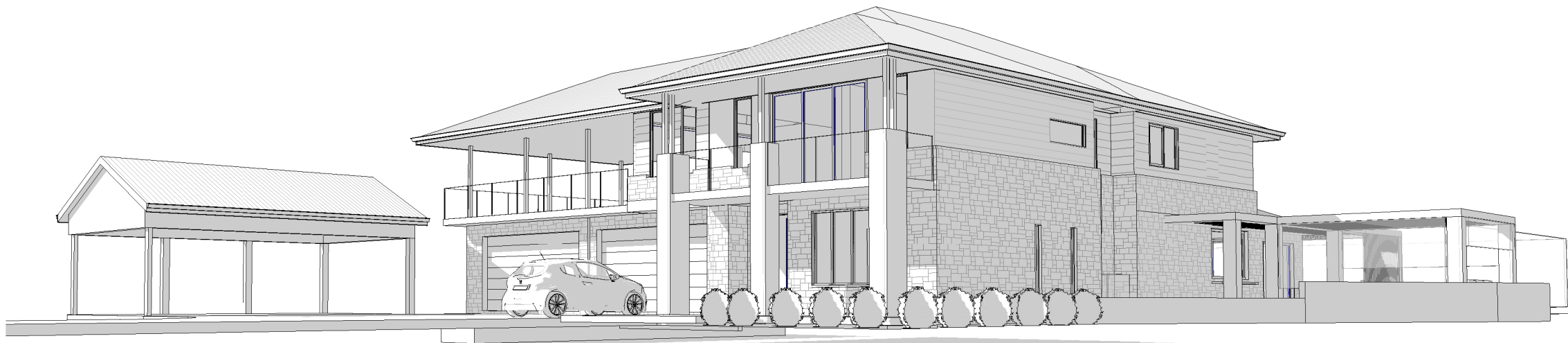




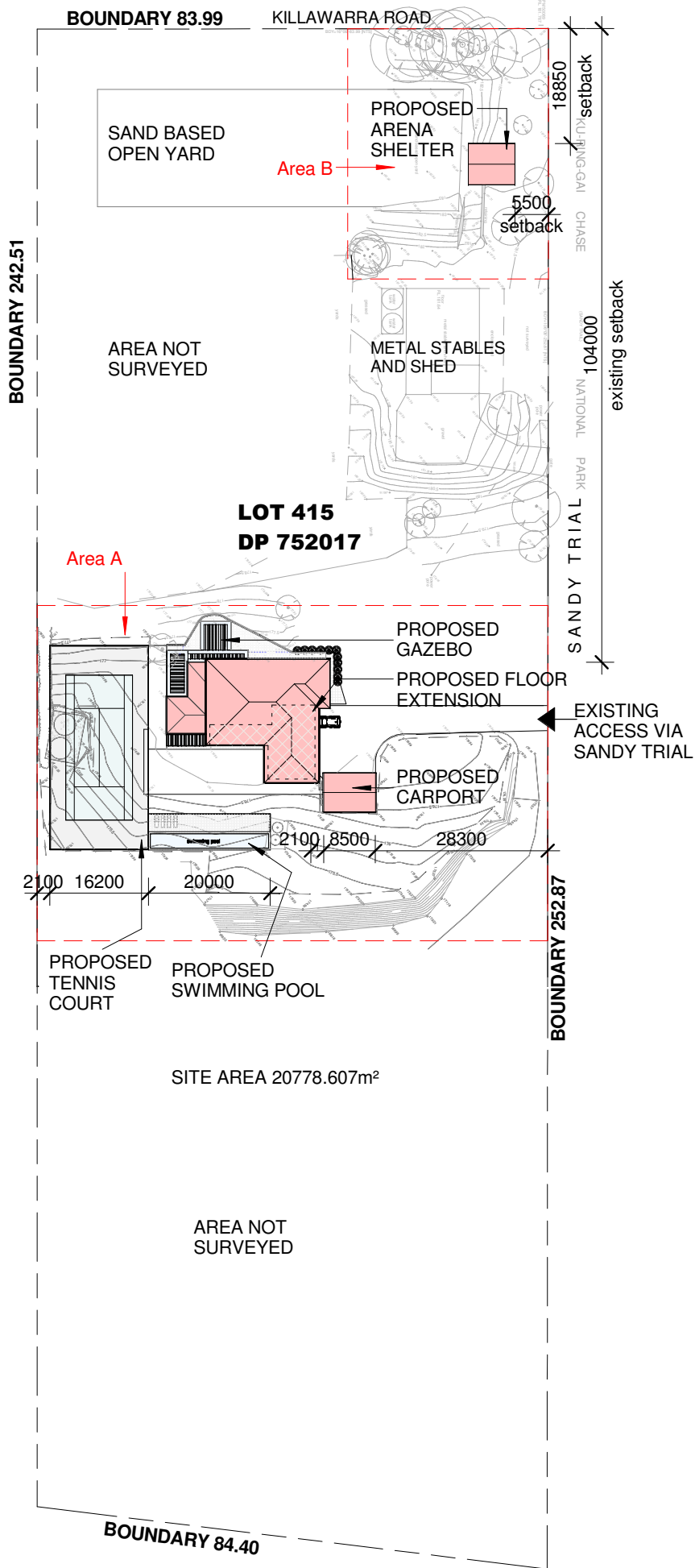
Additions and alterations to existing dwelling

Lot 415 No 6 Killawarra Road Duffys Forest
Development Application

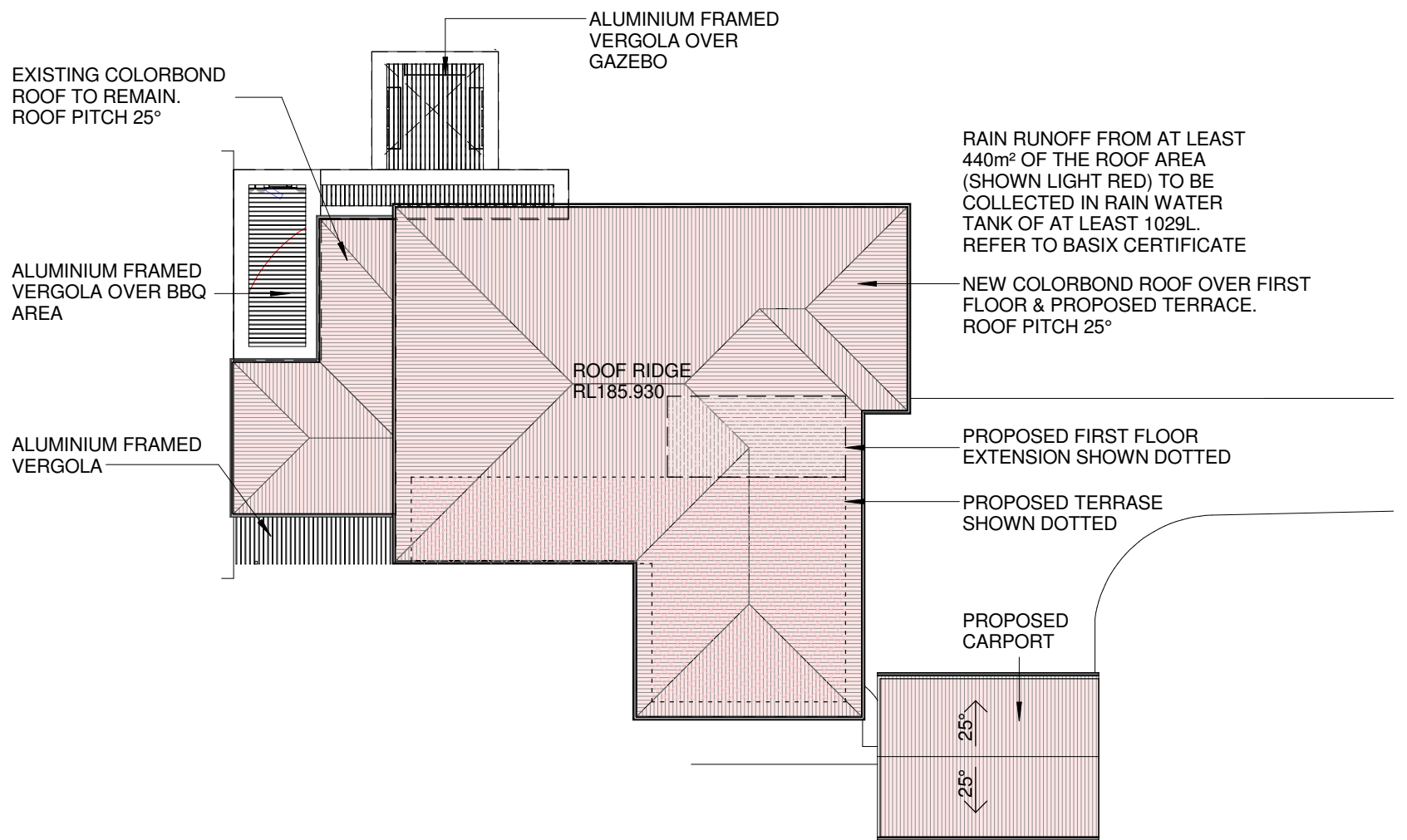
Sheet List			
Sheet No	Sheet Name	Revision	Current Revision Date
01	Cover Page	B	8/11/2024
02	Site Plan (Partial Survey) and Roof Plan	B	8/11/2024
03	Partial Site Plan (Area A)	B	8/11/2024
04	Ground Floor_ Dwelling (Area A)	B	8/11/2024
05	First Floor_ Dwelling (Area A)	B	8/11/2024
06	North and West Elevation_ Dwelling (Area A)	B	8/11/2024
07	South and East Elevation_ Dwelling (Area A)	B	8/11/2024
08	Sections_ Dwelling (Area A)	B	8/11/2024
09	Carport Plans	B	8/11/2024
10	Swimming pool plan (Area A)	B	8/11/2024
11	3D Views_ Dwelling (Area A)	B	8/11/2024
12	Site _Partial Plan (Area B)	B	8/11/2024
13	Arena Shelter Plan & Section (Area B)	B	8/11/2024
14	Arena Shelter Elevations (Area B)	B	8/11/2024
15	Schedule of Finishes	B	8/11/2024
16	Area Calculations	B	8/11/2024
17	Basix Requirements	A	8/11/2024
18	Landscape Calculation Plan	A	3/09/2025



1 FRONT VIEW



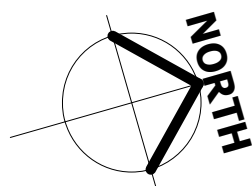
2 ROOF PLAN
1 : 250



1 SITE PLAN (PARTIAL SURVEY)
1 : 1000

No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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Site Plan (Partial Survey) and Roof Plan
Additions and alterations to existing dwelling
Lot 415 No 6 Killawarra Road Duffys Forest Development Application

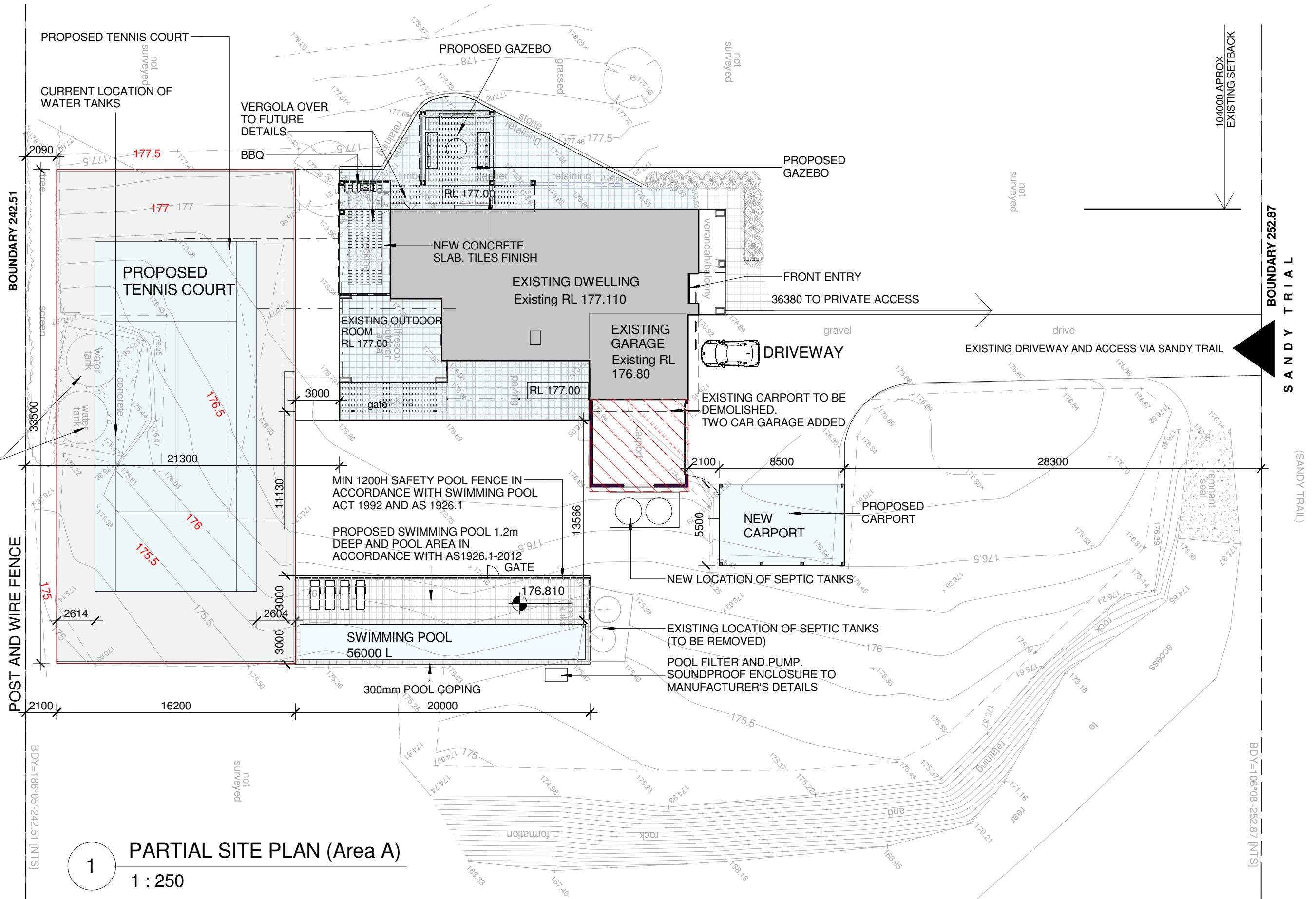
Job No.	2416	Sheet No.	02
Scale	As indicated @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

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ALL WORK IS TO BE IN ACCORDANCE WITH BASIX CERTIFICATE REQUIREMENTS

REMOVE EXISTING ABOVE GROUND WATER TANKS AND REPLACE WITH WATER TANKS AS REQUIRED BELOW GROUND, UNDER THE PROPOSED TENNIS COURT. ADDITIONAL VOLUME OF 1029L TO BE ACCOMMODATED IN ACCORDANCE WITH BASIX CERTIFICATE

LOT 414



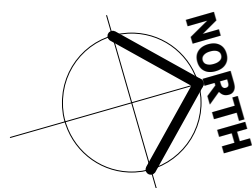
1

PARTIAL SITE PLAN (Area A)

1 : 250

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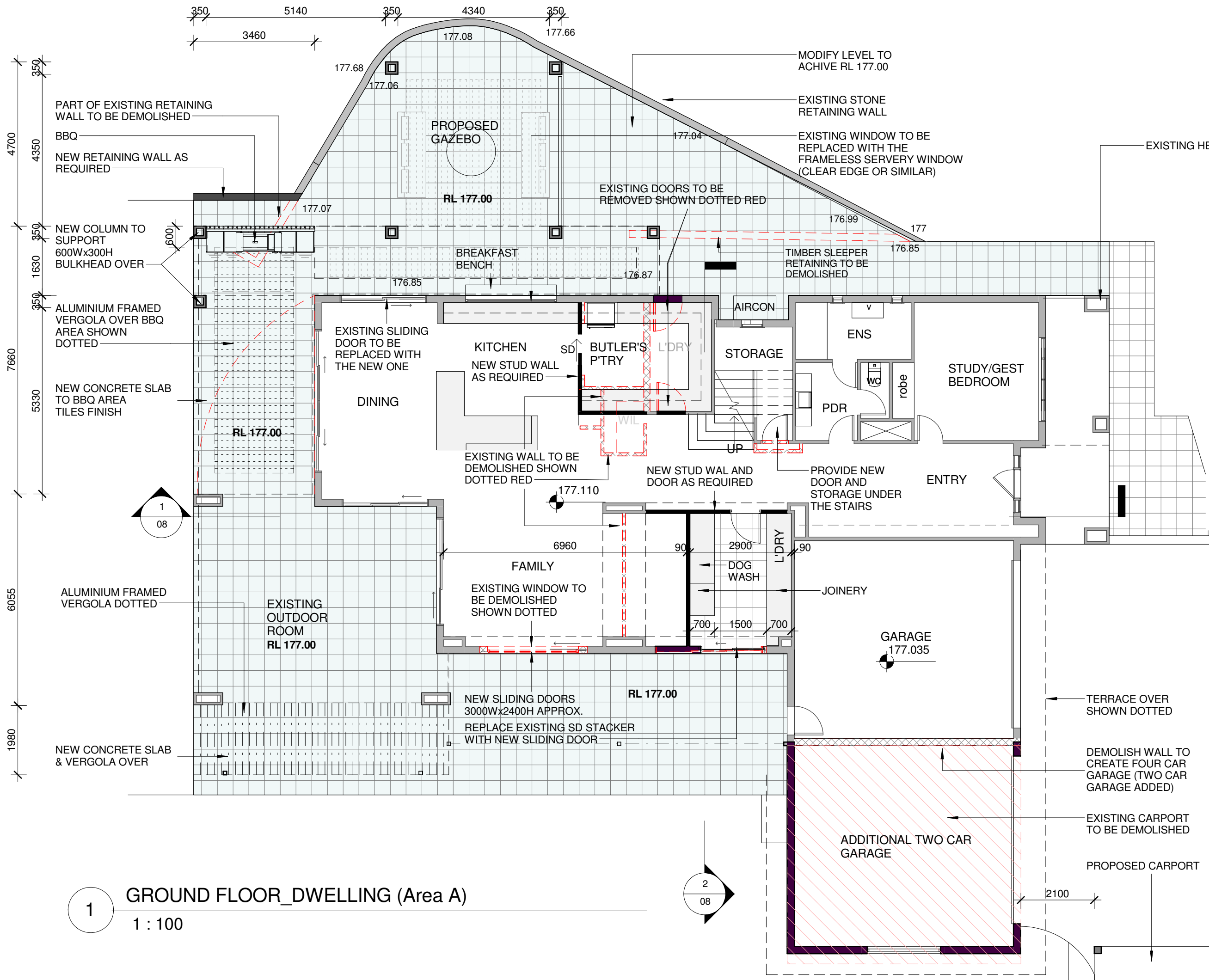
Partial Site Plan (Area A)

Additions and alterations to existing dwelling

Lot 415 No 6 Killawarra Road Duffys Forest Development Application

Job No.	2416	Sheet No.	03
Scale	1 : 250 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

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No	Description	Date
A	Development Application For Consultants	15.04.2024
B	Development Application	8/11/2024

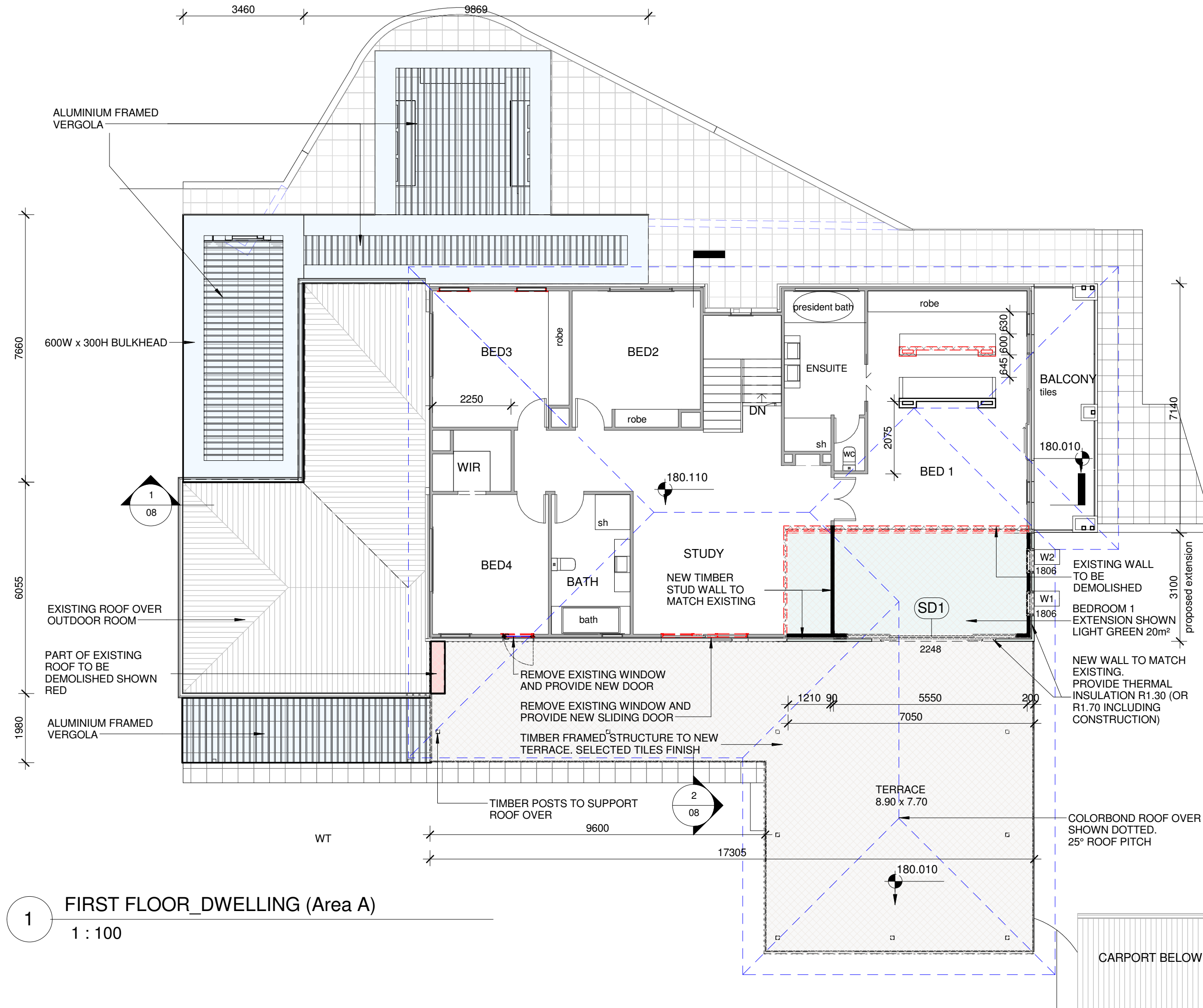
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Ground Floor Dwelling (Area A)
Lot 415 No 6 Killawarra Road
Duffys Forest Development Application

Additions and alterations to existing dwelling	
Job No.	Scale.
2416	1 : 100
Date.	Sheet No.
Issue Date	04
Drawn by.	Issue.
A.M	B

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Chipping Norton
NSW 2170
P. 02 9755 1318
E.admin@pagano.com.au
Nominated Architects:
Alfredo Pagano 6774

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No	Description	Date
A	Development Application For Consultants	15.04.2024
B	Development Application	8/11/2024

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First Floor_ Dwelling (Area A)

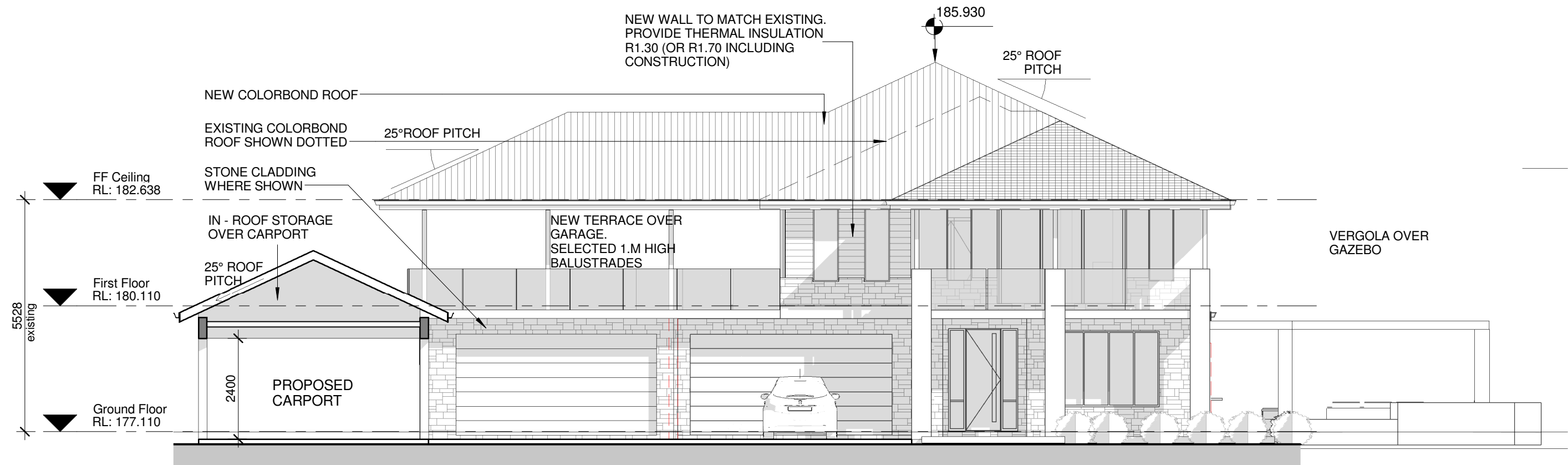
Lot 415 No 6 Killawarra Road
Duffys Forest Development
Application

Additions and alterations to existing dwelling

Job No.	2416	Scale.	1 : 100
Date.	Issue Date	Sheet No.	05
Drawn by.	A.M	Issue.	B

A. 1/64 Riverside Road,
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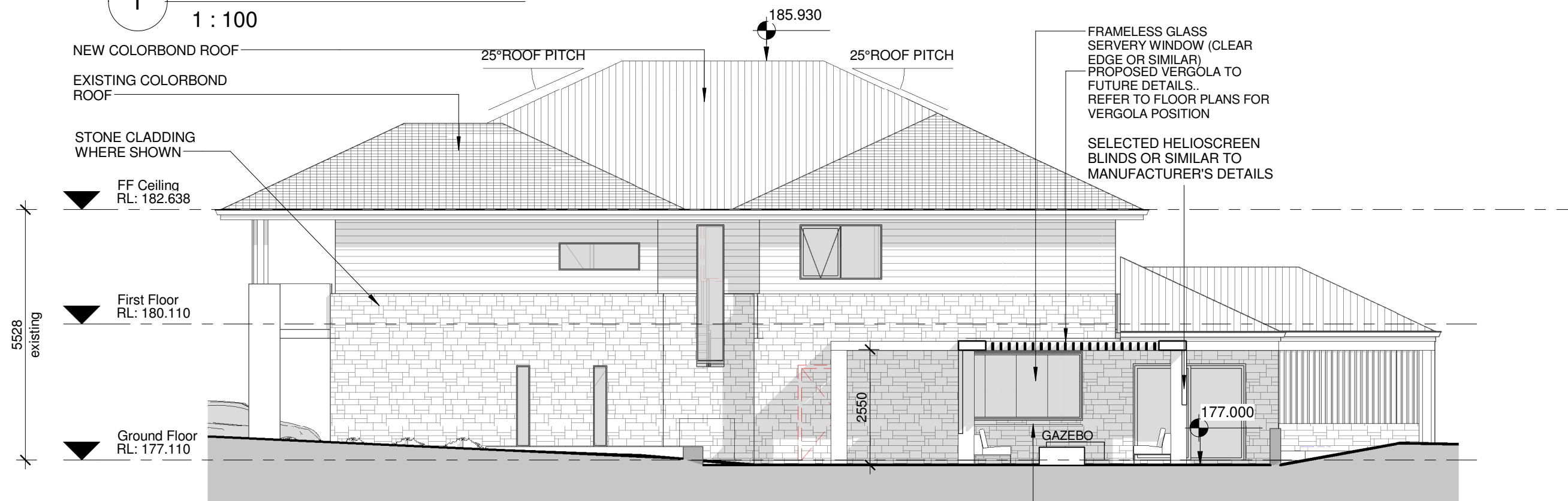
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NORTH ELEVATION

1

1 : 100



WEST ELEVATION

2

1 : 100

No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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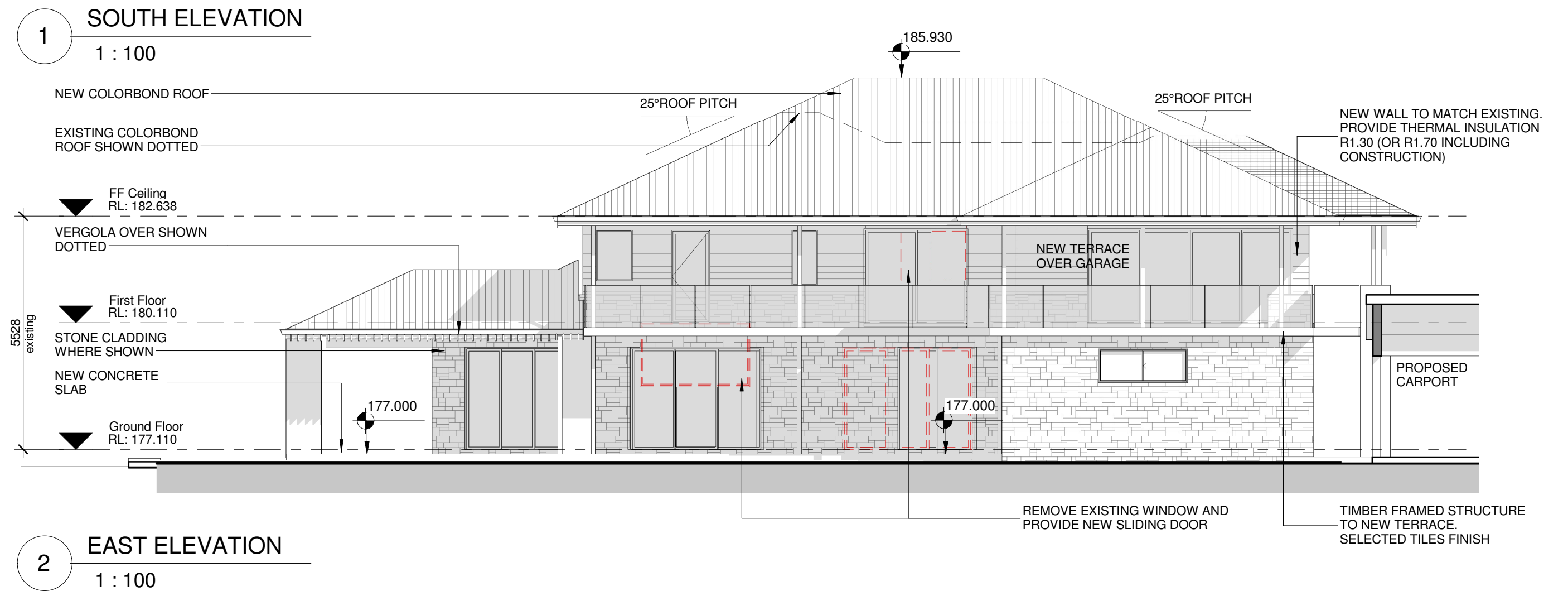
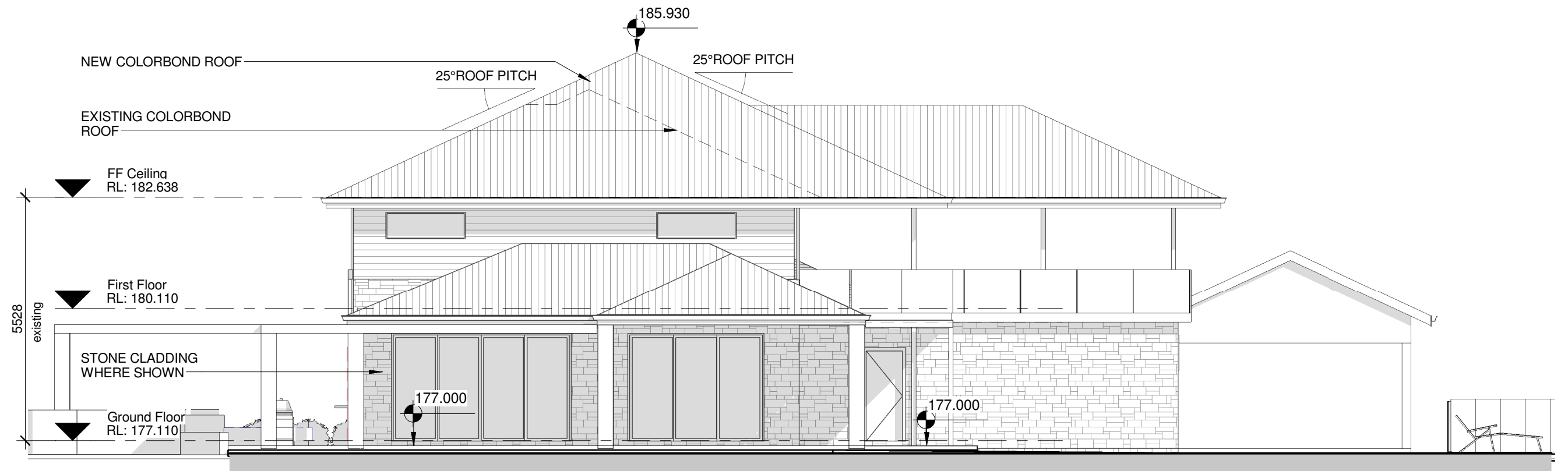
North and West Elevation_ Dwelling (Area A)

Additions and alterations to existing dwelling

Lot 415 No 6 Killawarra Road Duffys Forest Development Application

Job No.	2416	Sheet No.	06
Scale	1 : 100 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

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No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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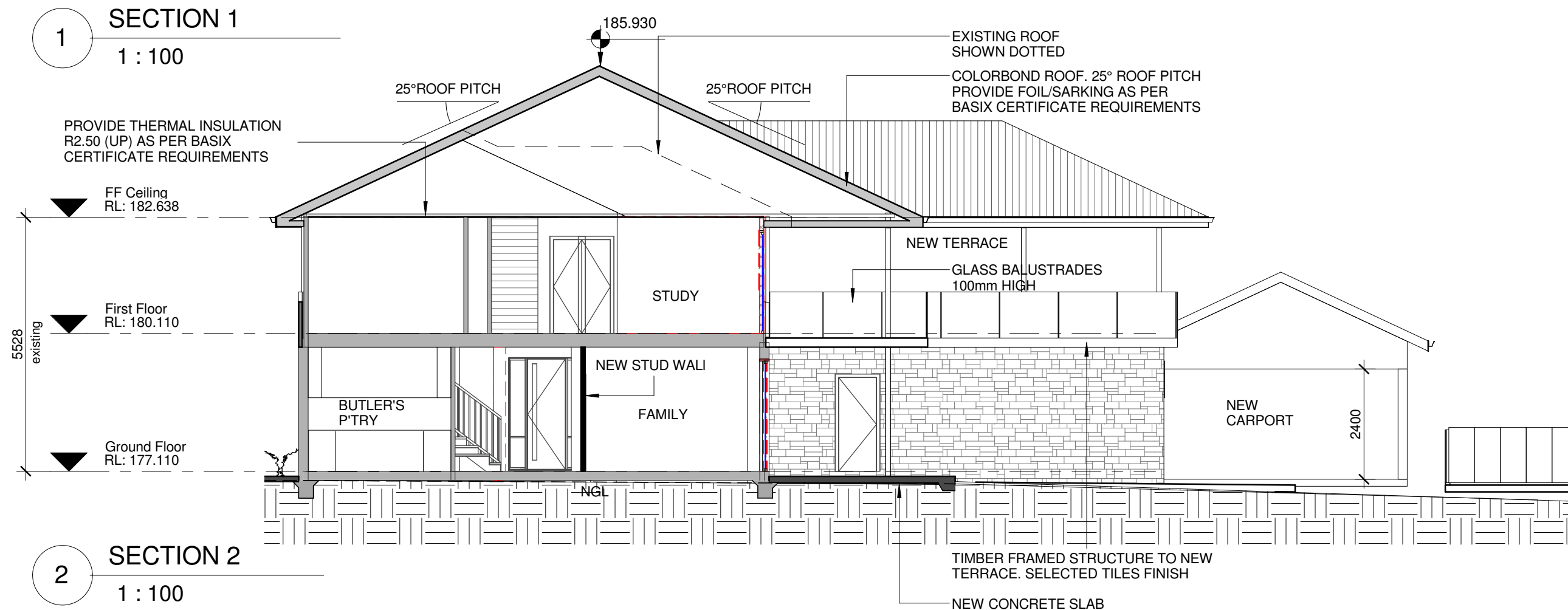
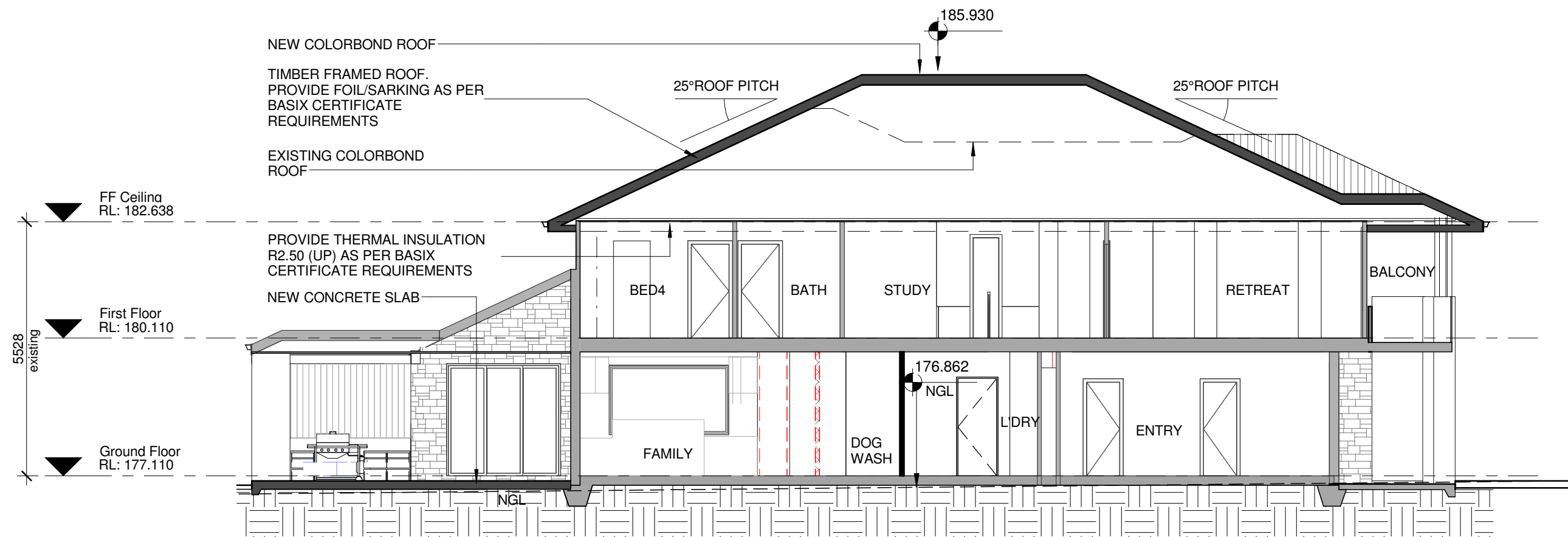
South and East Elevation_ Dwelling (Area A)

Additions and alterations to existing dwelling

Lot 415 No 6 Killawarra Road Duffys Forest Development Application

Job No.	2416	Sheet No.	07
Scale	1 : 100 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

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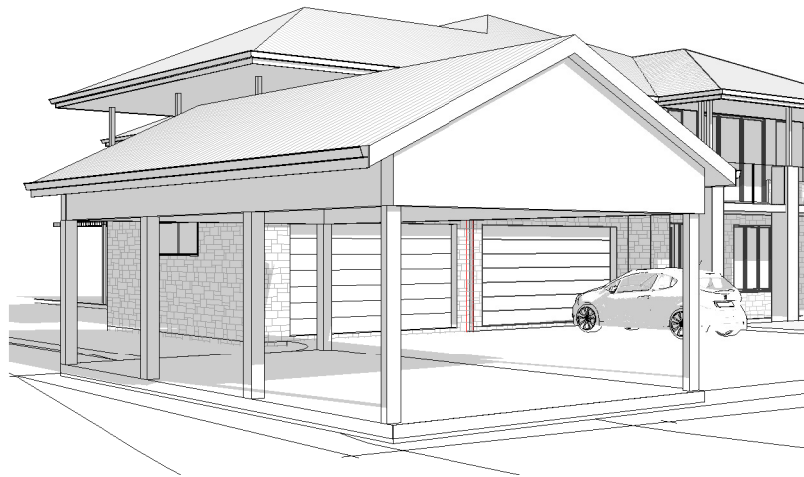
No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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Sections_ Dwelling (Area A)
Additions and alterations to existing dwelling
Lot 415 No 6 Killawarra Road Duffys Forest Development Application

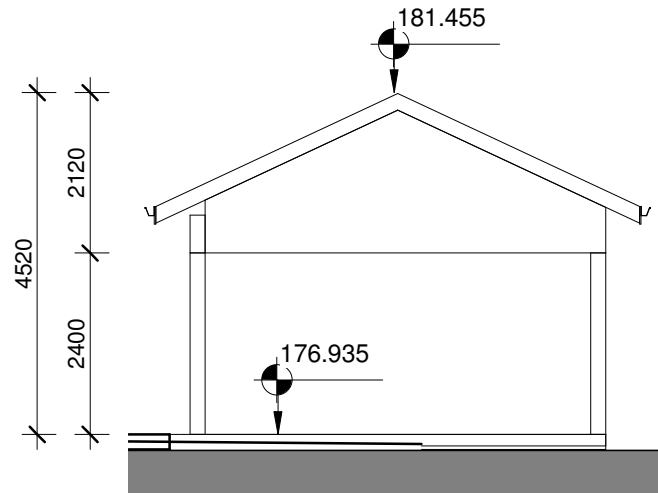
Job No.	2416	Sheet No.	08
Scale	1 : 100 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

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1

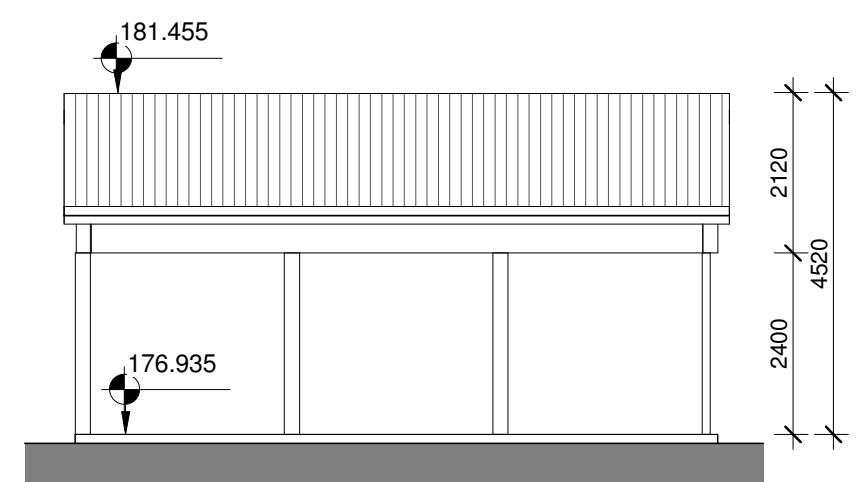
CARPORT 3D



2

NORTH & SOUTH CARPORT ELEVATIONS

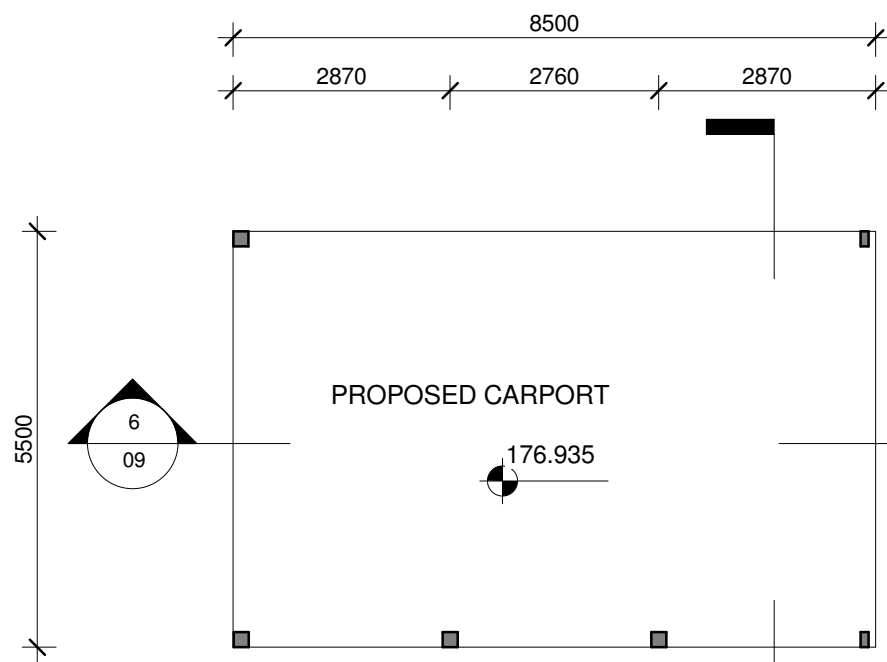
1 : 100



3

EAST & WEST CARPORT ELEVATIONS

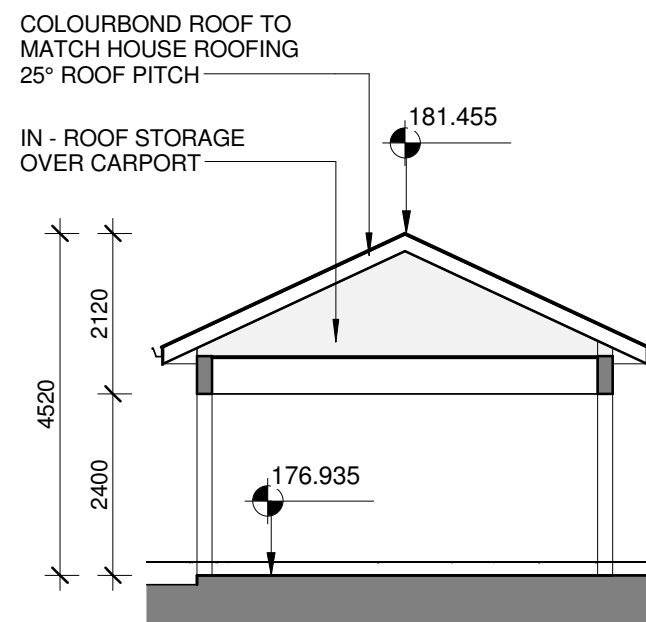
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4

CARPORT PLAN

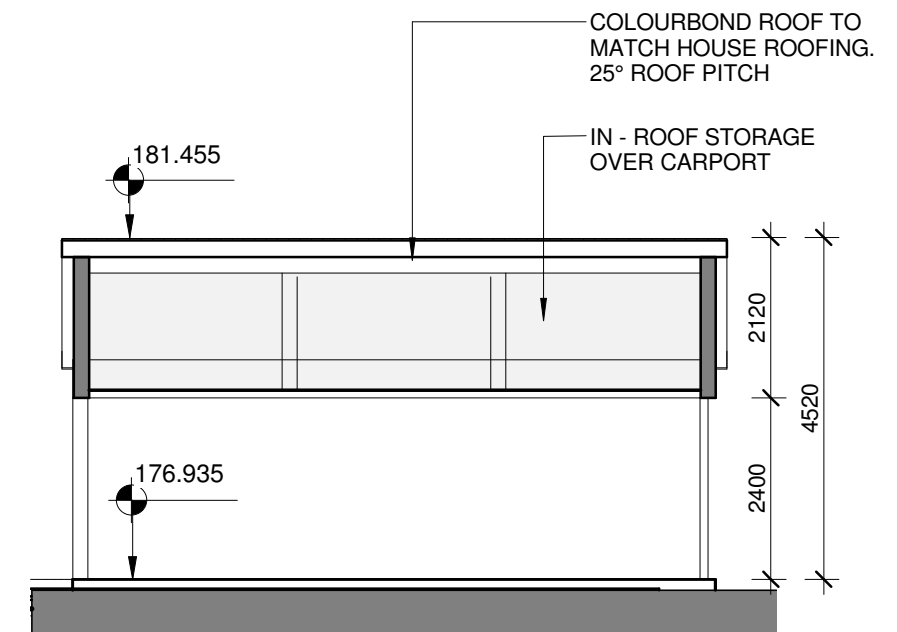
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5

CARPORT SECTION 1

1 : 100



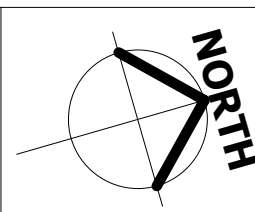
6

CARPORT SECTION 2

1 : 100

No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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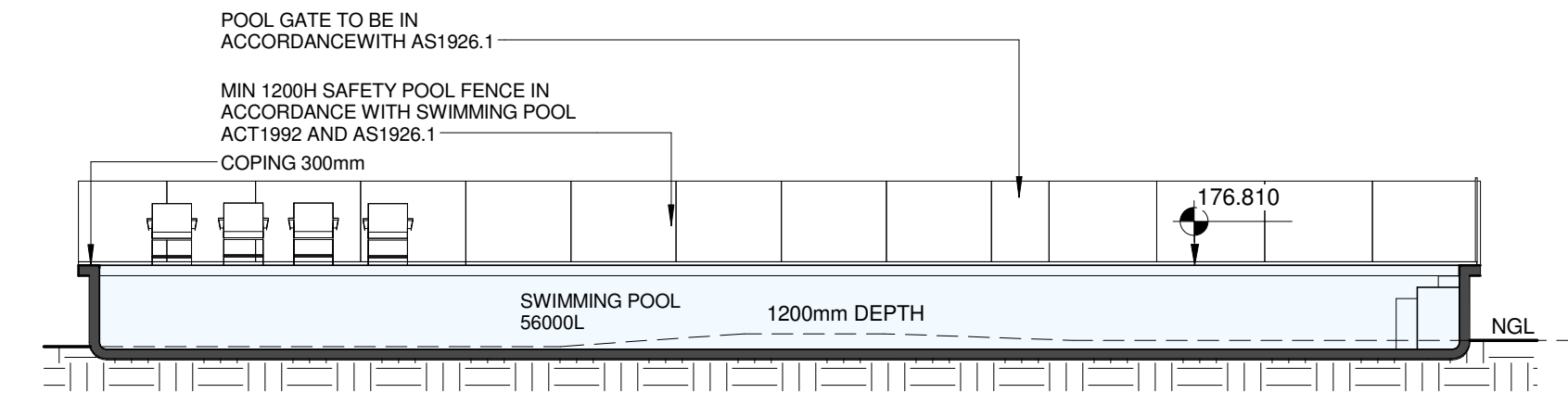
Carport Plans

Additions and alterations to existing dwelling

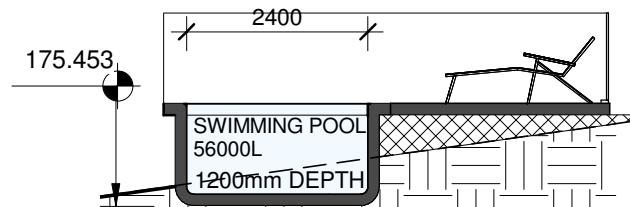
Lot 415 No 6 Killawarra Road Duffys Forest Development Application

Job No.	2416	Sheet No.	09
Scale	1 : 100 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

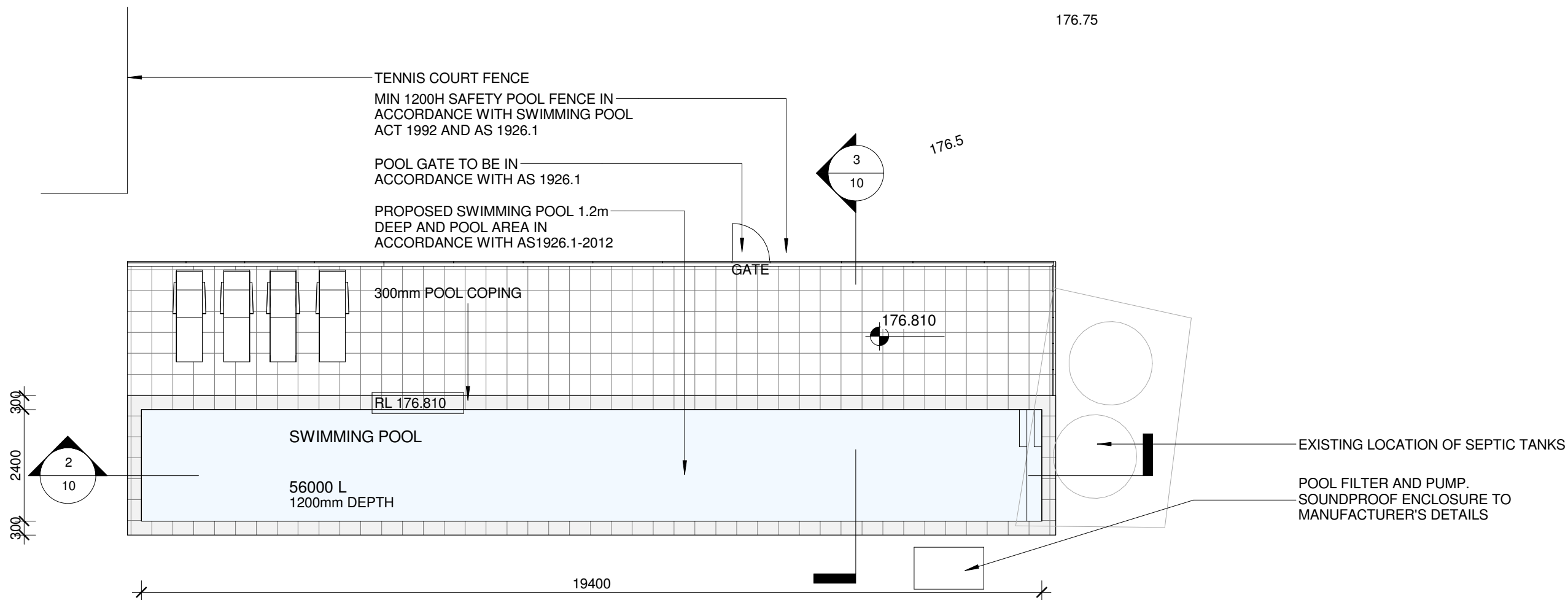
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2 SWIMMING POOL SECTION 1
1 : 100



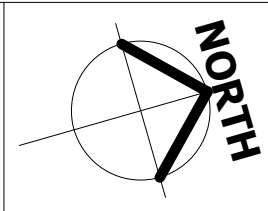
3 SWIMMING POOL SECTION 2
1 : 100



1 SWIMMING POOL PLAN
1 : 100

No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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Swimming pool plan (Area A)
Additions and alterations to existing dwelling
Lot 415 No 6 Killawarra Road Duffys Forest Development Application

Job No.	2416	Sheet No.	10
Scale	1 : 100 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

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1 VIEW 1_NORTH



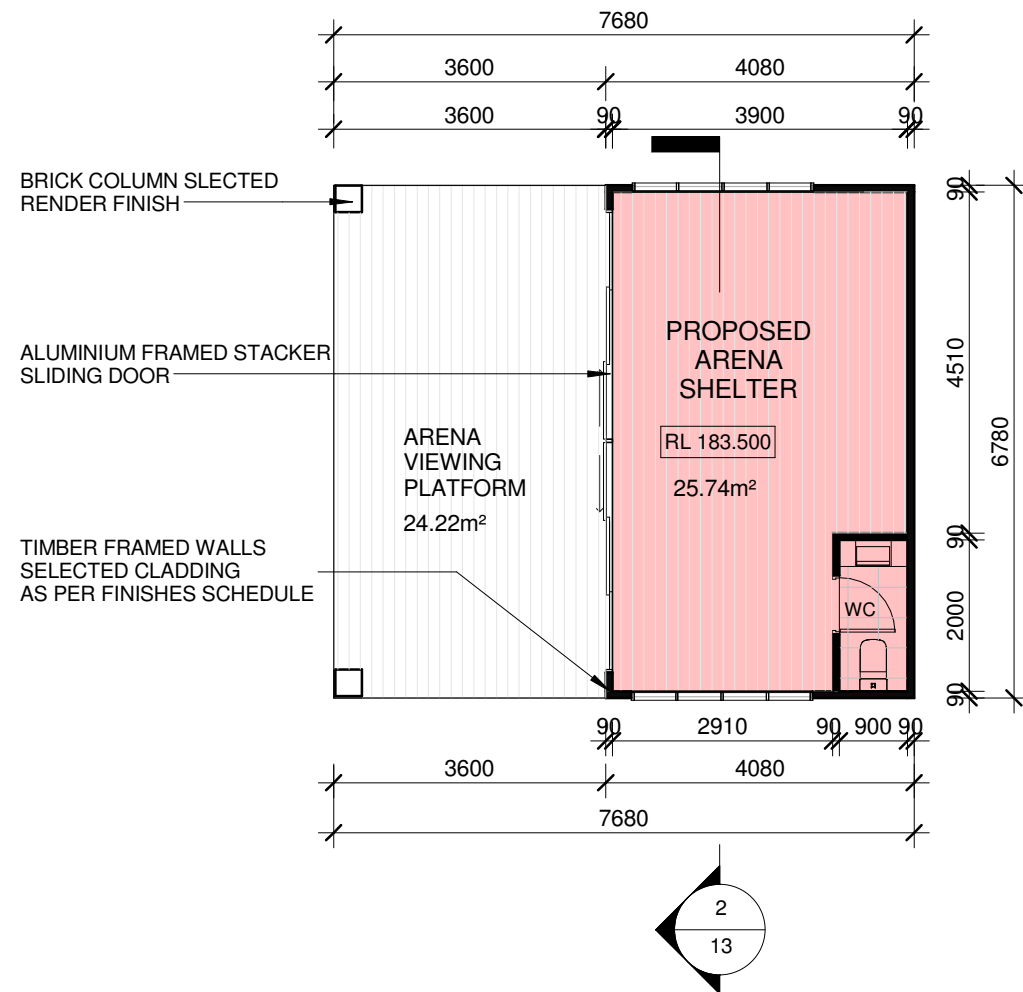
4 VIEW 2_EAST



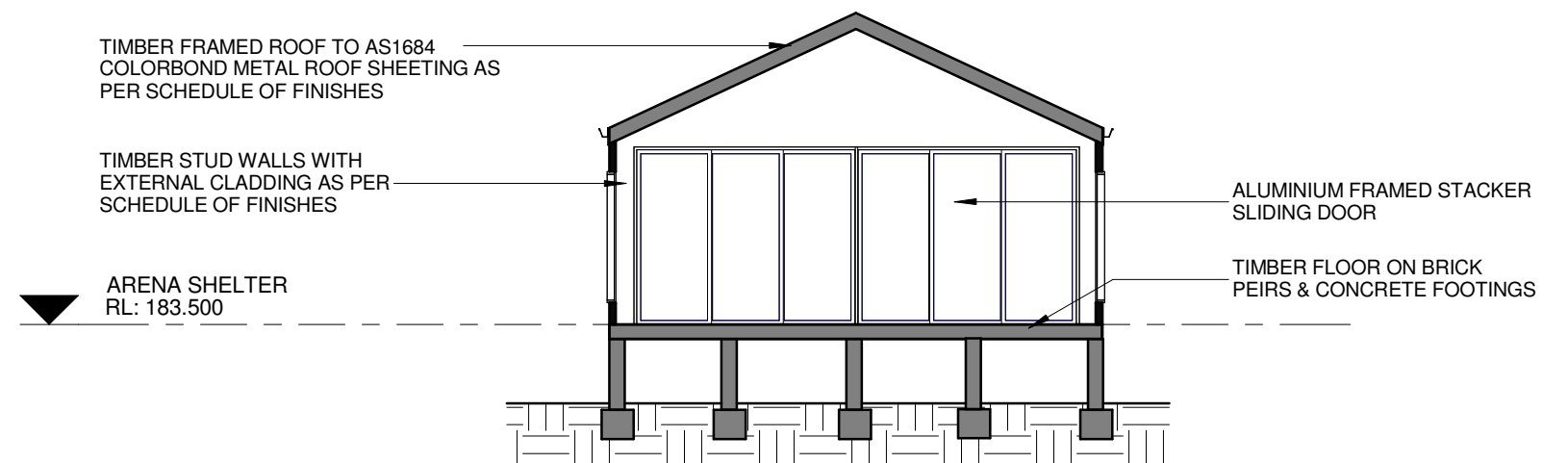
3 VIEW 3_SOUTH



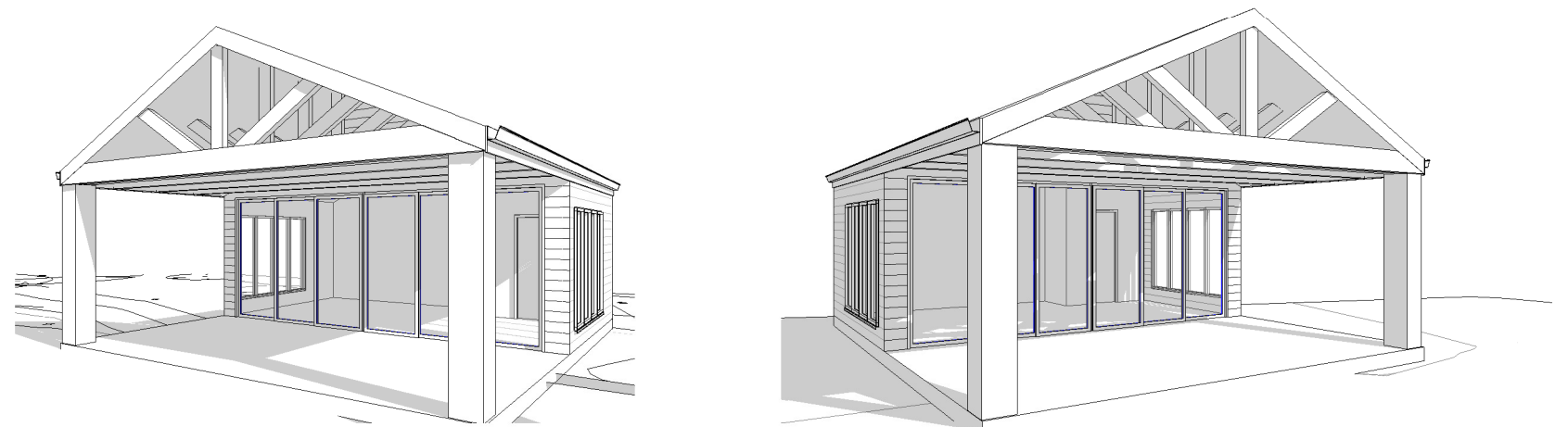
2 VIEW 4_WEST



1 ARENA SHELTER
1 : 100



2 ARENA SHELTER SECTION
1 : 100



No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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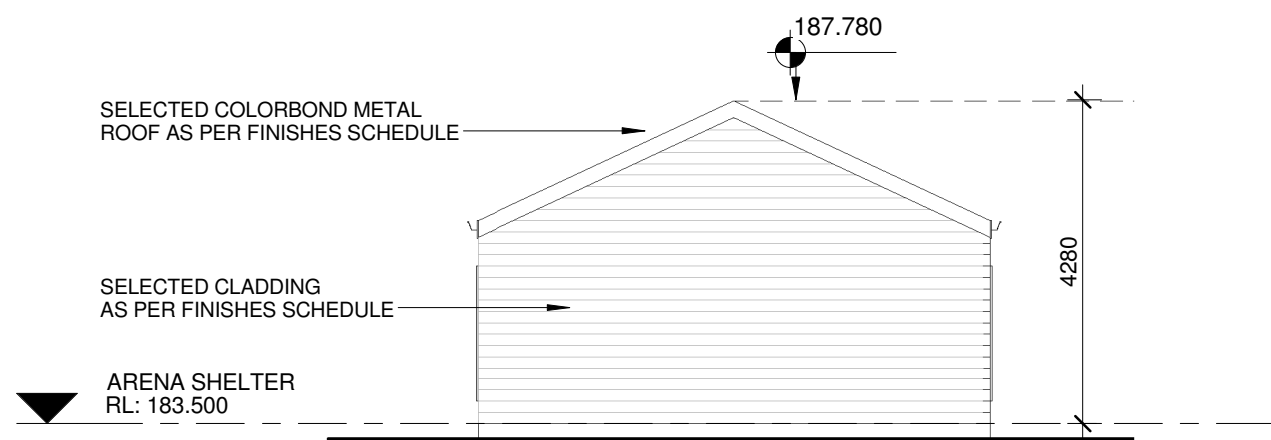
Arena Shelter Plan & Section (Area B)

Additions and alterations to existing dwelling

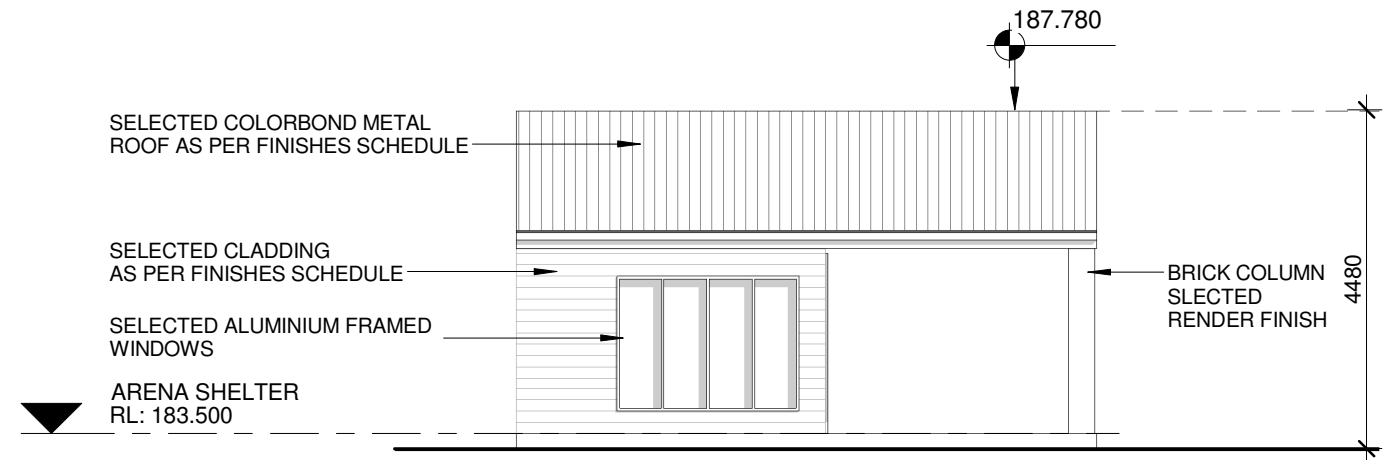
Lot 415 No 6 Killawarra Road Duffys Forest Development Application

Job No.	2416	Sheet No.	13
Scale	1 : 100 @ A3	Issue.	B
A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774			

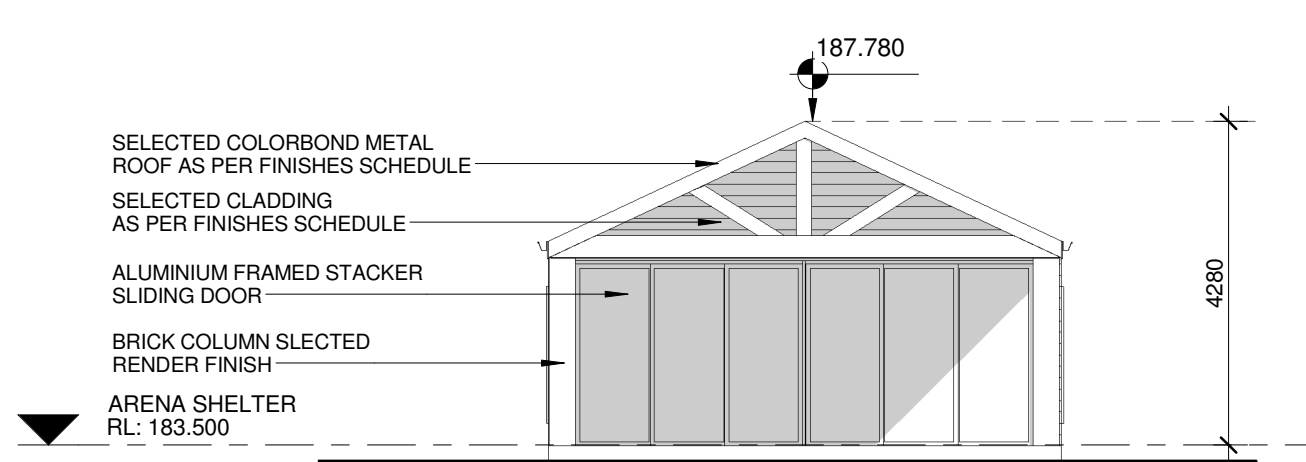
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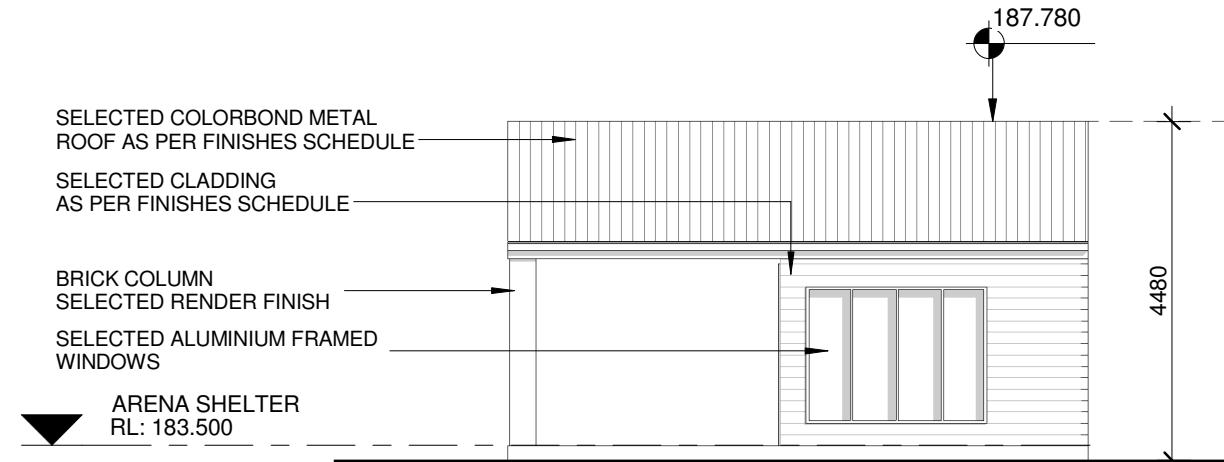
1 NORTH ELEVATION_ARENA SHELTER
1 : 100



2 WEST ELEVATION_ARENA SHELTER
1 : 100

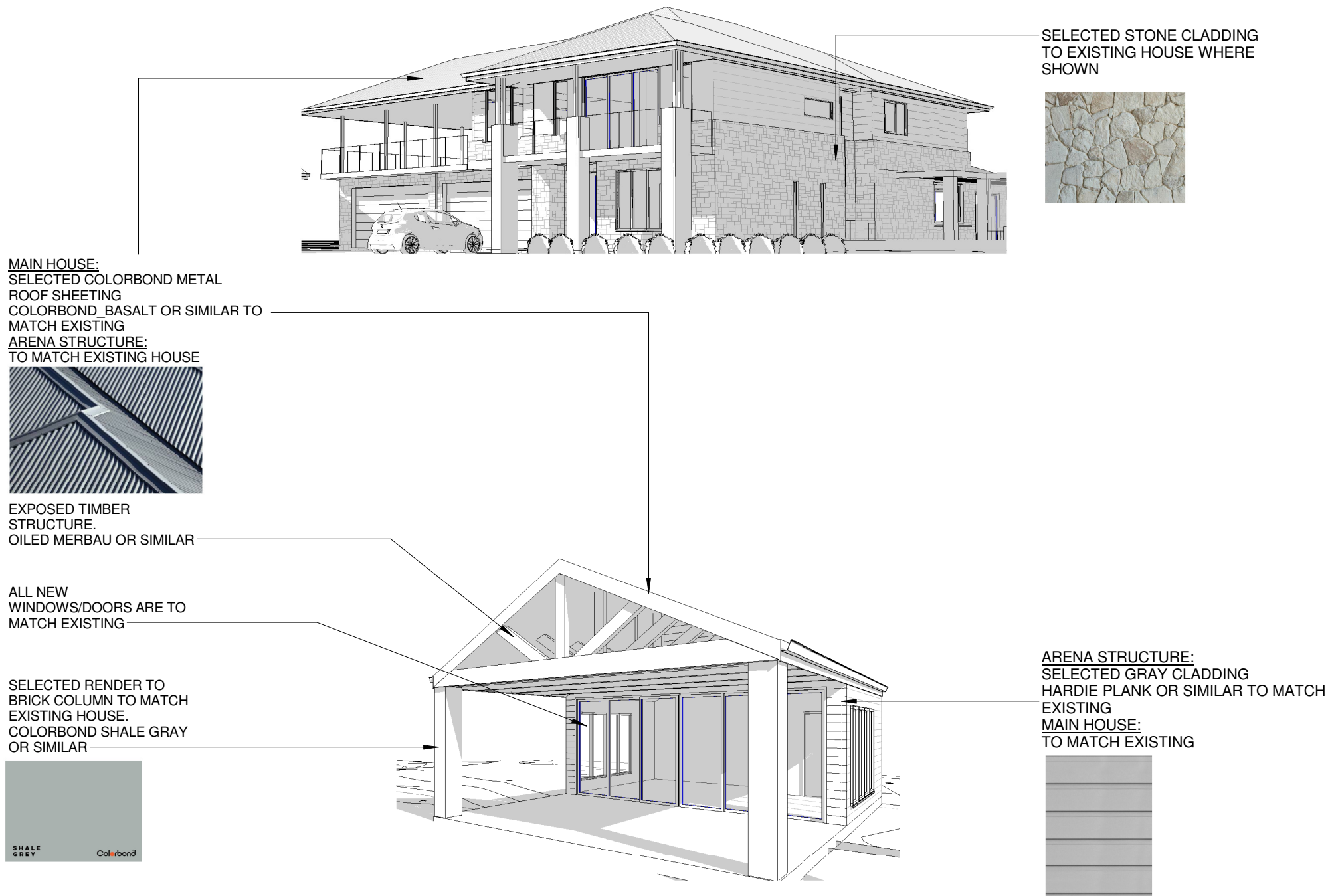


3 SOUTH ELEVATION_ARENA SHELTER
1 : 100



4 EAST ELEVATION ARENA_SHELTER
1 : 100

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A	Development Application_For Consultants	15.04.2024		Additions and alterations to existing dwelling		Scale	1 : 100 @ A3	Issue.	B
B	Development Application	8/11/2024							
				Lot 415 No 6 Killawarra Road Duffys Forest Development Application		A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774  pagano architects			



No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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Schedule of Finishes

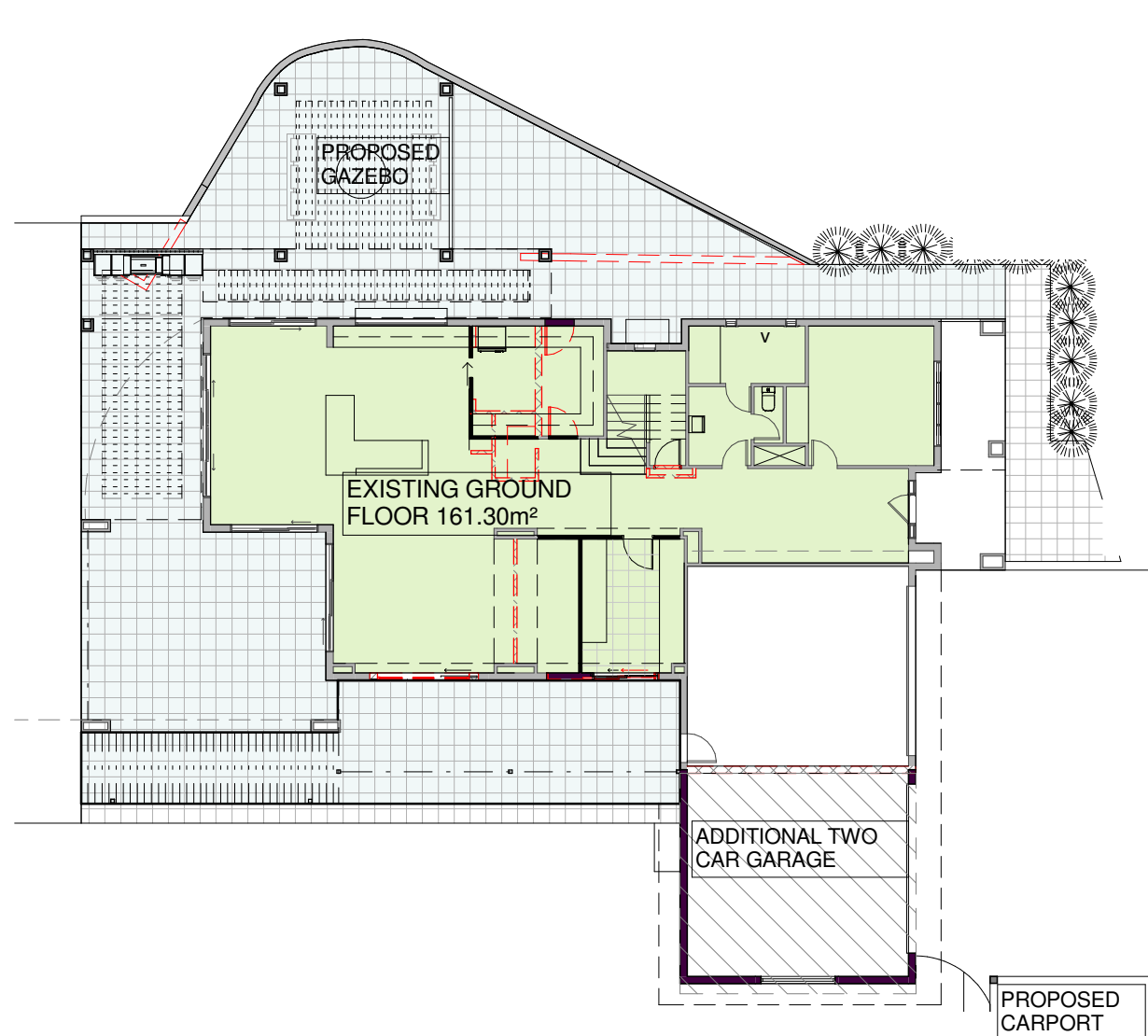
Additions and alterations to existing dwelling

Lot 415 No 6 Killawarra Road Duffys Forest Development Application

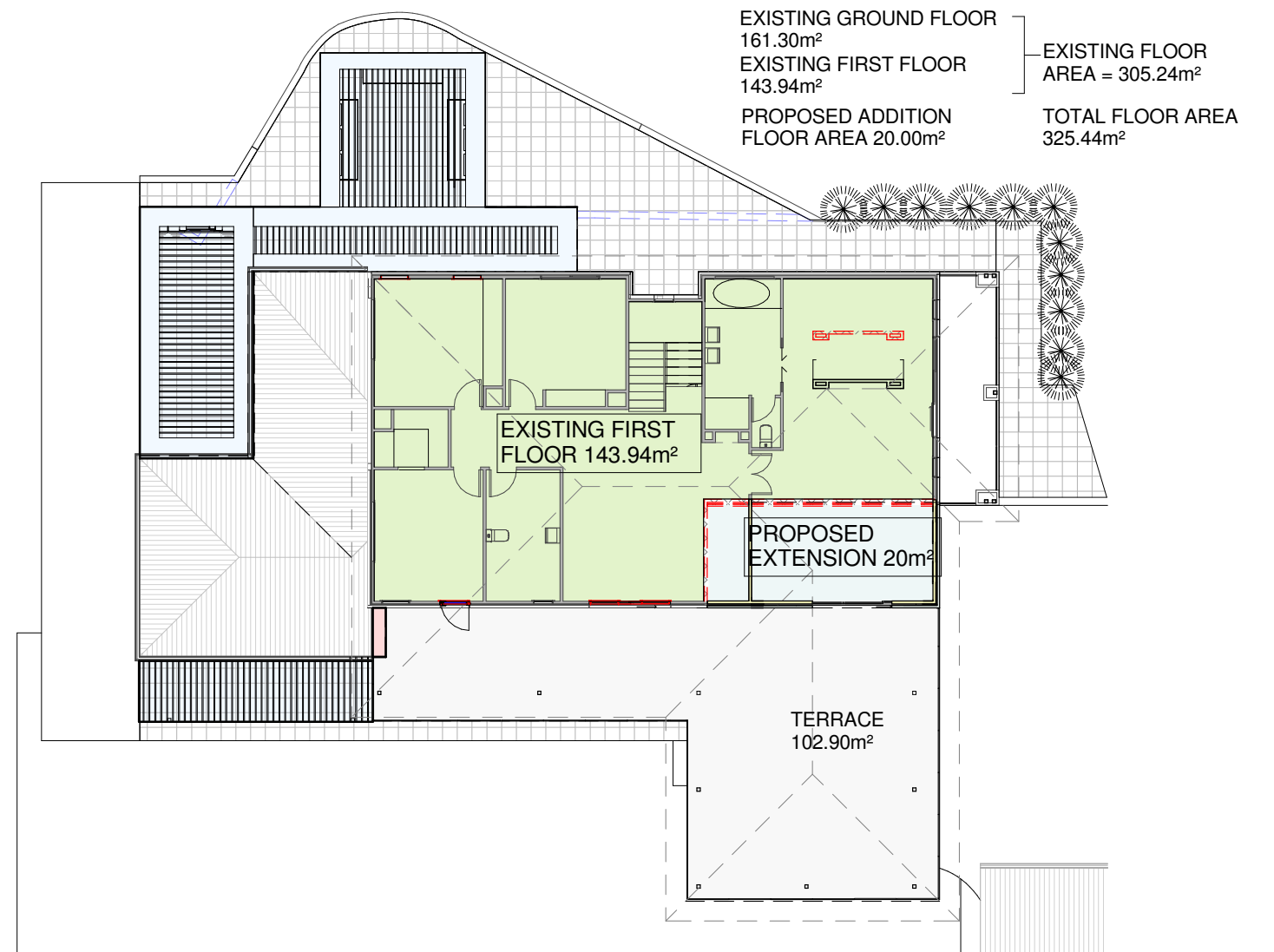
Job No.	2416	Sheet No.	15
Scale	@ A3	Issue.	B

A. 1/64 Riverside Road, Chipping Norton NSW 2170
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F. 02 9755 1316
E. admin@pagano.com.au
Nominated Architects:
Alfredo Pagano 6774





1 GROUND FLOOR_Area Calculations
1 : 200



2 FIRST FLOOR_Area Calculations
1 : 200

No.	Description	Date
A	Development Application_For Consultants	15.04.2024
B	Development Application	8/11/2024

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Area Calculations	Job No. 2416	Sheet No. 16
	Scale 1 : 200 @ A3	Issue. B
Additions and alterations to existing dwelling	A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774	
Lot 415 No 6 Killawarra Road Duffys Forest Development Application		

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 1028.13 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 440 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 56 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: solar only.

Glazing requirements
Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Construction

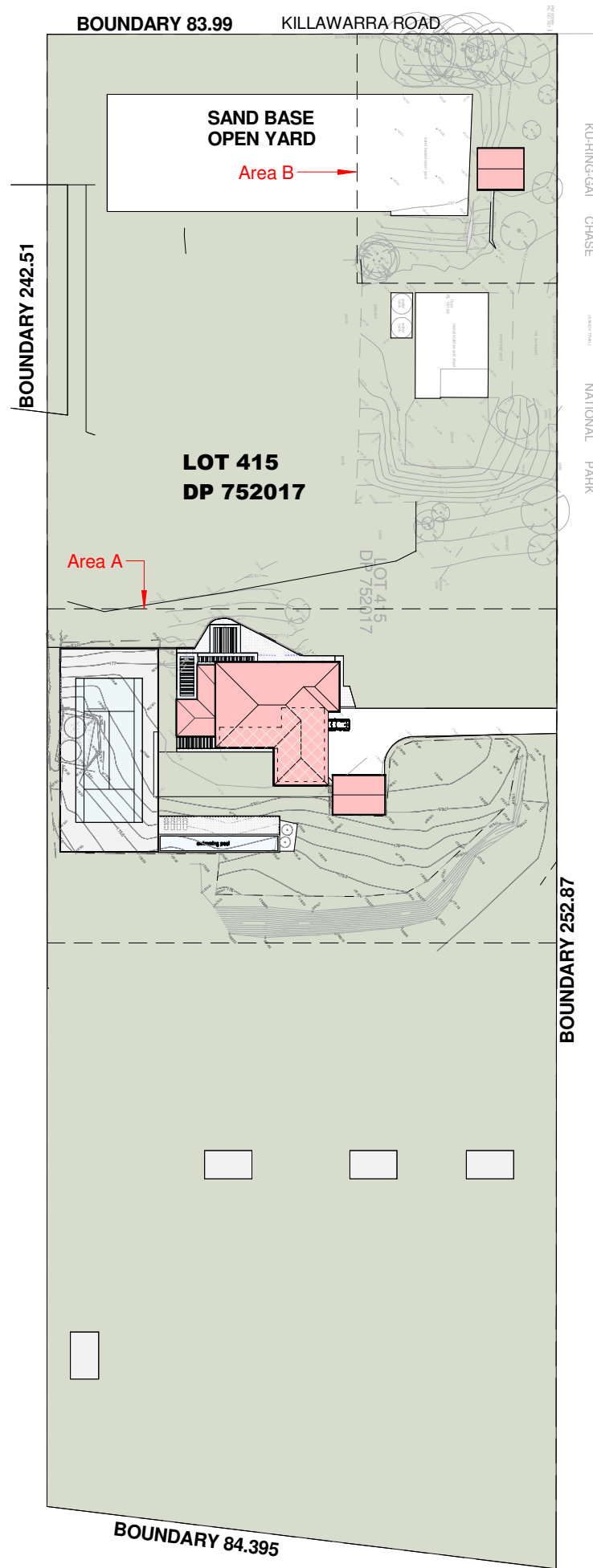
Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor above garage: framed (R0.7).	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

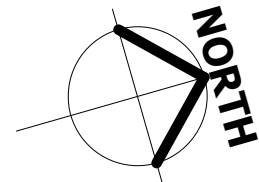
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
SD 1	E	10.56	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W1	N	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

No.	Description	Date	NOTES. This drawing is protected under copyright. It must not be copied, modified or used in any form without consent from the author. All dimensions are to be verified prior to commencement of work. Boundary dimensions and all levels are subject to survey. Use figure dimensions only, do not scale. All discrepancies are to be brought to the attention of the author. All building work shall be in accordance with the BCA & all relevant codes. Allow tolerance for window and sliding door openings.	Basix Requirements	Job No. 2416	Sheet No. 17
A	Development Application	8/11/2024		Additions and alterations to existing dwelling	Scale @ A3	Issue. A
				Lot 415 No 6 Killawarra Road Duffys Forest Development Application	A. 1/64 Riverside Road, Chipping Norton NSW 2170 P. 02 9755 1318 F. 02 9755 1316 E. admin@pagano.com.au Nominated Architects: Alfredo Pagano 6774	



LANDSCAPE CALCULATIONS

SITE AREA	20778.6m ²
REQUIRED LANDSCAPING 30%	6233.58m ²
PROPOSED LANDSCAPING	17659m ² 85%



No	Description	Date
A	RFI Landscape Calculations	3/09/2025

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Landscape Calculation Plan

Lot 415 No 6 Killawarra Road
Duffys Forest Development
Application

Additions and alterations to
existing dwelling

Job No.	2416	Scale.	1 : 1000
Date.	Issue Date	Sheet No.	18
Drawn by.	A.M	Issue.	A

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