

**PROPOSED ALTERATIONS & ADDITIONS  
INCLUDING A PROPOSED POOL**

**NATHAN & ALEXANDRA PICKERING**

**41A PONSONBY PARADE  
SEAFORTH NSW 2092**

( To be read in conjunction with pool plans prepared by - Serene landscape designs)

Page 1 - Cover page  
Page 2 - Existing Floor plan  
Page 3 - Proposed Floor Plan  
Page 4 - Elevations  
Page 5 - Sections A-A & Basix commitments  
Page 6 - Site plan / Sediment Control



**PROPOSED IMAGES**

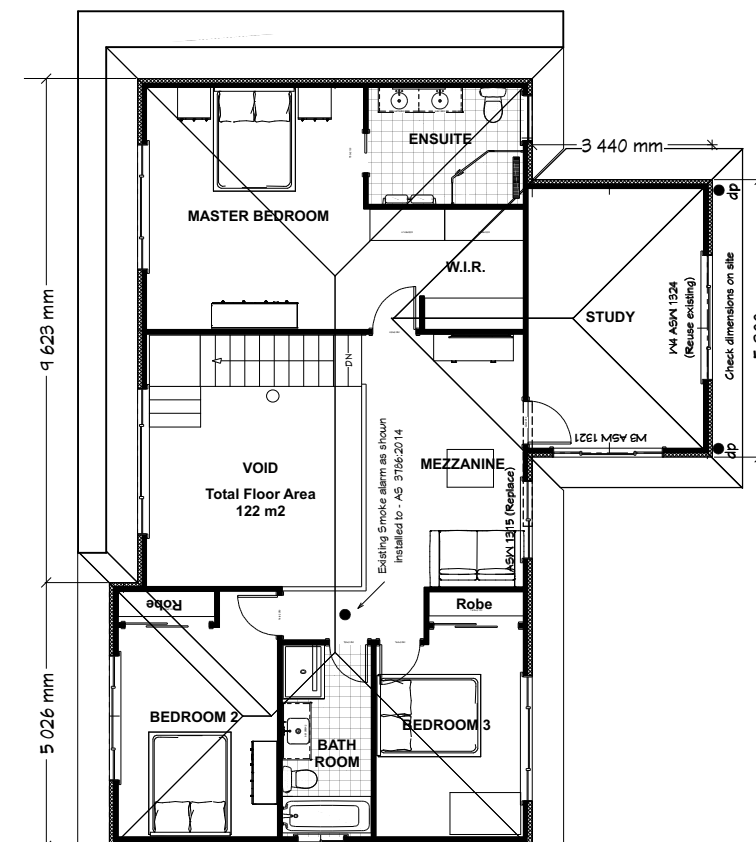
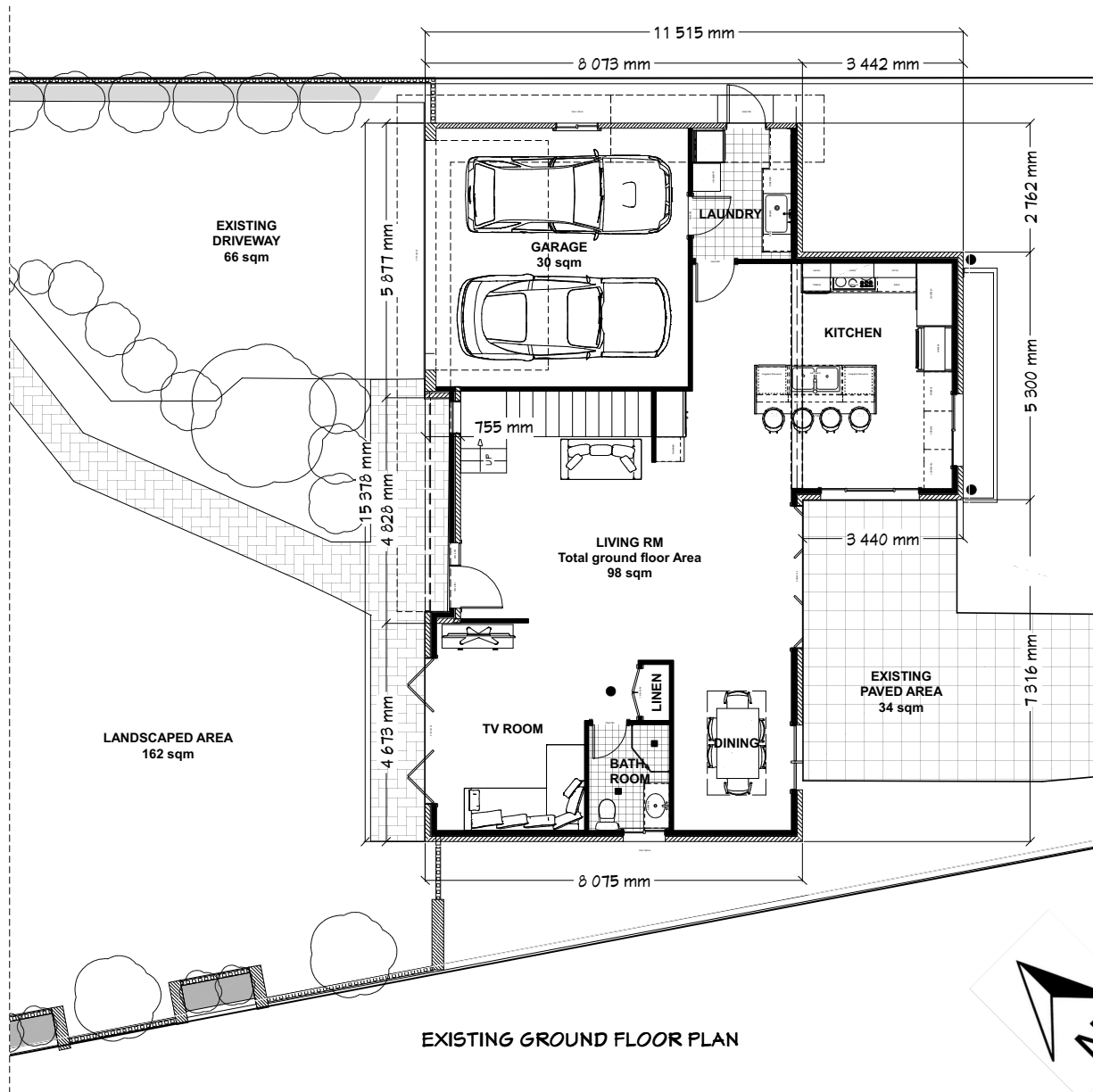


Proposed ground floor addition  
Including additional paving



Proposed Inground pool &  
surrounds

|                  |                                                 |        |                               |                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                    |
|------------------|-------------------------------------------------|--------|-------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROJECT:         | <b>PROPOSED<br/>ALTERATIONS &amp; ADDITIONS</b> | SCALE: | <b>1 : 100mm</b>              |  <p><b>Planning 2 Build</b><br/>Design &amp; Drafting<br/>DA &amp; CDC Submissions</p> <p>Email: <a href="mailto:tony@planning2build.com.au">tony@planning2build.com.au</a> Mobile: 0419 800 614</p> | <p>This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build</p> <p><a href="http://www.planning2build.com.au">www.planning2build.com.au</a><br/>ABN 23273311856</p> |  <p><b>bdac</b><br/>ACCREDITED<br/>BUILDING DESIGNER</p> <p>Building Designers<br/>Association of Australia<br/>Accreditation No 6405</p> | <p>All works to be carried out in accordance with the requirements of the following:<br/>Current National Construction Code Building Code of Australia, including All relevant Australian Standards.</p> <p>All dimensions are to be checked and verified on site before commencement of work.</p> |
| CLIENT:          | <b>NATHAN &amp; ALEXANDRA PICKERING</b>         | DATE:  | <b>11th NOVEMBER<br/>2024</b> |                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                    |
| SITE<br>ADDRESS: | <b>41A PONSONBY PARADE<br/>SEAFORTH NSW</b>     | SHEET: | <b>Page 1 / 6</b>             |                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                    |



EXISTING GROUND FLOOR PLAN

EXISTING FIRST FLOOR PLAN

|               |                                  |        |                    |                                                                                                                                                                                                     |                                                                                                                                                                                                                                                    |                                                                                                                                  |                                                                                                                                                                                                                                                                                                    |
|---------------|----------------------------------|--------|--------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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| CLIENT:       | NATHAN & ALEXANDRA PICKERING     | DATE:  | 18th NOVEMBER 2024 |                                                                                                                                                                                                     |                                                                                                                                                                                                                                                    |                                                                                                                                  |                                                                                                                                                                                                                                                                                                    |
| SITE ADDRESS: | 41A PONSONBY PARADE SEAFORTH NSW | SHEET: | Page 2 / 6         |                                                                                                                                                                                                     |                                                                                                                                                                                                                                                    |                                                                                                                                  |                                                                                                                                                                                                                                                                                                    |

### PROPOSED GROUND FLOOR PLAN

|                  |                                                 |        |                               |
|------------------|-------------------------------------------------|--------|-------------------------------|
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**ACCREDITED  
BUILDING DESIGNER**

Building Designers  
Association of Australia  
Accreditation No 6405

All works to be carried out in accordance with the requirements of the following:  
Current National Construction Code Building Code of Australia, including All relevant Australian Standards.

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All dimensions are to be checked and verified on site before commencement of work.

#### RC FLOOR SLAB

Excavate for services and slab on ground all to engineers details.

Provide adequate step down to terrace slab with 100mm deep strip drain all to AS 3.1.3.3 Surface water drainage.

Provide 2 course step down and adequate termite barrier as per AS 3660.1-2014 Termite management

Provide an approved termite protection system to fully protect all framing members below floor level;

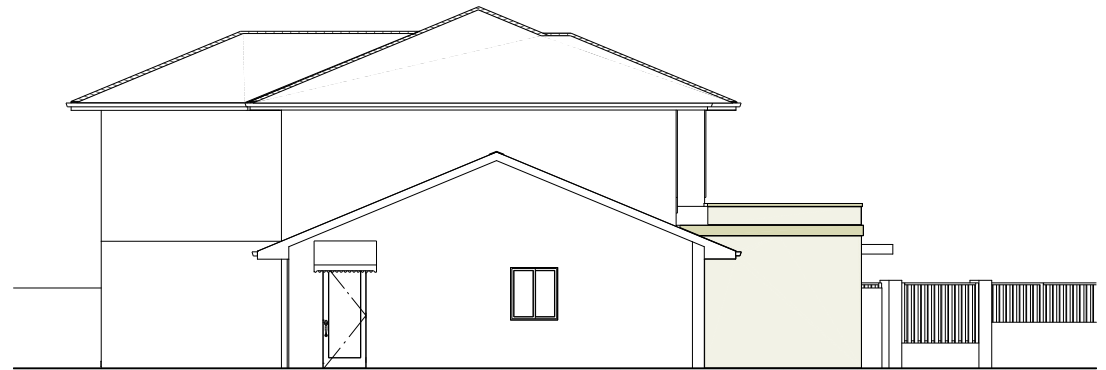
The Termite protection system should comply with the following: BCA Table 3.1.3.1 Acceptable termite management systems and Components

#### EXTERIOR WALLING

Matching brick veneer construction with rendered brickwork and matching corbal course.

terrace roof beams to be enclosed in timber framing and Polystyrene walling to match existing upper floor with matching corbals.

Supporting piers to terrace roofing all in rendered brickwork.



#### NORTH ELEVATION

##### INTERNAL WALLS & CEILING

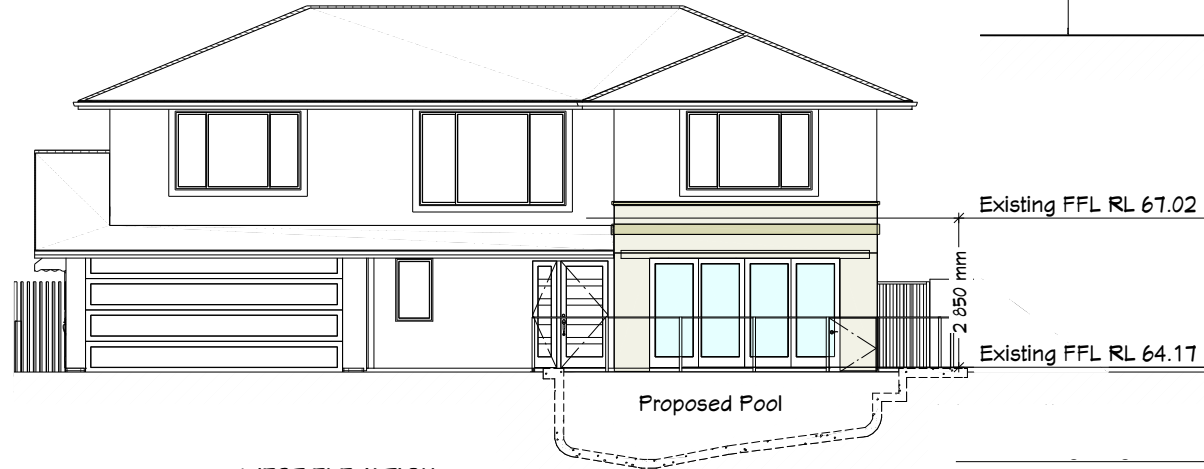
Use H2 treated framework all to AS 1684. Insulate walls as required using R.2.5 wall & ceiling batts  
Plasterboard walls & Ceilings with timber fixings to match existing.

##### SLIDING DOOR

Use matching aluminium door as shown, glazed in accordance with BASIX requirements.  
Install 600mm awning above doors to adhere to Basix requirements.

##### ROOFING

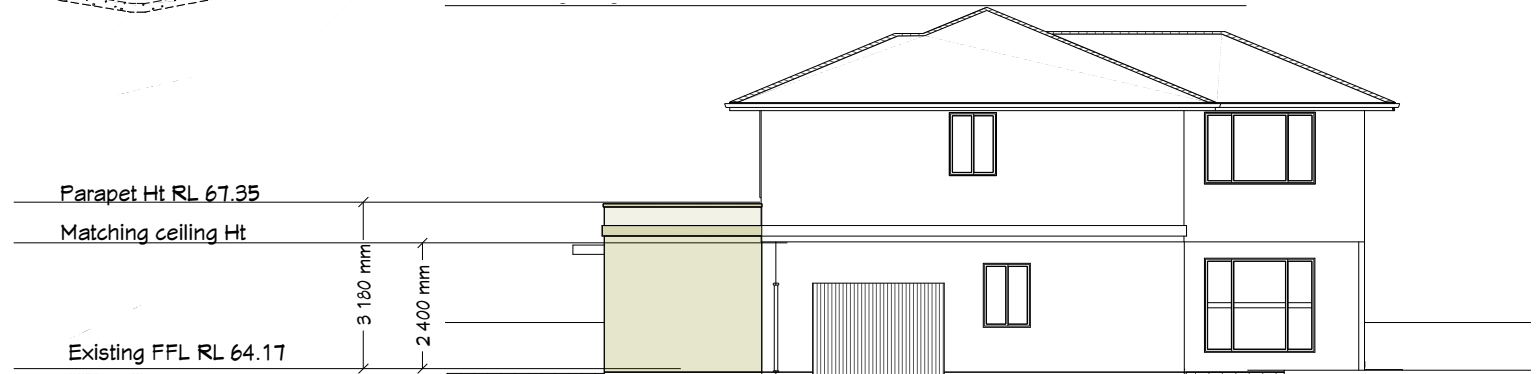
Use LVL rafters @ 3 degrees pitch with timber purlins and "Speedeck" colorbond roofing.  
provide box gutter and parapet flashings all in colorbond as required.  
Provide roof beams to terrace all to Engineers detail  
Provide insulation using laminated foil blanket.



#### WEST ELEVATION

#### BASIX - Pool requirements

|                                                                                                                                                                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Pool and Spa</b>                                                                                                                                                                                               |
| <b>Rainwater tank</b>                                                                                                                                                                                             |
| The applicant must install a rainwater tank of at least 912.91 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. |
| The applicant must configure the rainwater tank to collect rainwater runoff from at least 15 square metres of roof area.                                                                                          |
| The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.                                                                                                          |
| <b>Outdoor swimming pool</b>                                                                                                                                                                                      |
| The swimming pool must be outdoors                                                                                                                                                                                |
| The swimming pool must not have a capacity greater than 33.26 kilolitres.                                                                                                                                         |
| The swimming pool must have a pool cover.                                                                                                                                                                         |
| The applicant must install a pool pump timer for the swimming pool.                                                                                                                                               |
| The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.                                                                               |



#### SOUTH ELEVATION

|                  |                                     |        |                       |                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                            |                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                  |
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| SITE<br>ADDRESS: | 41A PONSONBY PARADE<br>SEAFORTH NSW | SHEET: | Page 4 / 6            |                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                            |                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                  |

GENERAL SCOPE - SPECIFICATION

| NO | ITEM                      | DESCRIPTION                                                                                                                                                                                        |
|----|---------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1  | Preliminaries             | Provide safe access to site including all work zones. All scaffolding to be erected and installed to Australian Standards. Site to be kept clean of debris and materials kept stored appropriately |
| 2  | Site Setting out          | All relative boundaries and levels are to be located and checked as per the current survey.                                                                                                        |
| 3  | Demolition                | All demolition as required to be carried to the required WH&S guidelines and the Scaffolding Safe Code of Practice. Remove all debris from site as required                                        |
| 4  | Asbestos & Hazardous      | Check for hazardous substances including asbestos and remove safely to WH&S guidelines and the Safe Code of Practice for removing asbestos.                                                        |
| 5  | Workplace Health & Safety | The principle contractor is to ensure all construction and PCBU have the current licencing and white card before commencing work.                                                                  |
| 6  | Excavation                | Excavations to pool & slab areas as required.                                                                                                                                                      |
| 7  | Concreting                | RC floor slab on ground and pool construction all to Engineers details                                                                                                                             |
| 8  | Masonry                   | All brickwork as required                                                                                                                                                                          |
| 9  | Framework                 | All structural timber to be H2 treated and constructed in accordance with AS 1684                                                                                                                  |
| 10 | External finishes         | Rendered brickwork and corbel to match existing.                                                                                                                                                   |
| 11 | Colour scheme             | Selected by owner                                                                                                                                                                                  |
| 12 | Roof & Guttering          | "Speedeck" Colorbond roofing on LVL rafters and 70x45 purlins<br>New Colorbond box guttering and parapet flashings to detail.                                                                      |
| 13 | Soffits                   | Use WR plasterboard ceilings to terrace                                                                                                                                                            |
| 14 | Fascia's & Barge boards   | NA                                                                                                                                                                                                 |
| 15 | Insulation                | R2.5 Ceiling batts Throughout new ceilings<br>70mm thick Rockwool Soundscreen to internal walls.                                                                                                   |
| 16 | Windows                   | Aluminium framed Window all glazing as per BASIX requirements                                                                                                                                      |
| 17 | External Doors            | Aluminium framed sliding door all glazing as per BASIX requirements                                                                                                                                |
| 18 | Flooring                  | 150mm thick RC slab to engineers' details.<br>Floor coverings to match existing                                                                                                                    |
| 19 | Internal Linings          | Square set junctions to lower floor ceiling areas.<br>Plasterboard linings to all walls and ceilings to match existing.                                                                            |
| 20 | Door Jamb's               | NA                                                                                                                                                                                                 |
| 21 | Internal Doors            | NA                                                                                                                                                                                                 |
| 22 | Architraves               | 68x18 FJ pine selected mouldings.                                                                                                                                                                  |
| 23 | Skirtings                 | 90x18 FJ pine selected mouldings                                                                                                                                                                   |

BASIX

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or Light-emitting-diode (LED) lamps.

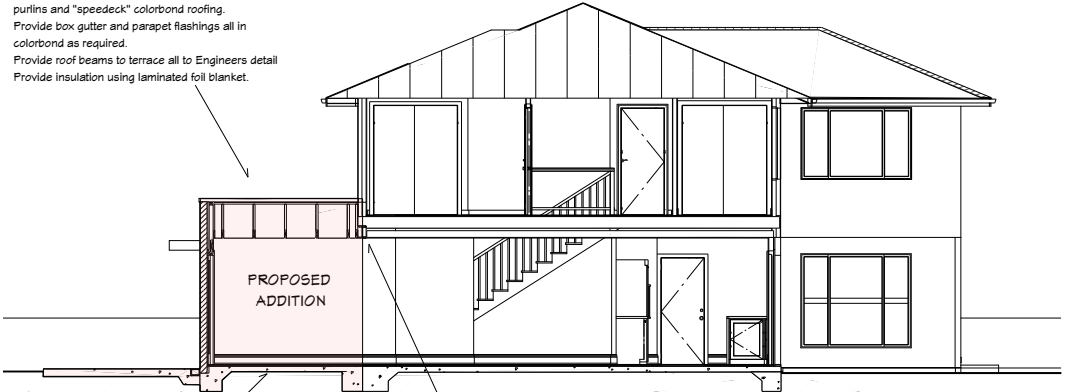
Construction Additional insulation required

|                             |                                                                         |
|-----------------------------|-------------------------------------------------------------------------|
| Concrete slab on ground     | nil                                                                     |
| External wall: brick veneer | R1.160 (or R1.70 including construction)                                |
| Flat ceiling, pitched roof  | ceiling: R1.30 (up), roof: foil/sarking dark (solar absorptance > 0.70) |

Windows

| Glazing requirements                                                                                                                                                                                                                                  |                |                                   |                                                                        |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|-----------------------------------|------------------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                              |                |                                   |                                                                        |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                   |                |                                   |                                                                        |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below |                |                                   |                                                                        |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.                        |                |                                   |                                                                        |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.95.                                                                                                                                   |                |                                   |                                                                        |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                    |                |                                   |                                                                        |
| Item                                                                                                                                                                                                                                                  | Height x Width | Shading device & Frame            | Glazing requirements                                                   |
| W1                                                                                                                                                                                                                                                    | 2.100 x 3.600  | eave >=450 mm standard aluminium, | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |

Use LVL rafters @ min 3 degrees pitch with timber purlins and "speedeck" colorbond roofing.  
Provide box gutter and parapet flashings all in colorbond as required.  
Provide roof beams to terrace all to Engineers detail  
Provide insulation using laminated foil blanket.



SECTION A-A

Existing Ceiling Ht 69.46

Existing FFL 67.02

Existing FFL 64.17



SECTION B-B

Provide an approved termite protection system to fully protect all framing members below floor level;  
The Termite protection system should comply with the following:  
BCA Table 3.1.3.1 Acceptable termite management systems and Components

|               |                                  |        |                    |                                                                                                                                       |                                                                                                                                                                                                     |                                                                                                                         |                                                                                                                                                                                                                                                                                                    |
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| SITE ADDRESS: | 41A PONSONBY PARADE SEAFORTH NSW | SHEET: | Page 5 / 6         |                                                                                                                                       |                                                                                                                                                                                                     |                                                                                                                         |                                                                                                                                                                                                                                                                                                    |



#### WASTE MANAGEMENT

Check for Asbestos materials and use WH&S guidelines for its safe removal.

All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.

Ensure Waste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.

#### STORMWATER & SERVICES

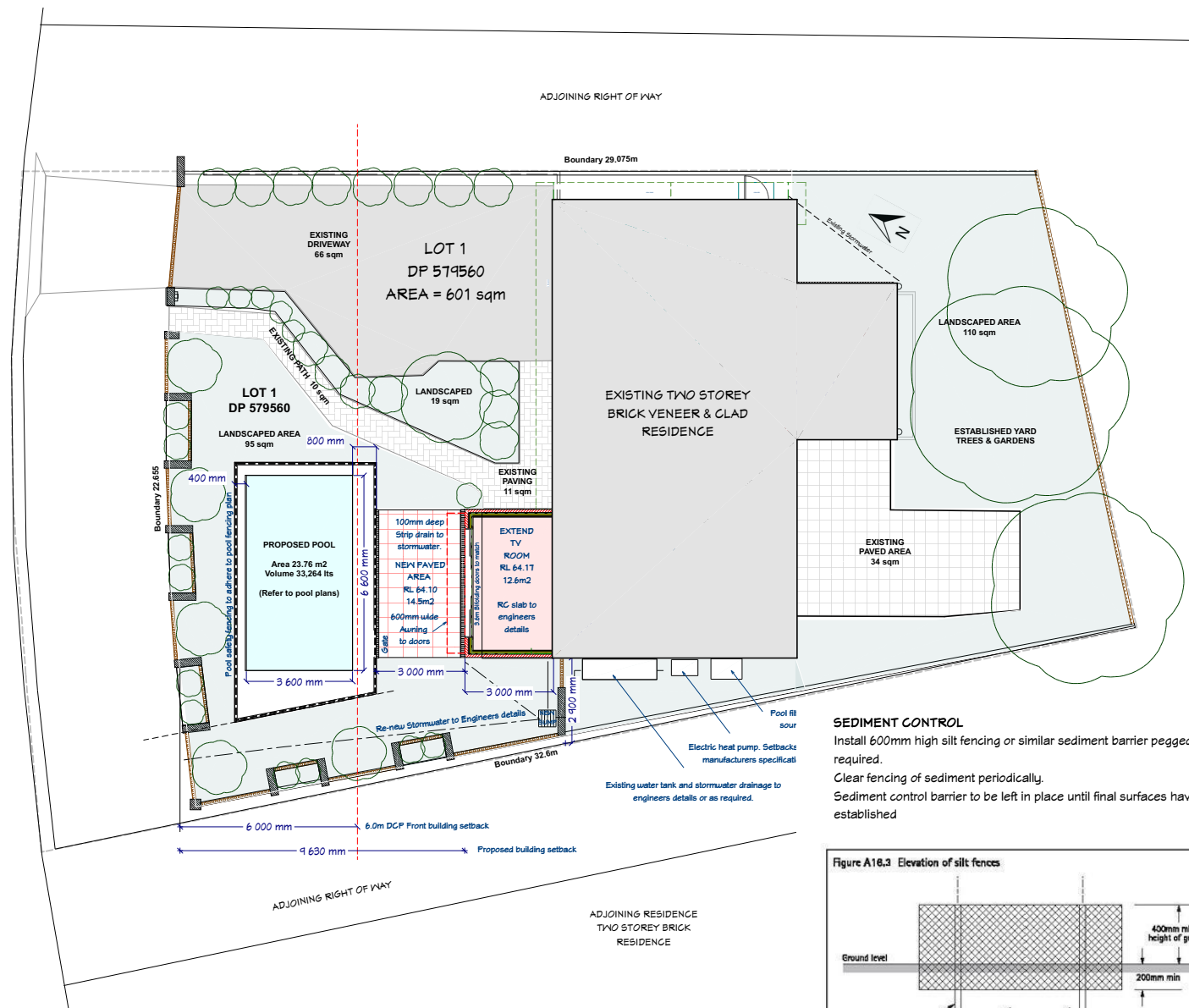
Provide additional stormwater drainage to be connected to the existing service.



#### SITE CALCULATIONS

|                                |           |
|--------------------------------|-----------|
| SITE AREA                      | 601 sqm   |
| EXISTING FLOOR AREA            | 220sqm    |
| EXISTING GARAGE                | 32.0 sqm  |
| EXISTING HABITABLE FLOOR AREA  | 220 sqm   |
| ADDITIONAL FLOOR AREA          | 12.6 sqm  |
| PROPOSED TOTAL FLOOR AREA      | 232.6 sqm |
| FLOOR SPACE RATIO              | 38.7 %    |
| LANDSCAPED AREA = 225sqm       | 37.4 %    |
| EXISTING ROOF AREA             | 142 sqm   |
| EXISTING DRIVEWAY              | 66 sqm    |
| EXISTING PAVED                 | 55 sqm    |
| ADDITIONAL ROOFED & PAVED AREA | 43.1 sqm  |
| PROPOSED BUILT UPON AREA       | 306.1 sqm |
| BUILT UPON RATIO               | 50.9 %    |

PONSONBY PARADE



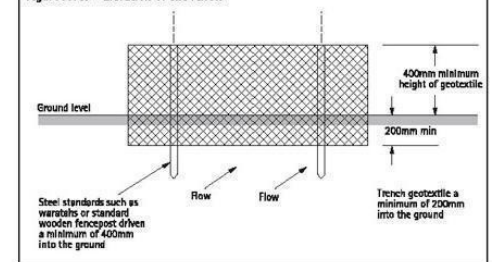
#### SITE PLAN / SITE ANALYSIS

Scale 1 : 200mm

#### SEDIMENT CONTROL

Install 600mm high silt fencing or similar sediment barrier pegged as required.  
Clear fencing of sediment periodically.  
Sediment control barrier to be left in place until final surfaces have been established

Figure A18.3 Elevation of silt fences



PROJECT: **PROPOSED ALTERATIONS & ADDITIONS**

SCALE: **1 : 100mm**

CLIENT: **NATHAN & ALEXANDRA PICKERING**

DATE: **18th NOVEMBER 2024**

SITE ADDRESS: **41A PONSONBY PARADE SEAFORTH NSW**

SHEET: **Page 6 / 6**

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