

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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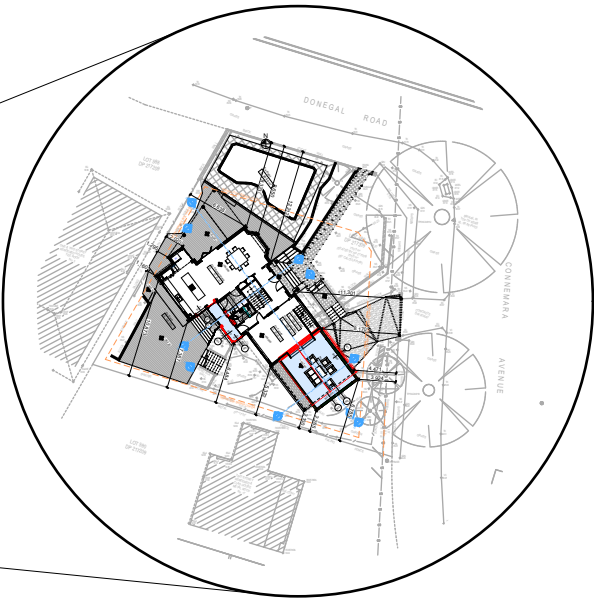
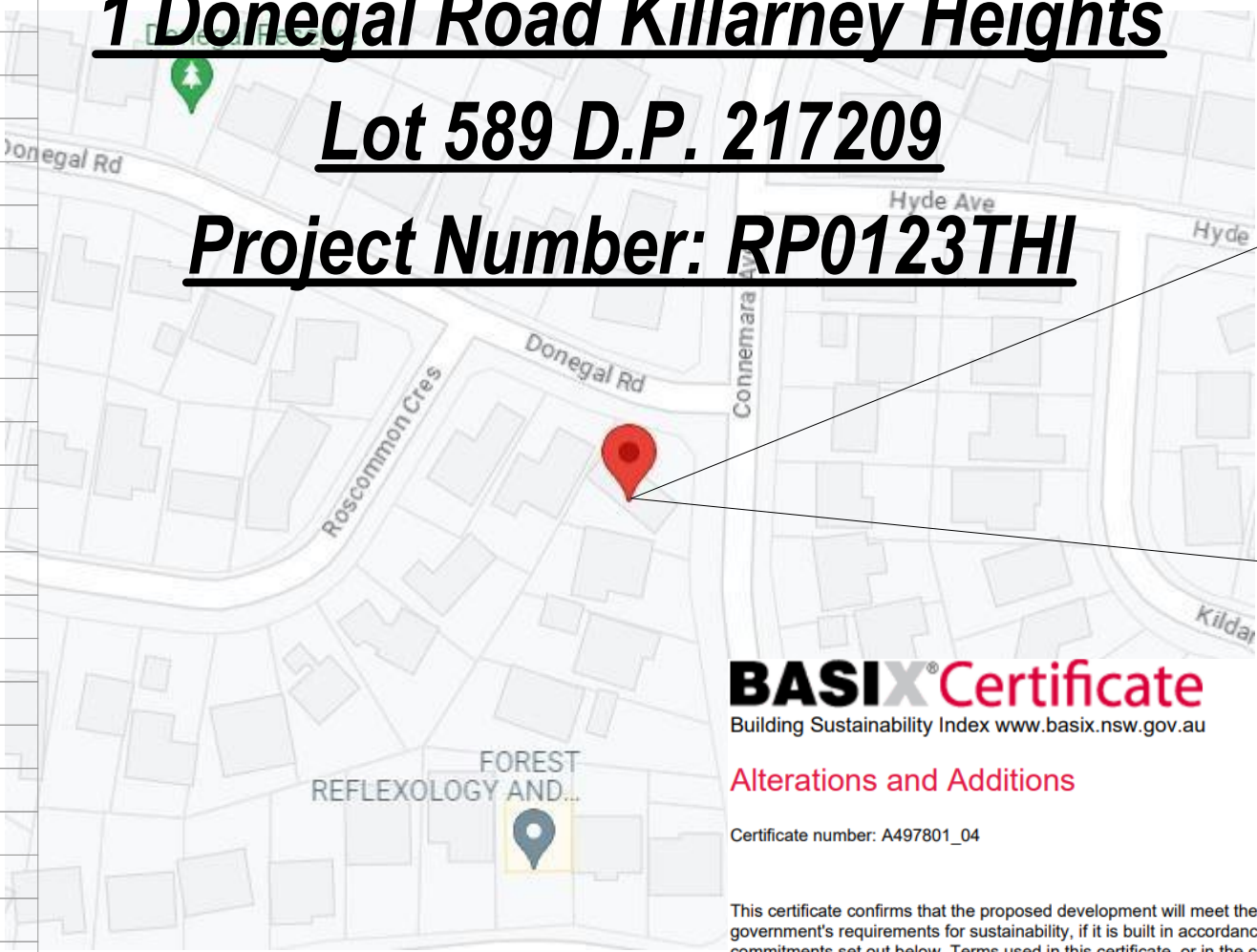
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

**S4.55 Modifcation To DA2024/0689**  
**Alterations & Additions To Existing Residence**  
**For Nick and Irene Thill**

**1 Donegal Road Killarney Heights**  
**Lot 589 D.P. 217209**  
**Project Number: RP0123THI**



| DRAWING No. | DESCRIPTION                        | REV | ISSUED DATE |
|-------------|------------------------------------|-----|-------------|
| DAMod1000   | Cover Sheet                        | -   | - 29-1-2025 |
| DAMod1001   | A4 NOTIFICATION PLAN               | -   | - 29-1-2025 |
| DAMod1002   | SITE SURVEY                        | -   | - 29-1-2025 |
| DAMod1003   | SITE PLAN                          | -   | - 29-1-2025 |
| DAMod1004   | Existing Lower Ground Floor Plan   | -   | - 29-1-2025 |
| DAMod1005   | Existing Ground Floor Plan         | -   | - 29-1-2025 |
| DAMod1006   | Existing First Floor Plan          | -   | - 29-1-2025 |
| DAMod1007   | Demolition Lower Ground Floor Plan | -   | - 29-1-2025 |
| DAMod1008   | Demolition Ground Floor Plan       | -   | - 29-1-2025 |
| DAMod1009   | Demolition First Floor Plan        | -   | - 29-1-2025 |
| DAMod1010   | Landscape Open Space Plan Existing | -   | - 29-1-2025 |
| DAMod1011   | Landscape Open Space Plan Proposed | -   | - 29-1-2025 |
| DAMod1012   | Landscape Plan                     | -   | - 29-1-2025 |
| DAMod1013   | Sediment & Erosion Plan            | -   | - 29-1-2025 |
| DAMod1014   | Waste Management Plan              | -   | - 29-1-2025 |
| DAMod1015   | Stormwater Plan                    | -   | - 29-1-2025 |
| DAMod2001   | LOWER GROUND FLOOR                 | -   | - 29-1-2025 |
| DAMod2002   | GROUND FLOOR                       | -   | - 29-1-2025 |
| DAMod2003   | FIRST FLOOR                        | -   | - 29-1-2025 |
| DAMod2004   | ROOF                               | -   | - 29-1-2025 |
| DAMod3000   | SECTION 1                          | -   | - 29-1-2025 |
| DAMod3001   | SECTION 2                          | -   | - 29-1-2025 |
| DAMod3002   | SECTION 3                          | -   | - 29-1-2025 |
| DAMod4000   | ELEVATIONS 1                       | -   | - 29-1-2025 |
| DAMod4001   | ELEVATIONS 2                       | -   | - 29-1-2025 |
| DAMod4002   | ELEVATIONS 3                       | -   | - 29-1-2025 |
| DAMod4003   | ELEVATIONS 4                       | -   | - 29-1-2025 |
| DAMod5000   | PERSPECTIVE                        | -   | - 29-1-2025 |
| DAMod5001   | MATERIAL & COLOUR SAMPLE BOARD     | -   | - 29-1-2025 |
| DAMod6000   | SHADOW PLAN 21st June 9am          | -   | - 29-1-2025 |
| DAMod6001   | SHADOW PLAN 21st June 12pm         | -   | - 29-1-2025 |
| DAMod6002   | SHADOW PLAN 21st June 3pm          | -   | - 29-1-2025 |
| DAMod6003   | WALL ELEVATION SHADOWS             | -   | - 29-1-2025 |

**BASIX<sup>®</sup> Certificate**

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

**Alterations and Additions**

Certificate number: A497801\_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number A497801\_03 lodged with the consent authority or certifier on 31 May 2024 with application PAN-438986.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary  
Date of issue: Wednesday, 29 January 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project address                                                               |                                                                                                                      |
|-------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|
| Project name                                                                  | Thill_04                                                                                                             |
| Street address                                                                | 1 DONEGAL ROAD - KILLARNEY HEIGHTS 2087                                                                              |
| Local Government Area                                                         | Northern Beaches Council                                                                                             |
| Plan type and number                                                          | Deposited Plan 217209                                                                                                |
| Lot number                                                                    | 589                                                                                                                  |
| Section number                                                                | -                                                                                                                    |
| Project type                                                                  |                                                                                                                      |
| Dwelling type                                                                 | Dwelling house (detached)                                                                                            |
| Type of alteration and addition                                               | The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa). |
| N/A                                                                           | N/A                                                                                                                  |
| Certificate Prepared by (please complete before submitting to Council or PCA) |                                                                                                                      |
| Name / Company Name: RAPID PLANS PTY LTD                                      |                                                                                                                      |
| ABN (if applicable): 43150064592                                              |                                                                                                                      |



LEGEND:

|        |                         |
|--------|-------------------------|
| AHD    | AUSTRALIAN HEIGHT DATUM |
| AWN    | AWNING                  |
| BB     | BOTTOM OF BANK          |
| BM     | BENCH MARK              |
| CONC   | CONCRETE                |
| CS     | CONCRETE SURFACE        |
| D/H/S  | DIAMETER/HEIGHT/SPREAD  |
| D      | DOOR                    |
| EC     | EDGE OF CONCRETE        |
| EG     | EAVE & GUTTER           |
| EP     | ELECTRICAL BOX          |
| EXR    | EXPOSED ROCK            |
| FL     | FLOOR LEVEL             |
| GDN    | GARDEN                  |
| HYD    | HYDRANT                 |
| IC     | INSPECTION COVER        |
| INV    | INVERT LEVEL            |
| KO     | KERB OUTLET             |
| LH     | LAMP HOLE               |
| LIP    | LIP OF KERB             |
| NS     | NATURAL SURFACE         |
| PAV    | PAVERS                  |
| PP     | POWER POLE              |
| PR     | PLANTER                 |
| RL     | REDUCED LEVEL           |
| S      | STEPS                   |
| S-B    | SHED TO BOUNDARY        |
| SL     | SURFACE LEVEL           |
| SILL   | WINDOW SILL             |
| SIP    | SEWER INSPECTION POINT  |
| SMH    | SEWER MAN HOLE          |
| SV     | STOP VALE               |
| TEL    | TELSTRA PIT             |
| TK     | TOP OF KERB             |
| TOW/TW | TOP OF WALL             |
| TRW    | TOP OF RETAINING WALL   |
| VC     | VEHICLE CROSSING        |
| W-B    | WALL TO BOUNDARY        |
| WM     | WATER METER             |
| WTOP   | TOP OF WINDOW           |

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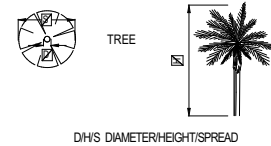


**C&A SURVEYORS**

30 Grose Street, Parramatta, NSW 2150  
Ph: 96309299 email: Operations@candasurveyors.com.au  
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION  
SURVEY OF  
LOT 589 IN DP 217209, LOCATED AT  
No. 1, DONEGAL ROAD, KILLARNEY HEIGHTS.

|             |                                                                                |
|-------------|--------------------------------------------------------------------------------|
| — S — S —   | APPROXIMATE LOCATION OF BURIED SEWER MAIN<br>BY SYDNEY WATER DBYD RECORDS      |
| — W — W —   | APPROXIMATE LOCATION OF BURIED WATER MAIN<br>(WM) BY SYDNEY WATER DBYD RECORDS |
| — E — E —   | ELECTRIC LINE                                                                  |
| TELSTRA PIT | STOP VALVE                                                                     |
| WATER METER | HYDRANT                                                                        |
|             | POWER POLE                                                                     |



|                                 |                         |                 |                         |            |  |
|---------------------------------|-------------------------|-----------------|-------------------------|------------|--|
| INSTRUCTING PARTY: CARLY TRACEY |                         | SURVEYED BY: HS |                         | DATUM: AHD |  |
| LGA: NORTHERN BEACHES           | AREA BY DP: 733.5 m²    | DRAWN BY: VI    | CHECKED BY: JD          |            |  |
| SURVEY DATE: 20/12/2022         | AREA BY CALC: 735.5 m²  | SCALE: 1:100@A1 | REF.NO: 23972-22 DET ID |            |  |
| DATE DRAWN: 22/12/2022          | CONTOUR INTERVAL: 0.2 m | REV No: V1      | SHEET: 1 OF 1           |            |  |

1

SURVEY PLAN  
1:200



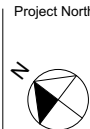
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PO Box 6193 Frenchs Forest  
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Ph: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
29/01/2025  
RP0123THI  
DA Mod

Client  
Site:  
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION  
SITE SURVEY

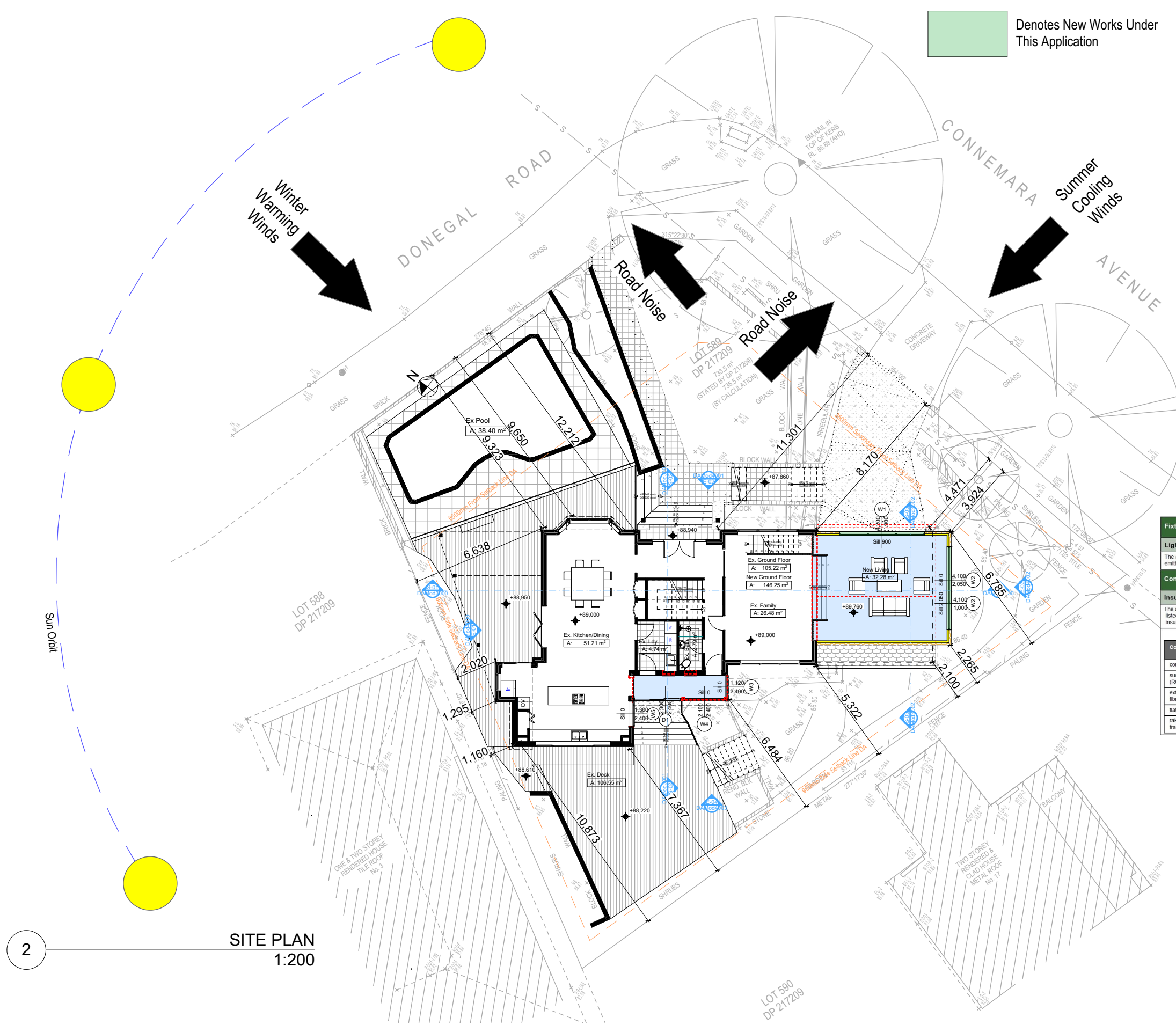
PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:  
29-1-2025  
DRAWING NO.  
DAMod1002





Denotes New Works Under This Application

Denotes New Works Approved under DA2024/0689

- Legend**
- Denotes New Timber Framed Item
  - Denotes Existing Wall
  - Denotes Demolished Item



Rapid Plans  
Building Design and Architectural Drafting

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

  
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BUILDING DESIGNER

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**NOTES**

1. Donegal Road Killarney Heights is zoned R2 Low Density Residential. 1. Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate.

**Construction**

Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic Certificate Number A497801\_04**

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Fixtures and systems                                                                                                                                                                                                                                                                                                                                                                     |                                          |                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|--------------------------------|
| Lighting                                                                                                                                                                                                                                                                                                                                                                                 |                                          |                                |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.                                                                                                                                                                                                                       |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             |                                          |                                |
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                          |                                |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value) | Other specifications           |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                      | N/A                            |
| suspended floor above garage: framed (R0.7).                                                                                                                                                                                                                                                                                                                                             | nil                                      | N/A                            |
| external wall: framed (weatherboard, fibre, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)  |                                |
| flat ceiling, pitched roof                                                                                                                                                                                                                                                                                                                                                               | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |
| raked ceiling, pitched/skillion roof: framed                                                                                                                                                                                                                                                                                                                                             | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RP0123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE:  
SITE AND LOCATION  
**SITE PLAN**

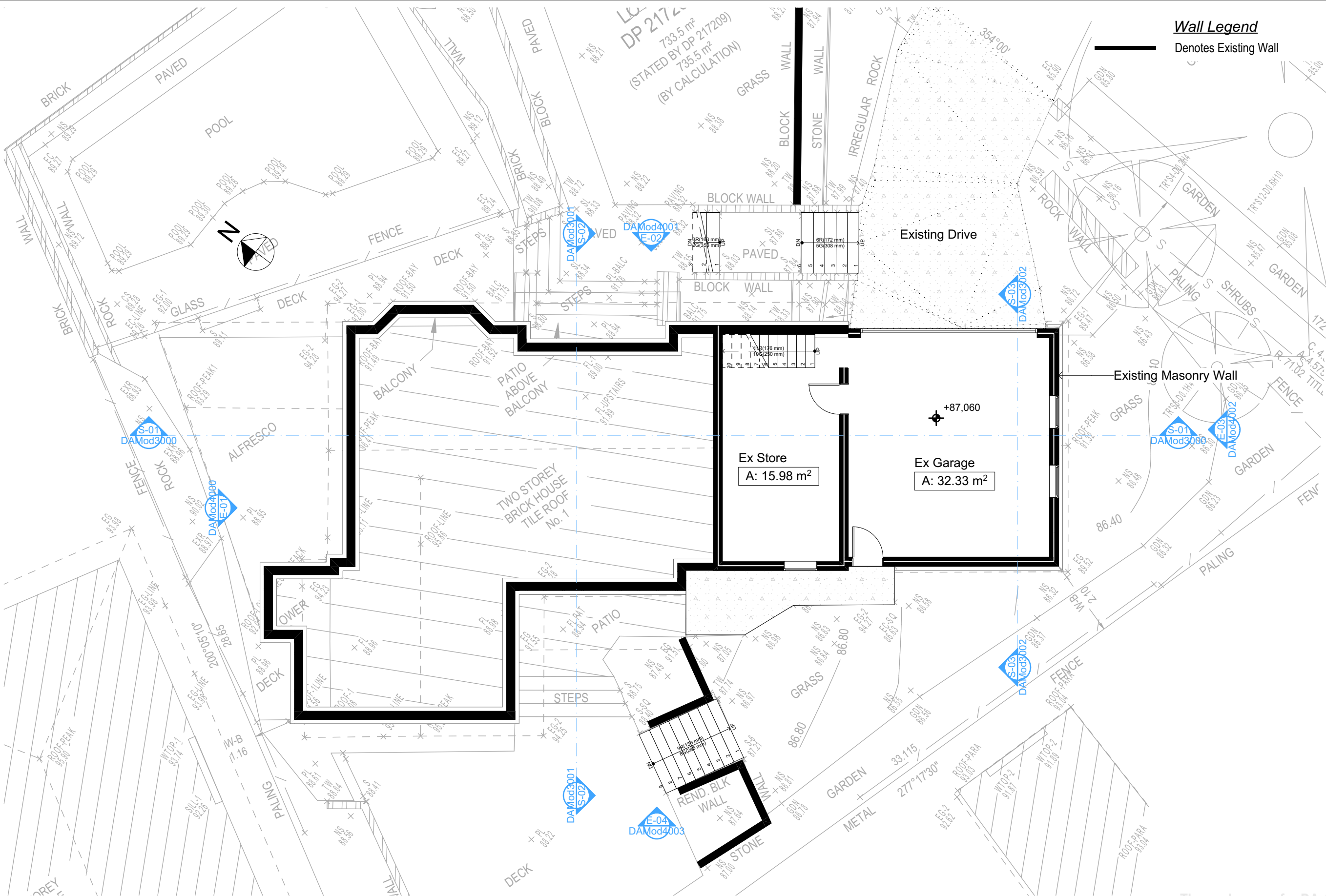
PROJECT NAME:  
**Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025  
DRAWING NO.  
**DAMod1003**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

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Wall Legend  
Denotes Existing Wall



World Plans  
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**NOTES**  
1. Donagall Road Killarney Heights is zoned R2 Low Density Residential.  
2. Donagall Road Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in Shaded Blue.  
**Construction**  
Framed Floors, Framed Walls  
Roof Framing to have R2.5 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For properties described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 50 mm above the base of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@45Deg            | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donagall Road Killarney Heights

DRAWING TITLE: SITE AND LOCATION  
**Existing Lower Ground Floor Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025  
DRAWING NO. **DAMod1004**

Plot Date: 29/01/2025  
Sheet Size: A3

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**NOT FOR CONSTRUCTION**

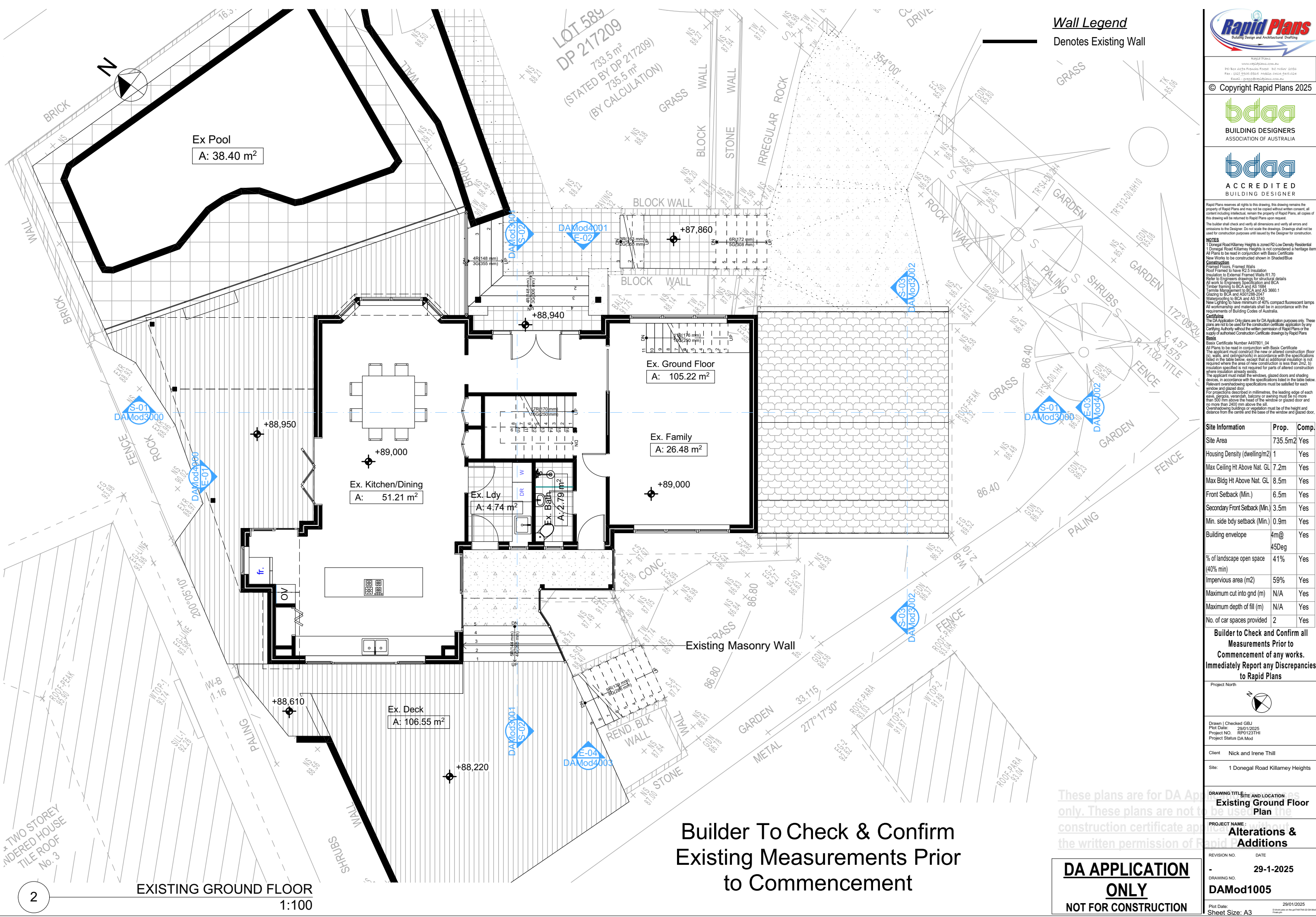
Builder To Check & Confirm Existing Measurements Prior to Commencement

EXISTING LOWER GROUND  
1:100

1

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Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

**bdca**  
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BUILDING DESIGNER

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**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential. 1 Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate.

**Construction**

Framed Floors, Framed Walls  
Roof Framing to have R2.5 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

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**Basic**

Basic Certificate Number A457801\_04  
All Plans to be read in conjunction with Basic Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.    | Comp. |
|-------------------------------------|----------|-------|
| Site Area                           | 735.5m2  | Yes   |
| Housing Density (dwelling/m2)       | 1        | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m     | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m     | Yes   |
| Front Setback (Min.)                | 6.5m     | Yes   |
| Secondary Front Setback (Min.)      | 3.5m     | Yes   |
| Min. side bdy setback (Min.)        | 0.9m     | Yes   |
| Building envelope                   | 4m@45Deg | Yes   |
| % of landscape open space (40% min) | 41%      | Yes   |
| Impervious area (m2)                | 59%      | Yes   |
| Maximum cut into gnd (m)            | N/A      | Yes   |
| Maximum depth of fill (m)           | N/A      | Yes   |
| No. of car spaces provided          | 2        | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

**DRAWING TITLE**  
SITE AND LOCATION  
**Existing Ground Floor Plan**

**PROJECT NAME:**  
**Alterations & Additions**

| REVISION NO. | DATE      |
|--------------|-----------|
| -            | 29-1-2025 |

DRAWING NO.  
**DAMod1005**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Wall Legend

Denotes Existing Wall



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NOTES  
1. Donagall Road Killarney Heights is zoned R2 Low Density Residential.  
2. Donagall Road Killarney Heights is not considered a heritage item.  
3. All Plans to be read in conjunction with Basic Certificate.  
4. New Works to be constructed shown in Shaded Blue.  
5. Construction:  
Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers Specifications and BCA  
All work to Engineers Specifications and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3745  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 50 mm above the base of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

| Prop.                                      | Comp.                   |
|--------------------------------------------|-------------------------|
| Site Area                                  | 735.5m <sup>2</sup> Yes |
| Housing Density (dwelling/m <sup>2</sup> ) | 1 Yes                   |
| Max Ceiling Ht Above Nat. GL               | 7.2m Yes                |
| Max Bldg Ht Above Nat. GL                  | 8.5m Yes                |
| Front Setback (Min.)                       | 6.5m Yes                |
| Secondary Front Setback (Min.)             | 3.5m Yes                |
| Min. side bdy setback (Min.)               | 0.9m Yes                |
| Building envelope                          | 4m@ 45Deg Yes           |
| % of landscape open space (40% min)        | 41% Yes                 |
| Impervious area (m <sup>2</sup> )          | 59% Yes                 |
| Maximum cut into gnd (m)                   | N/A Yes                 |
| Maximum depth of fill (m)                  | N/A Yes                 |
| No. of car spaces provided                 | 2 Yes                   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill  
Site: 1 Donagall Road Killarney Heights

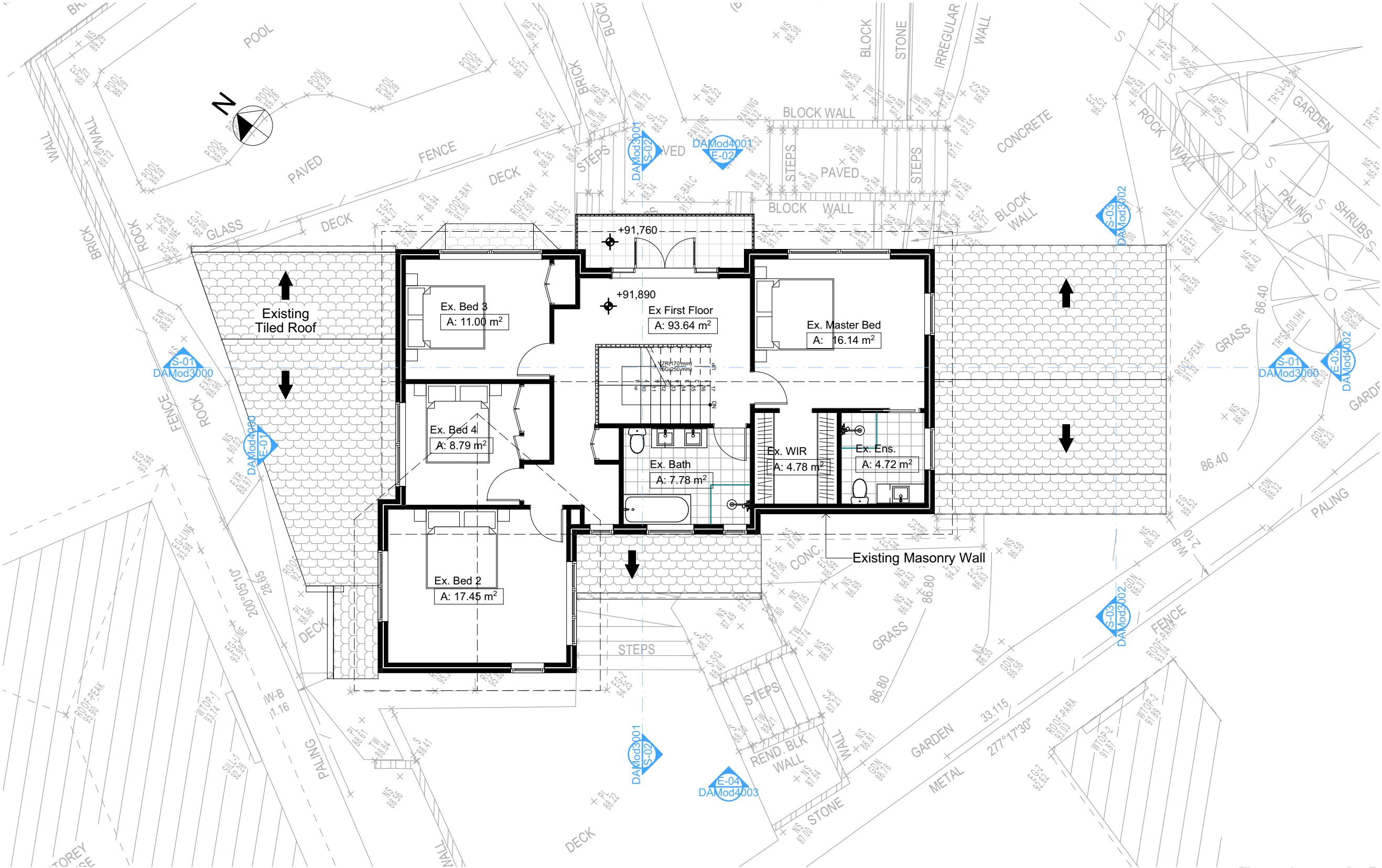
DRAWING TITLE:  
SITE AND LOCATION  
Existing First Floor Plan

PROJECT NAME:  
Alterations & Additions

REVISION NO. DATE  
- 29-1-2025

DRAWING NO.  
DAMod1006

Plot Date: 29/01/2025  
Sheet Size: A3



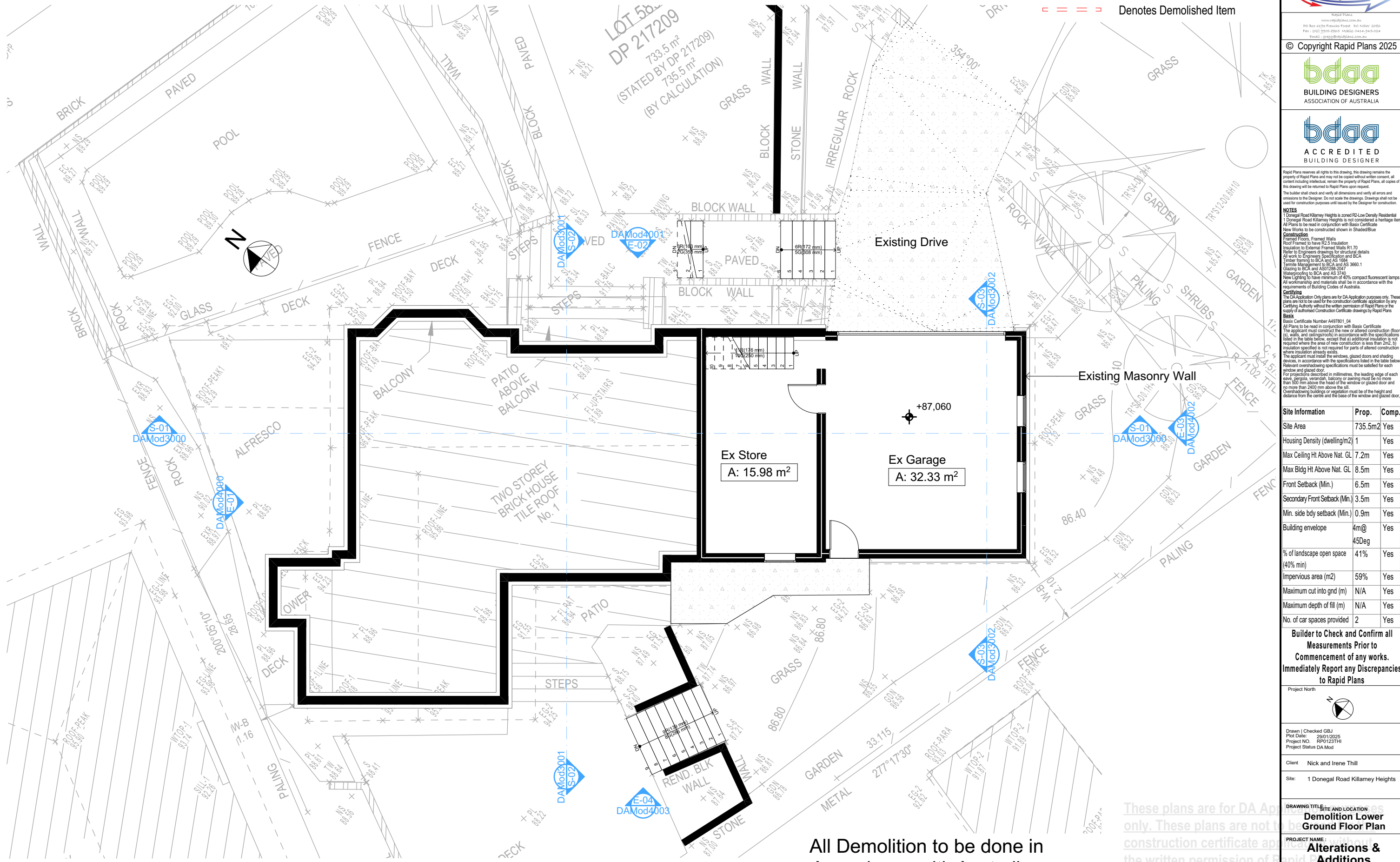
3 EXISTING FIRST FLOOR  
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans.





### Wall Legend

- Denotes Existing Wall  
= = = = Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
1 Donagall Road Killarney Heights is zoned R2 Low Density Residential. Donagall Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction Framed Walls and Roof Framing to have R2 Low Density Residential insulation to External Framed Walls R1.70. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1884. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS1288-2017. Waterproofing to BCA and AS 3747. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@45Deg            | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD1007  
Project Status DA Mod

Client Nick and Irene Thill

Site: 1 Donagall Road Killarney Heights

**DRAWING TITLE**  
SITE AND LOCATION  
**Demolition Lower Ground Floor Plan**

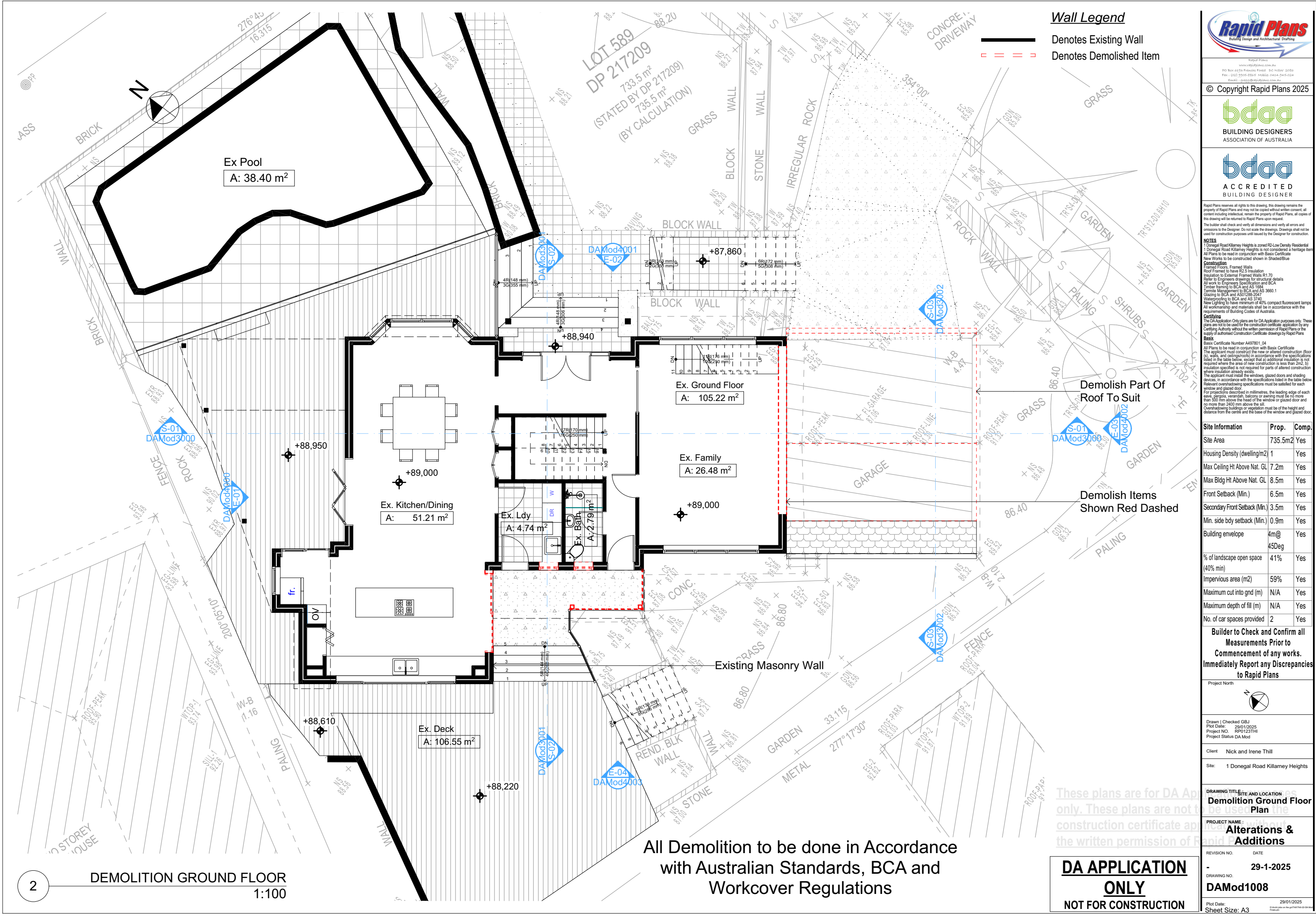
**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025  
DRAWING NO.  
**DAMod1007**

Plot Date: 29/01/2025  
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential 1 Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.

Framed Floors, Framed Walls  
Roof Framing to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS0128-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 50 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.    | Comp. |
|-------------------------------------|----------|-------|
| Site Area                           | 735.5m2  | Yes   |
| Housing Density (dwelling/m2)       | 1        | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m     | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m     | Yes   |
| Front Setback (Min.)                | 6.5m     | Yes   |
| Secondary Front Setback (Min.)      | 3.5m     | Yes   |
| Min. side bdy setback (Min.)        | 0.9m     | Yes   |
| Building envelope                   | 4m@45Deg | Yes   |
| % of landscape open space (40% min) | 41%      | Yes   |
| Impervious area (m2)                | 59%      | Yes   |
| Maximum cut into gnd (m)            | N/A      | Yes   |
| Maximum depth of fill (m)           | N/A      | Yes   |
| No. of car spaces provided          | 2        | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

**DRAWING TITLE**  
SITE AND LOCATION  
**Demolition Ground Floor Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE

- 29-1-2025

DRAWING NO.  
**DAMod1008**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item



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**NOTES**  
1. Donagall Road Killarney Heights is zoned R2 Low Density Residential.  
2. Donagall Road Killarney Heights is not considered a heritage item.  
3. All Plans to be read in conjunction with Basic Certificate.  
4. New Works to be constructed shown in Shaded Blue.  
5. Construction:  
Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.  
**Setbacks**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@45Deg            | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donagall Road Killarney Heights

DRAWING TITLE: SITE AND LOCATION  
**Demolition First Floor Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025

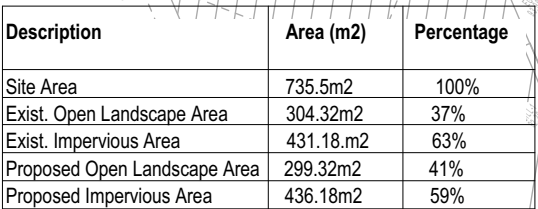
DRAWING NO. **DAMod1009**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

3 DEMOLITION FIRST FLOOR 1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



Note:  
Total Open Landscape Area for the property will be maintained

LANDSCAPE OPEN SPACE EXISTING  
1:200

Denotes Impervious Area

Denotes Pervious Area



Rapid Plans  
www.rapidplans.com.au  
PO Box 6293 Frenchs Forest DC NSW 2086  
Fax : (02) 9905-8865 Mobile: 0424-345-024

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
Dongesal Road Killarney Heights is zoned R2-Low Density Residential  
Dongesal Road Killarney Heights is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
rained Floors, Framed Walls  
roof Framed to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
to be faster to install than for structural details  
all work to Engineers Specification and BCA  
timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Cladding to BCA and AS1288-2047  
Ventilating to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the  
requirements of Building Codes of Australia.

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| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Second Front Setback (Min.)                | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@<br>45Deg        | Yes   |
| % of landscape open space<br>(40% min)     | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO. RP0123TH  
Project Status DA Mod

Client Nick and Iren

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: **Landscape Open Space  
Plan Existing**

## Alterations & Additions

REVISION NO.                      DATE

- 29-1-2025

# DAMod1010

Plot Date: 29/01/2025  
 Sheet Size: A3  
 D:\Arch\jobs on the go\TNS\TNS-22-CA M  
 Final.pln

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**







| Landscape Legend       |                           |
|------------------------|---------------------------|
| Ground Covers Schedule |                           |
| Symbol                 | Common Name               |
|                        | Existing Concrete         |
|                        | Existing Timber Deck      |
|                        | Existing Paving/Tiling    |
|                        | Existing Pool             |
|                        | Existing Tree To Remain   |
|                        | Existing Grass To Remain  |
|                        | Existing Garden To Remain |

LANDSCAPE PLAN  
1:200

**Rapid Plans**  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Fitzroy Vic 3065  
Ph: (03) 9350-8845 Mob: 0414-945-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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ASSOCIATION OF AUSTRALIA

**bdaa**  
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**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
1 Donegal Road Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: SITE AND LOCATION  
**Landscape Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

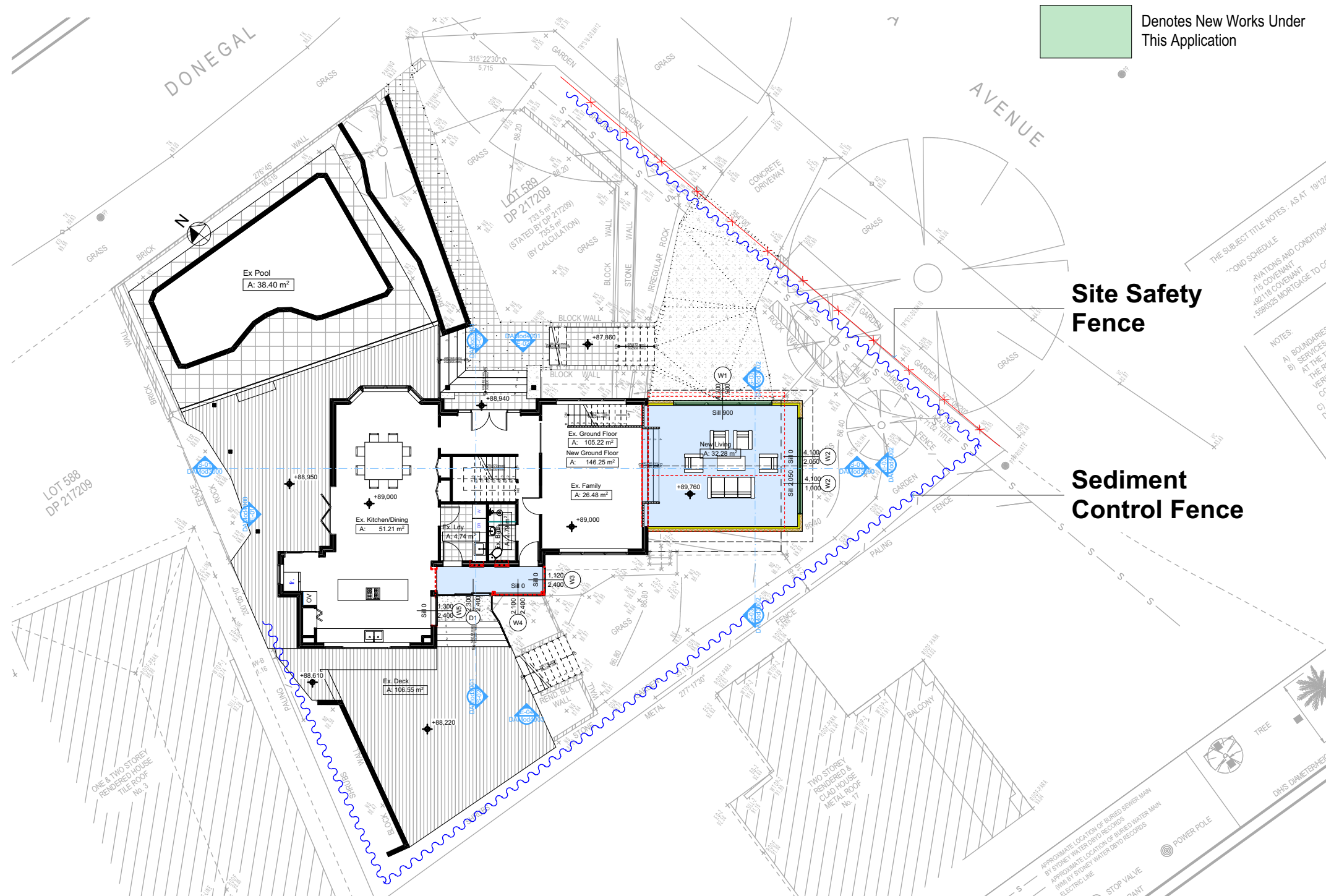
- 29-1-2025

DRAWING NO. **DAMod1012**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**





Denotes New Works Under This Application

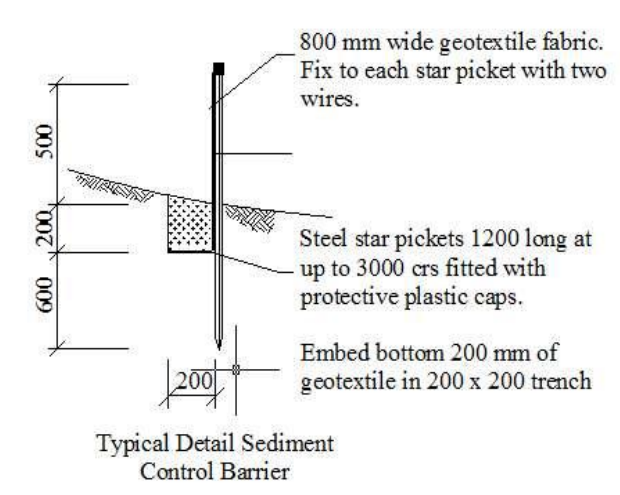
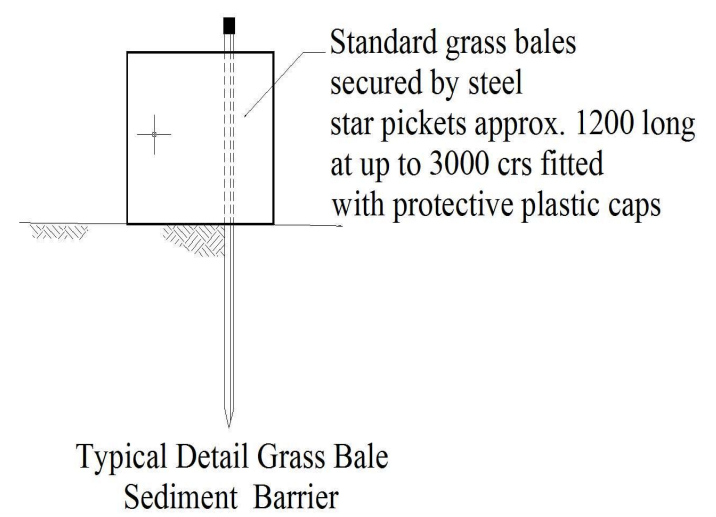
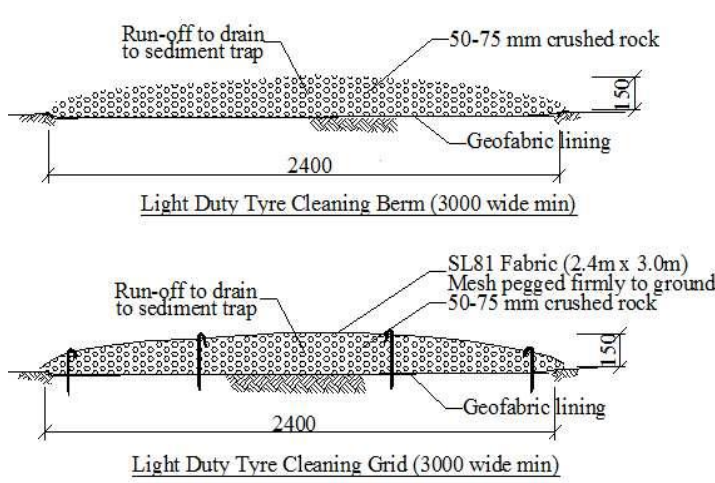
Denotes New Works Approved under DA2024/0689

- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Masonry Wall
  - Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

**Site Safety Fence**

**Sediment Control Fence**

**2 SEDIMENT & EROSION CONTROL PLAN 1:200**



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

1. Donegal Road Killarney Heights is zoned R2 Low Density Residential. 1. Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue.

**Construction**

Framed Floors, Framed Walls

Roof Frames to have R2.5 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers Specification for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A457801\_04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@45Deg            | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: **Sediment & Erosion Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 29-1-2025

DRAWING NO. **DAMod1013**

Plot Date: 29/01/2025  
Sheet Size: A3

Denotes New Works Under This Application

Denotes New Works Approved under DA2024/0689

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



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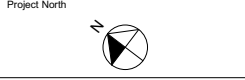
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**NOTES**  
1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
1 Donegal Road Killarney Heights is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue  
Construction  
Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Site Information**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@45Deg            | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE:  
SITE AND LOCATION  
Waste Management Plan

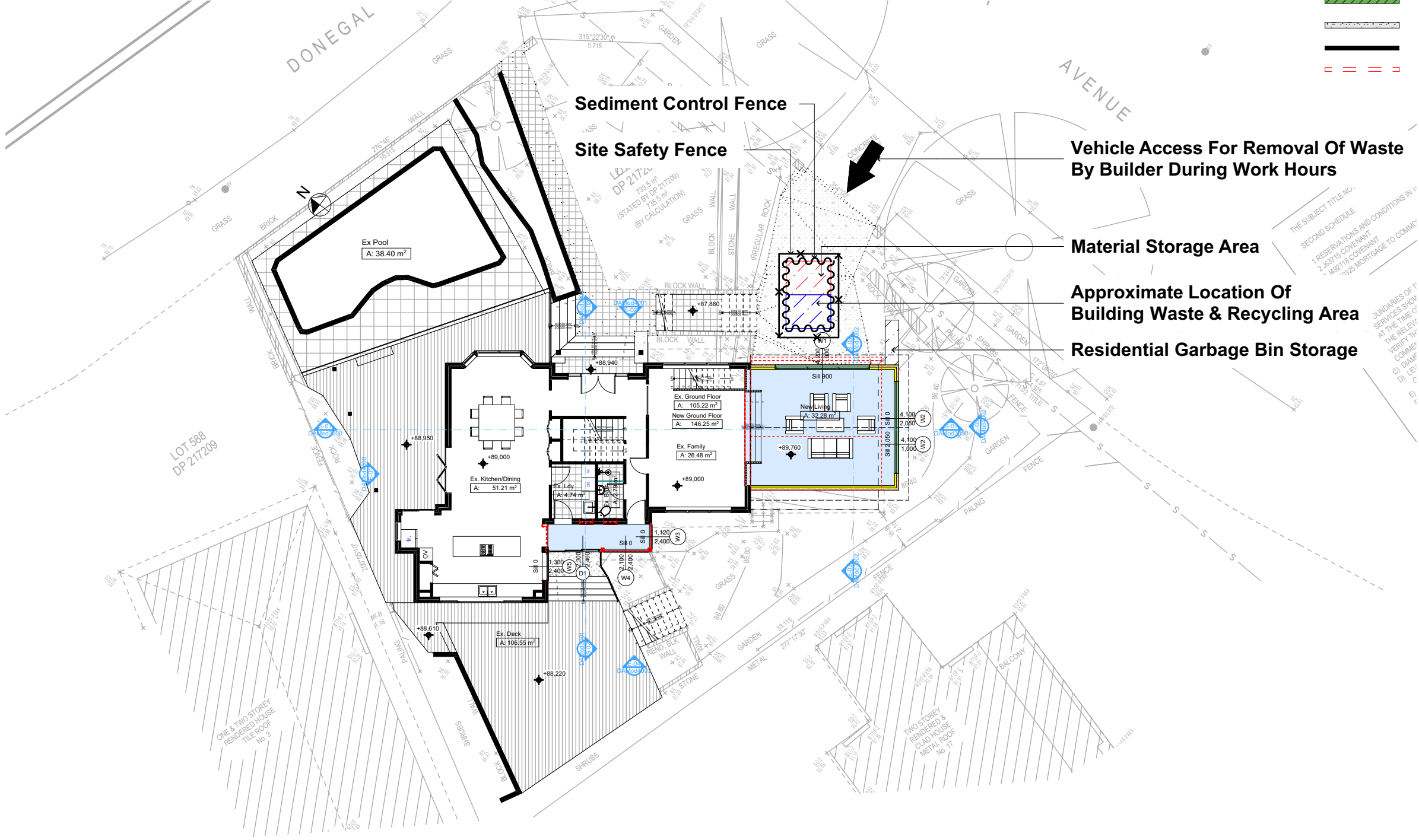
PROJECT NAME:  
Alterations & Additions

REVISION NO. DATE  
- 29-1-2025  
DRAWING NO.  
DAMod1014

Plot Date: 29/01/2025  
Sheet Size: A3

DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

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WASTE MANAGEMENT PLAN  
1:200





| Construction                                                                                                                                                                                                                                                                                                                                                                             |                                          |                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|--------------------------------|
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                          |                                |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value) | Other specifications           |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                      | N/A                            |
| suspended floor above garage: framed (R0.7).                                                                                                                                                                                                                                                                                                                                             | nil                                      | N/A                            |
| external wall: framed (weatherboard, fibre, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)  |                                |
| flat ceiling, pitched roof                                                                                                                                                                                                                                                                                                                                                               | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |
| raked ceiling, pitched/skillion roof: framed                                                                                                                                                                                                                                                                                                                                             | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |

| Fixtures and systems                                                                                                                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Lighting                                                                                                                                                           |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |

Denotes New Works Under This Application

Denotes New Works Approved under DA2024/0689

**Legend**

Denotes New Timber Framed Item

Denotes Existing Wall

Denotes Demolished Item



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Email: info@rapidplans.com.au

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**bdaa**  
ACCREDITED  
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**

1 Donagel Road Killarney Heights is zoned R2-Low Density Residential. Donagel Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate.

**Construction**

Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660, 1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.    | Comp. |
|-------------------------------------|----------|-------|
| Site Area                           | 735.5m2  | Yes   |
| Housing Density (dwelling/m2)       | 1        | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m     | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m     | Yes   |
| Front Setback (Min.)                | 6.5m     | Yes   |
| Secondary Front Setback (Min.)      | 3.5m     | Yes   |
| Min. side bdy setback (Min.)        | 0.9m     | Yes   |
| Building envelope                   | 4m@45Deg | Yes   |
| % of landscape open space (40% min) | 41%      | Yes   |
| Impervious area (m2)                | 59%      | Yes   |
| Maximum cut into gnd (m)            | N/A      | Yes   |
| Maximum depth of fill (m)           | N/A      | Yes   |
| No. of car spaces provided          | 2        | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD1231H  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donagel Road Killarney Heights

DRAWING TITLE: PLANS  
**LOWER GROUND**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 29-1-2025

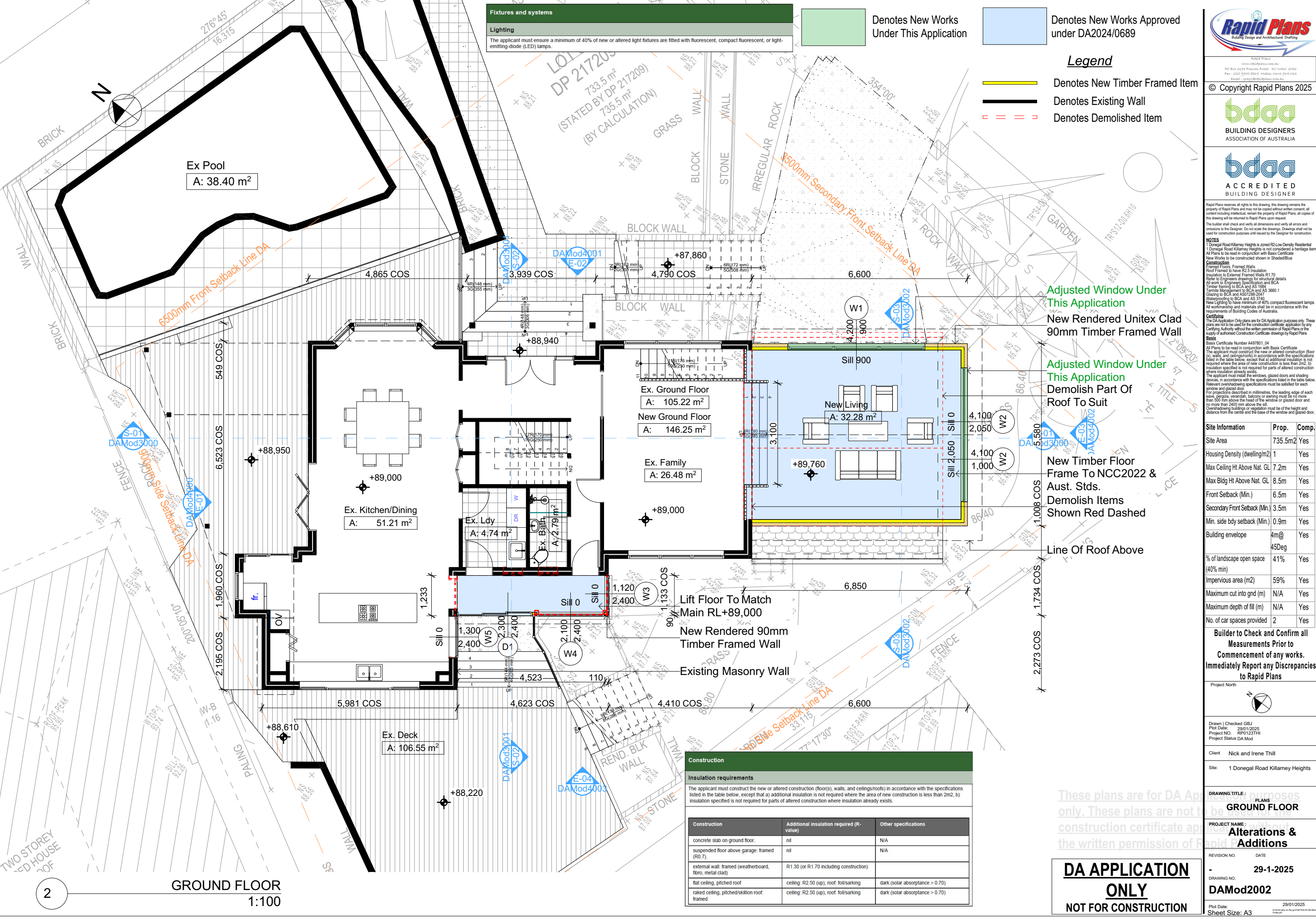
DRAWING NO. **DAMod2001**

Plot Date: 29/01/2025  
Sheet Size: A3

1 LOWER GROUND 1:100

**DA APPLICATION ONLY**  
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential. 1 Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate.

**Construction**

Framed Floors, Framed Walls

Roof Framing to have R2.5 insulation

Insulation to External Framed Walls R1.70

Refer to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660, 1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic Certificate Number A497801\_04**

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 50 mm above the base of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m @ 45Deg          | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

**DRAWING TITLE:** PLANS PROPOSES  
**GROUND FLOOR**

**PROJECT NAME:** Alterations & Additions

REVISION NO. DATE

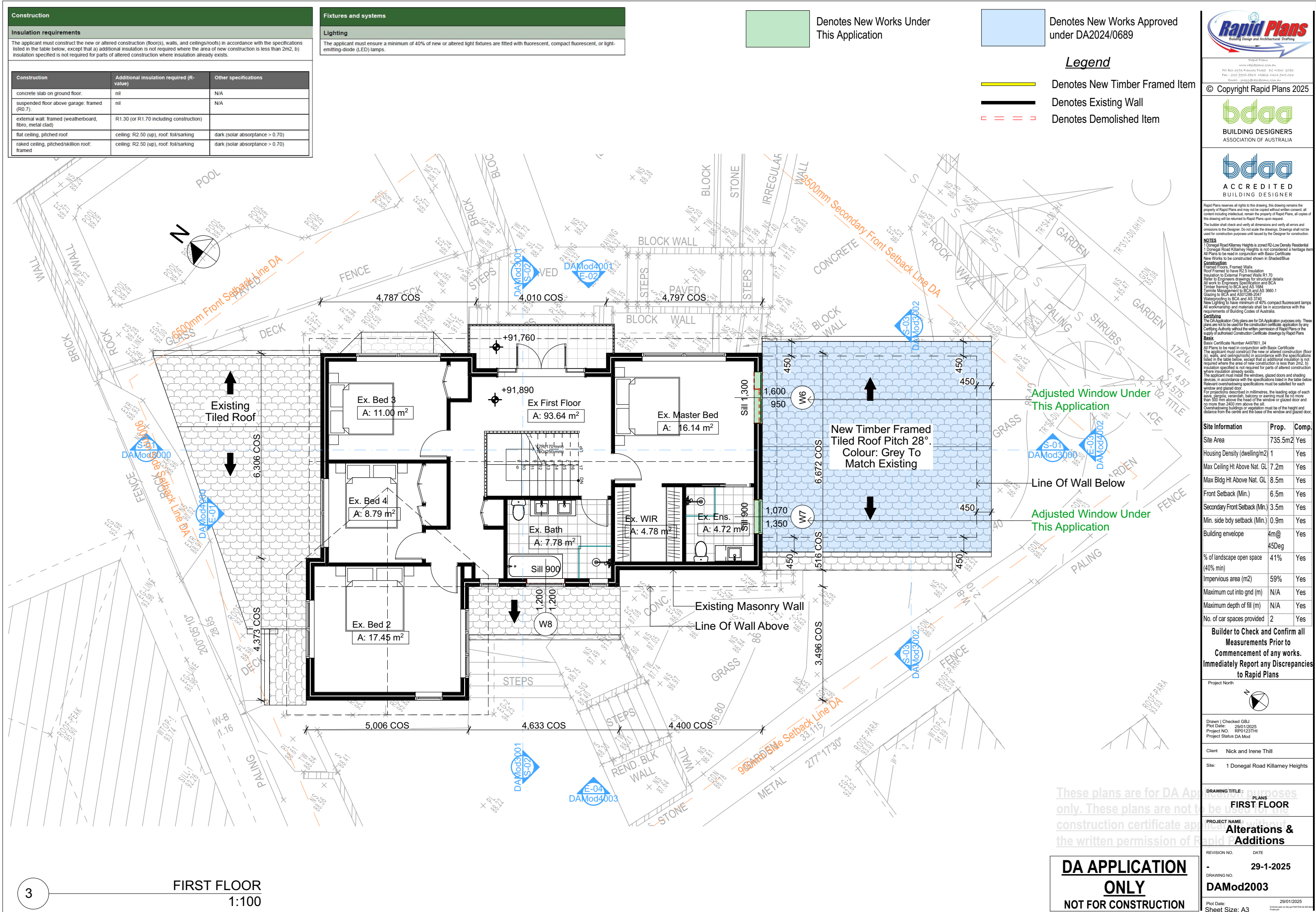
- 29-1-2025

DRAWING NO. **DAMod2002**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**







| Construction                                                                                                                                                                                                                                                                                                                                                                             |                                          |                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|--------------------------------|
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                          |                                |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value) | Other specifications           |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                      | N/A                            |
| suspended floor above garage: framed (R0.7).                                                                                                                                                                                                                                                                                                                                             | nil                                      | N/A                            |
| external wall: framed (weatherboard, fibro, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)  |                                |
| flat ceiling, pitched roof                                                                                                                                                                                                                                                                                                                                                               | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |
| raked ceiling, pitched/skillion roof: framed                                                                                                                                                                                                                                                                                                                                             | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |

Denotes New Works Under This Application

Denotes New Works Approved under DA2024/0689

Legend

- Denotes New Timber Framed Item
- Denotes Existing Wall
- Denotes Demolished Item



Rapid Plans  
Building Design and Architectural Drafting

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Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

1 Donegal Road Killarney Heights is zoned R2 Low Density Residential 1 Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate

**Construction**

Framed Floors, Framed Walls

Roof Framing to have R2.5 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A497801\_04

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: PLANS PROPOSES ROOF

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

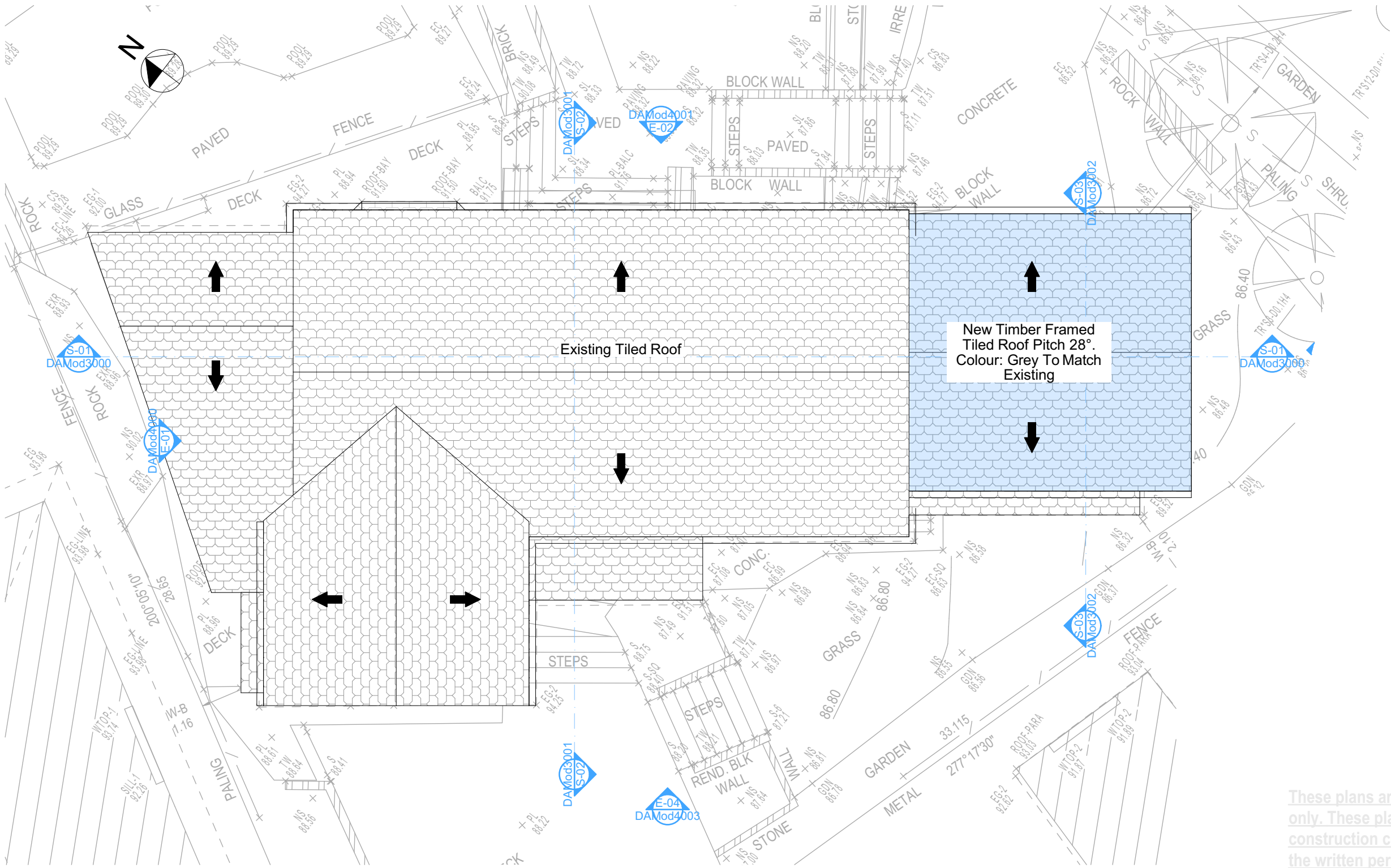
- 29-1-2025

DRAWING NO. DAMod2004

Plot Date: 29/01/2025  
Sheet Size: A3

DA APPLICATION ONLY NOT FOR CONSTRUCTION

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Roof Plan 1:100

| Construction                                                                                                                                                                                                                                                                                                                                                                             |                                          |                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|--------------------------------|
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                          |                                |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value) | Other specifications           |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                      | N/A                            |
| suspended floor above garage: framed (R0.7).                                                                                                                                                                                                                                                                                                                                             | nil                                      | N/A                            |
| external wall: framed (weatherboard, fibro, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)  |                                |
| flat ceiling, pitched roof                                                                                                                                                                                                                                                                                                                                                               | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |
| raked ceiling, pitched/skillion roof: framed                                                                                                                                                                                                                                                                                                                                             | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |

| Fixtures and systems                                                                                                                                               |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| Lighting                                                                                                                                                           |  |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |  |

Denotes New Works Under This Application

Denotes New Works Approved under DA2024/0689

Legend

Denotes New Timber Framed Item

Denotes Existing Wall

Denotes Demolished Item

Existing Tiled Roof  
+96,410  
5 ROOF

Existing Masonry Wall  
+94,540  
4 FCL

Existing Tiled Roof  
+91,890  
3 FIRST FLOOR

Existing Masonry Wall  
+89,000  
2 GROUND FLOOR

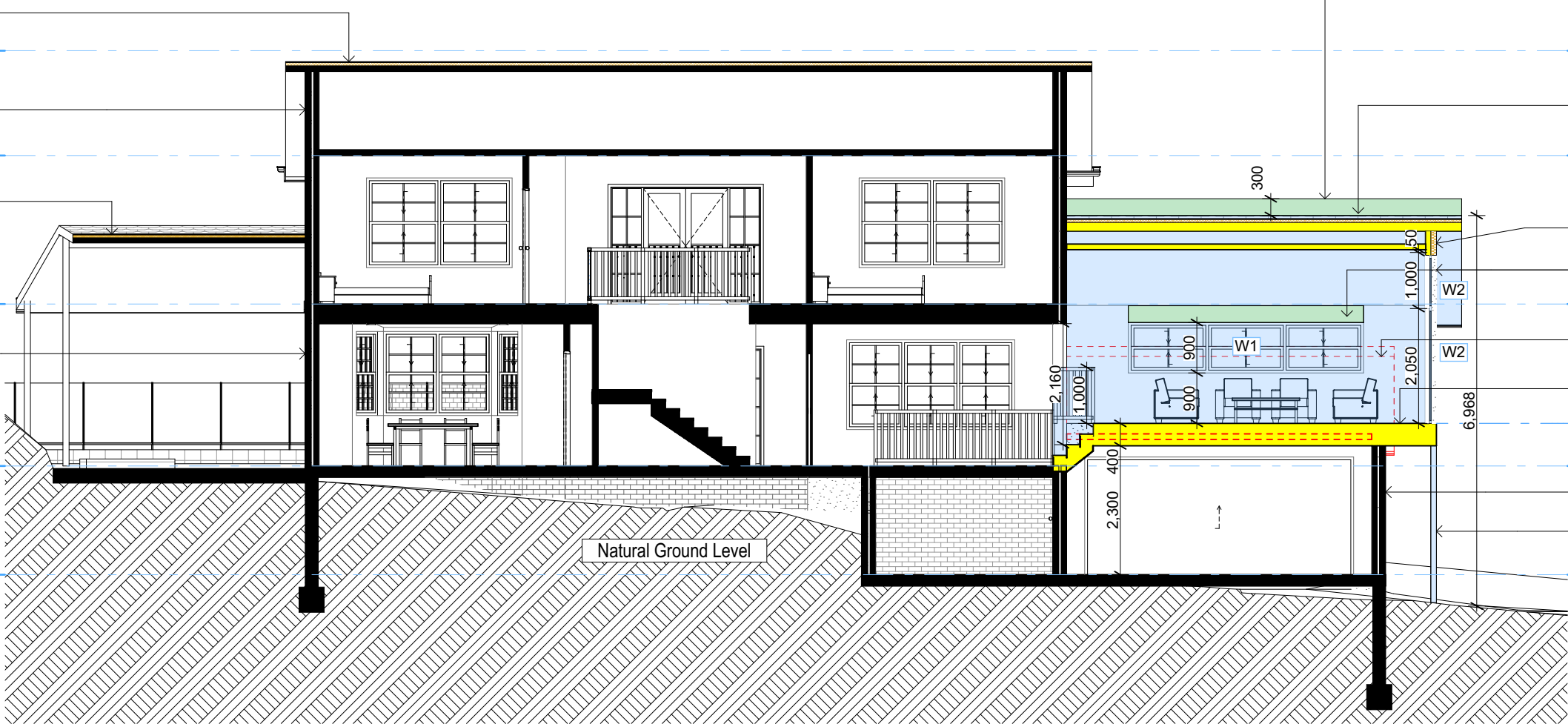
+87,060  
1 BASEMENT

Lower Approved Roof By 300 Under This Application

+96,410  
5 ROOF  
New Timber Framed Tiled Roof Pitch 28°. Colour: Grey To Match Existing  
+94,540  
4 FCL

New Rendered Unitex Clad 90mm Timber Framed Wall  
Adjusted Window Under This Application  
+91,890  
3 FIRST FLOOR  
Demolish Items Shown Red Dashed

New Timber Floor Frame To NCC2022 & Aust. Stds.  
+89,760  
UPPER GROUND FLOOR  
+89,000  
2 GROUND FLOOR  
Existing Masonry Wall  
New Timber Post to NCC2022 & Aust. Stds.  
+87,060  
1 BASEMENT



S-01 SECTION 1  
1:100

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

The builder & Certifier shall check compliance with NCC & Aust Std and verify all dimensions prior to commencement and notify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction

NOTES

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1 Donegal Road Killarney Heights is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only.  
These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed Floors, Framed Walls  
Roof Framed to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A497801\_04  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information               | Prop.   | Comp. | Site Information                    | Prop.    | Comp. |
|--------------------------------|---------|-------|-------------------------------------|----------|-------|
| Site Area                      | 735.5m2 | Yes   | Building envelope                   | 4m@45Deg | Yes   |
| Housing Density (dwelling/m2)  | 1       | Yes   | % of landscape open space (40% min) | 41%      | Yes   |
| Max Ceiling Ht Above Nat. GL   | 7.2m    | Yes   | Impervious area (m2)                | 59%      | Yes   |
| Max Bldg Ht Above Nat. GL      | 8.5m    | Yes   | Maximum cut into gnd (m)            | N/A      | Yes   |
| Front Setback (Min.)           | 6.5m    | Yes   | Maximum depth of fill (m)           | N/A      | Yes   |
| Secondary Front Setback (Min.) | 3.5m    | Yes   | No. of car spaces provided          | 2        | Yes   |
| Min. side bdy setback (Min.)   | 0.9m    | Yes   |                                     |          |       |



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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
29/01/2025  
RP0123THI  
DA Mod  
Client  
Site:  
Nick and Irene Thill  
1 Donegal Road Killarney Heights

Sheet Size: A3

DRAWING TITLE :

SECTIONS  
SECTION 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:  
29-1-2025  
DRAWING NO.  
DAMod3000



| Construction                                                                                                                                                                                                                                                                                                                                                                             |                                          |                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|--------------------------------|
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                          |                                |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value) | Other specifications           |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                      | N/A                            |
| suspended floor above garage: framed (R0.7).                                                                                                                                                                                                                                                                                                                                             | nil                                      | N/A                            |
| external wall: framed (weatherboard, fibro, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)  |                                |
| flat ceiling, pitched roof                                                                                                                                                                                                                                                                                                                                                               | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |
| raked ceiling, pitched/skillion roof: framed                                                                                                                                                                                                                                                                                                                                             | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |

| Fixtures and systems                                                                                                                                               |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| Lighting                                                                                                                                                           |  |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |  |



Denotes New Works Under This Application



Denotes New Works Approved under DA2024/0689

Legend



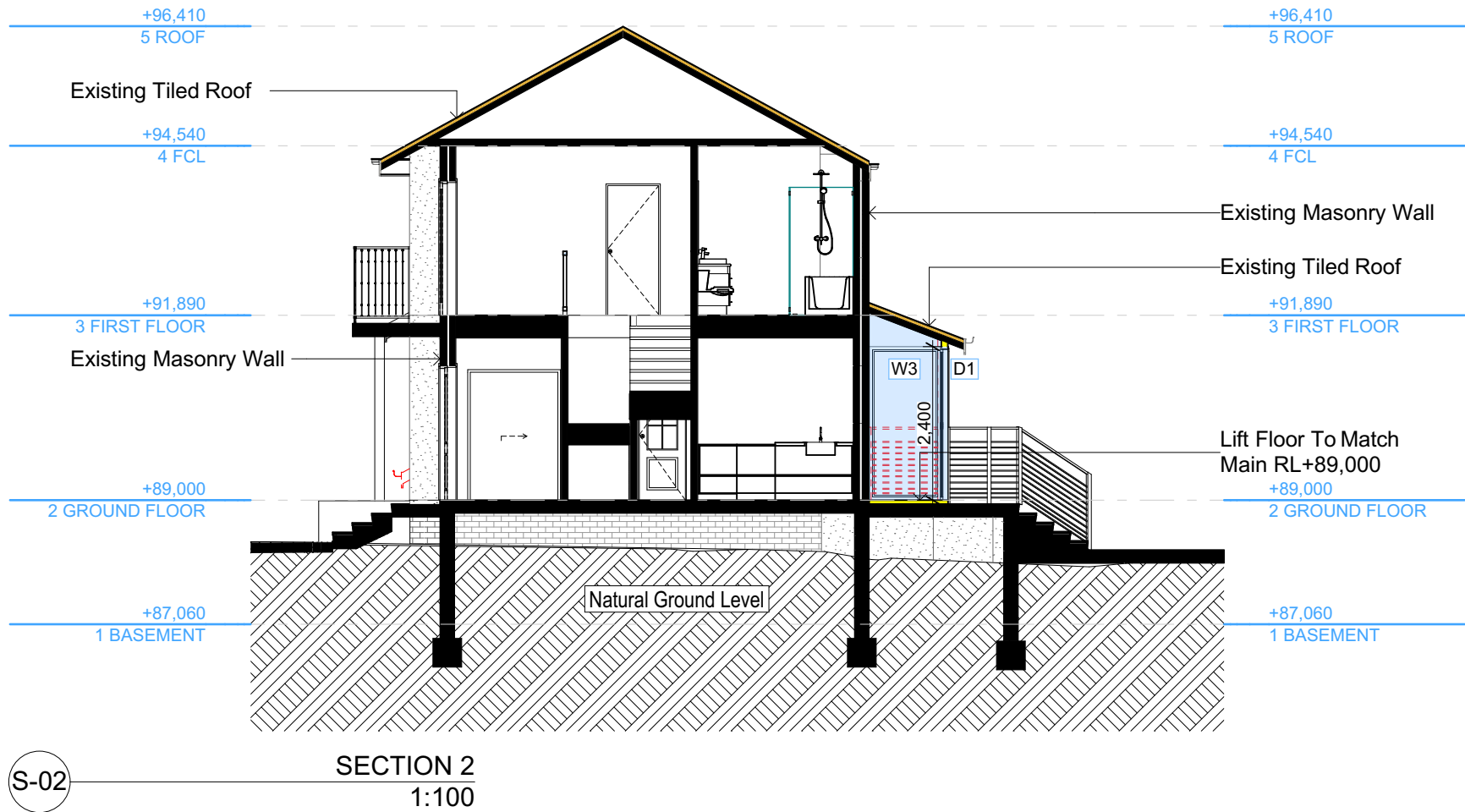
Denotes New Timber Framed Item



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans  
Building Design and Architectural Drafting

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

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ACCREDITED  
BUILDING DESIGNER

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**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
1 Donegal Road Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Floors, Framed Walls  
Roof Framed to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A457801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RP0123TH  
Project Status DA Mod

Client Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE : SECTIONS  
SECTION 2

PROJECT NAME : Alterations & Additions

REVISION NO. DATE  
- 29-1-2025

DRAWING NO. DAMod3001

Plot Date: 29/01/2025  
Sheet Size: A3

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

| Construction                                                                                                                                                                                                                                                                                                                                                                             |                                          |                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|--------------------------------|
| Insulation requirements                                                                                                                                                                                                                                                                                                                                                                  |                                          |                                |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. |                                          |                                |
| Construction                                                                                                                                                                                                                                                                                                                                                                             | Additional insulation required (R-value) | Other specifications           |
| concrete slab on ground floor.                                                                                                                                                                                                                                                                                                                                                           | nil                                      | N/A                            |
| suspended floor above garage: framed (R0.7).                                                                                                                                                                                                                                                                                                                                             | nil                                      | N/A                            |
| external wall: framed (weatherboard, fibro, metal clad)                                                                                                                                                                                                                                                                                                                                  | R1.30 (or R1.70 including construction)  |                                |
| flat ceiling, pitched roof                                                                                                                                                                                                                                                                                                                                                               | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |
| raked ceiling, pitched/skillion roof: framed                                                                                                                                                                                                                                                                                                                                             | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorbance > 0.70) |

| Fixtures and systems                                                                                                                                               |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| Lighting                                                                                                                                                           |  |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |  |



Denotes New Works Under This Application



Denotes New Works Approved under DA2024/0689

Legend



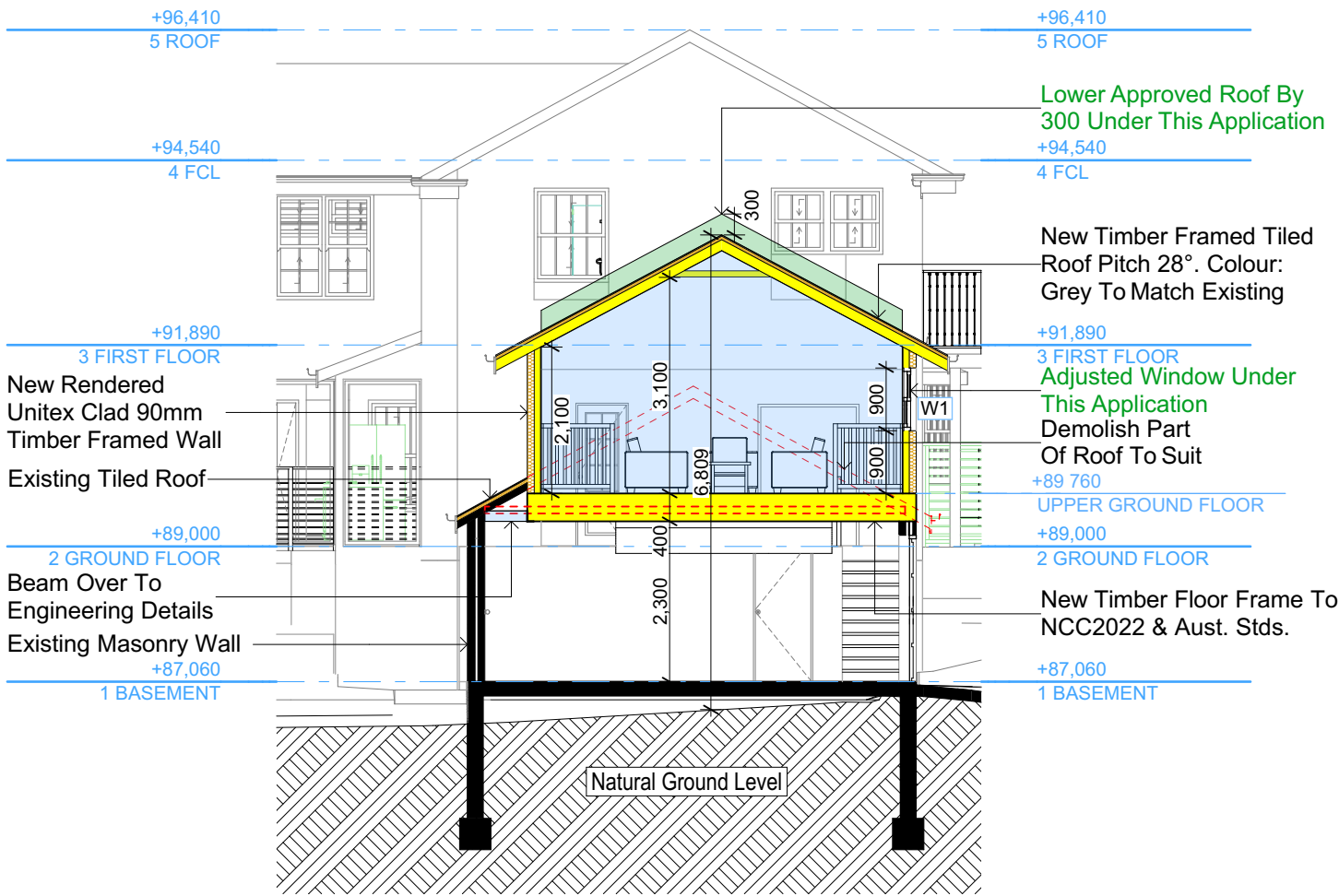
Denotes New Timber Framed Item



Denotes Existing Wall



Denotes Demolished Item



S-03  
-

Section 3  
1:100

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**NOT FOR CONSTRUCTION**

Rapid Plans  
Building Design and Architectural Drafting

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PO Box 6239 Fitzroy Street, DO NSW 2086  
Ph: (02) 9550-8845, Mobile: 0414-545-024  
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**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
1 Donegal Road Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660, 1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number A457801\_04  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RP0123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: SECTIONS  
**SECTION 3**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025

DRAWING NO. **DAMod3002**

Plot Date: 29/01/2025  
Sheet Size: A3



| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                                                                                                                                                                                                                                                                            |
| The following requirements must also be satisfied in relation to each window and glazed door:                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.                                                                                                                                |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.                                                                                                                                                                                                                                                                                 |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |

| Glazing requirements                          |             |                                    |                          |                            |                                          |                                                              |
|-----------------------------------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Windows and glazed doors glazing requirements |             |                                    |                          |                            |                                          |                                                              |
| Window/door number                            | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W1                                            | NE          | 3.78                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 3.99, SHGC: 0.4)  |
| W2                                            | SE          | 12.51                              | 0                        | 0                          | eave/ verandah/ pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W3                                            | SE          | 2.69                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W4                                            | SW          | 5.04                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W5                                            | SE          | 3.12                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

| Glazing requirements |             |                                    |                          |                            |                                          |                                                              |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Window/door number   | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W6                   | SE          | 1.52                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W7                   | SE          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W8                   | SW          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| D1                   | SW          | 5.52                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

Denotes New Works Under This Application

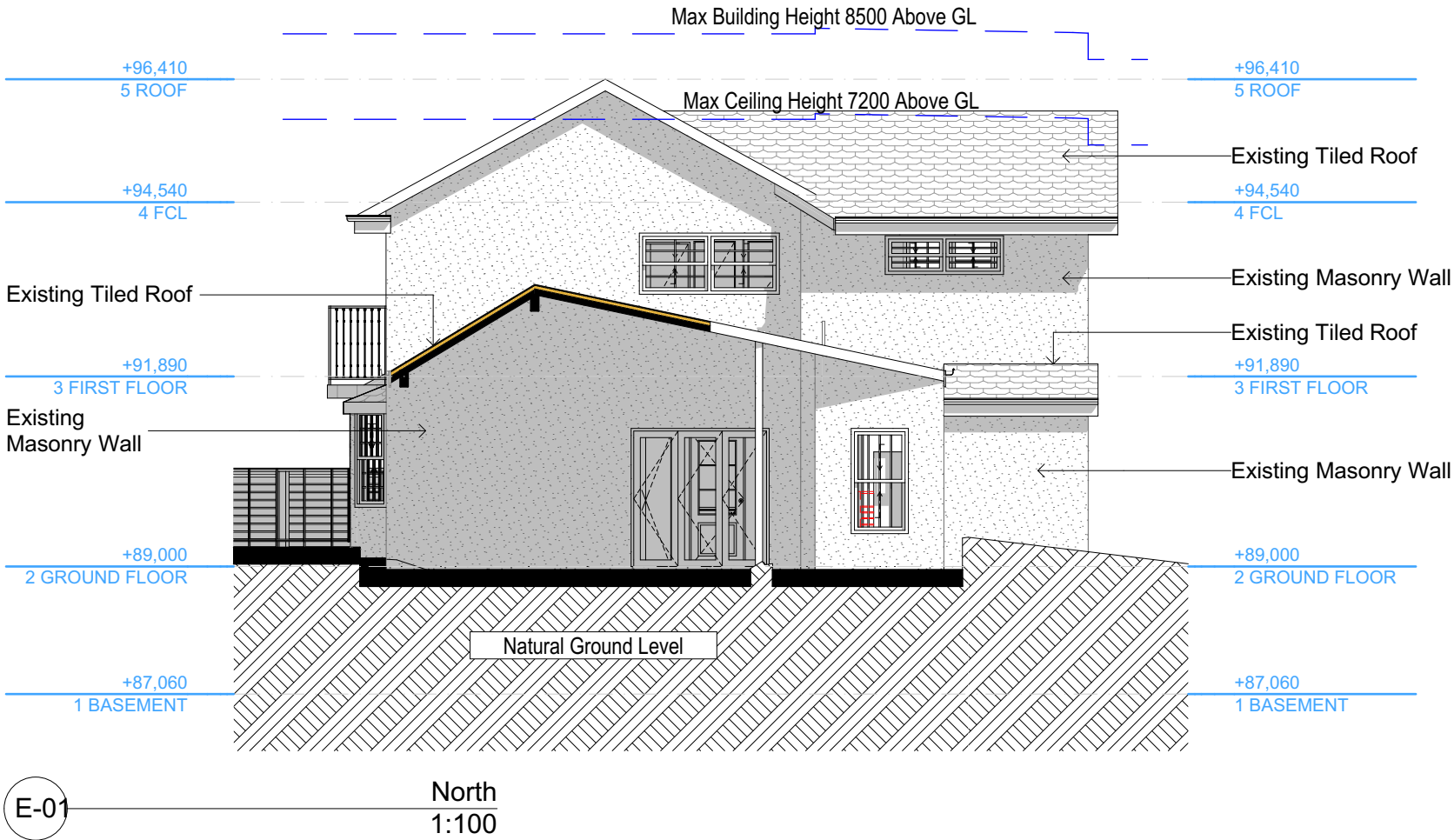
Denotes New Works Approved under DA2024/0689

**Legend**

Denotes New Timber Framed Item

Denotes Existing Wall

Denotes Demolished Item



DA APPLICATION ONLY NOT FOR CONSTRUCTION

The builder & Certifier shall check compliance with NCC & Aust Std and verify all dimensions prior to commencement and notify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction

**NOTES**  
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All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
1 Donegal Road Killarney Heights is not considered a heritage item

**Certifying**  
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**Construction**  
Framed Floors, Framed Walls  
Roof Framed to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
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All work to Engineers Specification and BCA  
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Termite Management to BCA and AS 3660.1  
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New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A497801\_04  
All Plans to be read in conjunction with Basix Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information               | Prop.   | Comp. | Site Information                    | Prop.    | Comp. |
|--------------------------------|---------|-------|-------------------------------------|----------|-------|
| Site Area                      | 735.5m2 | Yes   | Building envelope                   | 4m@45Deg | Yes   |
| Housing Density (dwelling/m2)  | 1       | Yes   | % of landscape open space (40% min) | 41%      | Yes   |
| Max Ceiling Ht Above Nat. GL   | 7.2m    | Yes   | Impervious area (m2)                | 59%      | Yes   |
| Max Bldg Ht Above Nat. GL      | 8.5m    | Yes   | Maximum cut into gnd (m)            | N/A      | Yes   |
| Front Setback (Min.)           | 6.5m    | Yes   | Maximum depth of fill (m)           | N/A      | Yes   |
| Secondary Front Setback (Min.) | 3.5m    | Yes   | No. of car spaces provided          | 2        | Yes   |
| Min. side bdy setback (Min.)   | 0.9m    | Yes   |                                     |          |       |



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:

Sheet Size: A3

GBJ  
29/01/2025  
RP0123THI  
DA Mod

Nick and Irene Thill  
1 Donegal Road Killarney Heights

DRAWING TITLE :  
ELEVATIONS  
ELEVATIONS 1

PROJECT NAME :  
Alterations & Additions

REVISION NO.  
-  
DATE:  
29-1-2025  
DRAWING NO.  
DAMod4000

| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                                                                                                                                                                                                                                                                            |
| The following requirements must also be satisfied in relation to each window and glazed door:                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.                                                                                                                                |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.                                                                                                                                                                                                                                                                                 |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |

| Glazing requirements                          |             |                                    |                          |                            |                                          |                                                              |
|-----------------------------------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Windows and glazed doors glazing requirements |             |                                    |                          |                            |                                          |                                                              |
| Window/door number                            | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W1                                            | NE          | 3.78                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 3.99, SHGC: 0.4)  |
| W2                                            | SE          | 12.51                              | 0                        | 0                          | eave/ verandah/ pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W3                                            | SE          | 2.69                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W4                                            | SW          | 5.04                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W5                                            | SE          | 3.12                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

| Glazing requirements |             |                                    |                          |                            |                                          |                                                              |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Window/door number   | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W6                   | SE          | 1.52                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W7                   | SE          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W8                   | SW          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| D1                   | SW          | 5.52                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

Denotes New Works Under This Application

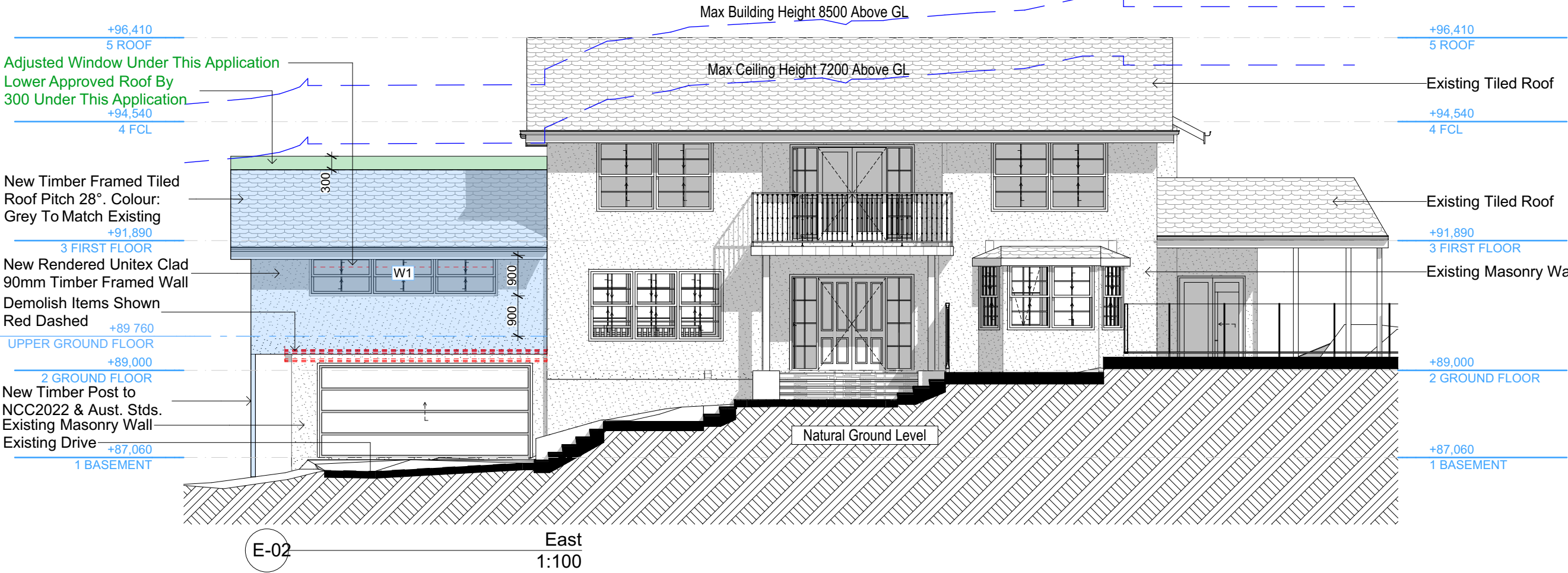
Denotes New Works Approved under DA2024/0689

**Legend**

Denotes New Timber Framed Item

Denotes Existing Wall

Denotes Demolished Item



DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

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New Works to be constructed shown in Shaded/Blue  
1 Donegal Road Killarney Heights is not considered a heritage item

Certifying

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Construction

Framed Floors, Framed Walls  
Roof Framed to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A497801\_04  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information               | Prop.   | Comp. | Site Information                    | Prop.    | Comp. |
|--------------------------------|---------|-------|-------------------------------------|----------|-------|
| Site Area                      | 735.5m2 | Yes   | Building envelope                   | 4m@45Deg | Yes   |
| Housing Density (dwelling/m2)  | 1       | Yes   | % of landscape open space (40% min) | 41%      | Yes   |
| Max Ceiling Ht Above Nat. GL   | 7.2m    | Yes   | Impervious area (m2)                | 59%      | Yes   |
| Max Bldg Ht Above Nat. GL      | 8.5m    | Yes   | Maximum cut into gnd (m)            | N/A      | Yes   |
| Front Setback (Min.)           | 6.5m    | Yes   | Maximum depth of fill (m)           | N/A      | Yes   |
| Secondary Front Setback (Min.) | 3.5m    | Yes   | No. of car spaces provided          | 2        | Yes   |
| Min. side bdy setback (Min.)   | 0.9m    | Yes   |                                     |          |       |

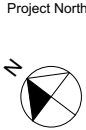


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:  
Sheet Size: A3

DRAWING TITLE :  
ELEVATIONS  
ELEVATIONS 2  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
DATE:  
29-1-2025  
DRAWING NO.  
DAMod4001



| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                                                                                                                                                                                                                                                                            |
| The following requirements must also be satisfied in relation to each window and glazed door:                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.                                                                                                                                |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.                                                                                                                                                                                                                                                                                 |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |

| Glazing requirements                          |             |                                    |                          |                            |                                          |                                                              |
|-----------------------------------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Windows and glazed doors glazing requirements |             |                                    |                          |                            |                                          |                                                              |
| Window/door number                            | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W1                                            | NE          | 3.78                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 3.99, SHGC: 0.4)  |
| W2                                            | SE          | 12.51                              | 0                        | 0                          | eave/ verandah/ pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W3                                            | SE          | 2.69                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W4                                            | SW          | 5.04                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W5                                            | SE          | 3.12                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

| Glazing requirements |             |                                    |                          |                            |                                          |                                                              |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Window/door number   | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W6                   | SE          | 1.52                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W7                   | SE          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W8                   | SW          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| D1                   | SW          | 5.52                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

Denotes New Works Under This Application

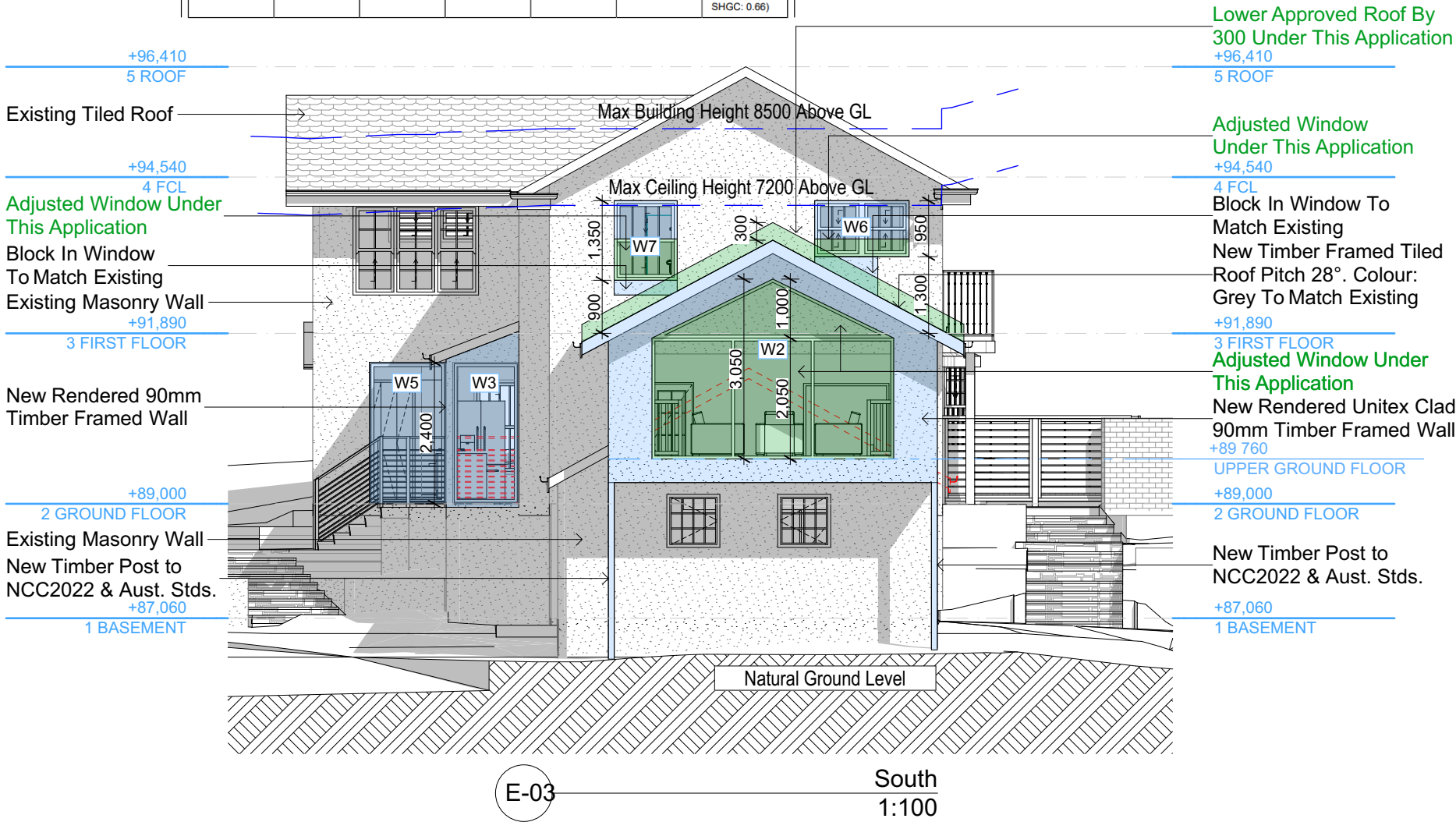
Denotes New Works Approved under DA2024/0689

Legend

Denotes New Timber Framed Item

Denotes Existing Wall

Denotes Demolished Item



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**NOTES**

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New Works to be constructed shown in Shaded/Blue  
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**Construction**

Framed Floors, Framed Walls  
Roof Framed to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
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| Site Information               | Prop.   | Comp. | Site Information                    | Prop.    | Comp. |
|--------------------------------|---------|-------|-------------------------------------|----------|-------|
| Site Area                      | 735.5m2 | Yes   | Building envelope                   | 4m@45Deg | Yes   |
| Housing Density (dwelling/m2)  | 1       | Yes   | % of landscape open space (40% min) | 41%      | Yes   |
| Max Ceiling Ht Above Nat. GL   | 7.2m    | Yes   | Impervious area (m2)                | 59%      | Yes   |
| Max Bldg Ht Above Nat. GL      | 8.5m    | Yes   | Maximum cut into gnd (m)            | N/A      | Yes   |
| Front Setback (Min.)           | 6.5m    | Yes   | Maximum depth of fill (m)           | N/A      | Yes   |
| Secondary Front Setback (Min.) | 3.5m    | Yes   | No. of car spaces provided          | 2        | Yes   |
| Min. side bdy setback (Min.)   | 0.9m    | Yes   |                                     |          |       |



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
29/01/2025  
RP0123THI  
DA Mod  
Client  
Site:  
Nick and Irene Thill  
1 Donegal Road Killarney Heights

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 3

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:  
29-1-2025  
DRAWING NO.  
DAMod4002

| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
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| The following requirements must also be satisfied in relation to each window and glazed door:                                                                                                                                                                                                                                                                                                                                                                                                                  |
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| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |
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| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |

| Glazing requirements                          |             |                                    |                          |                            |                                          |                                                              |
|-----------------------------------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Windows and glazed doors glazing requirements |             |                                    |                          |                            |                                          |                                                              |
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| W1                                            | NE          | 3.78                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 3.99, SHGC: 0.4)  |
| W2                                            | SE          | 12.51                              | 0                        | 0                          | eave/ verandah/ pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W3                                            | SE          | 2.69                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W4                                            | SW          | 5.04                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W5                                            | SE          | 3.12                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

| Glazing requirements |             |                                    |                          |                            |                                          |                                                              |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| Window/door number   | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
| W6                   | SE          | 1.52                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W7                   | SE          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W8                   | SW          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| D1                   | SW          | 5.52                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

Denotes New Works Under This Application

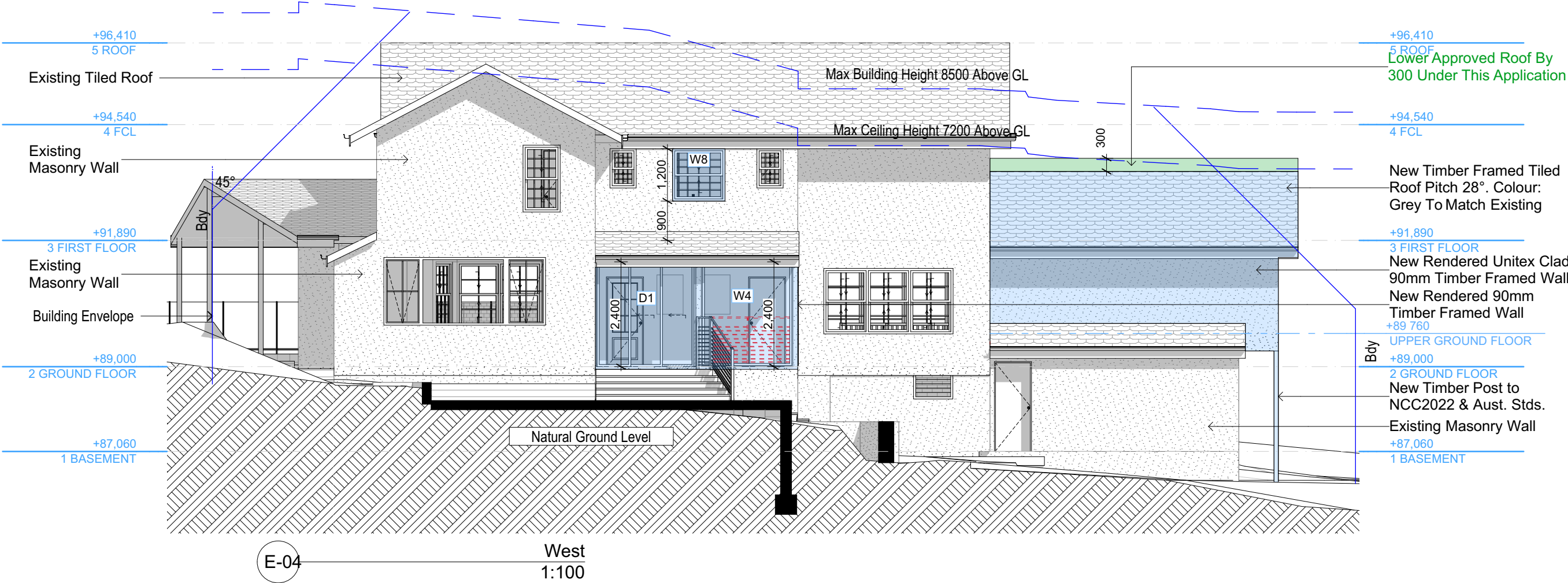
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| Front Setback (Min.)           | 6.5m    | Yes   | Maximum depth of fill (m)           | N/A      | Yes   |
| Secondary Front Setback (Min.) | 3.5m    | Yes   | No. of car spaces provided          | 2        | Yes   |
| Min. side bdy setback (Min.)   | 0.9m    | Yes   |                                     |          |       |



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Checked Plot Date: Project NO. Project Status  
Client Site: Sheet Size: A3

GBJ 29/01/2025 RP0123THI DA Mod  
Nick and Irene Thill 1 Donegal Road Killarney Heights

DRAWING TITLE : ELEVATIONS ELEVATIONS 4  
PROJECT NAME : Alterations & Additions

REVISION NO. -  
DATE: 29-1-2025  
DRAWING NO. DAMod4003



| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Windows and glazed doors</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                                                                                                                                                                                                                                                                            |
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| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |
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| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |

| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                               |
|--------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------------|
| W1                 | NE          | 3.78                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4) |
| W2                 | SE          | 12.51                              | 0                        | 0                          | eave/ verandah/ pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |
| W3                 | SE          | 2.69                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |
| W4                 | SW          | 5.04                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |
| W5                 | SE          | 3.12                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |



Perspective 1  
1:200



Perspective 2  
1:200

| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                         |
|--------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------|
| W6                 | SE          | 1.52                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W7                 | SE          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| W8                 | SW          | 1.44                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |
| D1                 | SW          | 5.52                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) |

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**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
1 Donegal Road Killarney Heights is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers Specification for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660, 1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**  
Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below  
Relevant overshadowing specifications must be satisfied for each window and glazed door  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RPD123TH  
Project Status DA Mod

Client Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: SHADOW PLANS  
**PERSPECTIVE**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025

DRAWING NO. **DAMod5000**

Plot Date: 29/01/2025  
Sheet Size: A3





Denotes Tiled Roof (Typical).  
Type & Colour Grey To Match Existing



Denotes Rendered Wall (Typical).  
Type & Colour To Match Existing

| Fixtures and systems                                                                                                                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                    |
| Lighting                                                                                                                                                           |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction                                            | Additional insulation required (R-value) | Other specifications            |
|---------------------------------------------------------|------------------------------------------|---------------------------------|
| concrete slab on ground floor.                          | nil                                      | N/A                             |
| suspended floor above garage: framed (R0.7).            | nil                                      | N/A                             |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction)  |                                 |
| flat ceiling, pitched roof                              | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorptance > 0.70) |
| raked ceiling, pitched/skillion roof: framed            | ceiling: R2.50 (up), roof: foil/sarking  | dark (solar absorptance > 0.70) |

| Glazing requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Windows and glazed doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.                                                                                                                                                                                                                                                                            |
| The following requirements must also be satisfied in relation to each window and glazed door:                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.                                                                                                                                |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.                                                                                                                                                                                                                                                                                 |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.                                                                                                                                                                                                                                                                                                                                                                                            |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.                                                                                                                                                                                                                                                                             |

| Glazing requirements                          |             |                                    |                          |                            |                                          |                                                                    |
|-----------------------------------------------|-------------|------------------------------------|--------------------------|----------------------------|------------------------------------------|--------------------------------------------------------------------|
| Windows and glazed doors glazing requirements |             |                                    |                          |                            |                                          |                                                                    |
| Window/door number                            | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                           | Frame and glass type                                               |
| W1                                            | NE          | 3.78                               | 0                        | 0                          | eave/ verandah/ pergola/balcony >=600 mm | timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4) |
| W2                                            | SE          | 12.51                              | 0                        | 0                          | eave/ verandah/ pergola/balcony >=450 mm | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |
| W3                                            | SE          | 2.69                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |
| W4                                            | SW          | 5.04                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |
| W5                                            | SE          | 3.12                               | 0                        | 0                          | none                                     | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)       |

| Glazing requirements |             |                                    |                          |                            |                                                   |                                                                           |
|----------------------|-------------|------------------------------------|--------------------------|----------------------------|---------------------------------------------------|---------------------------------------------------------------------------|
| Window/door number   | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device                                    | Frame and glass type                                                      |
| W6                   | SE          | 1.52                               | 0                        | 0                          | eave/<br>verandah/<br>pergola/balcony<br>>=600 mm | timber or<br>uPVC, single<br>clear, (or U-<br>value: 5.71,<br>SHGC: 0.66) |
| W7                   | SE          | 1.44                               | 0                        | 0                          | eave/<br>verandah/<br>pergola/balcony<br>>=600 mm | timber or<br>uPVC, single<br>clear, (or U-<br>value: 5.71,<br>SHGC: 0.66) |
| W8                   | SW          | 1.44                               | 0                        | 0                          | eave/<br>verandah/<br>pergola/balcony<br>>=600 mm | timber or<br>uPVC, single<br>clear, (or U-<br>value: 5.71,<br>SHGC: 0.66) |
| D1                   | SW          | 5.52                               | 0                        | 0                          | none                                              | timber or<br>uPVC, single<br>clear, (or U-<br>value: 5.71,<br>SHGC: 0.66) |

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**NOTES**  
1 Donegal Road Killarney Heights is zoned R2-Low Density Residential  
1 Donegal Road Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
Construction  
Framed Floors, Framed Walls  
Roof Frames to have R2.5 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1854  
Termite Management to BCA and AS 3660, 1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basic**  
Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                    | Prop.     | Comp. |
|-------------------------------------|-----------|-------|
| Site Area                           | 735.5m2   | Yes   |
| Housing Density (dwelling/m2)       | 1         | Yes   |
| Max Ceiling Ht Above Nat. GL        | 7.2m      | Yes   |
| Max Bldg Ht Above Nat. GL           | 8.5m      | Yes   |
| Front Setback (Min.)                | 6.5m      | Yes   |
| Secondary Front Setback (Min.)      | 3.5m      | Yes   |
| Min. side bdy setback (Min.)        | 0.9m      | Yes   |
| Building envelope                   | 4m@ 45Deg | Yes   |
| % of landscape open space (40% min) | 41%       | Yes   |
| Impervious area (m2)                | 59%       | Yes   |
| Maximum cut into gnd (m)            | N/A       | Yes   |
| Maximum depth of fill (m)           | N/A       | Yes   |
| No. of car spaces provided          | 2         | Yes   |

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RP0123TH  
Project Status DA Mod

Client Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

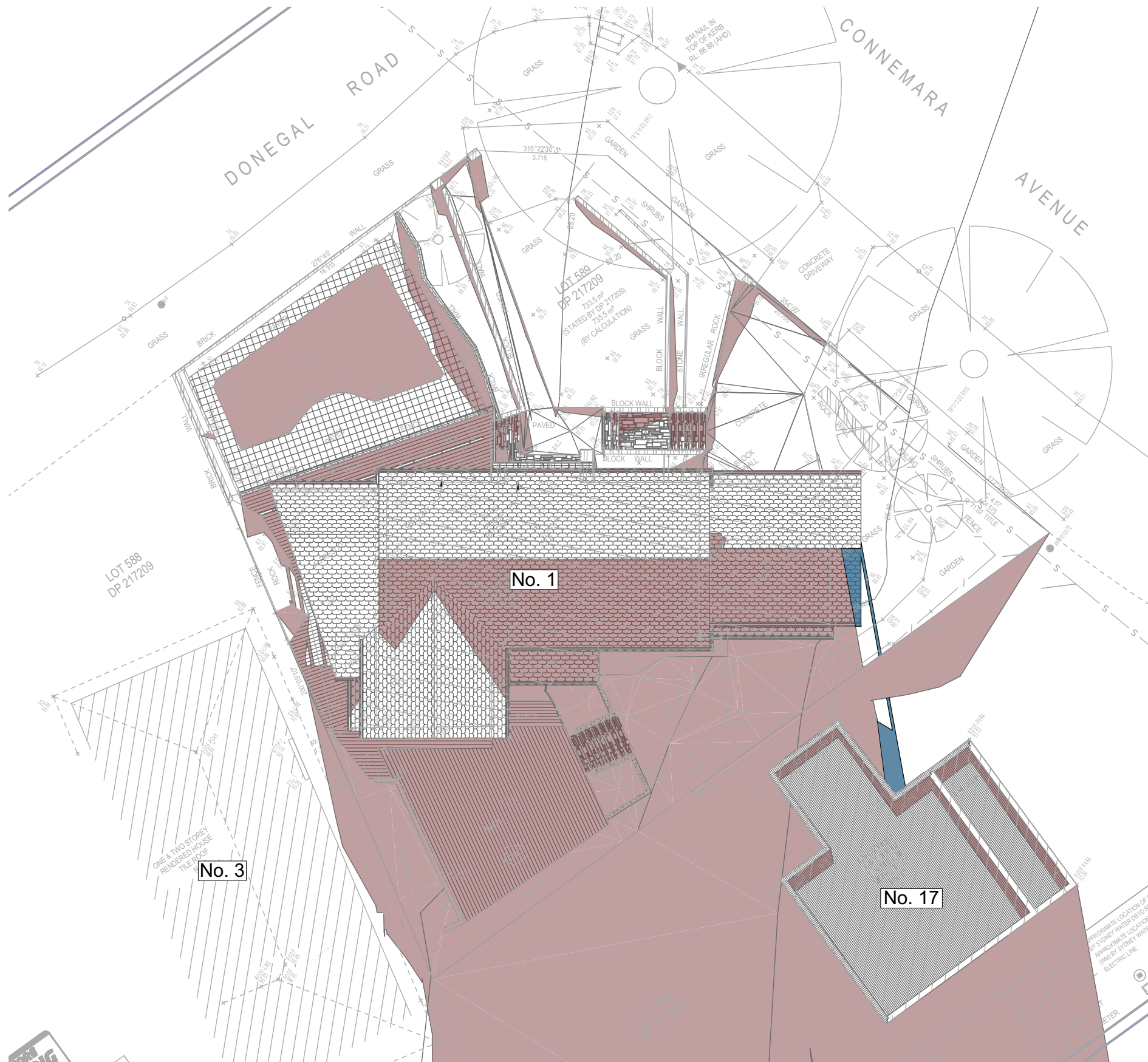
DRAWING TITLE SHADOW PLANS  
**MATERIAL & COLOUR SAMPLE BOARD**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO. DATE  
- 29-1-2025  
DRAWING NO.  
**DAMod5001**

Plot Date: 29/01/2025  
Sheet Size: A3





- Denotes Proposed Shadow Under This Application
- Denotes Proposed Shadow Approved Under DA2024/0689
- Denotes Existing Shadow

01 SHADOW PLAN 21 JUN at 0900h  
1:200



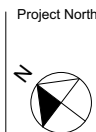
Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
29/01/2025  
RP0123THI  
DA Mod

Client  
Site:

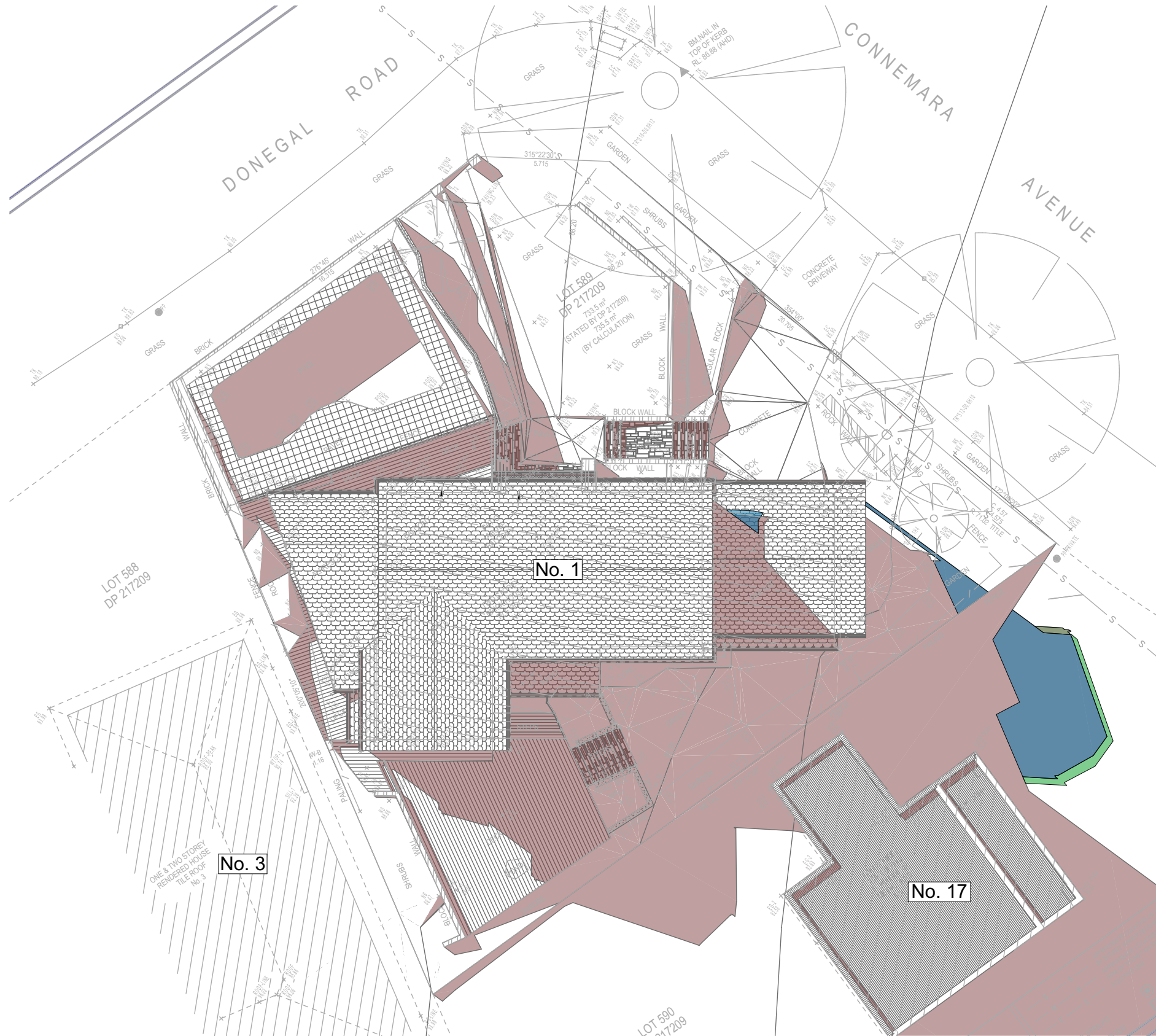
Nick and Irene Thill  
1 Donegal Road Killarney  
Heights

Sheet Size: A3

DRAWING TITLE : SHADOW PLAN 21st June  
Schedule  
9am  
PROJECT NAME : Alterations & Additions

REVISION NO.  
-  
DATE:  
29-1-2025  
DRAWING NO.  
DAMod6000



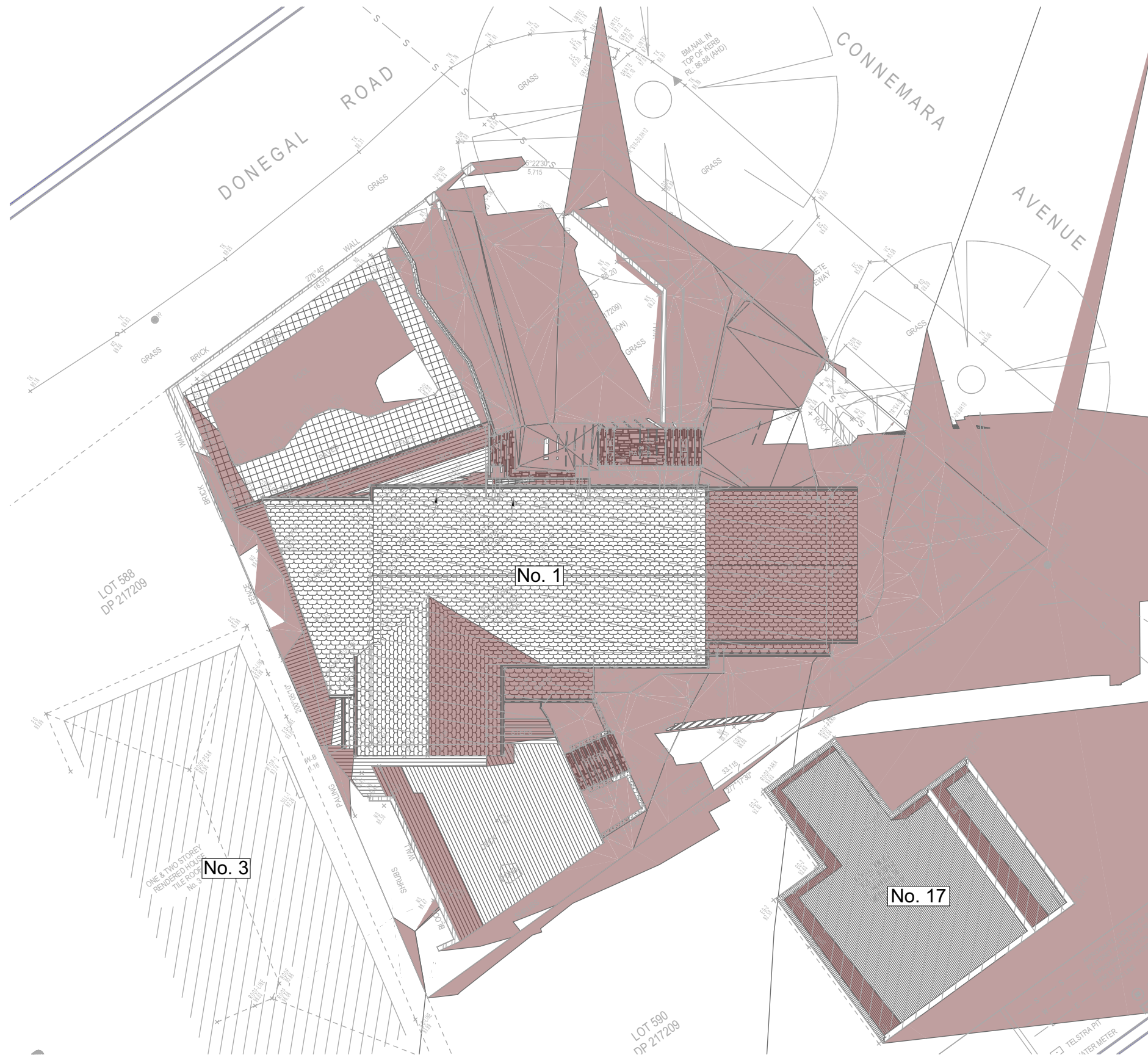


- Denotes Proposed Shadow Under This Application
- Denotes Proposed Shadow Approved Under DA2024/0689
- Denotes Existing Shadow

02

SHADOW PLAN 21 JUN at 1200h  
1:200





-  Denotes Proposed Shadow Under This Application
-  Denotes Proposed Shadow Approved Under DA2024/0689
-  Denotes Existing Shadow

03 SHADOW PLAN 21 JUN at 1500h  
1:200

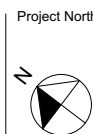


Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au  
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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

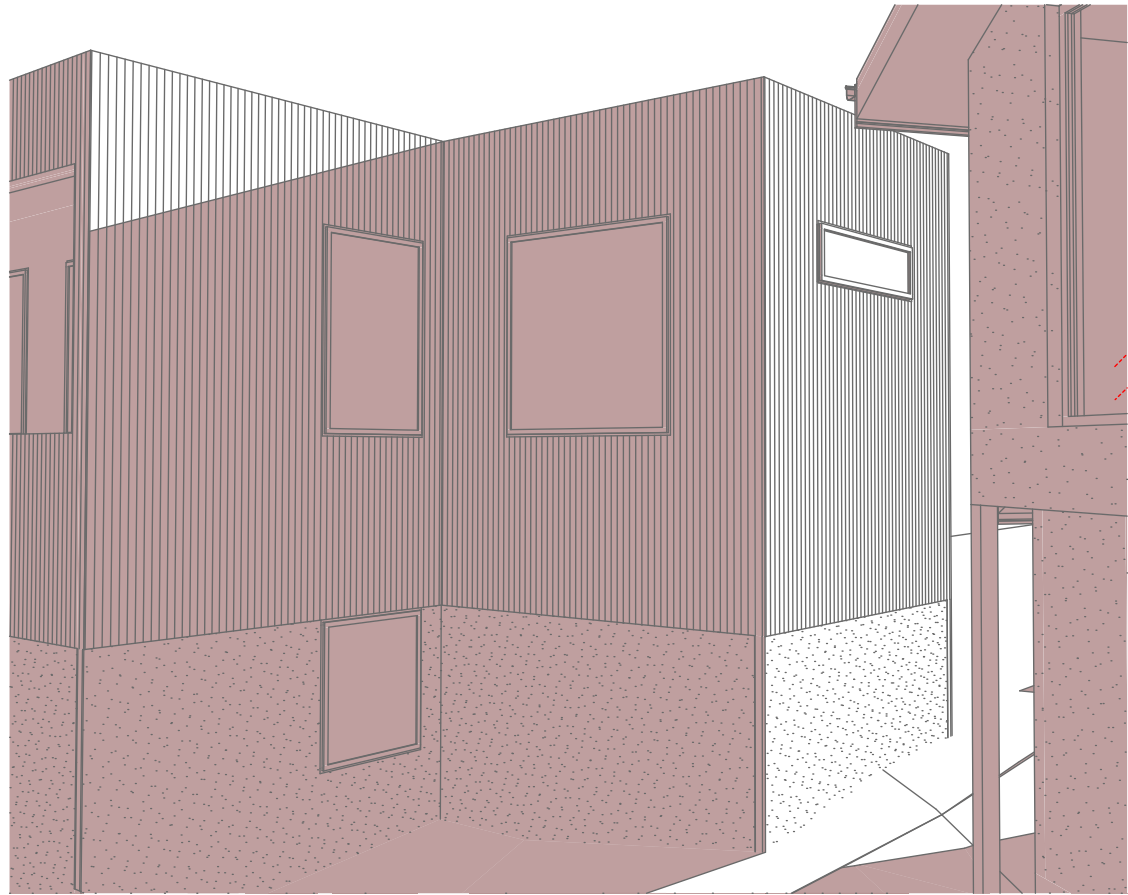
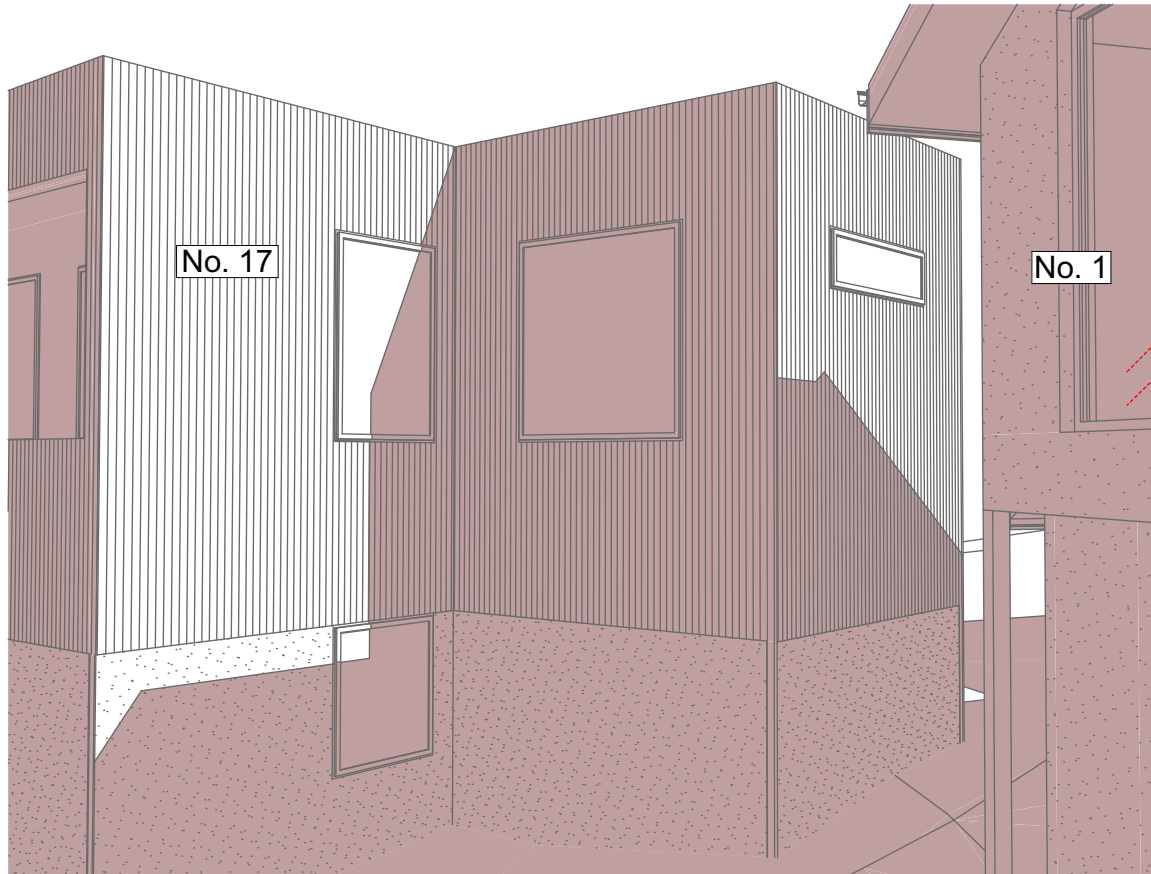
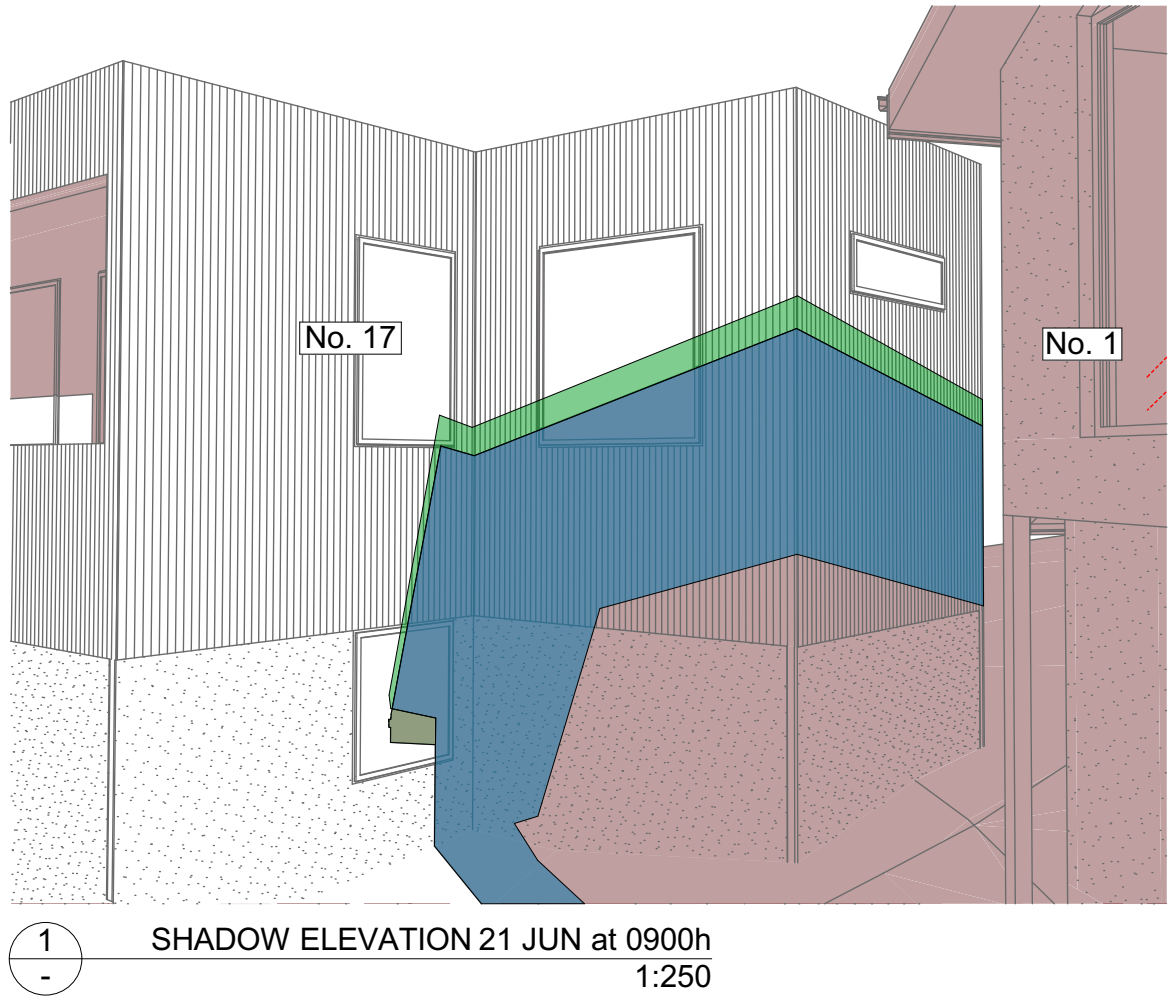
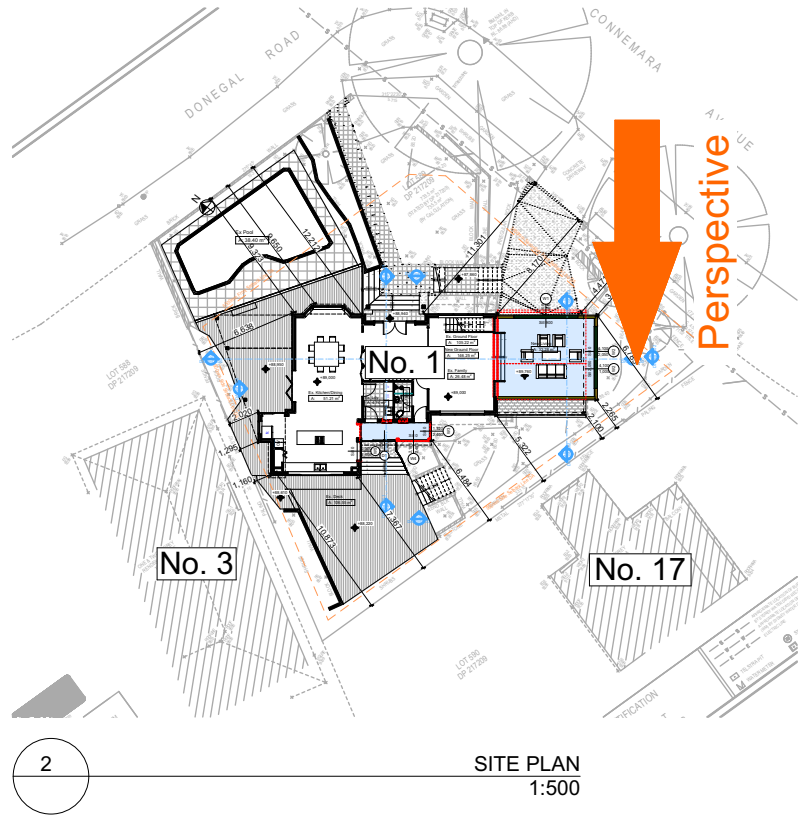


Checked  
Plot Date:  
Project NO.  
Project Status  
Client  
Site:  
Sheet Size: A3

GBJ  
29/01/2025  
RP0123THI  
DA Mod  
Nick and Irene Thill  
1 Donegal Road Killarney  
Heights

DRAWING TITLE : SHADOW PLAN 21st June  
Schedule  
3pm  
PROJECT NAME : Alterations & Additions

REVISION NO.  
-  
DATE:  
29-1-2025  
DRAWING NO.  
DAMod6002



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- Denotes Proposed Shadow Approved Under DA2024/0689
- Denotes Existing Shadow



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**NOTES**

1 Donegal Road Killarney Heights is zoned R2-Low Density Residential. 1 Donegal Road Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate.

**Construction**

Framed Floors, Framed Walls  
Roof Frames to have R2.5 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers Specification and BCA  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1864  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Shading**

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**Basic**

Basic Certificate Number A497801\_04  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information                           | Prop.               | Comp. |
|--------------------------------------------|---------------------|-------|
| Site Area                                  | 735.5m <sup>2</sup> | Yes   |
| Housing Density (dwelling/m <sup>2</sup> ) | 1                   | Yes   |
| Max Ceiling Ht Above Nat. GL               | 7.2m                | Yes   |
| Max Bldg Ht Above Nat. GL                  | 8.5m                | Yes   |
| Front Setback (Min.)                       | 6.5m                | Yes   |
| Secondary Front Setback (Min.)             | 3.5m                | Yes   |
| Min. side bdy setback (Min.)               | 0.9m                | Yes   |
| Building envelope                          | 4m@ 45Deg           | Yes   |
| % of landscape open space (40% min)        | 41%                 | Yes   |
| Impervious area (m <sup>2</sup> )          | 59%                 | Yes   |
| Maximum cut into gnd (m)                   | N/A                 | Yes   |
| Maximum depth of fill (m)                  | N/A                 | Yes   |
| No. of car spaces provided                 | 2                   | Yes   |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ  
Plot Date: 29/01/2025  
Project NO.: RP0123TH  
Project Status DA Mod

Client: Nick and Irene Thill

Site: 1 Donegal Road Killarney Heights

DRAWING TITLE: Schedule  
**WALL ELEVATION SHADOWS**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 29-1-2025

DRAWING NO. **DAMod6003**

Plot Date: 29/01/2025  
Sheet Size: A3

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**