

STATEMENT OF ENVIRONMENTAL EFFECTS

PROJECT

PROPOSED CONSTRUCTION OF A SECONDARY DWELLING

PROPERTY

33 COOLANGATTA AVENUE, ELANORA HEIGHTS

CLIENT

MOYRA PEARSON

JOB NO 22-25

DATED 28 April 2022

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The logo for RK DESIGNS is located in the bottom right corner. It consists of a solid yellow square. Inside the square, the letters 'RK' are written in a large, white, bold, sans-serif font. Below 'RK', the word 'DESIGNS' is written in a smaller, white, bold, sans-serif font.

RK
DESIGNS

1.0 INTRODUCTION

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed new dwelling the proprietors wish to construct on the property at 33 Coolangatta Avenue, Elanora Heights.

This statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

As a result of this assessment, it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of Council.

2.0 THE SITE AND EXISTING BUILDING

The property is located at 33 Coolangatta Avenue, Elanora Heights being Lot 162 within Deposited Plan 13643. The block of land is approximately 943.8sqm in site area, faces east on Coolangatta Avenue. The site has a minor fall towards the west boundary. The property is zoned C4 Environmental Living under the Pittwater Local Environmental Plan 2014.

A two-storey dwelling exists on the property as well as detached carport. There is a vehicle crossing on Coolangatta Avenue that runs close along the northern boundary and leads to the detached carport. Refer to the Survey plan below.



Image 1: 33 Coolangatta Avenue, Elanora Heights

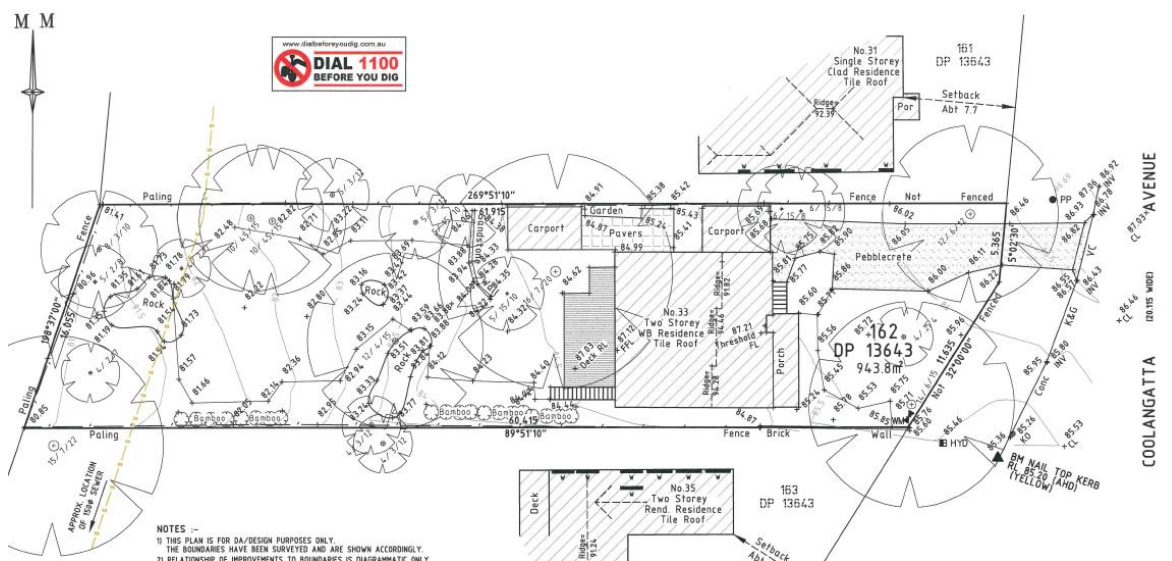


Image 2: Survey Plan

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3.0 EXISTING STREETScape

To the immediate North of the subject property at 31 Coolangatta Avenue, Elanora Heights, a single-storey dwelling exists.



Image 3: 31 Coolangatta Avenue, Elanora Heights

To the immediate South of the subject property at 35 Coolangatta Avenue, Elanora Heights, a two- storey dwelling exists.



Image 4: 35 Coolangatta Avenue, Elanora Heights

To the immediate west(rear) of the subject property at 32 Lumeah Avenue, Elanora Heights, a dwelling exists.



Image 5: 32 Lumeah Avenue, Elanora Heights

Across the road of the subject property, at 28 and 30 Coolangatta Avenue, Elanora Heights, both have two- storey dwellings.



Image 6: 28 (left) and 30 (right) Coolangatta Avenue, Elanora Heights

The remainder of Coolangatta Avenue is an amalgamation of one and two- storey dwellings in a wide range of architectural styles, character, materials, finishes, bulk and scale.



Image 7: Streetscape of Coolangatta Avenue, Elanora Heights

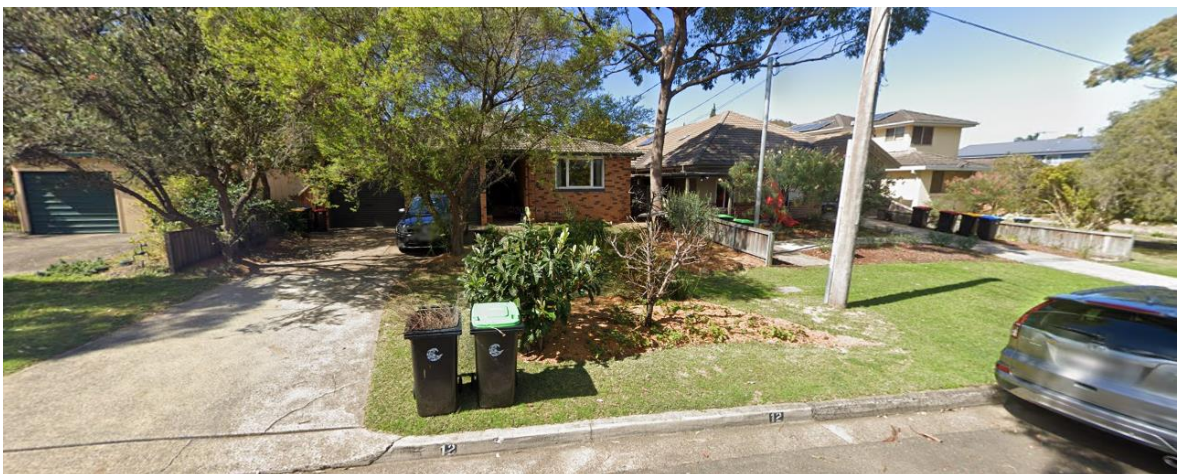


Image 8: Streetscape of Coolangatta Avenue, Elanora Heights



Image 9: Streetscape of Coolangatta Avenue, Elanora Heights

4.0 THE PROPOSAL

The proprietors of 33 Coolangatta Avenue, Elanora Heights instructed us to design a secondary dwelling that will cater for and compliment the needs and lifestyle of two families. We are of the opinion that this was adequately carried out in our proposal presently before Council.

Privacy:

There is a separated open space between the primary and secondary dwelling where the family can enjoy outdoor activities individually. The living area and the decking is designed and positioned well away from the living spaces of neighbouring properties and from the primary dwelling, creating the private, light and open space for the family.

As a result, the secondary dwelling is provided with functional, well-located area of private open space, accessible from the living area retaining adequate private open space for the principal dwelling.

Privacy issue is also resolved through the positioning of openings. Openings of the proposed secondary dwelling do not overlook to existing openings of surrounding buildings.

Amenity

To increase the amenity, habitable areas including living, kitchen and dining areas placed towards the rear. The openings allow the space to achieve sufficient penetration of daylight and cross ventilation into the building. The simple open plan of the secondary dwelling generates a compact yet pleasant space for uses. This coupled with the high raked ceiling in the kitchen and the living area that creates a very spacious and healthy space. Also, openings towards the deck will open out onto the landscaped areas. This will enable both visual and physical interaction between indoor and outdoor living and entertaining.

Context consideration

The form and finishes of the proposed secondary dwelling also reflect the surrounding characteristics of the existing streetscape. It has adopted the architectural style of a gable roof with a similar colour tone of the surroundings. Furthermore, the addition of a secondary dwelling will also satisfy the need for affordable rental housing demand of the area with high amenity for residents.

5.0 COMPLIANCE WITH THE PITTWATER DCP 21 AND PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

Zone C4 Environmental Living

1. Objectives of zone

- To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.
- To ensure that residential development does not have an adverse effect on those values.
- To provide for residential development of a low density and scale integrated with the landform and landscape.
- To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors.

2. Permitted without consent

Home businesses; Home occupations

3. Permitted with consent

Bed and breakfast accommodation; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Environmental protection works; Group homes; Health consulting rooms; Home-based child care; Home industries; Jetties; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Respite Day care centres; Roads; **Secondary dwellings**; Tank-based aquaculture; Water recreation structures

4. Prohibited

Industries; Service stations; Warehouse or distribution centres; Any other development not specified in item 2 or 3

Therefore, the development is permissible with consent.

5.1 FLOOR AREA

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014:

Part 5 clause 5.4 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

(9) Secondary dwellings on land other than land in a rural zone If development for the purposes of a secondary dwelling is permitted under this plan on land other than land in a rural zone, the total floor area of the dwelling, excluding any area used for parking, must not exceed whichever of the following is the greater:

- (a) 60 square metres,
- (b) 25% of the total floor area of the principal dwelling.

Comment:

SITE AREA = 943.8 sqm

Total floor area of the principal dwelling = 227.3 sqm

25% of total floor area of the principal dwelling = 56.8sqm

Total floor area of the secondary dwelling = 38.7 sqm

Therefore, the proposal complies with the controls. Refer to the Area Calculations Sheet.

5.2 BUILDING HEIGHT

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014:

part 4 clause 4.3 (2FA) and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

Allowable height - 5.5 metres to the highest point of the roof.

Proposed height - 4.9 metres maximum to the highest point of the roof.

The proposed building is one- storey in height with 15-degree pitched gable roof, Therefore, the proposal complies with the requirements. Refer to the Architectural drawings.

5.3 ACID SULFATE SOILS

The requirements of the Northern Beaches Council, the Pittwater Local Environmental Plan 2014, **Clause 7.1** and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

The site has been identified on the Acid Sulfate Soils Map as being with the Class 5 Acid Sulfate Soils Area. The proposal will not see any substantial disturbance of the site to accommodate the secondary dwelling and accordingly no further investigation is deemed necessary in this instance.

PITTWATER 21 DEVELOPMENT CONTROL PLAN GENERAL CONTROLS

5.4 OFF-STREET VEHICLE PARKING

B6.3 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

For a Secondary Dwelling, a minimum of 1 space is required in addition to existing requirement for the principal dwelling (based on number of bedrooms in principal dwelling).

Comment:

The proposal presently before Council has addressed the requirements for the vehicle access and parking. The existing carport can fit 2 car spaces.

Another parking space can be provided on the driveway with a minimum dimension of 3.0m x 6.0m in accordance with Pittwater 21 Development Control Plan.

Thus, there are more than 2 spaces on the allotment and therefore, the proposal complies with the requirements of the Development Control Plan.

5.5 SECONDARY DWELLINGS AND RURAL WORKER'S DWELLINGS:

C1:11 The requirements of Northern Beaches Council, Pittwater Development Control Plan 2014, compliance with the Development Control Plan are as follows.

Controls:

The development of a secondary dwelling or rural worker's dwelling will result in not more than two dwellings being erected on an allotment of land.

Comment/ there are only two dwellings on the land. (Refer to the site plan)

A secondary dwelling or rural worker's dwelling contains not more than two bedrooms and not more than one bathroom.

Comment/ there is only one bedroom and one bathroom for the proposed secondary dwelling. (Refer to the architectural drawings)

A landscaping strip of 1.5m minimum width shall be provided along the side boundary where any driveway is located adjacent to an existing dwelling.

Comment/ N/A

Where the secondary dwelling or rural worker's dwelling is separate from the principal dwelling, only one storey will be allowed.

Comment/ the secondary dwelling is a single storey structure.

Where the secondary dwelling or rural worker's dwelling is located within, or is attached to the principal dwelling, the maximum building is to be in accordance with the height controls contained within Pittwater Local Environmental Plan 2014.

Comment/ the development complies with the height limit as per PLEP (refer to section 5.2)

A secondary dwelling above a detached garage is not supported.

Comment/ N/A

Therefore, the proposal complies with the requirements of the Development Control Plan

PITTWATER 21 DEVELOPMENT CONTROL PLAN, ELANORA HEIGHTS LOCALITY

5.6 BUILDING COLOURS AND MATERIALS

D5.3 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

- Achieve the desired future character of the Locality.
- The development enhances the visual quality and identity of the streetscape.
- To provide attractive building facades which establish identity and contribute to the streetscape.
- To ensure building colours and materials compliments and enhances the visual character and its location with the natural landscapes of Pittwater.
- The colours and materials of the development harmonise with the natural environment.
- The visual prominence of the development is minimised.
- Damage to existing native vegetation and habitat is minimised.
- The use of materials with low embodied energy is encouraged.
- New buildings are robust and durable with low maintenance requirements.

Controls

External colours and materials shall be dark and earthy tones as shown below:



Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Finishes Schedule.

5.7 BUILDING SETBACKS

D5.5 AND D5.6 The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows.

Required setbacks

Front	-	6.5 metres or established building line.
Primary Side	-	1 metres
Secondary Side	-	2.5 metres
Rear	-	6.5 metres

Proposed setbacks

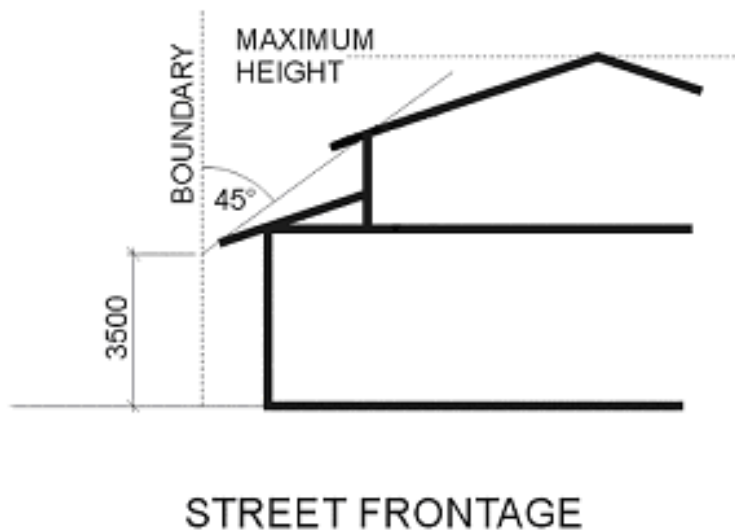
Front	-	32 metres
Primary Side	-	1 metres
Secondary Side	-	10.2 metres
Rear	-	8.2m to the deck and 9.6m to the wall of the structure.

Therefore, the proposal complies with the requirements of the Development Control Plan.

5.8 BUILDING ENVELOPE

D5.7: The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows:

Buildings are to be sited within the following envelope:



Comment:

The proposed building is one- storey in height with a 15-degree pitched gable roof. The proposal is located well below the height of the trees in the natural environment, minimises bulk and scale through a well-articulated built form and provides generous amounts of landscaping throughout to visually reduce the built form when viewed from the public and private domain.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the architectural drawings.

5.9 LANDSCAPED AREA

D5.9: The requirements of Northern Beaches Council, Pittwater Development Control Plan compliance with the Development Control Plan are as follows:

SITE AREA = 943.8 sqm

LANDSCAPED AREA

Required Landscaping = 60 % of Site Area = 566.28 sqm

Proposed Landscaped area = 632.2 sqm

Proposed Landscaped area as % of Site Area = 67%.

There are no requirements for any trees to be removed as they are not located within the footprint of the proposed secondary dwelling. The tree that is close to the structure is a Jacaranda tree or exempt species, and as a result it may be removed without Council approval if required.

Therefore, we believe the landscape component of the proposal is supported subject to the protection of existing trees and vegetation. Thus, the proposal complies with the requirements of the Development Control Plan.

6.0 OTHER REQUIREMENTS

The proposal presently before Council has also addressed other requirements such as energy efficiency and sustainability, site/waste management, soil, water and waste management, site analysis and context, streetscape, materials and finishes, erosion and sediment control, drainage, landscaping and the like in detail in this development application.

As a result, the proposal complies with the Development Control Plan requirements for all of these items.

7.0 CONCLUSION

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters mentioned above and deliberate on the proposal in such a manner that will assist the proprietors to achieve their ultimate goals for their family residence and property in general.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the proprietors for your efforts.

Should you require any further information, please do not hesitate to contact our office.

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