/ SKYLIGHT ADDED, WINDOWS MODIFIED, UPPER LAYOUT REVISED 27/3/23

FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



ACCREDITATION No. 6255
ABN 17 751 732 195

SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



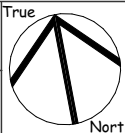
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Client
ROSIE
FOLCARELLI
& DAN
BUNTING

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing
Title

ROOF PLAN



Scale
1:100
Date
Friday, 31 March
2023

Job Number
21-0726
Drawn
S.G.
Drawing No.
A1
/A

STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

SMOKE DETECTORS:
Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5

SANITARY PLUMBER:
Provide & connect all fittings indicated to drainage system through wastes & traps as required by the Authority.
WATER SERVICE:
Provide copper pipe to all new fittings and hose cocks as indicated on plan & terminate with pressure cocks all to Authoritys requirements.
HOTWATER:
Provide copper water service which is fully lagged to all new fittings.

TILE FIXING
Floor:
Provide tiles as selected to all W.C., bathrooms, Laundry & other wet areas indicated, with falls where req'd.
Wall:
Bathrooms - Provide floor to Ceiling tiles as selected to all W.C.and bathrooms. Allow for expansion.
Laundrys - Provide 150mm high tiled skirting and 450mm high Splashbacks over laundry tubs.
Kitchens - Provide Splashbacks to Kitchen Benches.

WARDROBES:
To all Wardrobes allow for providing one 18mm edge stripped particleboard shelf 450mm wide supported on 50x25mm battens to sides and back, along with a similar batten under the front edge. Provide 20mm hanging rail with fittings and supports to underside shelf.

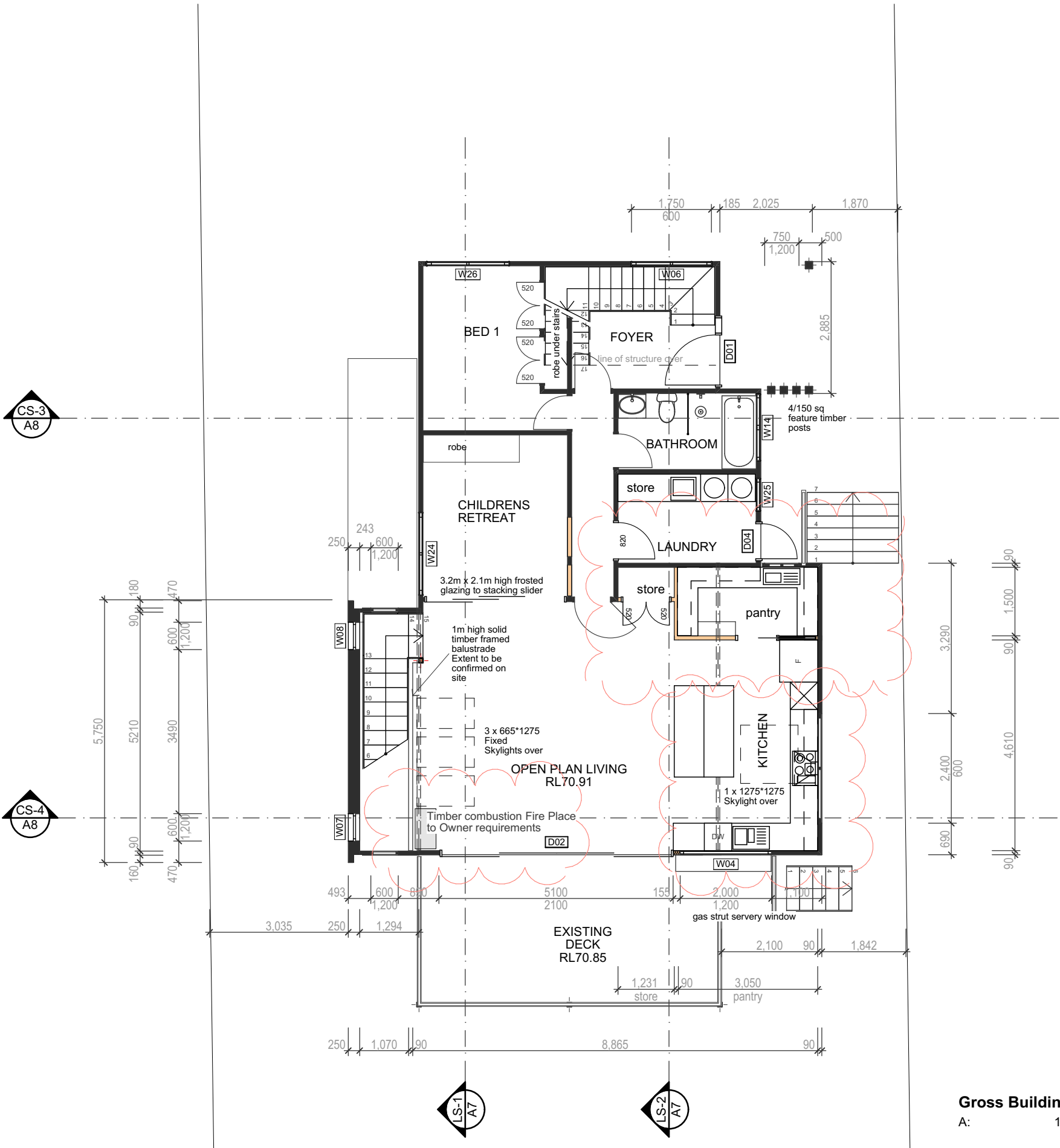
CEILING HEIGHTS
Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.
Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min
Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.
Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

Note
Floor area does not include floor where ceiling height <1.5m



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0160



Gross Building Area
A: 111.16 m²

GROUND LEVEL 3

A/ SKYLIGHT ADDED, WINDOWS MODIFIED, UPPER LAYOUT REVISED 27/3/23

FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY C.M.S. Surveyors of Dee Why



ACCREDITATION No. 6255
ABN 17 751 732 195

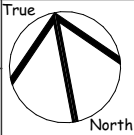
SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



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Client **ROSIE FOLCARELLI & DAN BUNTING**

PROPOSED ALTERATIONS and ADDITIONS	
25 BEACON AVENUE BEACON HILL NSW 2100	
Drawing Title	LEVEL 3 PLAN



Scale	1:100	Job Number	21-0726
Date	Friday, 31 March 2023	Drawn	S.G.
		Drawing No.	A3

STAIRS
Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of NCC.

SMOKE DETECTORS:
Provide mains powered smoke & fire detection devices to comply with AS3786 & NCC clause 3.7.5

CEILING HEIGHTS
Habitable room (excluding Kitchen) - 2.4m min. with sloping ceiling for 2/3 of the floor area.
Kitchen, Hall, Bathrooms, Laundrys, WCs, garage, storeroom and the like - 2.1m min
Stairway, Ramp landing and the like - 2.0m min measured vertically from the nosing line.
Attic - 2.2m min. with sloping ceiling for 2/3 of the floor area

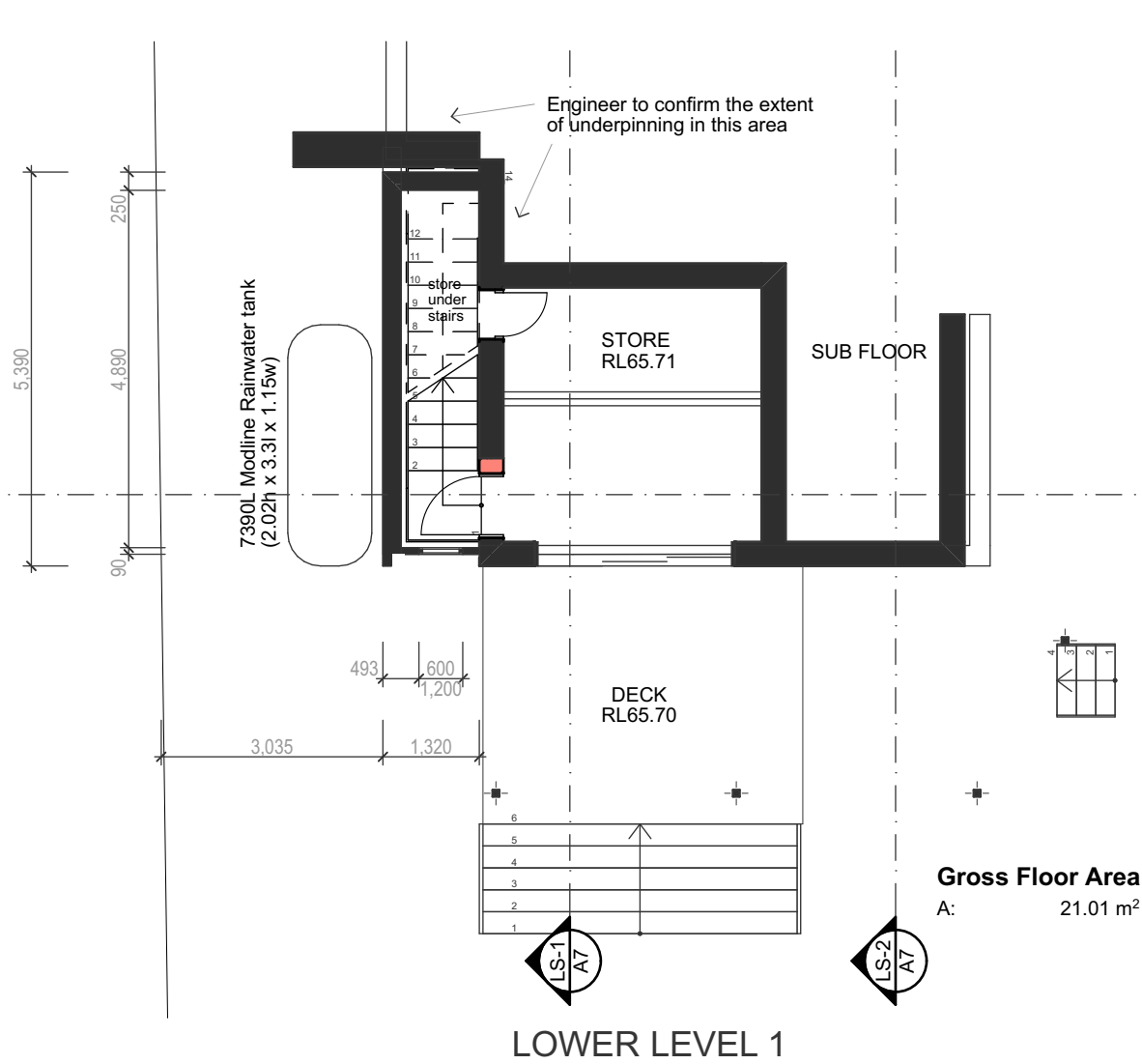
Note
Floor area does not include floor where ceiling height <1.5m



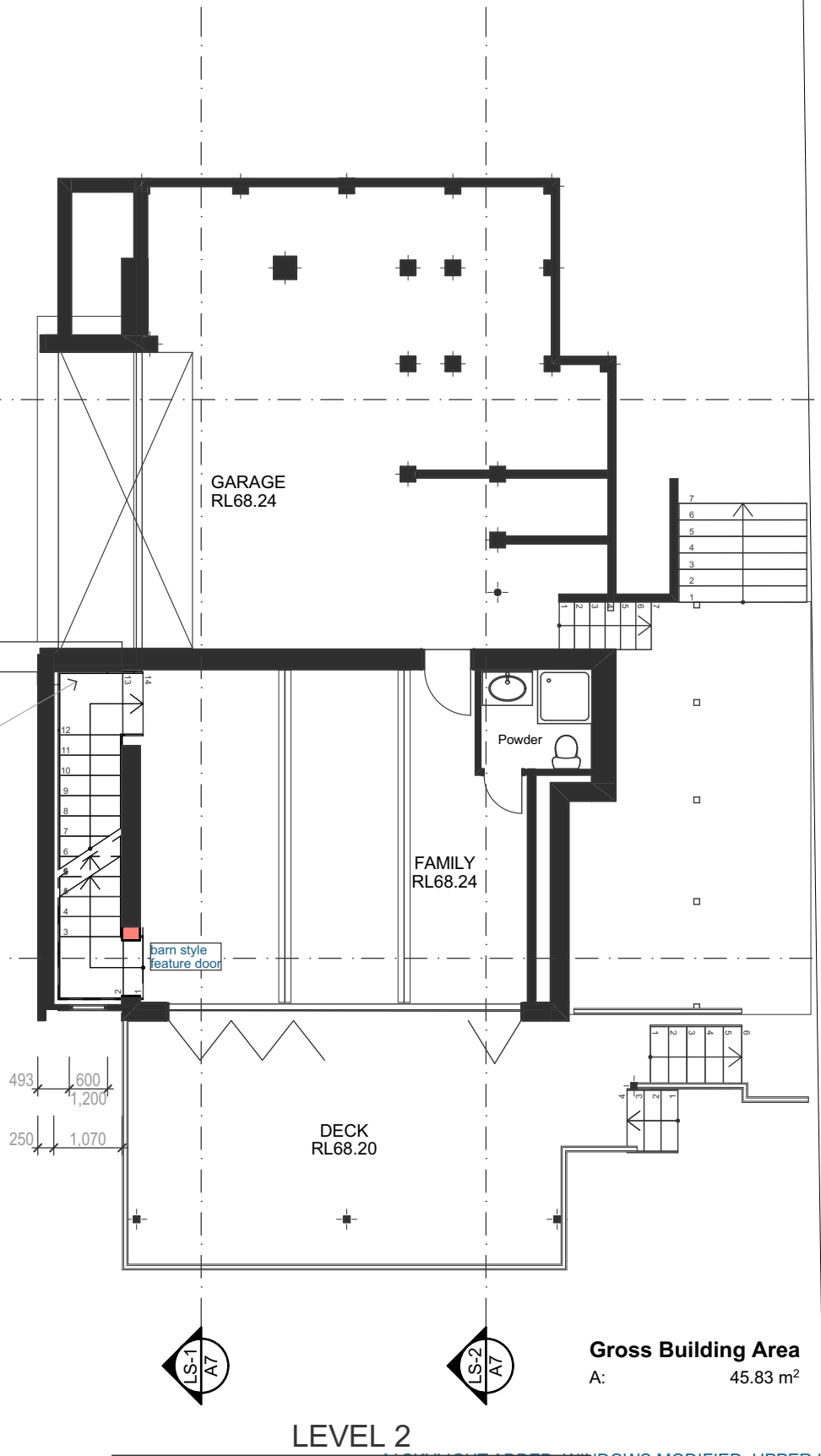
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beaches
council

**THIS PLAN IS TO BE READ IN
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CONSENT**

MOD2023/0160



Create 'dry' wall to stair well.
Batten off existing brick fin wall.



FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



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SALLY GARDNER DESIGN AND DRAFT
PLANS DRAWN FOR APPROVAL



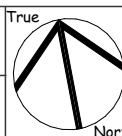
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Client **ROSIE FOLCARELLI & DAN BUNTING**

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing Title

LEVEL 1 + LEVEL 2 PLANS



Scale **1:100**
Date **Friday, 31 March 2023**

Job Number **21-0726**
Drawn **S.G.**
Drawing No. **A4**

/A

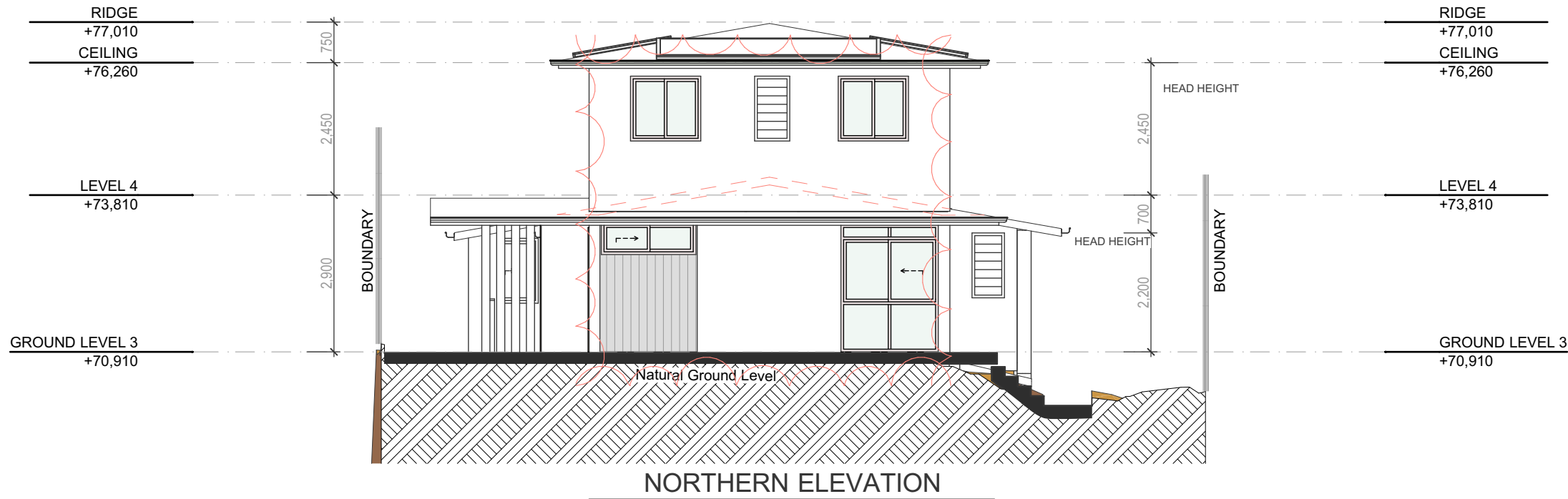
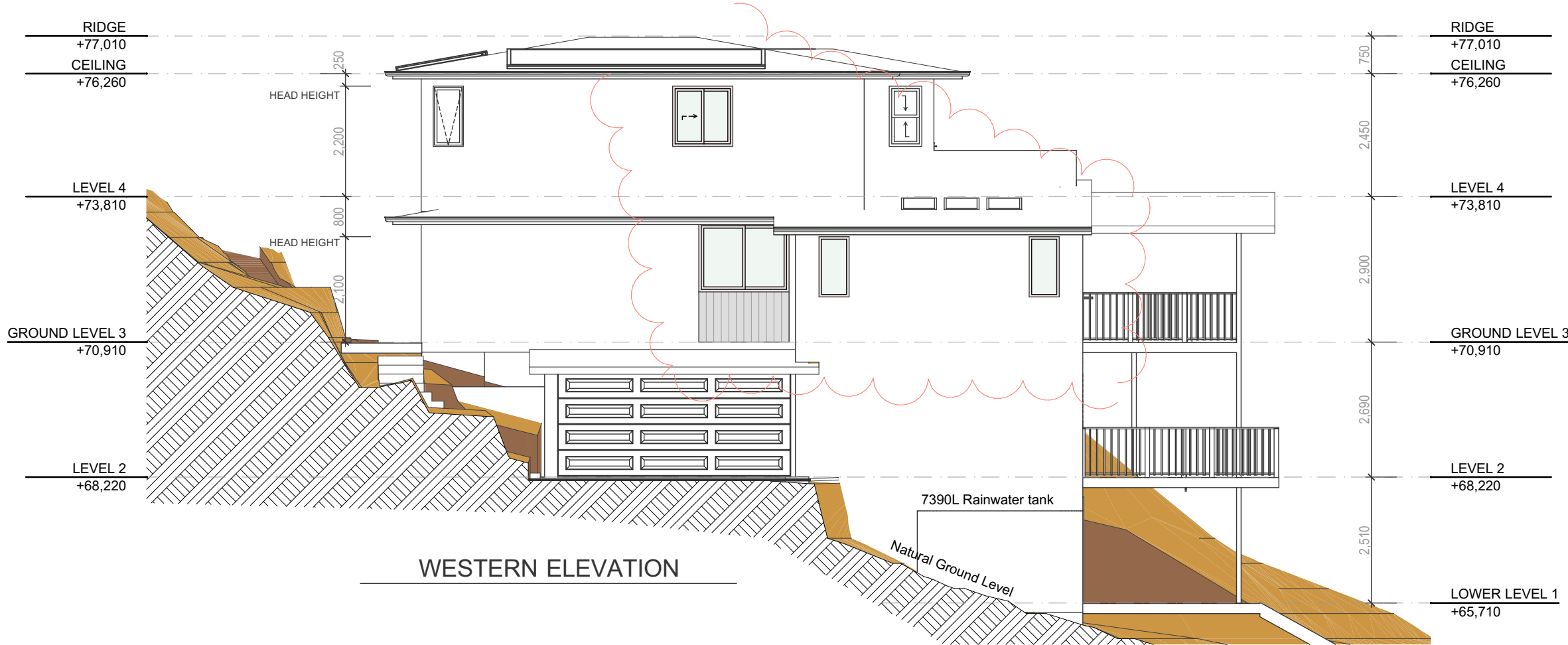
A7 SKYLIGHT ADDED, WINDOWS MODIFIED, UPPER LAYOUT REVISED 27/3/23



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0160



GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber Feature door.
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
A combination of Axon 133 smooth cladding and rendered Masonry
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

ROOFING:
Lysaght colorbond 'Custom Orb' roof Sheetting
All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



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Client
ROSIE
FOLCARELLI
& DAN
BUNTING

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

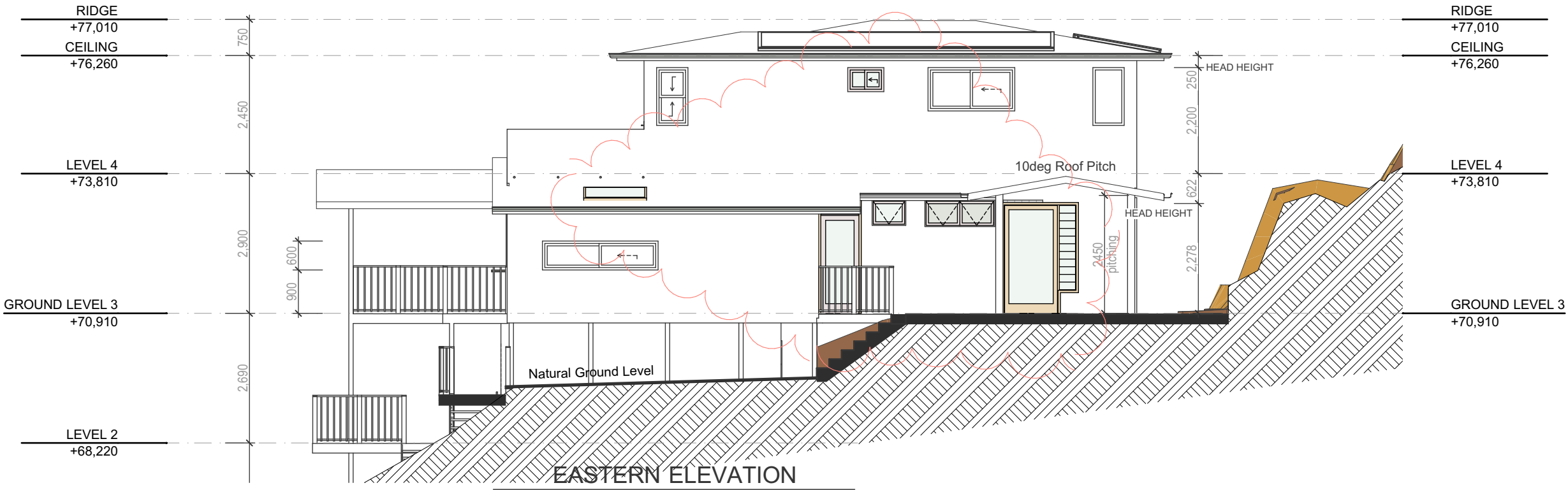
Drawing Title

ELEVATION SHEET 1

Scale	1:100	Job Number	21-0726
Date	Friday, 31 March 2023	Drawn	S.G.
		Drawing No.	A5

/A

A/ SKYLIGHT ADDED, WINDOWS MODIFIED, UPPER LAYOUT REVISED 27/3/23



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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2023/0160

GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber Feature door.
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
A combination of Axon 133 smooth cladding and rendered Masonry
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of
the BCA particularly with respect to the referenced Acceptable Construction
Practice as detailed in the BCA for product materials and installations.

ROOFING:
Lysaght colorbond 'Custom Orb roof Sheeting
All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the
BCA particularly with respect to the referenced Acceptable Construction Practice
as detailed in the BCA for product materials and installations.



FOR CONSTRUCTION

**SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why**



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Client **ROSIE
FOLCARELLI
& DAN
BUNTING**

**PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100**

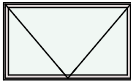
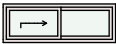
Drawing Title

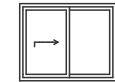
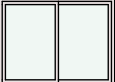
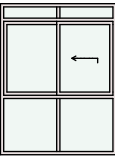
ELEVATION SHEET 2

A/ SKYLIGHT ADDED, WINDOWS MODIFIED, UPPER LAYOUT REVISED 27/3/23

Scale	1:100	Job Number	21-0726
Date	Friday, 31 March 2023	Drawn	S.G.
		Drawing No.	A6

/A

WINDOW SCHEDULE															
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W11	W12	W13	W14	W15	W16
ELEVATION															
W x H	600×1,200	600×1,200	600×1,200	2,000×1,200	600×1,200	1,750×600	600×1,200	600×1,200	750×1,200	1,300×1,200	650×1,200	1,300×1,200	1,450×550	650×1,200	1,800×900
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,200	2,400	2,100	2,100	2,100	2,200	2,200	2,200	2,350	2,200	2,200
Surface Area (m2)	0.72	0.72	0.72	2.40	0.72	1.05	0.72	0.72	0.90	1.56	0.78	1.56	0.80	0.78	1.62
Home Story	LOWER LEVEL 1	LEVEL 2	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3	LEVEL 4	LEVEL 4	LEVEL 4	GROUND LEVEL 3	LEVEL 4	LEVEL 4
ORIENTATION	SOUTH	SOUTH	SOUTH	SOUTH	NORTH	NORTH	WEST	WEST	NORTH	NORTH	NORTH	NORTH	EAST	EAST	EAST

WINDOW SCHEDULE										
ID	W17	W18	W19	W20	W21	W22	W23	W24	W25	W26
ELEVATION										
W x H	750×500	650×1,200	650×1,200	1,500×1,200	1,200×1,200	600×1,200	2,400×600	1,800×1,370	700×525	1,800×2,350
HEAD HEIGHT	2,200	2,200	2,200	2,200	2,200	2,200	1,500	2,370	2,350	2,350
Surface Area (m2)	0.38	0.78	0.78	1.80	1.44	0.72	1.44	2.47	0.37	4.23
Home Story	LEVEL 4	LEVEL 4	LEVEL 4	LEVEL 4	LEVEL 4	LEVEL 4	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3	GROUND LEVEL 3
ORIENTATION	EAST	EAST	WEST	SOUTH	WEST	WEST	EAST	WEST	EAST	NORTH

Windows : Glass and frame type

Aluminium, single glazed, clear	6.44	0.75	All Windows unless noted otherwise
Aluminium, single pyrolytic low-E, clear	4.48	0.46	W6, W15, W18, W26
Aluminium, single glazed, toned	6.39	0.56	W16, W17
Timber, single glazed, clear	5.71	0.66	D01
Aluminium, single glazed, clear	6.44	0.75	All other external doors

DOOR & WINDOW NOTE:

All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber '1220mm x 40mm' Feature door, with TF High Light.
All other external doors to be Powder Coated Aluminium.
All Doors and Windows to be keyed alike deadlocks to all sashes & doors.
All windows and doors shall conform to the Relevant Australian Standard.
All upper bedroom windows shall be provided with child safety locks / screens to comply with BCA / NCC Part 3.9.2 IF sill height is less than 1.7m.
All windows and doors are to be weather stripped as per NCC.
All glazed assemblies will comply with As 2047 and AS 1288.
All glazing to have a max reflectivity index of 25%

Windows	U	SHGC	Comments
Aluminium, single glazed, clear	6.44	0.75	All Windows unless noted otherwise
Aluminium, single pyrolytic low-E, clear	4.48	0.46	W6, W15, W18, W26
Aluminium, single glazed, toned	6.39	0.56	W16, W17
Timber, single glazed, clear	5.71	0.66	D01
Aluminium, single glazed, clear	6.44	0.75	All other external doors

U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower than that specified and the SHGC is within 5% of the above figures.

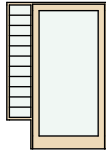
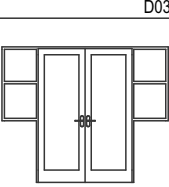
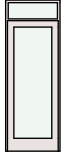
GLAZING NOTE:

Window load classification to all new windows and glazed doors is to be confirmed by the engineer prior to ordering and installation.

COLOUR SCHEDULE:

ROOF AND GUTTERING
SURFMIST MATT | NCC 'Light' classification
Solar Absorptance = 0.35
Solar reflectance index = 80

WALLS AND DOWN PIPES
BASALT | NCC 'Dark' classification
Solar Absorptance = 0.69
Solar reflectance index = 31

DOOR SCHEDULE				
ID	D01	D02	D03	D04
ELEVATION				
W x H	1,120×2,250	5,100×2,100	2,700×2,200	790×2,030
Surface Area (m2)	3.53	10.71	5.94	1.99
Home Story	GROUND LEVEL 3	GROUND LEVEL 3	LEVEL 4	GROUND LEVEL 3
ORIENTATION	EAST	SOUTH	SOUTH	EAST

OBJECT INVENTORY				
ID	A SK1	A SK2	A SK3	A SK4
3D PREVIEW				
NAME	Skylight Top Hung 24	Skylight Top Hung 24	Skylight Top Hung 24	Skylight Top Hung 24
QUANTITY	1	1	1	1
LENGHT (A)	665	665	665	1,275
WIDTH (B)	1,275	1,275	1,275	1,275

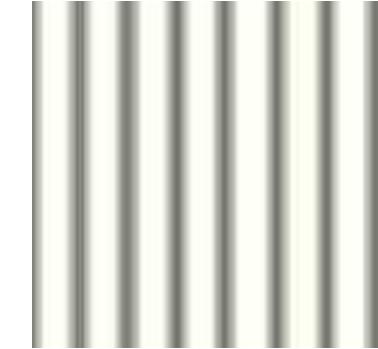
SKYLIGHTS GLAZING REQUIREMENTS FOR BASIX:

All glazed assemblies will comply with As 2047 and AS 1288.
All glazing to have a max reflectivity index of 25%

ALL SKYLIGHTS TO BE TIMBER FRAMED WITH LOW-E INTERNAL / ARGON FILL / CLEAR EXTERNAL GLAZING: U-VALUE:2.5, SHGC: 0.456

U and SHGC values are according to NFRC. Alternate products may be used if the U value is the same or lower than that specified and the SHGC is within 5% of the above figures.

Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R2.25 (up), roof: foil/sarking	light (solar absorptance < 0.475)





THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0160

FOR CONSTRUCTION

SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors of Dee Why



ACCREDITATION No. 6255
ABN 17 751 732 195

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Client
ROSIE FOLCARELLI & DAN BUNTING

PROPOSED ALTERATIONS and ADDITIONS
25 BEACON AVENUE BEACON HILL NSW 2100

Drawing Title

WINDOW & DOOR SCHEDULES + BASIX COMMITMENTS

Scale
1:1.18

Date
Friday, 31 March 2023

Job Number
21-0726

Drawn
S.G.
Drawing No.
N2

/A

A/ SKYLIGHT ADDED, WINDOWS MODIFIED, UPPER LAYOUT REVISED 27/3/23