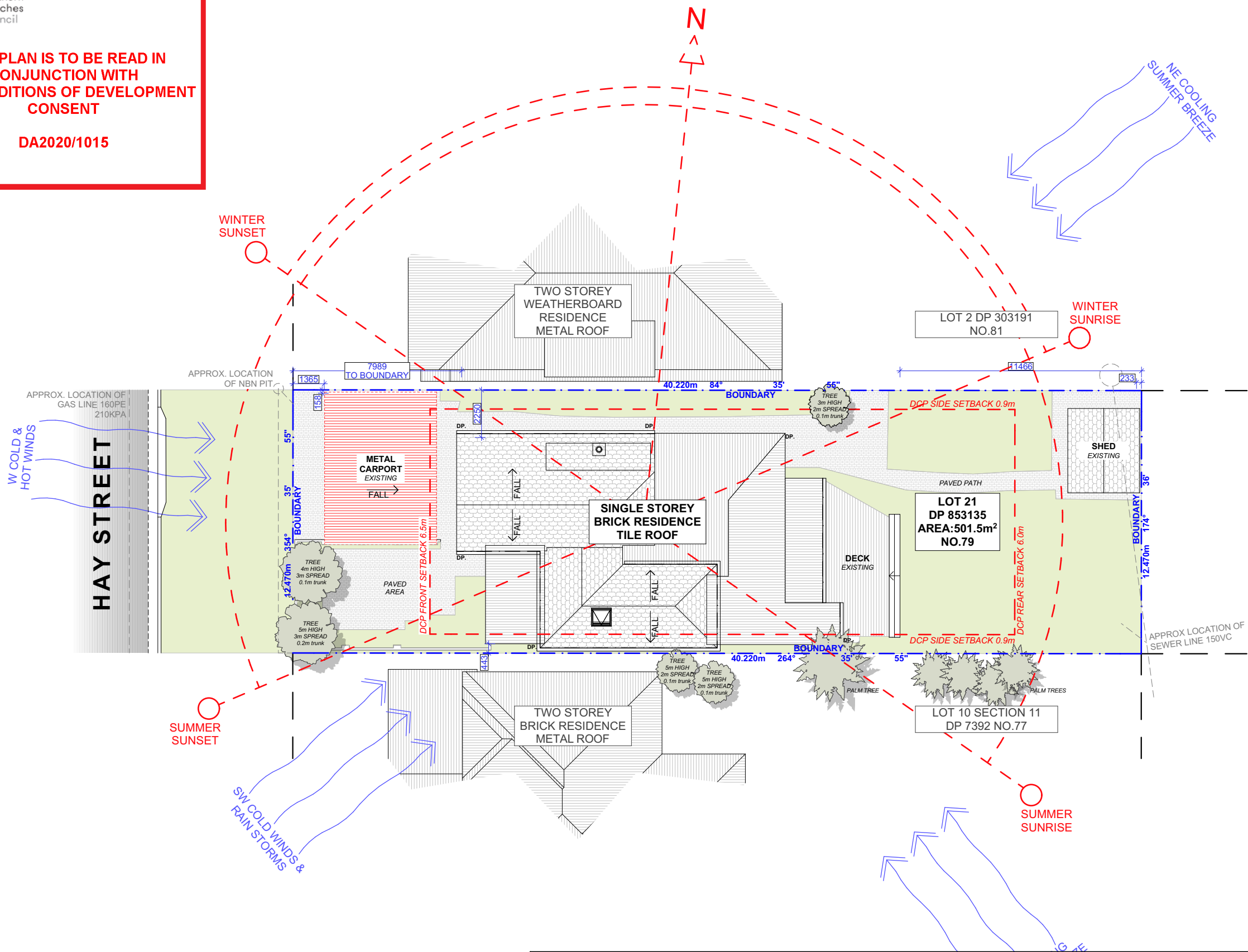




THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

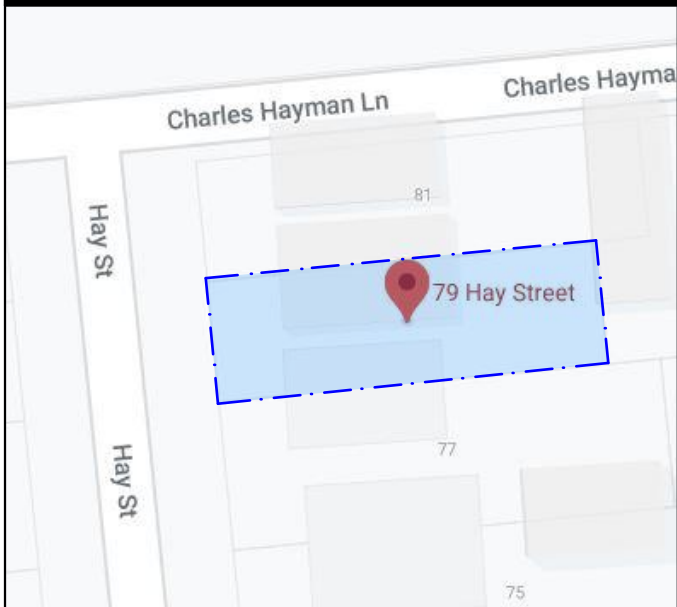
DA2020/1015



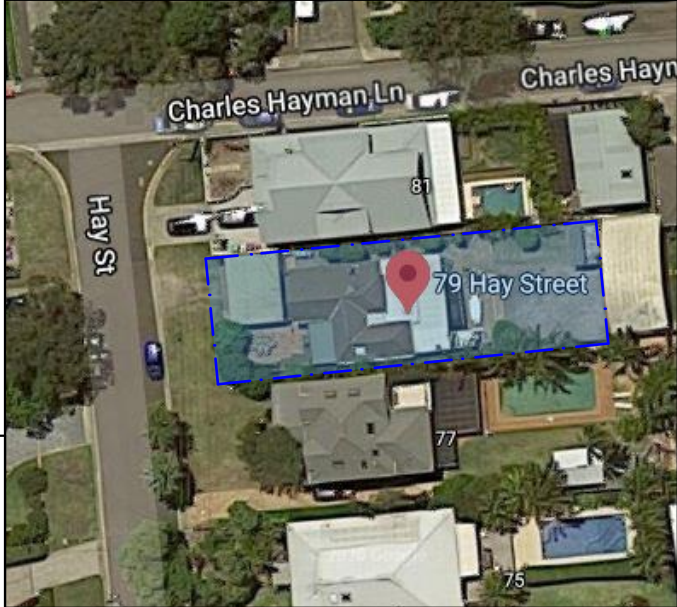
BOUNDARY NOTE:
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF THE BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR A REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.



STREET VIEW



LOCATION VIEW



AERIAL MAP

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001

ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	26.06.2020	DA DESIGN	RNA
B	13.12.2019	DESIGN UPDATE	AM
C	17.12.2019	DESIGN UPDATE	AM
D	17072020	DA DOCUMENTATION	LRP

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND

- SOFT LANDSCAPE
- HARDSCAPED AREA
- METAL ROOFING
- EXISTING
- DEMOLISHED

EX. DP. EXISTING DOWNPIPE
DP. PROPOSED DOWNPIPE

CLIENT
ALAN HARDY & HELEN WHEELER

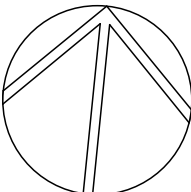
PROJECT ADDRESS
79 HAY STREET,
COLLAROY NSW 2097

DRAWING NO.
DA02

DATE
Thursday, 30 July 2020

DRAWING NAME
SITE ANALYSIS

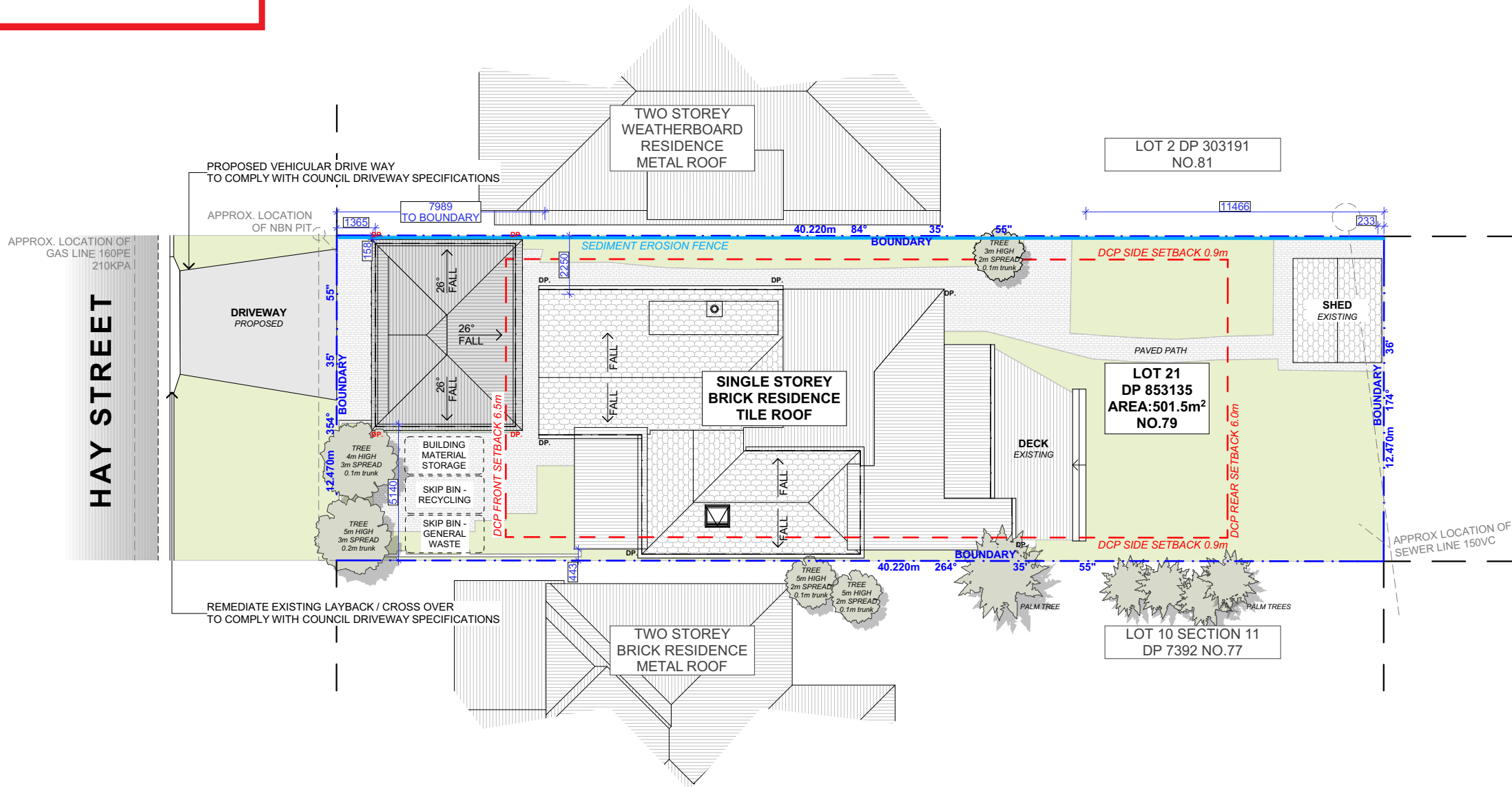
SCALE
1:200 @A3





THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1015



BOUNDARY NOTE:

THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF THE BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR A REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPEMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

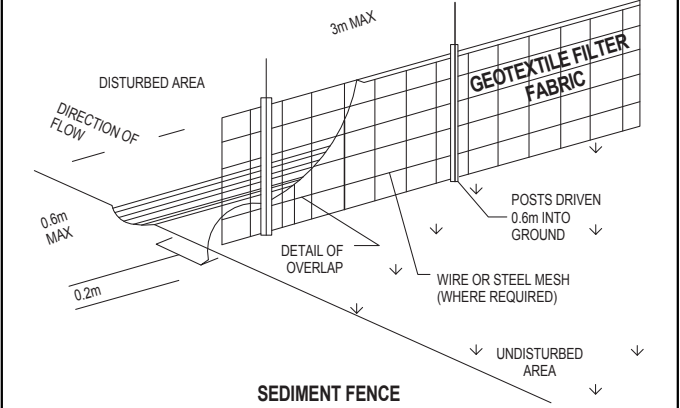
STOCKPILES :

ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION. ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES. IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	26.06.2020	DA DESIGN	RNA
B	13.12.2019	DESIGN UPDATE	AM
C	17.12.2019	DESIGN UPDATE	AM
D	17072020	DA DOCUMENTATION	LRP

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND

	SOFT LANDSCAPE
	HARDSCAPED AREA
	METAL ROOFING
	EXISTING
	DEMOLISHED

EX. DP. EXISTING
DOWNPIPE
DP. PROPOSED
DOWNPIPE

CLIENT

ALAN HARDY & HELEN
WHEELER

PROJECT ADDRESS

79 HAY STREET,
COLLAROY NSW 2097

DRAWING NO.

DA03

DATE

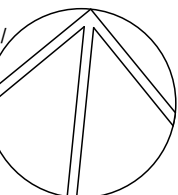
Thursday, 30 July 2020

DRAWING NAME

SITE / ROOF / SEDIMENT EROSION /
WASTE MANAGEMENT /
STORMWATER CONCEPT PLAN

SCALE

@A3



HAY STREET



m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

LEGEND

	EXISTING
	PROPOSED
	DEMOLISHED

CLIENT
ALAN HARDY & HELEN
WHEELER

PROJECT ADDRESS
79 HAY STREET,
COLLAROY NSW 2097

DRAWING NO.

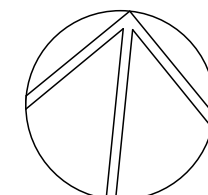
DA04

DATE
Thursday, 30 July 2020

DRAWING NAME

EXISTING GROUND FLOOR
PLAN

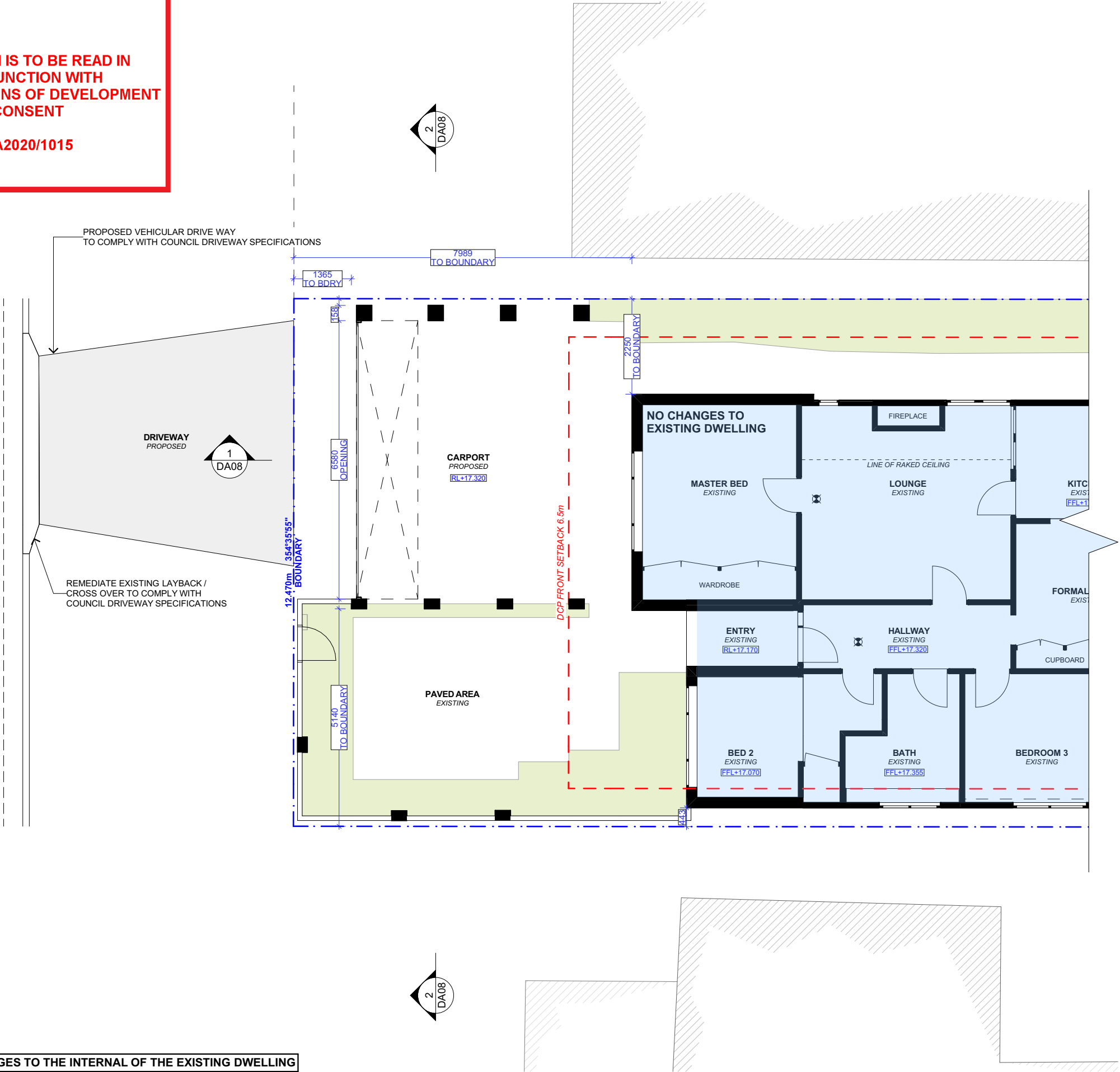
SCALE
@A3



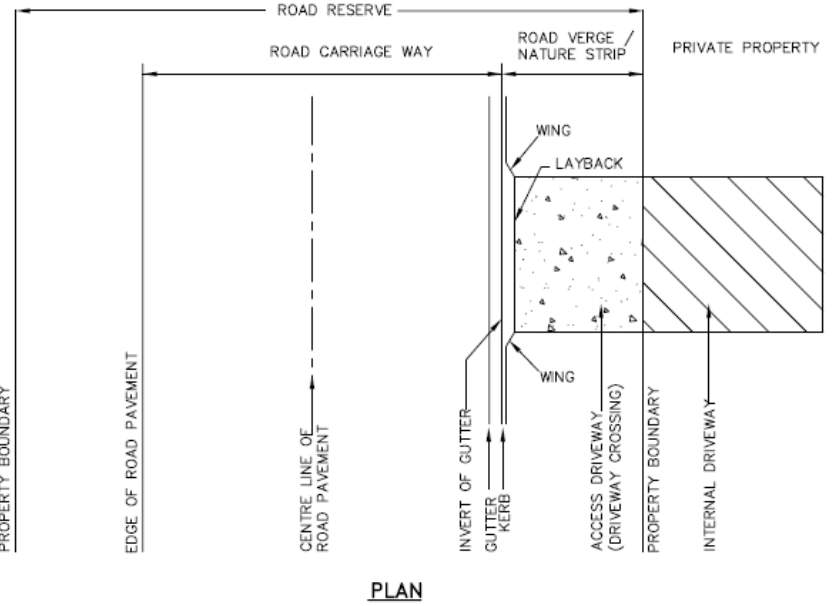
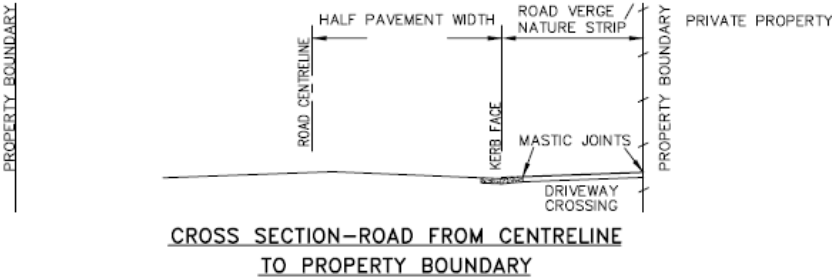
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1015

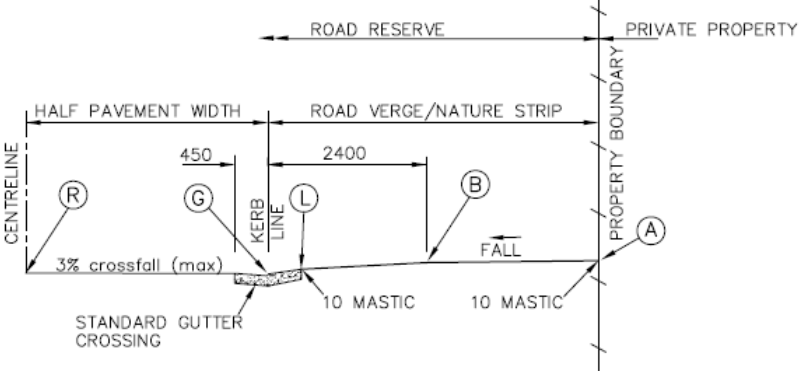
HAY STREET



NOTE: NO CHANGES TO THE INTERNAL OF THE EXISTING DWELLING



- NOTES
- all construction to be concrete plain uncoloured 25MPa at 28 days.
 - thickness single dwelling - 150mm with SL82 mesh. Multiple or industrial - 180mm with SL92 mesh.
 - at least 24 hours notice of intention to pour shall be given to the Council's Urban Infrastructure Unit and no concrete shall be placed until the formwork has been approved.
 - where kerb and gutter does not exist, the future alignment of the kerb can be provided by Council



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE "G"
B	2400 FROM KERB LINE	MAX 180 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	26.06.2020	DA DESIGN	RNA
B	13.12.2019	DESIGN UPDATE	AM
C	17.12.2019	DESIGN UPDATE	AM
D	17072020	DA DOCUMENTATION	LRP

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.

Do not scale measure from drawings. Figured dimensions are to be used only.

The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.

All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND

EXISTING
PROPOSED
DEMOLISHED

CLIENT
ALAN HARDY & HELEN
WHEELER

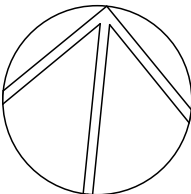
PROJECT ADDRESS
79 HAY STREET,
COLLAROY NSW 2097

DRAWING NO.
DA05

DATE
Thursday, 30 July 2020

DRAWING NAME
PROPOSED GROUND FLOOR
PLAN

SCALE
@A3

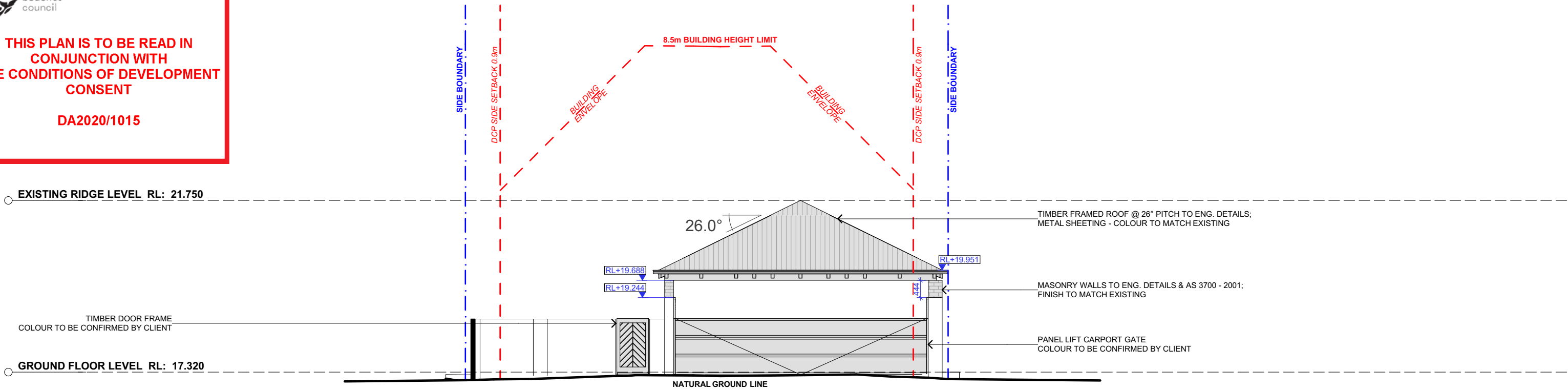




northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

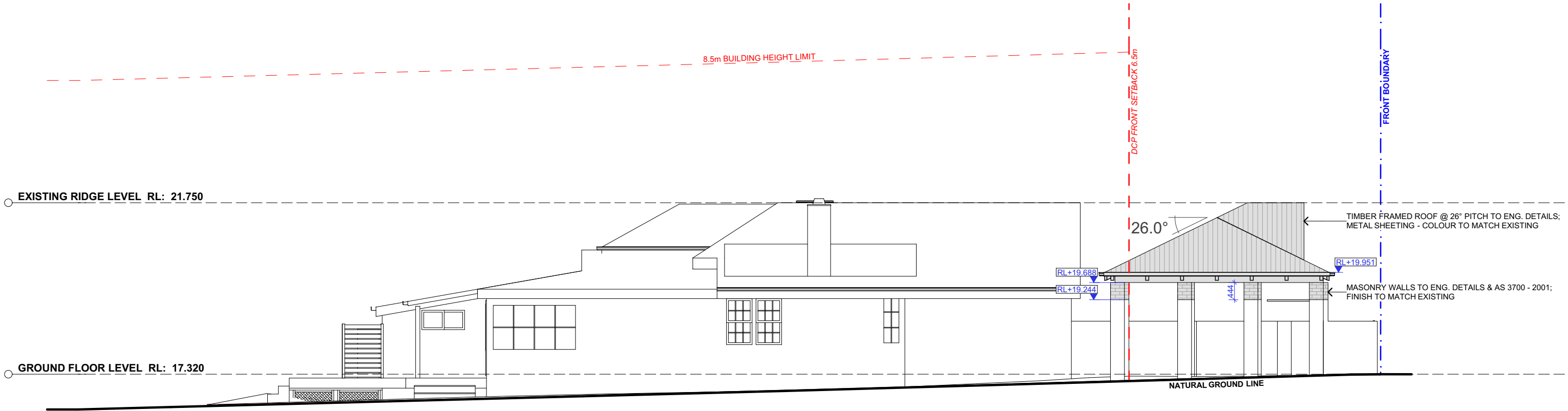
DA2020/1015



2

EAST ELEVATION

1:100



1

NORTH ELEVATION

1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	26.06.2020	DA DESIGN	RNA	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
B	13.12.2019	DESIGN UPDATE	AM	
C	17.12.2019	DESIGN UPDATE	AM	
D	17072020	DA DOCUMENTATION	LRP	

LEGEND

 WEATHERBOARDS

 MASONRY

 METAL ROOFING

 GLASS

 EXISTING

CLIENT

ALAN HARDY & HELEN
WHEELER

PROJECT ADDRESS

79 HAY STREET,
COLLAROY NSW 2097

DRAWING NO.

DA06

DATE

Thursday, 30 July 2020

DRAWING NAME

NORTH / EAST ELEVATION

SCALE

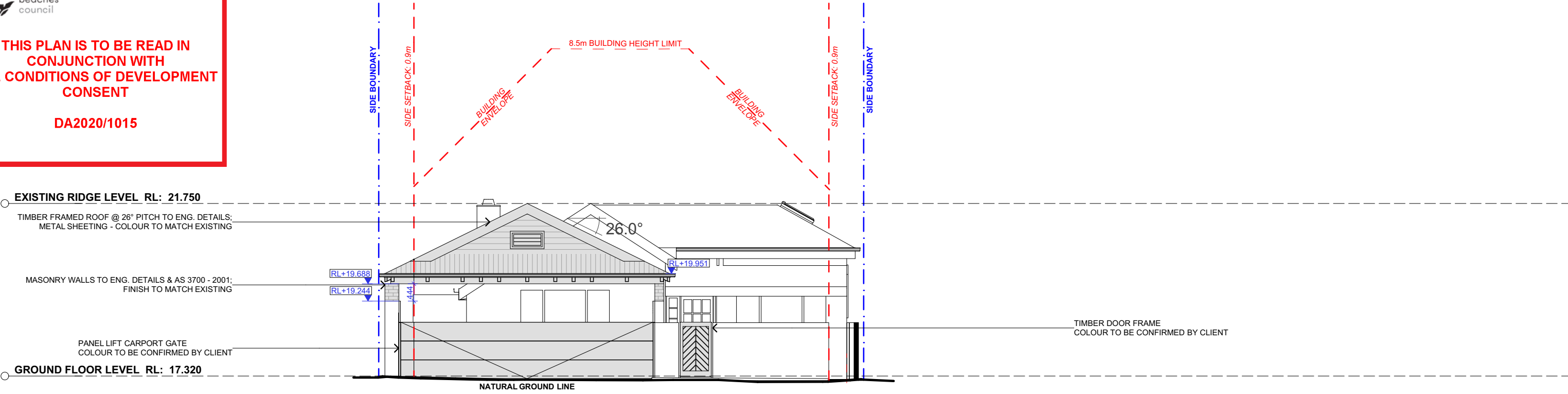
@A3



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

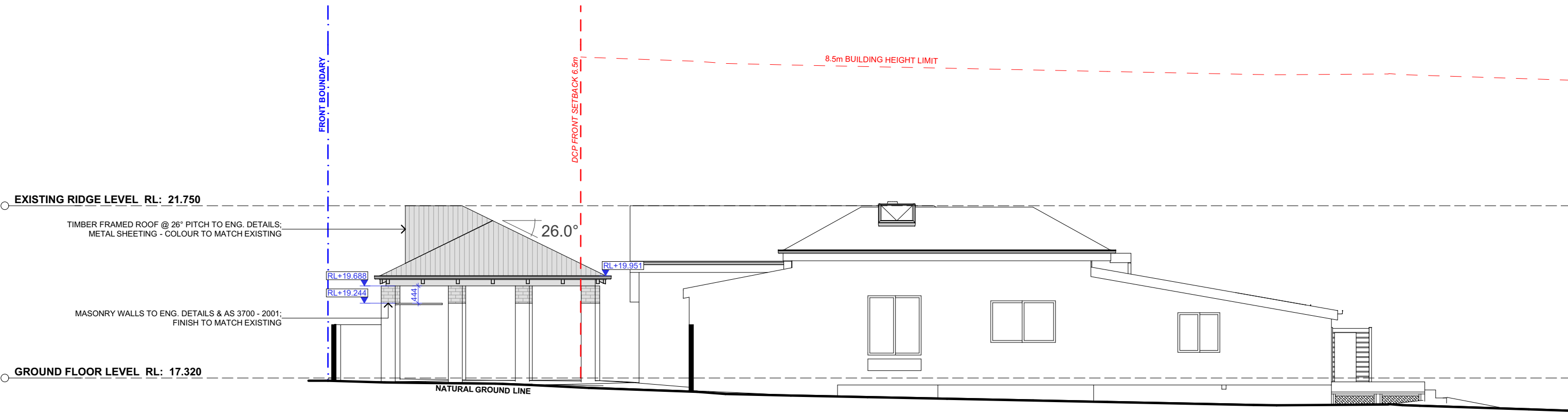
DA2020/1015



2

WEST ELEVATION

1:100



1

SOUTH ELEVATION

1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	26.06.2020	DA DESIGN	RNA	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
B	13.12.2019	DESIGN UPDATE	AM	
C	17.12.2019	DESIGN UPDATE	AM	
D	17072020	DA DOCUMENTATION	LRP	

LEGEND

 WEATHERBOARDS

 MASONRY

 METAL ROOFING

 GLASS

 EXISTING

CLIENT

ALAN HARDY & HELEN
WHEELER

PROJECT ADDRESS

79 HAY STREET,
COLLARROY NSW 2097

DRAWING NO.

DA07

DATE

Thursday, 30 July 2020

DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

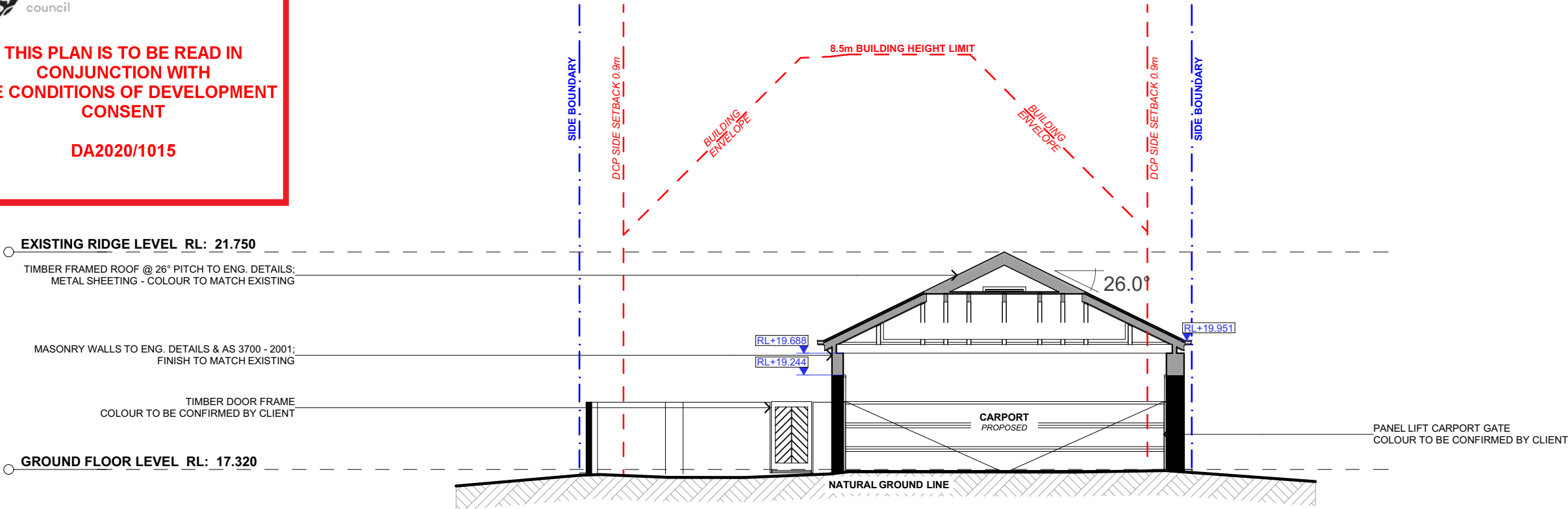
@A3



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

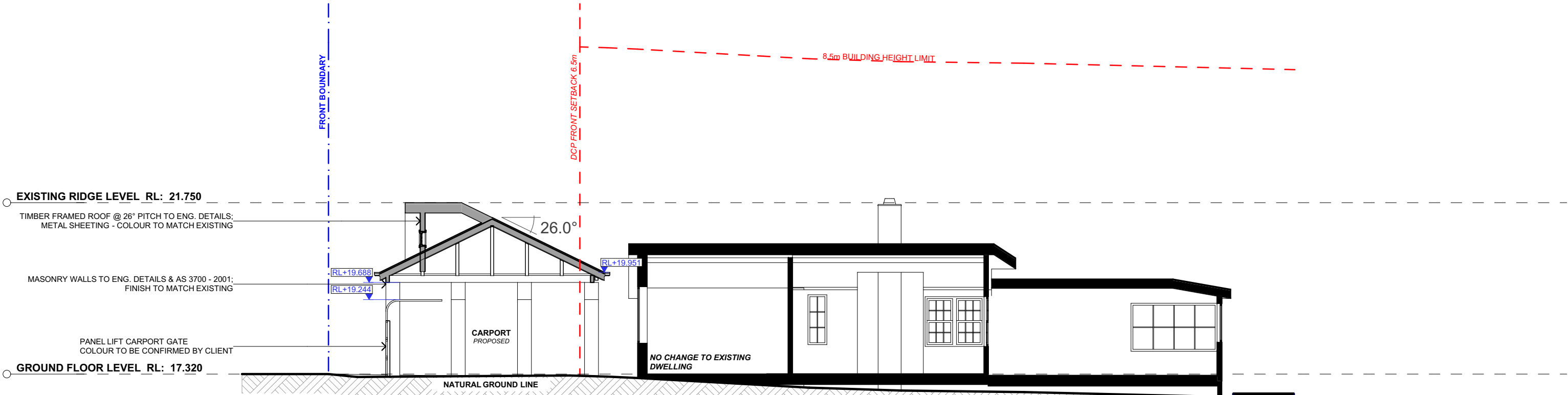
DA2020/1015



2

CROSS SECTION

1:100



1

LONG SECTION

1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	26.06.2020	DA DESIGN	RNA
B	13.12.2019	DESIGN UPDATE	AM
C	17.12.2019	DESIGN UPDATE	AM
D	17072020	DA DOCUMENTATION	LRP

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND

 WEATHERBOARDS

 MASONRY

 METAL ROOFING

 GLASS

 EXISTING

CLIENT
ALAN HARDY & HELEN
WHEELER

PROJECT ADDRESS
79 HAY STREET,
COLLAROY NSW 2097

DRAWING NO.
DA08

DATE
Thursday, 30 July 2020

DRAWING NAME
LONG / CROSS SECTION

SCALE
@A3